

DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Rodrick N. Q. Sarmardin c/- Scope Town Planning
Contact name (only applicable for companies)	Scope Town Planning - Johnathan Burns
Postal address (P.O. Box or street address)	183 Summerfields Drive
Suburb	Caboolture
State	Qld.
Postcode	4510
Country	Australia
Contact number	0450 781 841
Email address (non-mandatory)	jburns@scopetownplanning.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	25025
1.1) Home-based business	
<input checked="" type="checkbox"/> Personal details to remain private in accordance with section 264(6) of <i>Planning Act 2016</i>	
2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input checked="" type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input type="checkbox"/> No – proceed to 3)	

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		192	Cedar Rd.	Cow Bay
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	192	RP738148	Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- ☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
☒ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

- ☐ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- ☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- ☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable)

<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>
Name of airport: <input type="text"/>
<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☒ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☒ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

Dwelling House

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).

- ☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

- ☐ Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☒ Not required

6.4) Is the application for State facilitated development?

- ☐ Yes - Has a notice of declaration been given by the Minister?
- ☒ No

Section 2 – Further development details**7) Does the proposed development application involve any of the following?**

Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)
Dwelling House	Dwelling House	1	

8.2) Does the proposed use involve the use of existing buildings on the premises?

- ☐ Yes
- ☒ No

8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?

- ☐ Yes – provide details below or include details in a schedule to this development application
- ☒ No

Provide a general description of the temporary accepted development	Specify the stated period dates under the Planning Regulation

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

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9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

<input type="checkbox"/> Subdivision (complete 10)	<input type="checkbox"/> Dividing land into parts by agreement (complete 11)
<input type="checkbox"/> Boundary realignment (complete 12)	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13)

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?	
<input type="checkbox"/> Yes – provide additional details below <input type="checkbox"/> No	
How many stages will the works include?	
What stage(s) will this development application apply to?	

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?				
Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment			
12.1) What are the current and proposed areas for each lot comprising the premises?			
Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)
12.2) What is the reason for the boundary realignment?			

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)				
Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?		
<input type="checkbox"/> Road work <input type="checkbox"/> Drainage work <input type="checkbox"/> Landscaping <input type="checkbox"/> Other – please specify:	<input type="checkbox"/> Stormwater <input type="checkbox"/> Earthworks <input type="checkbox"/> Signage	<input type="checkbox"/> Water infrastructure <input type="checkbox"/> Sewage infrastructure <input type="checkbox"/> Clearing vegetation
14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)		
<input type="checkbox"/> Yes – specify number of new lots:		
<input type="checkbox"/> No		
14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)		
\$		

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Douglas Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

- ☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ SEQ northern inter-urban break – tourist activity or sport and recreation activity
- ☐ SEQ northern inter-urban break – community activity
- ☐ SEQ northern inter-urban break – indoor recreation
- ☐ SEQ northern inter-urban break – urban activity

- ☐ SEQ northern inter-urban break – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material *(from a watercourse or lake)*
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees *(category 3 levees only)*
- ☐ Wetland protection area

Matters requiring referral to the local government:

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) *(only if the ERA has been devolved to local government)*
- ☐ Heritage places – Local heritage places

Matters requiring referral to the Chief Executive of the distribution entity or transmission entity:

- ☐ Infrastructure-related referrals – Electricity infrastructure

Matters requiring referral to:

- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual
- ☐ Infrastructure-related referrals – Oil and gas infrastructure

Matters requiring referral to the Brisbane City Council:

- ☐ Ports – Brisbane core port land

Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994:

- ☐ Ports – Brisbane core port land *(where inconsistent with the Brisbane port LUP for transport reasons)*
- ☐ Ports – Strategic port land

Matters requiring referral to the relevant port operator, if applicant is not port operator:

- ☐ Ports – Land within Port of Brisbane's port limits *(below high-water mark)*

Matters requiring referral to the Chief Executive of the relevant port authority:

- ☐ Ports – Land within limits of another port *(below high-water mark)*

Matters requiring referral to the Gold Coast Waterways Authority:

- ☐ Tidal works or work in a coastal management district *(in Gold Coast waters)*

Matters requiring referral to the Queensland Fire and Emergency Service:

- ☐ Tidal works or work in a coastal management district *(involving a marina (more than six vessel berths))*

18) Has any referral agency provided a referral response for this development application?

- ☐ Yes – referral response(s) received and listed below are attached to this development application
- ☒ No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application *(if applicable)*.

PART 6 – INFORMATION REQUEST

19) Information request under the DA Rules

☒ I agree to receive an information request if determined necessary for this development application

☐ I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the [DA Forms Guide](#).

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

☐ Yes – provide details below or include details in a schedule to this development application

☒ No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

☐ Yes – a copy of the receipted QLeave form is attached to this development application

☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid

☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

☐ Yes – show cause or enforcement notice is attached

☒ No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below

☒ No

Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:

Proposed ERA threshold:

Proposed ERA name:

☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

☐ Yes – *Form 536: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application

☒ No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.

2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

☐ Yes – the development application involves premises in the koala habitat area in the koala priority area

☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area

☒ No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.desi.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

- ☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development
- ☒ No

Note: Contact the Department of Resources at www.resources.qld.gov.au for further information.

DA templates are available from planning.statedevelopment.qld.gov.au. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

- ☐ Yes – the relevant template is completed and attached to this development application
- ☒ No

DA templates are available from planning.statedevelopment.qld.gov.au. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

- ☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*
- ☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake under the *Water Act 2000***?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

Note: Contact the Department of Resources at www.resources.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water under the *Coastal Protection and Management Act 1995***?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

Note: Contact the Department of Environment, Science and Innovation at www.desi.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application
- ☒ No

Note: See guidance materials at www.resources.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - ☐ A certificate of title

☒ No

Note: See guidance materials at www.desi.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

☐ Yes – details of the heritage place are provided in the table below

☒ No

Note: See guidance materials at www.desi.qld.gov.au for information requirements regarding development of Queensland heritage places.

For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at www.planning.statedevelopment.qld.gov.au for information regarding assessment of Queensland heritage places.

Name of the heritage place:

Place ID:

Decision under section 62 of the Transport Infrastructure Act 1994

23.14) Does this development application involve new or changed access to a state-controlled road?

☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

☒ No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

Note: See guidance materials at www.planning.statedevelopment.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes

Note: See the *Planning Regulation 2017* for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

☐ Yes

☒ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

☒ Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

☐ Yes

☒ Not applicable



**Queensland
Government**

25) Applicant declaration

- ☒ By making this development application, I declare that all information in this development application is true and correct
- ☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

Development Application:

Material Change of Use Dwelling House

192 Cedar Rd Cow Bay Qld. 4873
Lot 192 on RP738148



January 2026

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Appendix 3: Building Envelope Plan		(attached)

APPLICATION SUMMARY	
DEVELOPMENT APPLICATION	Material Change of Use
PROPOSED USE	Dwelling House
LEVEL OF ASSESSMENT	Code
STREET ADDRESS	192 Cedar Rd Cow Bay Qld. 4873
REAL PROPERTY ADDRESS	Lot 192 on RP738148
LAND AREA	13,630m²
PREPARED BY	Scope Town Planning
PREPARED FOR	Speedy Gomez Design and Draw
LAND OWNER	Mr Rodrick Sarmardin
LOCAL GOVERNMENT AREA	Douglas Shire Council
PLANNING SCHEME	DSC Planning Scheme 2018
ZONE	Conservation Zone
PRECINCT	Diwan – Cow Bay – Precinct 2
EASEMENTS	Nil
IMPROVEMENTS	Nil
APPLICABLE PLANNING CODES	Reconfiguring a lot Code
APPLICABLE PLANNING OVERLAYS	Acid Sulfate Soils
	Bushfire Hazard
	Landscape Values
	Natural Areas
	Transport Road Hierarchy
MATTERS OF STATE INTEREST	Wetland Protection Area
	Regulated Vegetation
APPLICABLE REFERRALS	Nil

1 Proposal

1.1 Introduction

This development application seeks a Development Permit for a Material Change of Use for a Dwelling House requiring Vegetation Clearing over Conservation Zoned land located at 192 Cedar Rd Cow Bay Qld. 4873, formally addressed as Lot 192 on RP738148. The site is not burdened by, nor is it the beneficiary of any easements.

This application is classified as **Code Assessable Development** subject to the requirements of the relevant codes of the Douglas Shire Council Planning Scheme 2018 for Material Change of Use as prescribed by Table 5.6c – Conservation Zone Zone.

1.2 Proposed Development Summary

The proposed development is the establishment of a new Dwelling House requiring vegetation clearing on Lot 192 on RP738148 (addressed as 192 Cedar Rd Cow Bay Qld.).



Figure 1: Development site – Lot 192 on RP738148 (Qld. Globe).

The proposed Material Change of Use will allow the construction of a Dwelling House within a specified Building Envelope as identified on the Plan attached with this application as Appendix 2 – Building Envelope Plan.

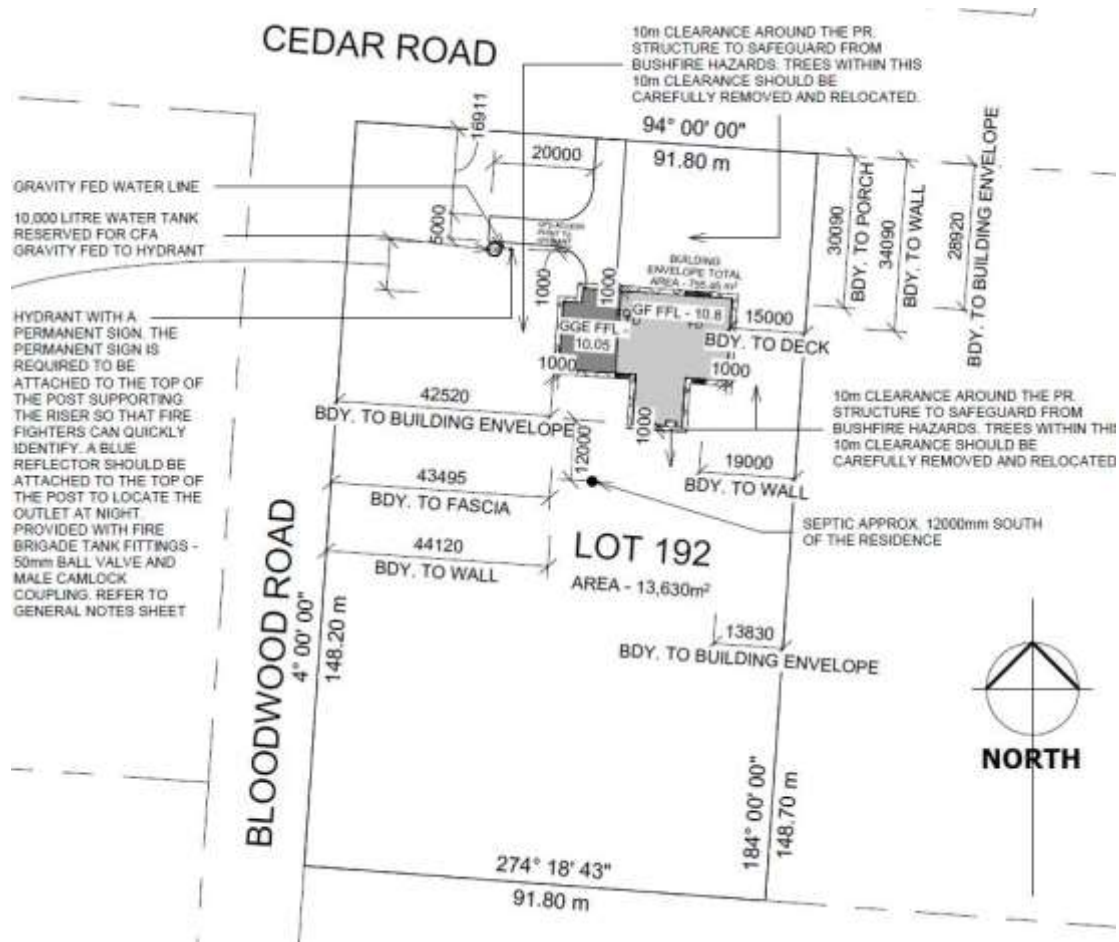


Figure 2: Proposed Dwelling House Plan (Speedy Gomez Design and Draw).



Figure 3: Proposed Building Envelope Plan (Scope Town Planning).

1.3 Site and Locality

The subject site is addressed 192 Cedar Road Cow Bay Qld. 4873 with a Real Property Address of 192RP738148. The property is identified as being within the Conservation Zone, Diwan – Cow Bay, Precinct 2, of the Douglas Shire Planning Scheme 2018.

The corner allotment has frontage to Bloodwood Road and Cedar Road, and is currently accessed via Cedar Road, a Local Government controlled road providing direct access to the surrounding local road network. Future access will be retained via the Cedar Road frontage.

The development site is located amongst other large Conservation Zoned lots containing Dwelling Houses and retained native vegetation.

The site is mapped with several overlays which are addressed in the Planning Code Assessment attached as **Appendix 1**.



Figure 4: Development Site located in the Conservation Zone (DSC).

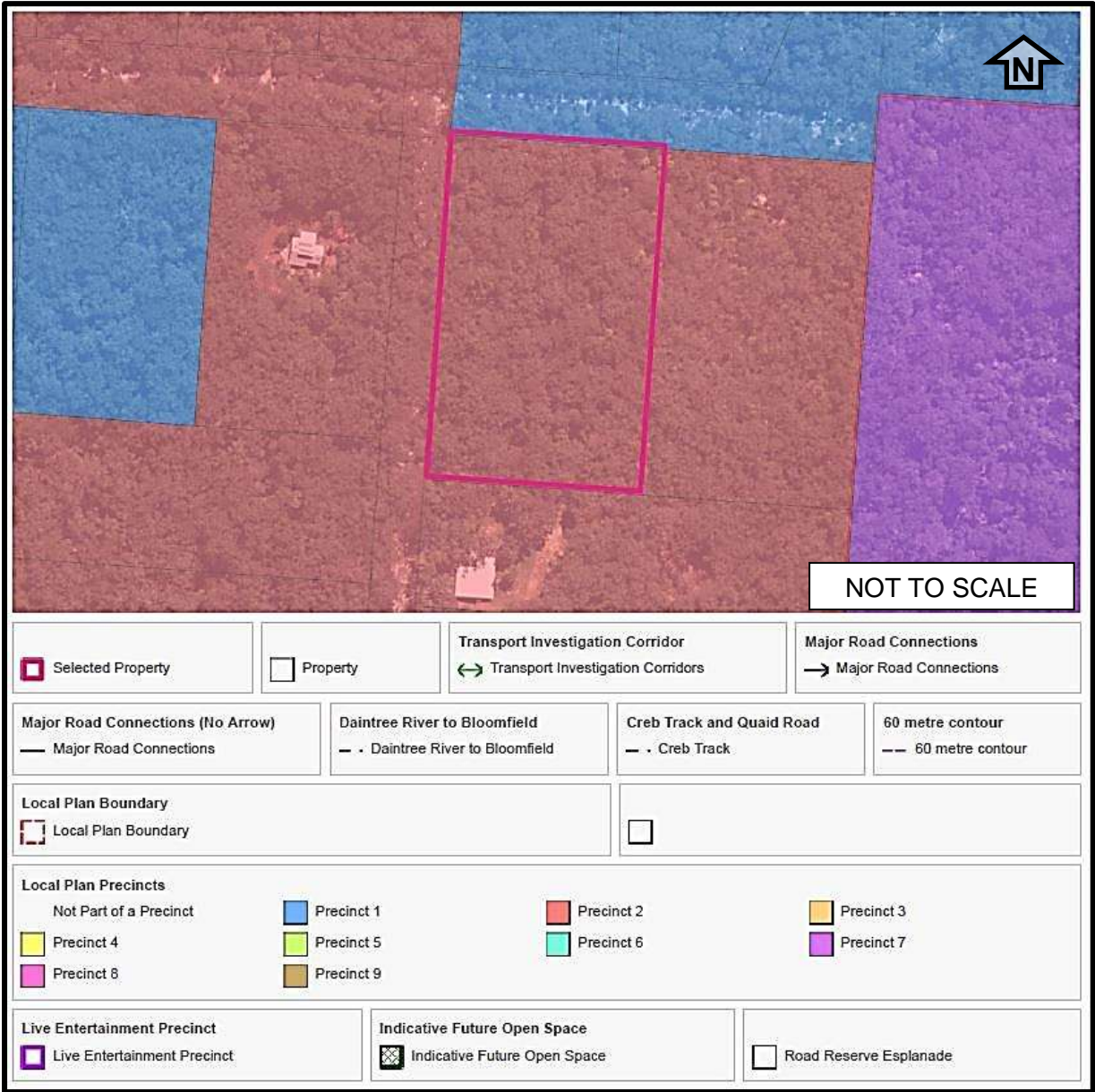


Figure 5: Development Site located in the Diwan – Cow Bay, Precinct 2 (DSC).



Figure 6: Location of development site, 192 Cedar Road, Cow Bay. (Bing Maps)

1.4 Physical Characteristics

As shown below, the site is completely vegetated with native sub-tropical/tropical vegetation and is mostly flat, raising gently toward the south-western corner of the site to a level of ~12m AHD. The site has an area of 13,630m², has a 92m frontage to Cedar Road and 148m frontage to Bloodwood Road.



Figure 4: Development site aerial image (Google Maps).



Figure 5: Site contour map (Qld. Globe).

2 Planning Framework

Assessment of the proposed development is undertaken in accordance with the Planning Act 2016, the Planning Regulation 2017, and the Douglas Shire Planning Scheme 2018. The Planning Scheme provides the primary statutory framework for guiding land-use and development within the region and identifies the site as being within the Conservation Zone – Diwan, Cow Bay Precinct 2. This precinct allows low-rise suburban housing supported by on-site services and efficient access to community facilities and infrastructure.

In this context, the proposal is assessed against the applicable Development Code of the Douglas Shire Planning Scheme to determine whether the proposed development achieves the purpose and overall outcomes of the planning framework and represents orderly, efficient, and sustainable development.

2.1 Zoning and Precinct Intent

This development site is located within the Conservation Zone, Diwan, Cow Bay Precinct 2 and subject to several Overlays of the DSC Planning Scheme 2018.

The Conservation Zone – Diwan, Cow Bay Precinct 2 is intended to safeguard land with high ecological, biodiversity and scenic values by strictly limiting development to activities that do not compromise natural systems, habitat integrity or the area's visual character. The zone prioritises environmental protection and only supports low-impact uses that maintain the landscape's natural features and ecological processes.

2.2 Planning Scheme Compliance

As identified in Table 5.6.c – Conservation Zone, of the Douglas Shire Planning Scheme 2018, Material Change of Use development for a Dwelling House in the Diwan, Cow Bay Precinct 2, is classified as Code Assessable Development. Compliance with the relevant Codes identified in Table 1 below is demonstrated in detail in Appendix 1 – Assessment against the Planning Codes.

Table 1: Relevant Codes

6.2.3	Conservation Zone Code
7.2.1	Cape Tribulation and Daintree Coast Local Plan Code
8.2.1	Acid Sulfate Soils Overlay Code
8.2.2	Bushfire Hazard Overlay Code
8.2.6	Landscape Values Overlay Code
8.2.7	Natural Areas Overlay Code
8.2.10	Transport Network Overlay Code
9.3.8	Dwelling House Code
9.4.1	Access, Parking and Servicing Code
9.4.4	Filling and Excavation Code
9.4.6	Landscaping Code
9.4.9	Vegetation Management Code

2.3 Overlays and Constraints

The development site is a rectangular shaped, generally flat, vegetated lot in the Conservation Zone of the Douglas Shire Council. The site is not burdened by, nor is it the beneficiary of any easements.

The site is affected by the several Planning Overlays as including the:

- Acid Sulfate Soils Overlay
- Bushfire Hazard Overlay
- Landscape Values Overlay
- Natural Areas Overlay
- Transport Network Overlay

Each Overlay Code is addressed in Appendix 1 – Assessment Against the Planning Codes included with this application.

2.4 State Interests and Referral

State mapping identifies portions of the site as containing Category B regulated vegetation and being partly within a Wetland Protection Area (trigger area).

While these layers indicate Matters of State Environmental Significance (MSES), they only trigger SARA referral where a proposal involves assessable vegetation clearing under Schedule 10, Part 3 of the Planning Regulation 2017. In this case, the proposed vegetation removal is limited to what is reasonably necessary to establish a single dwelling house, access, services and required fire management.

Under the Vegetation Management Act 1999 and the Accepted Development Vegetation Clearing (ADVC) Code, clearing for a dwelling house, access, firebreaks and associated domestic structures on freehold land is exempt vegetation clearing. These activities are recognised as accepted development under Schedule 21, Part 2 of the Planning Regulation and therefore do not constitute assessable vegetation clearing. As a result, the MCU does not trigger referral to SARA despite the presence of Category B vegetation or MSES.

The local Natural Areas Overlay (MSES – Regulated Vegetation, Wildlife Habitat) in the Douglas Shire Planning Scheme applies at the Council assessment level only and does not alter State referral requirements.

Accordingly, the proposal can be assessed solely by Douglas Shire Council, with no SARA referral required for vegetation clearing associated with the dwelling.

3 Infrastructure and Servicing

The proposed new Dwelling House will be provided with all essential infrastructure and services required. The development design ensures that the dwelling house building envelope is of sufficient size to accommodate on-site electricity provisions, potable water storage and effluent disposal while telecommunications connections are available within the Cedar Road reserve. Road access infrastructure will be provided via a crossover on the Cedar Road frontage.

3.1 Reticulated Water

The site is not serviced by the reticulated water network and will therefore be provided with on-site potable water collection and storage tank/s.

3.2 Reticulated Sewer

Douglas Shire Council mapping identifies no reticulated sewer infrastructure within the Cedar Road or Bloodwood Road reserves. Effluent Disposal for the Dwelling will be provided by an appropriately designed on-site system.

3.3 Reticulated Telecommunications

Telecommunication services are readily available to the site via existing Telstra infrastructure located in the Cedar Road and Bloodwood Road reserves. No NBN Co. infrastructure was identified. The new Dwelling can be provided with a connection to the existing network infrastructure or alternate off-grid provisions.

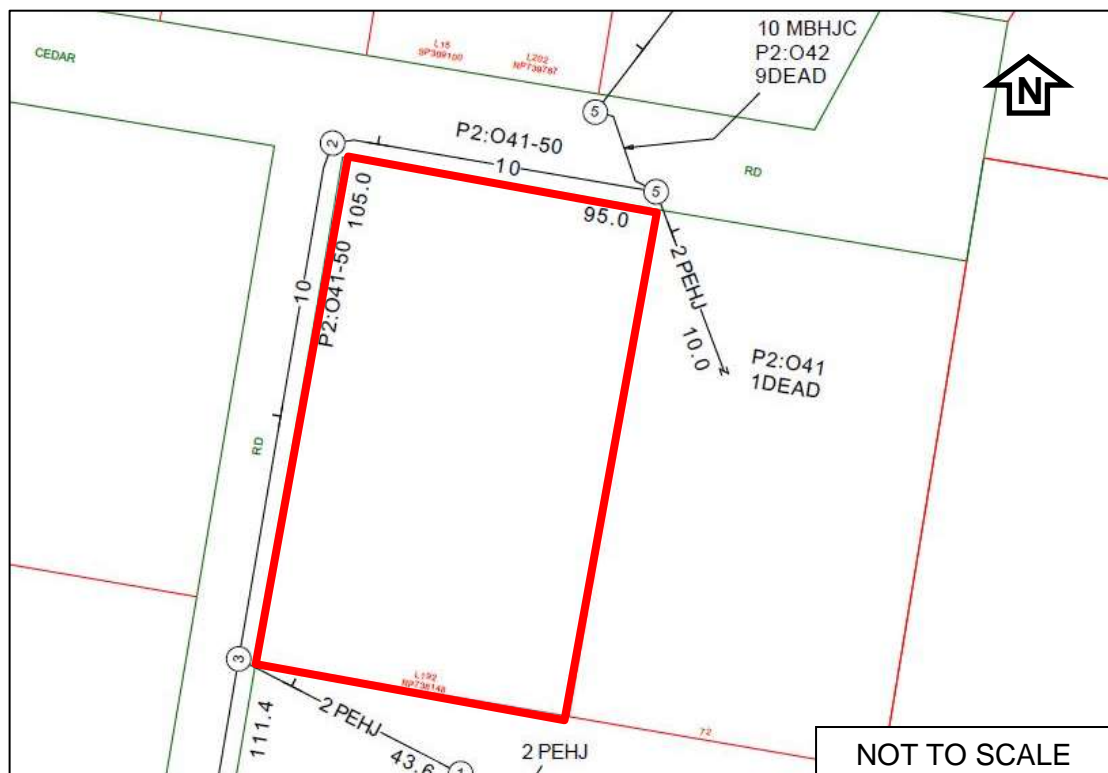


Figure 11: Telstra owned infrastructure (Telstra).

3.4 Reticulated Electricity

Ergon Energy mapping identifies no reticulated electricity infrastructure within the Cedar Road or Bloodwood Road reserves. Electricity for the Dwelling will be provided by on-site generation.

3.5 Access

Vehicular access to the site will be provided via the Cedar Road frontage by a new, crossover designed and constructed to all applicable standards.

4 Planning Summary

This development application seeks a Development Permit for a Material Change of Use for a Dwelling House requiring Vegetation Clearing over Conservation Zoned land located at 192 Cedar Rd Cow Bay Qld. 4873, formally addressed as Lot 192 on RP738148. The site is not burdened by, nor is it the beneficiary of any easements.

This application is classified as **Code Assessable Development** subject to the requirements of the relevant codes of the Douglas Shire Council Planning Scheme 2018 for Material Change of Use as prescribed by Table 5.6c – Conservation Zone Zone, Diwan – Cow Bay Precinct 2.

The proposed Material Change of Use will allow the construction of a Dwelling House within a specified Building Envelope as identified on the Building Envelope Plan.

Infrastructure and servicing arrangements demonstrate that the development can be connected to reticulated telecommunications network with all other service provisions being contained on-site. Access will be provided via the Cedar Road reserve.

The proposal does not require referral to SARA or any other third party for assessment. Compliance with the relevant Codes is demonstrated in detail in Appendix 1 – Assessment Against the Planning Codes.

5 Recommendation

It is recommended that the proposed Material Change of Use for a Dwelling House at 192 Cedar Road, Cow Bay be approved, subject to reasonable and relevant conditions. The proposal represents a well-planned and designed residential Dwelling that will achieve the objectives of the Zone as prescribed by the Douglas Shire Council Planning Scheme.



Johnathan Burns

Senior Town Planner | **Scope** Town Planning

Appendix 1: Assessment against the Planning Codes

Material Change of Use

Dwelling House

192 Cedar Rd Cow Bay Qld. 4873

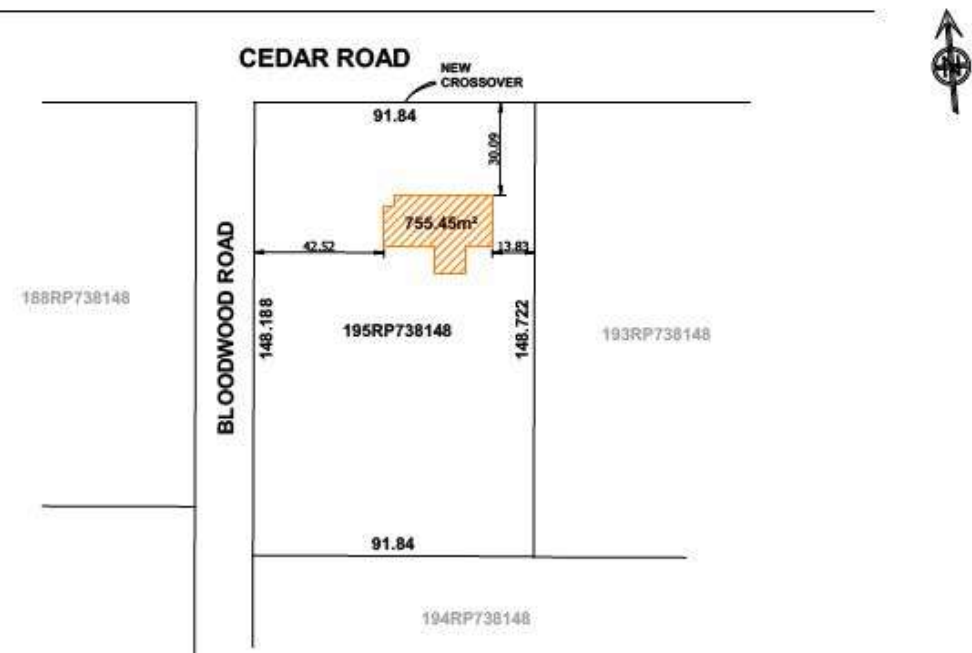
Lot 192 on RP738148

Appendix 1: Assessment against the Douglas Shire Council Planning Scheme Codes

APPLICATION		PREMISES	
FILE NO:	25025	ADDRESS:	192 Cedar Rd Cow Bay Qld. 4873
APPLICANT:	Land Owner c/- STP	RPD:	Lot 192 on RP738148
LODGED BY:	Scope Town Planning	AREA:	13,630m ²
DATE LODGED:	January 2026	OWNER :	Mr Rodrick Sarmardin
TYPE OF APPROVAL:	Development Permit		
PROPOSED DEVELOPMENT:	Material Change of Use for a Dwelling House		
PLANNING SCHEME:	Douglas Shire Planning Scheme 2018		
ZONE:	Conservation Zone – Diwan – Cow Bay – Precinct 2		
LEVEL OF ASSESSMENT:	Code		

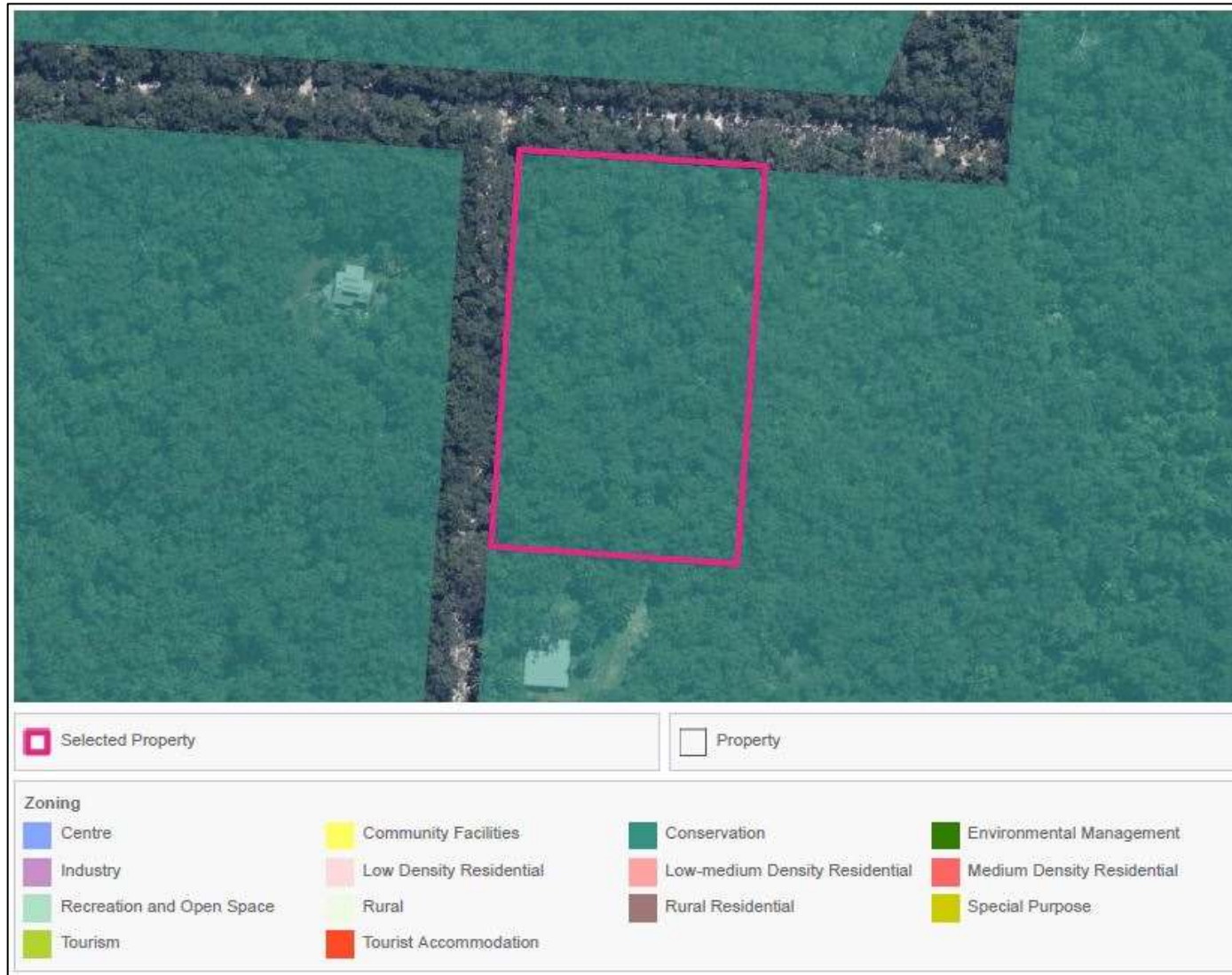
As identified in Part 5 of the Planning Scheme, this development is required to satisfy the Performance Criteria of the following Codes:

- 6.2.3 Conservation Zone Code
- 7.2.1 Cape Tribulation and Daintree Coast Local Plan Code
- 8.2.1 Acid Sulfate Soils Overlay Code
- 8.2.2 Bushfire Hazard Overlay Code
- 8.2.6 Landscape Values Overlay Code
- 8.2.7 Natural Areas Overlay Code
- 8.2.10 Transport Network Overlay Code
- 9.3.8 Dwelling House Code
- 9.4.1 Access, Parking and Servicing Code
- 9.4.4 Filling and Excavation Code
- 9.4.6 Landscaping Code
- 9.4.9 Vegetation Management Code



6.2.3 Conservation Zone Code

The proposed development is assessable against the provisions of the Conservation Zone Code of the Douglas Shire Planning Scheme 2018.



6.2.3.3 Criteria for assessment

Table 6.2.3.3.a - Conservation zone – assessable development

Performance outcomes	Acceptable outcomes	Compliance
For assessable development		
PO1 The establishment of uses is consistent with the outcomes sought for the Conservation zone and protects the zone from the intrusion of inconsistent uses.	AO1 Uses identified in Table 6.2.3.3.b are not established in the Conservation zone.	Complies The proposed development for a Dwelling House is a consistent use for the zone.
PO2 The height of buildings is compatible with the character of the area and does not adversely affect the amenity of the area.	AO2 Buildings and structures are not more than 8.5 metres in height and two storeys. Note - Height is inclusive of roof height.	Complies The proposed development involves structures less than 8.5m in height.
PO3 Development is setback from site boundaries so they are screened from view from the boundaries of adjoining properties and adjoining roads to maintain the scenic values of the area.	AO3 Buildings and structures are setback not less than: <ul style="list-style-type: none"> (a) 40 metres from the frontage of a State-controlled road, existing or proposed arterial road, existing or proposed sub-arterial road, as identified on the Transport network overlay maps contained in Schedule 2; (b) 25 metres from Cape Tribulation Road frontage; (c) 20 metres from any other road frontage (d) 10 metres from side and rear boundaries. 	Complies The proposed development is set back from the Collector Road frontage (Cedar Rd) by 30m and more than 10m from all other boundaries.
PO4 The site coverage of all buildings and structures does not have an adverse effect on the conservation or scenic amenity values of the site and surrounding area and buildings are subservient to the natural environment.	AO4 Development is sited in an existing cleared area or an area approved for clearing, but which is not yet cleared until a development permit to carry out Building Works is issued. Any clearing is limited to a maximum area of 700m ² and is sited clear of the high bank of any watercourse. Note – The 700m ² area of clearing does not include an access driveway.	Complies The proposed development has a Building Envelope of 755m ² and will require Bushfire Hazard clearances. The development complies with PO4, having limited impact on the natural environment, involving clearing only as is necessary to accommodate the use.
PO5 Development is consistent with the overall outcomes sought for the Conservation zone.	AO5 No acceptable outcomes are prescribed.	Complies The proposed development is consistent with the outcomes for the zone.

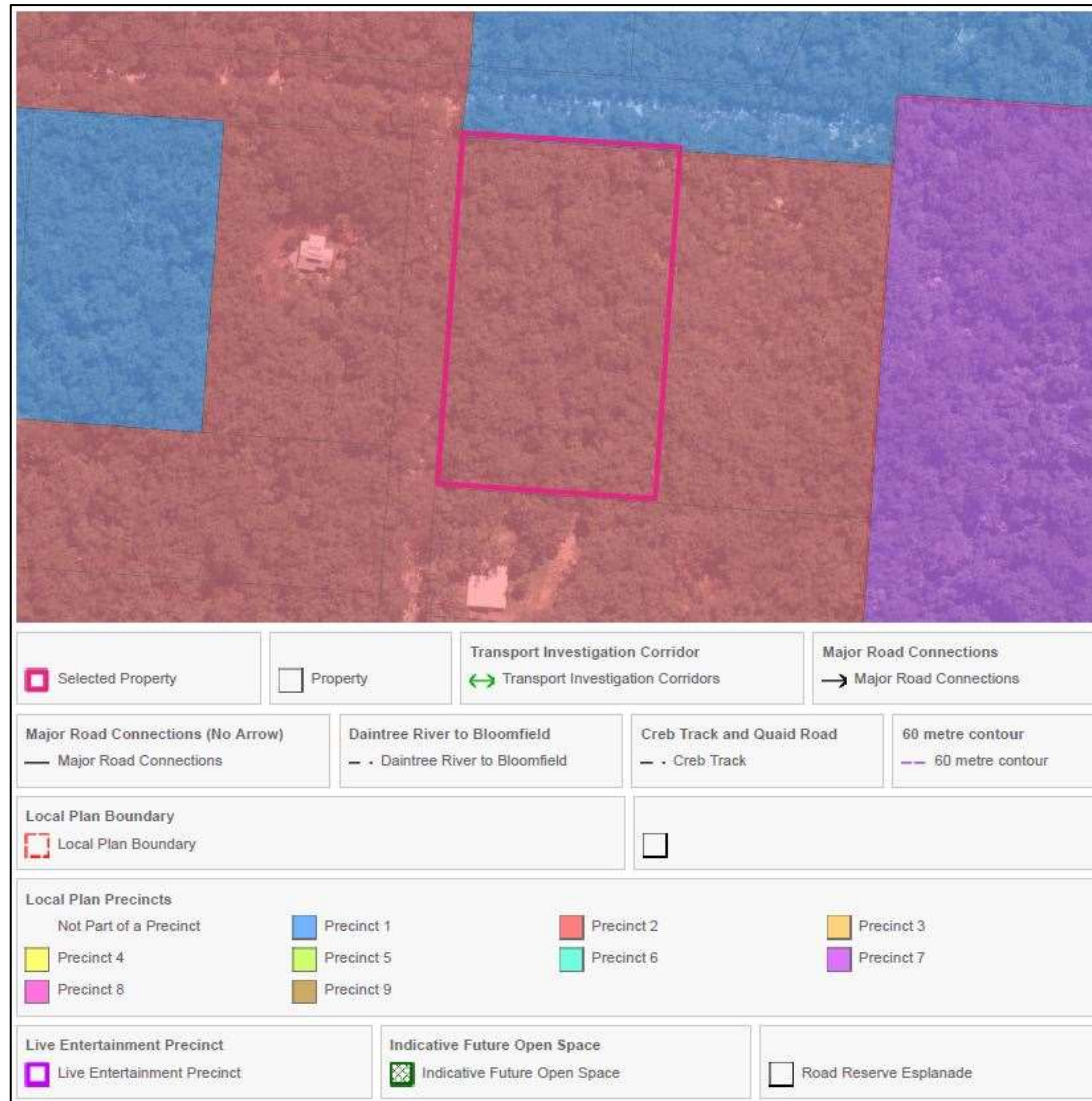
<p>P06 Development complements, and is subservient to the surrounding environment and is in keeping with the ecological, landscape and scenic values of the area.</p>	<p>AO6 The exterior finishes and colours of all development are non-reflective and consist of colours that blend easily with surrounding native vegetation and viewshed.</p>	<p>Complies The proposed Dwelling House will use environmentally complimentary finishes.</p>
<p>P07 Development is screened from view from adjoining roads and properties with a dense screen of endemic/native landscape which: (a) is informal in character and complementary to the existing natural environment; (b) provides screening; (c) enhances the visual appearance of the development. Note – Planning scheme policy – Landscaping provides further guidance on meeting the performance outcome.</p>	<p>AO7.1 For any development, the balance area of the site not built upon, including all setback areas must be landscaped/revegetated with dense three tier, endemic planting which is maintained to ensure successful screening is achieved. AO7.2 Endemic palm species, where used, are planted as informal accent features and not as avenues and not in a regular pattern.</p>	<p>Complies The proposed development retains the existing dense vegetation in areas not required to accommodate the proposed Dwelling and associated structures.</p>
<p>P08 Development is complementary to the surrounding environment.</p>	<p>AO8.1 Development harmonises with the surrounding environment, for example, through suspended, light-weight construction on sloping sites, which requires minimal excavation or fill. AO8.2 A driveway or parking areas are constructed and maintained to: (a) minimise erosion, particularly in the wet season; (b) minimise cut and fill; (c) follow the natural contours of the site; (d) minimise vegetation clearing. AO8.3 Buildings and structures are erected on land not exceeding a maximum gradient of 1 in 6 (16.6%) or</p>	<p>Complies The proposed development is located on a flat site and is not affected by slope issues.</p>

	<p>On land steeper than 1 in 6 (16.6%) gradient:</p> <ul style="list-style-type: none"> (a) A split level building form is utilised; (b) A single plane concrete slab is not utilised; (c) Any voids between building and ground level, or between outdoor decks and ground level are screened from view using lattice/battens and/or landscaping. <p>and</p> <ul style="list-style-type: none"> (d) is accompanied by a Geotechnical Report prepared by a qualified engineer at development application stage which includes certification that the site can be stabilised, followed by a certificate upon completion of works. <p>AO8.4 Buildings and structures are sited below any ridgelines and are sited to avoid protrusion above the surrounding tree-level canopy.</p>	
<p>PO9 Development is located to:</p> <ul style="list-style-type: none"> (a) protect the ecological values of the site and surrounding land; (b) maintain the scenic values of the area; (c) maintain appropriate setbacks to waterways, watercourses, wetlands, tidal areas and overland flow paths; (d) avoid areas that are vulnerable to natural hazards; (e) minimise to the greatest extent possible on site excavation and filling; (f) provide buffers to cultural, historical or ecological features; (g) minimise visibility from external sites or public viewing points; (h) minimises to the greatest extent possible the loss of native vegetation and fauna habitat. 	<p>AO9 No acceptable outcomes are prescribed.</p>	<p>Complies The proposed development is not located in an area accessed by the public and has been designed to minimize visual impact when viewed from roads, being set back behind retained natural vegetation.</p>

<p>PO10 Development does not result in adverse impacts on:</p> <ul style="list-style-type: none"> (a) ecological function or features; (b) on-site or surrounding waterways and wetlands. 	<p>AO10 No acceptable outcomes are prescribed.</p>	<p>Complies The proposed development does not impact any waterways and has minimal impact on ecological functions of the surrounding environment.</p>
<p>PO11 Rehabilitation of natural processes on disturbed sites is undertaken to improve the environmental integrity of the area.</p>	<p>AO11 No acceptable outcomes are prescribed</p>	<p>Complies The proposed development does not involve land containing disturbed areas.</p>
<p>PO12 Fencing is designed to not impede the free movement of native fauna through the site.</p>	<p>AO12 No acceptable outcomes are prescribed.</p>	<p>Complies The proposed development fencing will be designed to not impede the free movement of native fauna through the site.</p>
<p>PO13 New lots contain a minimum lot size of 200 hectares, unless:</p> <ul style="list-style-type: none"> (a) the lot reconfiguration results in no additional lots (e.g. amalgamation, boundary realignments); (b) the reconfiguration is limited to one additional lot to accommodate an existing or approved: <ul style="list-style-type: none"> (i) Telecommunications facility; (ii) Utility installation; (c) the lot reconfiguration facilitates and outcome consistent with the Return to Country local plan. <p>Note – Boundary realignments must result in an improved environmental outcome or resolve encroachments.</p>	<p>AO13 No acceptable outcomes are prescribed.</p>	<p>Not Applicable The proposed development does not involve the creation of any new lots.</p>

7.2.1 Cape Tribulation and Daintree Coast Local Plan Code

The proposed development is assessable against the provisions of the Cape Tribulation and Daintree Coast Local Plan Code of the Douglas Shire Planning Scheme 2018.



7.2.1.10 Criteria for assessment

Table 7.2.1.10.a – Cape Tribulation and Daintree Coast local plan – assessable development

All development in the Cape Tribulation and Daintree Coast local plan area		Compliance
PO1 Development does not result in a demand which exceeds the capacity of: (a) the Daintree River ferry crossing; (b) Alexandra Range Road; (c) the local road network.	AO1 No acceptable outcomes are prescribed.	Complies The proposed development is for a Dwelling House only and creates minimal demand on the road network.
PO2 Development provides a suitable standard of self-sufficient service for: (a) potable water; (b) water for fire fighting purposes; (c) electricity supply.	AO2.1 Water storage is provided in tank/s with a minimum capacity to service the proposed use, including fire fighting capacity, and access to the tank/s for fire trucks. Tank/s are to be: (a) fitted with a 50mm ball valve and camlock fitting; (b) installed and connected prior to occupation; (c) sited so as to be visually unobtrusive. AO2.2 Water storage tanks are to be fitted with screening at their inlets to prevent the intrusion of leaves and insects. AO2.3 An environmentally acceptable and energy efficient power supply is constructed, installed and connected prior to occupation and sited so as to be screened from the road.	Complies The proposed development includes water storage tanks for potable water and a secondary tank fitted with a 50mm camlock valve, accessible for firefighting purposed.
PO3 On-site waste water does not adversely impact on the environmental quality of the water and soil resources or amenity of residents, through the implementation of best environmental practice.	AO3 No acceptable outcomes are prescribed.	Complies The effluent disposal system will be designed to ensure that on-site waste water does not adversely impact on the environmental quality of the water and soil resources or amenity of residents.

<p>PO4 The sustainability of the natural water resources of the area is protected for ecological and domestic consumption purposes.</p>	<p>AO4.1 If groundwater is to be used, development is limited to one bore per site and the bore is: not located within 100 metres of a septic disposal trench (on the site or adjoining sites); not located within 100 metres of another bore.</p> <p>AO4.2 Surface water is to be used for domestic purposes only.</p>	<p>Complies The proposed development utilizes rain water for potable water supply. If a bore is installed, it will be appropriately located.</p>
<p>PO5 Development does not adversely impact on areas of sensitive natural vegetation, foreshore areas, watercourses and/or areas of tidal inundation.</p>	<p>AO5 No acceptable outcomes are prescribed.</p>	<p>Complies The proposed development does not cause adverse environmental impacts.</p>
<p>PO6 Development is subservient to the surrounding natural environment in scale and intensity and is designed to be functional in a humid tropical rainforest environment.</p>	<p>AO6.1 The exterior finishes and colours of buildings are non-reflective and complement the colours of the surrounding vegetation and view shed.</p> <p>AO6.2 The noise of generators is controlled by design, or the generator is enclosed within a sound insulated building with a residential approved muffler. The noise level generated is less than 65 dBA when measured from a distance of 7 metres.</p> <p>AO6.3 Any fuel storage associated with an on-site generator, with storage of 20 litres or more of fuel, is enclosed with a building and provided with a bund.</p>	<p>Complies The exterior finishes and colours of buildings are non-reflective and complement the colours of the surrounding environment.</p> <p>The Dwelling will primarily powered by solar generation and storage. Any backup generator and associated fuel storage will be managed as required by this code and applicable regulations.</p>
<p>PO7 Landscaping of the development ensures that the endemic character of the local area is dominant.</p>	<p>AO7.1 Landscaping complies with the requirements of Planning Scheme Policy 7 – Landscaping;</p> <p>AO7.2 All of the existing landscaping to be retained and all of the proposed landscaping is 100% endemic or native species and the details are provided on a landscape plan.</p>	<p>Complies The proposed development retains all natural site vegetation other than that which is to be cleared to accommodate the Dwelling House and associated structures.</p>

<p>PO8 Site access driveways and roads within the local plan area are retained as safe, slow speed, scenic drives.</p>	<p>AO8.1 Site access driveways and existing or proposed roads comply with the relevant requirements of Planning Scheme Policy 5 – FNQROC Development Manual and are maintained as low speed gravel roads to maintain the scenic drive experience and to discourage the use of roads by through-traffic;</p> <p>AO8.2 Where existing roads/tracks are 4-wheel drive only, upgrading to facilitate conventional vehicles and an increase in through traffic does not occur.</p>	<p>Complies The development site is accessible via an existing Council maintained gravel treated road.</p>
<p>PO9 The on-site impacts on natural flow regimes and erosion and sedimentation are minimised.</p>	<p>AO9.1 Filling and excavation is kept to a minimum and involves not more than 5% of the cleared area of the lot.</p> <p>AO9.2 All exposed surfaces must incorporate erosion and sediment controls during construction and must be maintained until revegetation, or other permanent stabilisation, has occurred.</p> <p>AO9.3 This is no disturbance to tree roots and trenching does not involve any damage to tree roots.</p> <p>AO9.4 On-site drainage and stormwater management: (a) maintains natural flow regimes; (b) minimises impervious surfaces; avoids concentration of flows, but where there is any form of concentration of flow, energy dissipation measures are installed at the outlet to avoid erosion (e.g. rock rip rap, gravel beds, diffusers etc.)</p>	<p>Complies The on-site impacts of the Dwelling House and associated structures on natural flow regimes and erosion and sedimentation will be minimized as per the requirements of this code.</p>

General requirements – Dwelling house		
<p>PO10 Development minimises the loss of vegetation and habitat connectivity on site and is sited to protect the environmental values of the site.</p>	<p>AO10.1 The elements of development and access to the site are included in a Designated Development Area (DDA).</p> <p>AO10.2 Development is sited in an existing cleared area or in an area approved for vegetation clearing.</p> <p>AO10.3 Any new clearing is limited to a maximum area of 700m² and is sited to be clear of the high bank of any watercourse.</p> <p>Note – The 700m² of clearing does not include an access driveway.</p>	<p>Complies The proposed development has a Building Envelope of 755m² and will require Bushfire Hazard clearances. The development complies with PO4, having limited impact on the natural environment, involving clearing only as is necessary to accommodate the use.</p>
<p>PO11 All existing native vegetation on a house site, other than that required and approved to be cleared for the construction of a house and access thereto, is protected to ensure the environmental integrity of the local plan area.</p>	<p>AO11 No acceptable solutions are prescribed.</p>	<p>Complies All vegetation other than that which is to be cleared to accommodate the development will be retained.</p>
<p>PO12 Wildlife movement, fauna habitat and habitat corridors are protected and domestic impacts are minimised.</p>	<p>AO12.1 Fences are limited in extent to the confines of the cleared area around the house and any associated gates are self-closing.</p> <p>AO12.2 External lighting is to be kept to the minimum necessary for orientation, safety and security. Flood lights must not point up, and areas of retained vegetation should, in general, not be illuminated. Where appropriate, outdoor lights are controlled by movement detectors and/or timers.</p>	<p>Complies The proposed development fencing will be designed to not impede the free movement of native fauna through the site.</p> <p>External lighting will be kept to a minimum.</p>

<p>PO13 House sites have efficient and safe vehicle access and manoeuvring areas on site, and to the site, to an acceptable standard for the local plan area.</p>	<p>AO13.1 Vehicle access is limited to one access per lot and sited in an approved location, clear of any watercourses.</p> <p>AO13.2 Vehicular access is a maximum width of 4 metres, avoids large tree specimens and/or significant vegetation and habitat corridors and is constructed and maintained to a minimum gravel standard of 75mm of road base on a compacted soil surface.</p> <p>AO13.3 Vehicular access is constructed prior to house construction.</p>	<p>Complies The proposed development includes only 1 site access point.</p> <p>The site access will constructed prior to the Dwelling construction to the required standards and specifications.</p>
<p>Additional requirements for Nature based tourism, being Forest stay accommodation</p>		
<p>PO14 Forest stay accommodation provides a local economic opportunity for permanent residents of those parts of the Shire which are isolated and constrained by a lack of urban services and facilities.</p>	<p>AO14 Forest stay accommodation:</p> <ul style="list-style-type: none"> (a) is confined to: <ul style="list-style-type: none"> (i) Precinct 2 – Low impact residential precinct; (ii) Precinct 5 – Low impact rural and tourism enterprise precinct; (iii) Precinct 6 – Low impact tourism accommodation precinct. (b) does not occur above the 60 metre contour; (c) is located on lots of 10 hectares or greater. 	<p>Not Applicable The proposed development does not involve Nature Based Tourism.</p>

<p>PO15 Forest stay accommodation remains ancillary to the primary residential use and the natural values of the land and the use is compatible with the character and amenity of the locality.</p>	<p>AO15.1 The maximum number of guests is 10 (10 bed spaces) with up to a maximum of 4 staff (4 bed spaces);</p> <p>Note – Staff includes permanent residents of the dwelling house involved in catering for the use.</p> <p>AO15.2 None of the accommodation, whether for guests or staff, is self-contained as the use operates only in association with an existing dwelling on the site.</p> <p>AO15.3 Forest stay accommodation is located on a site which has an existing cleared area.</p> <p>AO15.4 The natural values of the balance area of the site are protected and enhanced with organised tours being conducted for visiting guests.</p> <p>AO15.5 If forest stay accommodation is provided in buildings which are separate from the dwelling:</p> <ul style="list-style-type: none"> (a) the maximum number of separate building/s is determined based on each building containing a minimum of 2 bed spaces each, provided that each building has a maximum area of 50m² (inclusive of verandahs/patios etc.); <p>or</p> <ul style="list-style-type: none"> (b) a maximum of one communal bunkhouse is provided with a maximum area of 150m² to accommodate 10 guests (10 bed spaces) (inclusive of verandahs/patios etc.); 	<p>Not Applicable The proposed development does not involve Nature Based Tourism.</p>
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	<p>or</p> <p>(c) a maximum of two communal bunkhouses are provided with a maximum area of 150m² each to accommodate a maximum of 20 guests (20 bed spaces) (inclusive of verandahs/patios etc).</p> <p>AO15.6 No kitchen or cooking facilities, with the exception of those located within the existing dwelling on the site are provided in association with the forest stay accommodation.</p>	
<p>PO16 Development ensures guests are accommodated for short-stay and the dwelling is not the usual residence of the guest.</p>	<p>AO16 Development involves guests staying a maximum of 14 consecutive nights.</p>	<p>Not Applicable The proposed development does not involve Nature Based Tourism.</p>
<p>PO17 Development ensures that effluent disposal and treatment minimise odour and impacts on the natural environment.</p>	<p>AO17 Development provides an on-site effluent treatment system that is adequately sized to effectively treat effluent from the dwelling house and any additional persons occupying the premises as guests.</p>	<p>Not Applicable The proposed development does not involve Nature Based Tourism.</p>
Additional requirements for Precinct 1 – Conservation precinct		
<p>PO18 The biodiversity value of the area and the habitat of endemic species is protected on land included in the Rainforest Conservation precinct.</p>	<p>AO18 No new development occurs whether on undeveloped or developed land except for:</p> <p>Undeveloped land that meets one or more of the following criteria:</p> <p>Land which has been previously been lawfully cleared and currently remains cleared;</p> <p>(a) Land which is the subject of a current Clearing Permit, but has yet to be cleared;</p> <p>(b) Land which is subject of a current Operational Works Permit,</p> <p>can be developed for a house subject to compliance with all relevant codes.</p>	<p>Not Applicable The development site is not located in this Precinct.</p>

	<p>In addition, minor extensions can be undertaken to an existing development, provided:</p> <p>(a) The extensions are limited to 30% of the existing gross floor area of the house at the commencement date of the planning scheme.</p> <p>or</p> <p>(b) The extent of extensions are determined on a site specific/use specific basis for other land uses,</p> <p>and</p> <p>(c) No further clearing is required to accommodate the extensions for either a house or any other land use development.</p>	
Additional requirements for Precinct 2– Low impact residential precinct		
All development in the Cape Tribulation and Daintree Coast local plan area		
<p>PO19 Development is for;</p> <p>(a) a detached dwelling of limited size and scale and necessary outbuildings and infrastructure;</p> <p>(b) home occupations, including bed and breakfast accommodation, where it can be demonstrated that the bed and breakfast accommodation can establish on the site and not detrimentally impact on the scenic values of the site and surrounding areas;</p> <p>Nature based tourism, being Forest stay accommodation where in compliance with other requirements contained within this code.</p>	<p>AO19.1 Development is limited to one dwelling house per lot.</p> <p>AO19.2 Establishment of bed and breakfast accommodation only occurs on land on which a dwelling house has been approved and constructed.</p> <p>AO19.3 Bed and breakfast accommodation is limited to cleared areas on the land;</p> <p>or</p> <p>AO19.4 Bed and breakfast accommodation is established within an existing house, where there is no additional vegetation clearing required to accommodate the use;</p>	<p>Complies The proposed development involves only 1 Dwelling House.</p> <p>No Bed and Breakfast accommodation is proposed.</p> <p>The development site is not located near an Esplanade or Foreshore.</p>

	<p>AO19.5 Bed and breakfast accommodation occurs on a site with a minimum area of 1 hectare, and thereafter occurs at a rate of 1 bedroom (2 beds) per hectare, up to a maximum of 4 bedrooms (8) beds per site.</p> <p>AO19.6 Development is setback a minimum of 100 metres to an Esplanade or a foreshore frontage.</p>	
Additional requirements for Precinct 3 – Low impact commercial precinct		
<p>PO20 Commercial development is located in a convenient location and meets the requirements of the local community and visitors to the area.</p>	<p>AO20 Commercial development is located within Precinct 3 and has frontage to Cape Tribulation Road.</p>	<p>Not Applicable The development site is not located in this Precinct.</p>
<p>PO21 Development is small scale and provides a necessary service to the surrounding community.</p>	<p>AO21 No acceptable outcomes are prescribed.</p>	<p>Not Applicable The development site is not located in this Precinct.</p>
<p>PO22 Development is carried out in accordance with a site-specific, and development specific Environmental Management Plan.</p> <p>Note – Planning scheme policy SC6.4 – Environmental management plans provides further guidance on meeting the performance outcome.</p>	<p>AO22 No acceptable outcomes are prescribed.</p>	<p>Not Applicable The development site is not located in this Precinct.</p>
Additional requirements for Precinct 4 – Low impact community purpose precinct		
<p>PO23 Development results in a small scale expansion of an existing use which provides a necessary service to the surrounding community;</p> <p>or</p> <p>Development results in a new community use or public purpose use for which there is an identified need within the surrounding community.</p>	<p>AO23 No acceptable outcomes are prescribed.</p>	<p>Not Applicable The development site is not located in this Precinct.</p>

<p>PO24 Development is carried out in accordance with a site specific and development specific Environmental Management Plan.</p> <p>Note – Planning scheme policy SC6.4 – Environmental management plans provides further guidance on meeting the performance outcome.</p>	<p>AO24 No acceptable outcomes are prescribed.</p>	<p>Not Applicable The development site is not located in this Precinct.</p>
<p>Additional requirements for Precinct 5 – Low impact rural production and tourism enterprise precinct</p>		
<p>PO25 Development complements, protects and enhances the environmental and scenic values of the site.</p>	<p>AO25.1 One dwelling house establishes per lot.</p> <p>AO25.2 Any other development is limited to existing cleared areas on the site.</p> <p>AO25.3 No development is to occur above the 60 metre contour line.</p> <p>AO25.4 Any new primary production activity or a change to a primary production activity has minimal impact on the existing natural values of the site and surrounding area.</p>	<p>Not Applicable The development site is not located in this Precinct.</p>
<p>PO26 Large cleared or partially cleared sites are revegetated and rehabilitated in association with suitably small scale environmentally sustainable development.</p>	<p>AO26 The balance area of the development, including any existing area/s not identified for development is/are revegetated / rehabilitated in accordance with a landscape plan.</p>	<p>Not Applicable The development site is not located in this Precinct.</p>
<p>PO27 Development is carried out in accordance with a site specific and development specific Environmental Management Plan.</p> <p>Note – Planning scheme policy SC6.4 – Environmental management plans provides further guidance on meeting the performance outcome.</p>	<p>AO27 No acceptable outcomes are prescribed.</p>	<p>Not Applicable The development site is not located in this Precinct.</p>

Additional requirements for Precinct 6 – Low impact tourist accommodation precinct		
PO28 Development complements, protects and enhances the environmental and scenic values of the site.	AO28.1 One dwelling house establishes per lot. AO28.2 Any other development is limited to existing cleared areas on the site. AO28.3 No development is to occur above the 60 metre contour line.	Not Applicable The development site is not located in this Precinct.
PO29 Development results in a small scale expansion of existing tourist accommodation and any associated activities, based on the appreciation of the natural environment.	AO29 No acceptable outcomes are prescribed.	Not Applicable The development site is not located in this Precinct.
PO30 Development is carried out in accordance with a site specific and development specific Environmental Management Plan. Note – Planning scheme policy – Environmental management plans SC6.4 provides further guidance on meeting the performance outcome.	AO30 No acceptable outcomes are prescribed.	Not Applicable The development site is not located in this Precinct.

8.2.1 Acid Sulfate Soils Overlay Code

The proposed development is assessable against the provisions of the Acid Sulfate Soils Overlay Code of the Douglas Shire Planning Scheme 2018.



8.2.1.3 Criteria for assessment

Table 8.2.1.3.a – Acid sulfate soils overlay code – assessable development

Performance outcomes	Acceptable outcomes	Compliance
For assessable development		
PO1 The extent and location of potential or actual acid sulfate soils is accurately identified.	AO1.1 No excavation or filling occurs on the site. or AO1.2 An acid sulfate soils investigation is undertaken. Note - Planning scheme policy SC 6.12– Potential and actual acid sulfate soils provides guidance on preparing an acid sulfate soils investigation.	Complies The development site is generally flat and does not require any excavation or filling.
PO2 Development avoids disturbing potential acid sulfate soils or actual acid sulfate soils, or is managed to avoid or minimise the release of acid and metal contaminants.	AO2.1 The disturbance of potential acid sulfate soils or actual acid sulfate soils is avoided by: (a) not excavating, or otherwise removing, soil or sediment identified as containing potential or actual acid sulfate soils; (b) not permanently or temporarily extracting groundwater that results in the aeration of previously saturated acid sulfate soils; (c) not undertaking filling that results in: (d) actual acid sulfate soils being moved below the water table; (e) previously saturated acid sulfate soils being aerated. or AO2.2 The disturbance of potential acid sulfate soils or actual acid sulfate soils is undertaken in accordance with an acid sulfate soils management plan and avoids the release of metal contaminants by: (a) neutralising existing acidity and preventing the generation of acid and metal contaminants;	Complies The development site is generally flat and does not require any excavation or filling.

	<ul style="list-style-type: none"> (b) preventing the release of surface or groundwater flows containing acid and metal contaminants into the environment; (c) preventing the in situ oxidisation of potential acid sulfate soils and actual acid sulfate soils through ground water level management; (d) appropriately treating acid sulfate soils before disposal occurs on or off site; (e) documenting strategies and reporting requirements in an acid sulfate soils environmental management plan. <p>Note - Planning scheme policy SC 6.12 – Acid sulfate soils provides guidance on preparing an acid sulfate soils management plan.</p>	
P03 No environmental harm is caused as a result of exposure to potential acid sulfate soils or actual acid sulfate soils.	A03 No acceptable outcomes are prescribed.	Complies The development site is generally flat and does not require any excavation or filling.

8.2.2 Bushfire Hazard Overlay Code

The proposed development is assessable against the provisions of the Bushfire Hazard Overlay Code of the Douglas Shire Planning Scheme 2018.



8.2.2.3 Criteria for assessment

Table 8.2.2.3.a – Bushfire hazard overlay code –assessable development

Performance outcomes	Acceptable outcomes	Compliance
For self-assessable and assessable development		
Compatible development		
PO1 A vulnerable use is not established or materially intensified within a bushfire hazard area (bushfire prone area) unless there is an overriding need or other exceptional circumstances. Note - See the end of this code for examples of vulnerable uses.	AO1 Vulnerable uses are not established or expanded. Note – Where, following site inspection and consultation with Council, it is clear that the mapping is in error in identifying a premises as being subject to a medium, high, very high bushfire hazard or potential impact buffer sub-category, Council may supply a letter exempting the need for a Bushfire Management Plan. Note – Where the assessment manager has not previously approved a Bushfire Management Plan (either by condition of a previous development approval), the development proponent will be expected to prepare such a plan. Note – Planning scheme policy SC6.9 - Natural hazards, provides a guide to the preparation of a Bushfire Management Plan.	Complies The proposed development is not classified as a vulnerable use.
PO2 Emergency services and uses providing community support services are able to function effectively during and immediately after a bushfire hazard event.	AO2 Emergency Services and uses providing community support services are not located in a bushfire hazard sub-category and have direct access to low hazard evacuation routes.	Not Applicable The proposed development is for a Dwelling.
PO3 Development involving hazardous materials manufactured or stored in bulk is not located in bushfire hazard sub-category.	AO3 The manufacture or storage of hazardous material in bulk does not occur within bushfire hazard sub-category.	Complies The proposed development does not involve the manufacture or storage of hazardous material in bulk.

Development design and separation from bushfire hazard – reconfiguration of lots		
<p>PO4.1 Where reconfiguration is undertaken in an urban area or is for urban purposes or smaller scale rural residential purposes, a separation distance from hazardous vegetation is provided to achieve a radiant heat flux level of 29kW/m^2 at the edge of the proposed lot(s).</p> <p>Note - “Urban purposes” and “urban area” are defined in the <i>Sustainable Planning Regulations 2009</i>. Reconfiguration will be taken to be for rural residential purposes where proposed lots are between 2000m^2 and 2ha in area. “Smaller scale” rural residential purposes will be taken to be where the average proposed lot size is 6000m^2 or less.</p> <p>Note - The radiant heat levels and separation distances are to be established in accordance with method 2 set out in AS3959-2009.</p> <p>PO4.2 Where reconfiguration is undertaken for other purposes, a building envelope of reasonable dimensions is provided on each lot which achieves radiant heat flux level of 29kW/m^2 at any point.</p>	<p>AO4.1 No new lots are created within a bushfire hazard sub-category.</p> <p>or</p> <p>AO4.2 Lots are separated from hazardous vegetation by a distance that:</p> <p>(a) achieves radiant heat flux level of 29kW/m^2 at all boundaries; and</p> <p>(b) is contained wholly within the development site.</p> <p>Note - Where a separation distance is proposed to be achieved by utilising existing cleared developed areas external to the site, certainty must be established (through tenure or other means) that the land will remain cleared of hazardous vegetation.</p> <p>For staged developments, temporary separation distances, perimeter roads or fire trails may be absorbed as part of subsequent stages.</p> <p>Note - The achievement of a cleared separation distance may not be achievable where other provisions within the planning scheme require protection of certain ecological, slope, visual or character features or functions.</p>	<p>Not Applicable The proposed development is not for the reconfiguration of a lot.</p>

<p>PO5 Where reconfiguration is undertaken in an urban area or is for urban purposes, a constructed perimeter road with reticulated water supply is established between the lots and the hazardous vegetation and is readily accessible at all times for urban fire fighting vehicles.</p> <p>The access is available for both fire fighting and maintenance/defensive works.</p>	<p>AO5.1 Lot boundaries are separated from hazardous vegetation by a public road which:</p> <ul style="list-style-type: none"> (a) has a two lane sealed carriageway; (b) contains a reticulated water supply; (c) is connected to other public roads at both ends and at intervals of no more than 500m; (d) accommodates geometry and turning radii in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines; (e) has a minimum of 4.8m vertical clearance above the road; (f) is designed to ensure hydrants and water access points are not located within parking bay allocations; and (g) incorporates roll-over kerbing. <p>AO5.2 Fire hydrants are designed and installed in accordance with AS2419.1 2005, unless otherwise specified by the relevant water entity.</p> <p>Note - Applicants should have regard to the relevant standards set out in the reconfiguration of a lot code and works codes in this planning scheme.</p>	<p>Not Applicable The proposed development is not for the reconfiguration of a lot.</p>
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<p>PO6</p> <p>Where reconfiguration is undertaken for smaller scale rural residential purposes, either a constructed perimeter road or a formed, all weather fire trail is established between the lots and the hazardous vegetation and is readily accessible at all times for the type of fire fighting vehicles servicing the area.</p> <p>The access is available for both fire fighting and maintenance/hazard reduction works.</p>	<p>AO6</p> <p>Lot boundaries are separated from hazardous vegetation by a public road or fire trail which has:</p> <ul style="list-style-type: none"> (a) a reserve or easement width of at least 20m; (b) a minimum trafficable (cleared and formed) width of 4m capable of accommodating a 15 tonne vehicle and which is at least 6m clear of vegetation; (c) no cut or fill embankments or retaining walls adjacent to the 4m wide trafficable path; (d) a minimum of 4.8m vertical clearance; (e) turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines; (f) a maximum gradient of 12.5%; (g) a cross fall of no greater than 10 degrees; (h) drainage and erosion control devices in accordance with the standards prescribed in a planning scheme policy; (i) vehicular access at each end which is connected to the public road network at intervals of no more than 500m; (j) designated fire trail signage; (k) if used, has gates locked with a system authorised by Queensland Fire and Emergency Services; and (l) if a fire trail, has an access easement that is granted in favour of Council and Queensland Fire and Emergency Services. 	<p>Not Applicable</p> <p>The proposed development is not for the reconfiguration of a lot.</p>
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<p>PO7 Where reconfiguration is undertaken for other purposes, a formed, all weather fire trail is provided between the hazardous vegetation and either the lot boundary or building envelope, and is readily accessible at all times for the type of fire fighting vehicles servicing the area.</p> <p>However, a fire trail will not be required where it would not serve a practical fire management purpose.</p>	<p>AO7 Lot boundaries are separated from hazardous vegetation by a public road or fire trail which has:</p> <ul style="list-style-type: none"> (a) a reserve or easement width of at least 20m; (b) a minimum trafficable (cleared and formed) width of 4m capable of accommodating a 15 tonne vehicle and which is at least 6m clear of vegetation; (c) no cut or fill embankments or retaining walls adjacent to the 4m wide trafficable path; (d) a minimum of 4.8m vertical clearance; (e) turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines; (f) a maximum gradient of 12.5%; (g) a cross fall of no greater than 10 degrees; (h) drainage and erosion control devices in accordance with the standards prescribed in a planning scheme policy; (i) vehicular access at each end which is connected to the public road network; (j) designated fire trail signage; (k) if used, has gates locked with a system authorised by Queensland Fire and Emergency Services; and (l) if a fire trail, has an access easement that is granted in favour of Council and Queensland Fire and Emergency Services. 	<p>Not Applicable The proposed development is not for the reconfiguration of a lot.</p>
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<p>PO8 The development design responds to the potential threat of bushfire and establishes clear evacuation routes which demonstrate an acceptable or tolerable risk to people.</p>	<p>AO8 The lot layout:</p> <ul style="list-style-type: none"> (a) minimises the length of the development perimeter exposed to, or adjoining hazardous vegetation; (b) avoids the creation of potential bottle-neck points in the movement network; (c) establishes direct access to a safe assembly/evacuation area in the event of an approaching bushfire; and (d) ensures roads likely to be used in the event of a fire are designed to minimise traffic congestion. <p>Note - For example, developments should avoid finger-like or hour-glass subdivision patterns or substantive vegetated corridors between lots.</p> <p>In order to demonstrate compliance with the performance outcome, a bushfire management plan prepared by a suitably qualified person may be required. The bushfire management plan should be developed in accordance with the Public Safety Business Agency (PSBA) guideline entitled "Undertaking a Bushfire Protection Plan.</p> <p>Advice from the Queensland Fire and Emergency Services (QFES) should be sought as appropriate</p>	<p>Not Applicable The proposed development is not for the reconfiguration of a lot.</p>
<p>PO9 Critical infrastructure does not increase the potential bushfire hazard.</p>	<p>AO9 Critical or potentially hazardous infrastructure such as water supply, electricity, gas and telecommunications are placed underground.</p>	<p>Not Applicable The proposed development is not for the reconfiguration of a lot.</p>

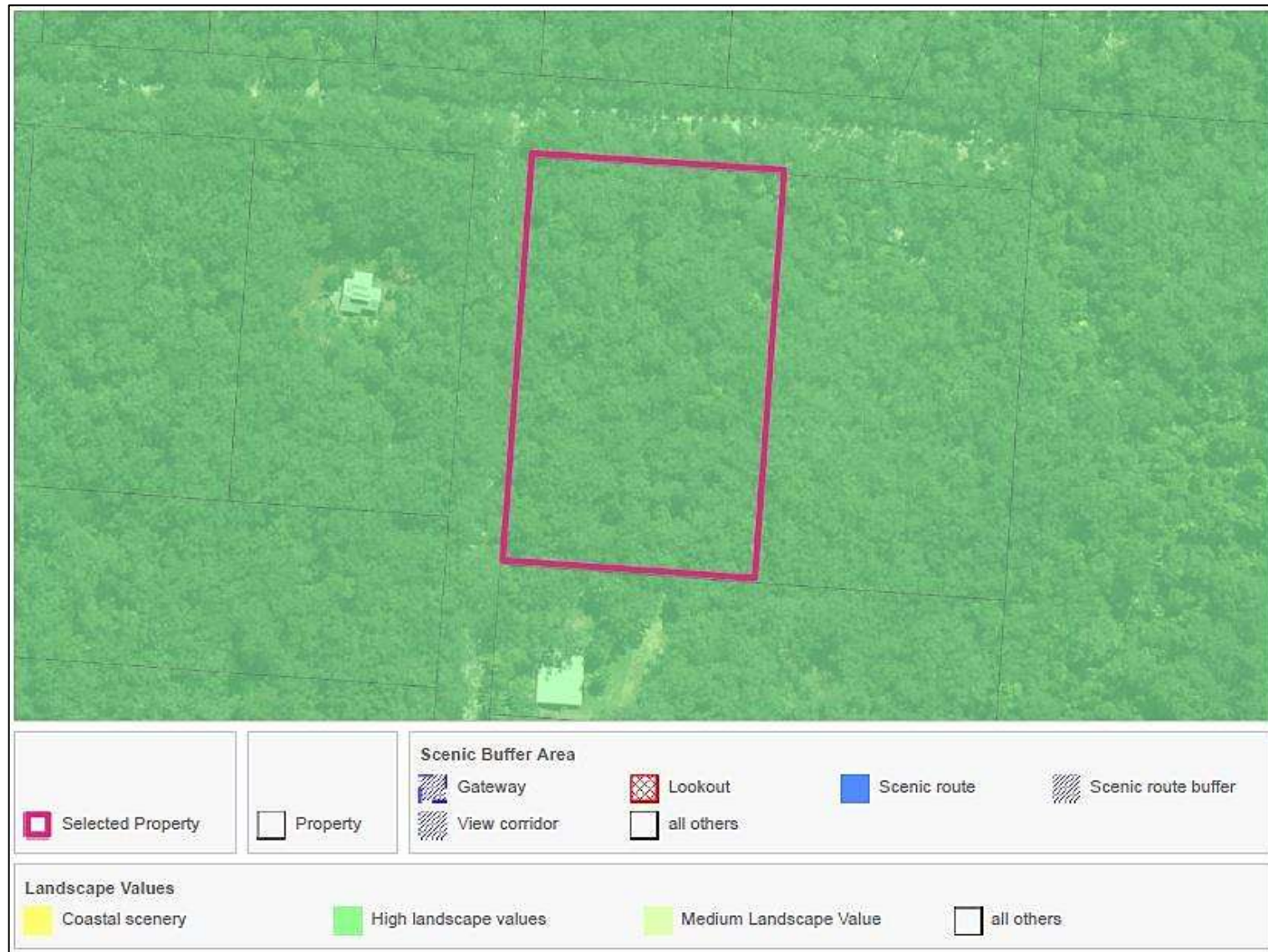
Development design and separation from bushfire hazard – material change of use		
<p>PO10 Development is located and designed to ensure proposed buildings or building envelopes achieve a radiant heat flux level at any point on the building or envelope respectively, of: (a) 10kW/m² where involving a vulnerable use; or (b) 29kW/m² otherwise.</p> <p>The radiant heat flux level is achieved by separation unless this is not practically achievable.</p> <p>Note - The radiant heat levels and separation distances are to be established in accordance with method 2 set out in AS3959-2009.</p>	<p>AO10 Buildings or building envelopes are separated from hazardous vegetation by a distance that: (a) achieves a radiant heat flux level of at any point on the building or envelope respectively, of 10kW/m² for a vulnerable use or 29kW/m² otherwise; and (b) is contained wholly within the development site.</p> <p>Note - Where a separation distance is proposed to be achieved by utilising existing cleared developed areas external to the site, certainty must be established (through tenure or other means) that the land will remain cleared of hazardous vegetation.</p> <p>For staged developments, temporary separation distances, perimeter roads or fire trails may be absorbed as part of subsequent stages.</p> <p>Note - The achievement of a cleared separation distance may not be achievable where other provisions within the planning scheme require protection of certain ecological, slope, visual or character features or functions.</p>	<p>Complies The proposed development provides an appropriate, on-site separation distance that achieves the required radiant heat flux thresholds while maintaining compliance with all other relevant planning scheme provisions.</p>
<p>PO11 A formed, all weather fire trail is provided between the hazardous vegetation and the site boundary or building envelope, and is readily accessible at all times for the type of fire fighting vehicles servicing the area.</p> <p>However, a fire trail will not be required where it would not serve a practical fire management purpose.</p> <p>Note - Fire trails are unlikely to be required where a development site involves less than 2.5ha</p>	<p>AO11 Development sites are separated from hazardous vegetation by a public road or fire trail which has: (a) a reserve or easement width of at least 20m; (b) a minimum trafficable (cleared and formed) width of 4m capable of accommodating a 15 tonne vehicle and which is at least 6m clear of vegetation; (c) no cut or fill embankments or retaining walls adjacent to the 4m wide trafficable path; (d) a minimum of 4.8m vertical clearance; (e) turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines;</p>	<p>Not Applicable Separation from hazardous vegetation is achieved entirely within the subject site through a cleared on-site separation distance, and the development does not rely on a public road or fire trail to satisfy bushfire separation outcomes.</p>

	<ul style="list-style-type: none"> (f) a maximum gradient of 12.5%; (g) a cross fall of no greater than 10 degrees; (h) drainage and erosion control devices in accordance with the standards prescribed in a planning scheme policy; (i) vehicular access at each end which is connected to the public road network which is connected to the public road network at intervals of no more than 500m; (j) designated fire trail signage; (k) if used, has gates locked with a system authorised by Queensland Fire and Emergency Services; and (l) if a fire trail, has an access easement that is granted in favour of Council and Queensland Fire and Emergency Services. 	
All development		
PO12 All premises are provided with vehicular access that enables safe evacuation for occupants and easy access by fire fighting appliances.	AO12 Private driveways: <ul style="list-style-type: none"> (a) do not exceed a length of 60m from the street to the building; (b) do not exceed a gradient of 12.5%; (c) have a minimum width of 3.5m; (d) have a minimum of 4.8m vertical clearance; (e) accommodate turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines; and (f) serve no more than 3 dwellings or buildings. 	Complies The proposed development is provided with vehicular access that enables safe evacuation for occupants and easy access by fire fighting appliances.

<p>PO13 Development outside reticulated water supply areas includes a dedicated static supply that is available solely for fire fighting purposes and can be accessed by fire fighting appliances.</p>	<p>AO13 A water tank is provided within 10m of each building (other than a class 10 building) which:</p> <ul style="list-style-type: none"> (a) is either below ground level or of non-flammable construction; (b) has a take off connection at a level that allows the following dedicated, static water supply to be left available for access by fire fighters: <ul style="list-style-type: none"> (i) 10,000l for residential buildings <p>Note – A minimum of 7,500l is required in a tank and the extra 2,500l may be in the form of accessible swimming pools or dams.</p> <ul style="list-style-type: none"> (ii) 45,000l for industrial buildings; and (iii) 20,000l for other buildings; (c) includes shielding of tanks and pumps in accordance with the relevant standards; (d) includes a hardstand area allowing medium rigid vehicle (15 tonne fire appliance) access within 6m of the tank; (e) is provided with fire brigade tank fittings – 50mm ball valve and male camlock coupling and, if underground, an access hole of 200mm (minimum) to accommodate suction lines; and (f) is clearly identified by directional signage provided at the street frontage. 	<p>Complies A dedicated 10,000 L static water supply tank of non-combustible construction is provided within 10 m of the dwelling, fitted with compliant fire brigade tank fittings, signage, shielding, and hardstand access for a 15-tonne appliance, consistent with QFES requirements as shown on the proposed plans.</p>
<p>PO14 Landscaping does not increase the potential bushfire risk.</p>	<p>AO14 Landscaping uses species that are less likely to exacerbate a bushfire event, and does not increase fuel loads within separation areas.</p>	<p>Complies The proposed development retains existing vegetation as landscaping. Any additional landscaping will use species that are less likely to exacerbate a bushfire event and do not increase fuel loads within separation areas.</p>
<p>PO15 The risk of bushfire and the need to mitigate that risk is balanced against other factors (such as but not limited to, biodiversity or scenic amenity).</p>	<p>AO15 Bushfire risk mitigation treatments do not have a significant impact on the natural environment or landscape character of the locality where this has value.</p>	<p>Complies Bushfire risk mitigation measures are limited to the minimum cleared separation and asset protection areas required for life and property safety and are designed to avoid unnecessary vegetation loss or visual impact.</p>

8.2.6 Landscape Values Overlay Code

The proposed development is assessable against the provisions of the Landscape Values Overlay Code of the Douglas Shire Planning Scheme 2018.



8.2.6.3 Criteria for assessment

Table 8.2.6.3.a – Landscape values overlay code – assessable development

Performance outcomes	Acceptable outcomes	Compliance
For assessable development		
Development in a High landscape value area		
<p>PO1 Development within High landscape value areas identified on the Landscape values overlay maps contained in Schedule 2:</p> <ul style="list-style-type: none"> (a) avoids detrimental impacts on the landscape values of forested skylines, visible hillslopes, ridgelines, the coastal foreshore or the shoreline of other water bodies through the loss of vegetation; (b) is effectively screened from view from a road, lookout or other public place by an existing natural landform or native vegetation, or will be effectively screened by native vegetation within 3 years of construction; (c) retains existing vegetation and incorporates new landscaping to enhance existing vegetation and visually soften built form elements; (d) incorporates development of a scale, design, height, position on site, construction materials and external finishes that are compatible with the landscape values of the locality; (e) avoids detrimental impacts on landscape values and excessive changes to the natural landform as a result of the location, position on site, scale, design, extent and alignment of earthworks, roads, driveways, retaining walls and other on-ground or in-ground infrastructure; (f) avoids detrimental impacts on landscape values and views as a result of the location, position on site, scale, design and alignment of telecommunications facilities, electricity towers, poles and lines and other tall 	<p>AO1.1 Buildings and structures are not more than 8.5 metres and two storeys in height.</p> <p>Note - Height is inclusive of roof height.</p> <p>AO1.2 Buildings and structures are setback not less than 50 metres from ridgelines or peaks.</p> <p>AO1.3 Development is screened from view from roads or other public places by an existing natural landform or an existing native vegetation buffer.</p> <p>AO1.4 Where development on land steeper than 1 in 6 (16.6%) cannot be avoided:</p> <ul style="list-style-type: none"> (a) development follows the natural; contours of the site; (b) buildings are split level or suspended floor construction, or a combination of the two; (c) lightweight materials are used to areas with suspended floors. <p>Note - Examples of suitable lightweight materials include timber or fibre cement boards or sheeting for walls and factory treated metal sheeting for walls and roofs.</p> <p>AO1.5 The external features, walls and roofs of buildings and structures have a subdued and non-reflective palette.</p> <p>Note - Examples of suitable colours include shades of green,</p>	<p>Complies The proposed single-storey dwelling is under 8.5 m in height, is not located on or near ridgelines or steep land, does not require split-level or slope-based construction, retains existing vegetation where practicable, is visually screened from public viewpoints by existing vegetation, utilises subdued non-reflective materials and finishes, avoids advertising devices, and is compatible with the High Landscape Value character of the locality as shown on the proposed plans.</p>

<p>infrastructure; (g) extractive industry operations are avoided.</p> <p>Note - A visual impact assessment is undertaken in accordance with Planning scheme policy SC6.6 – Landscape values in order to satisfy performance outcomes.</p>	<p>olive green, blue green, grey green, green blue, indigo, brown, blue grey, and green yellow.</p> <p>AO1.6 No clearing of native vegetation occurs on land with a slope greater than 1 in 6 (16.5%).</p> <p>AO1.7 Where for accommodation activities or reconfiguration of a lot in a High landscape value area, development demonstrates that the height, design, scale, positioning on-site, proposed construction materials and external finishes are compatible with the landscape values.</p> <p>Note - A visual impact assessment undertaken in accordance with Planning scheme policy SC6.6 – Landscape values may be required.</p> <p>AO1.8 Advertising devices do not occur.</p>	
<p>Development within the Medium landscape value area</p>		
<p>PO2 Development within Medium landscape value areas identified on the Landscape values overlay maps contained in Schedule 2:</p> <p>(a) avoids detrimental impacts on the landscape values of forested skylines, visible hillslopes, ridgelines, the coastal foreshore or the shoreline of other water bodies through the loss of vegetation;</p> <p>(b) is effectively screened from view from a road, lookout or other public place by an existing natural landform or native vegetation, or will be effectively screened by native vegetation within 5 years of construction;</p> <p>(c) retains existing vegetation and incorporates new landscaping to enhance existing vegetation and visually soften built form elements;</p>	<p>AO2.1 Buildings and structures are not more than 8.5 metres and two storeys in height.</p> <p>Note - Height is inclusive of the roof height.</p> <p>AO2.2 Development is screened from view from roads or other public places by an existing natural landform or an existing native vegetation buffer.</p> <p>AO2.3 Where development on land steeper than 1 in 6 (16.6%) cannot be avoided:</p> <p>(a) development follows the natural; contours of the site;</p> <p>(b) buildings are split level or suspended floor construction, or a combination of the two;</p> <p>(c) lightweight materials are used to areas with suspended floors.</p>	<p>Not Applicable The development site is not mapped within the Medium Landscape Value Area.</p>

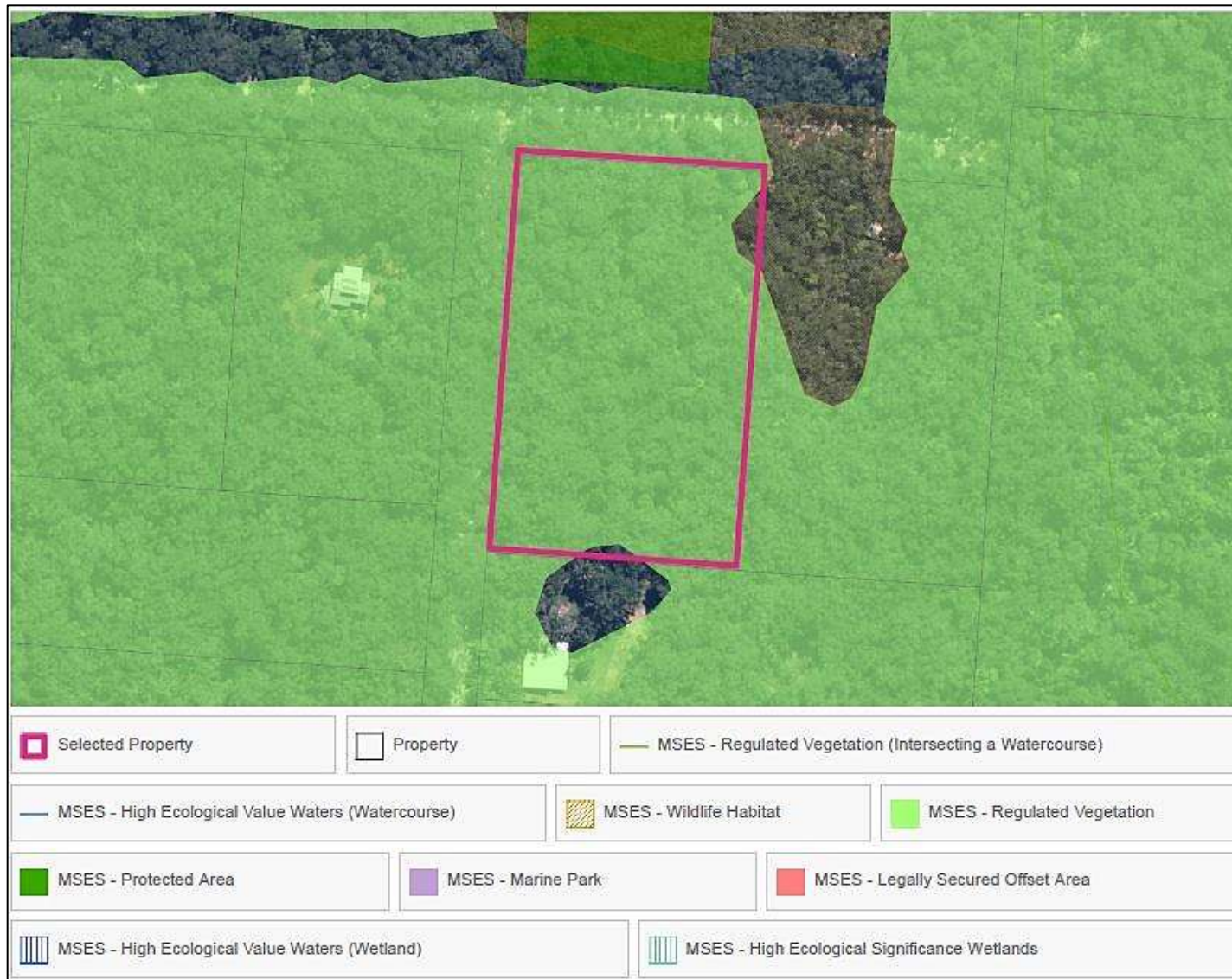
<p>(d) incorporates development of a scale, design, height, position on site, construction materials and external finishes that are compatible with the landscape values of the locality;</p> <p>(e) avoids detrimental impacts on landscape values and excessive changes to the natural landform as a result of the location, position on site, scale, design and alignment of earthworks, roads, driveways, retaining walls and other on-ground or in-ground infrastructure;</p> <p>(f) avoids detrimental impacts on landscape values and views as a result of the location, position on site, scale, design and alignment of telecommunications facilities, electricity towers, poles and lines and other tall infrastructure;</p> <p>(g) extractive industry operations are avoided, or where they cannot be avoided, are screened from view.</p> <p>Note - A visual impact assessment is undertaken in accordance with Planning scheme policy SC6.6 – Landscape values in order to satisfy performance outcomes.</p>	<p>Note - Examples of suitable lightweight materials include timber or fibre cement boards or sheeting for walls and factorytreated metal sheeting for walls and roofs.</p> <p>AO2.4 The external features, walls and roofs of buildings and structures have a subdued and non-reflective palette.</p> <p>Note - Examples of suitable colours include shades of green, olive green, blue green, grey green, green blue, indigo, brown, blue grey, and green yellow.</p> <p>AO2.5 No clearing of native vegetation occurs on land with a slope greater than 1 in 6 (16.6%).</p> <p>AO2.6 Advertising devices do not occur.</p>	
<p>Development within a Scenic route buffer / view corridor area</p>		
<p>PO3 Development within a Scenic route buffer / view corridor area as identified on the Landscape values overlay maps contained in Schedule 2:</p> <p>(a) retains visual access to views of the surrounding landscape, the sea and other water bodies;</p> <p>(b) retains existing vegetation and incorporates landscaping to visually screen and soften built form elements whilst not impeding distant views or view corridors;</p> <p>(c) incorporates building materials and external finishes that are compatible with the visual amenity and the landscape character;</p> <p>(d) minimises visual impacts on the setting and views in terms of:</p>	<p>AO3.1 Where within a Scenic route buffer / view corridor area, the height of buildings and structures is not more than identified within the acceptable outcomes of the applicable zone code.</p> <p>AO3.2 No clearing of native vegetation is undertaken within a Scenic route buffer area.</p> <p>AO3.3 Where within a Scenic route buffer / view corridor area development is set back and screened from view from a scenic route by existing native vegetation with a width of at least 10 metres and landscaped in accordance with the requirements of the landscaping code.</p>	<p>Not Applicable The development site is not mapped within a Scenic Route Buffer / View Corridor Area.</p>

<ul style="list-style-type: none"> the scale, height and setback of buildings; the extent of earthworks and impacts on the landform including the location and configuration of access roads and driveways; the scale, extent and visual prominence of advertising devices. <p>Note - A visual impact assessment is undertaken in accordance with Planning scheme policy SC6.6 – Landscape values in order to satisfy performance outcomes.</p>	<p>AO3.4 Development does not result in the replacement of, or creation of new, additional, or enlarged advertising devices.</p>	
<p>Development within the Coastal scenery area</p>		
<p>PO4 The landscape values of the Coastal scenery zone as identified on the Landscape values overlay maps contained in Schedule 2 are managed to integrated and limit the visual impact of development.</p> <p>Note - A visual impact assessment is undertaken in accordance with Planning scheme policy SC6.6 – Landscape values in order to satisfy performance outcomes.</p>	<p>AO4.1 The dominance of the natural character of the coast is maintained or enhanced when viewed from the foreshore.</p> <p>AO4.2 Where located adjacent to the foreshore buildings and structures are setback:</p> <p>(a) Where no adjoining development, a minimum of 50 metres from the coastal high water mark and the setback area is landscaped with a native vegetation buffer that has a minimum width of 25 metres; or</p> <p>(b) Where there is adjoining development, setbacks will be consistent with that of adjoining buildings and structures, but not less than 10 metres from the coastal high water mark. The setback area is landscaped in accordance with the requirements of the Landscaping code.</p>	<p>Not Applicable The development site is not mapped within the Coastal Scenery Area.</p>

	<p>AO4.3 Where separated from the foreshore by land contained within public ownership (e.g. unallocated State land, esplanade or other public open space), buildings and structures area setback:</p> <p>(a) where no adjoining development, a minimum of 6 metres from the coastward property boundary. The setback area is landscaped in accordance with the requirements of the Landscaping code; or</p> <p>(b) where there is adjoining development, setbacks will be consistent with that of adjoining buildings and structures. The setback area is landscaped in accordance with the requirements of the Landscaping code.</p>	
<p>PO5 Development is to maximise opportunities to maintain and/or enhance natural landscape values through the maintenance and restoration of vegetated buffers between development and coastal waters, where practical.</p> <p>Note – A visual impact assessment is undertaken in accordance with Planning scheme policy SC6.6 – Landscape values in satisfaction of a performance outcome.</p>	<p>AO5 No clearing of native vegetation is undertaken within a Coastal scenery area zone, except for exempt vegetation damage undertaken in accordance with the Vegetation management code.</p>	<p>Not Applicable The development site is not mapped within the Coastal Scenery Area.</p>

8.2.7 Natural Areas Overlay Code

The proposed development is assessable against the provisions of the Natural Areas Overlay Code of the Douglas Shire Planning Scheme 2018.



8.2.7.3 Criteria for assessment

Table 8.2.7.3.a – Natural areas overlay code – assessable development

Performance outcomes	Acceptable outcomes	Compliance
For self-assessable and assessable development		
Protection of matters of environmental significance		
PO1 Development protects matters of environmental significance.	AO1.1 Development avoids significant impact on the relevant environmental values. or AO1.2 A report is prepared by an appropriately qualified person demonstrating to the satisfaction of the assessment manager, that the development site does not contain any matters of state and local environmental significance. or AO1.3 Development is located, designed and operated to mitigate significant impacts on environmental values. For example, a report certified by an appropriately qualified person demonstrating to the satisfaction of the assessment manager, how the proposed development mitigates impacts, including on water quality, hydrology and biological processes.	Complies The proposed development is limited to the minimum clearing necessary to accommodate the approved dwelling house, access driveway and associated structures within a precinct where a dwelling is anticipated, and is sited and designed to mitigate impacts on mapped MSES environmental values and ecological processes through containment of disturbance, retention of surrounding vegetation, and avoidance of broader site fragmentation as demonstrated on the submitted plans.

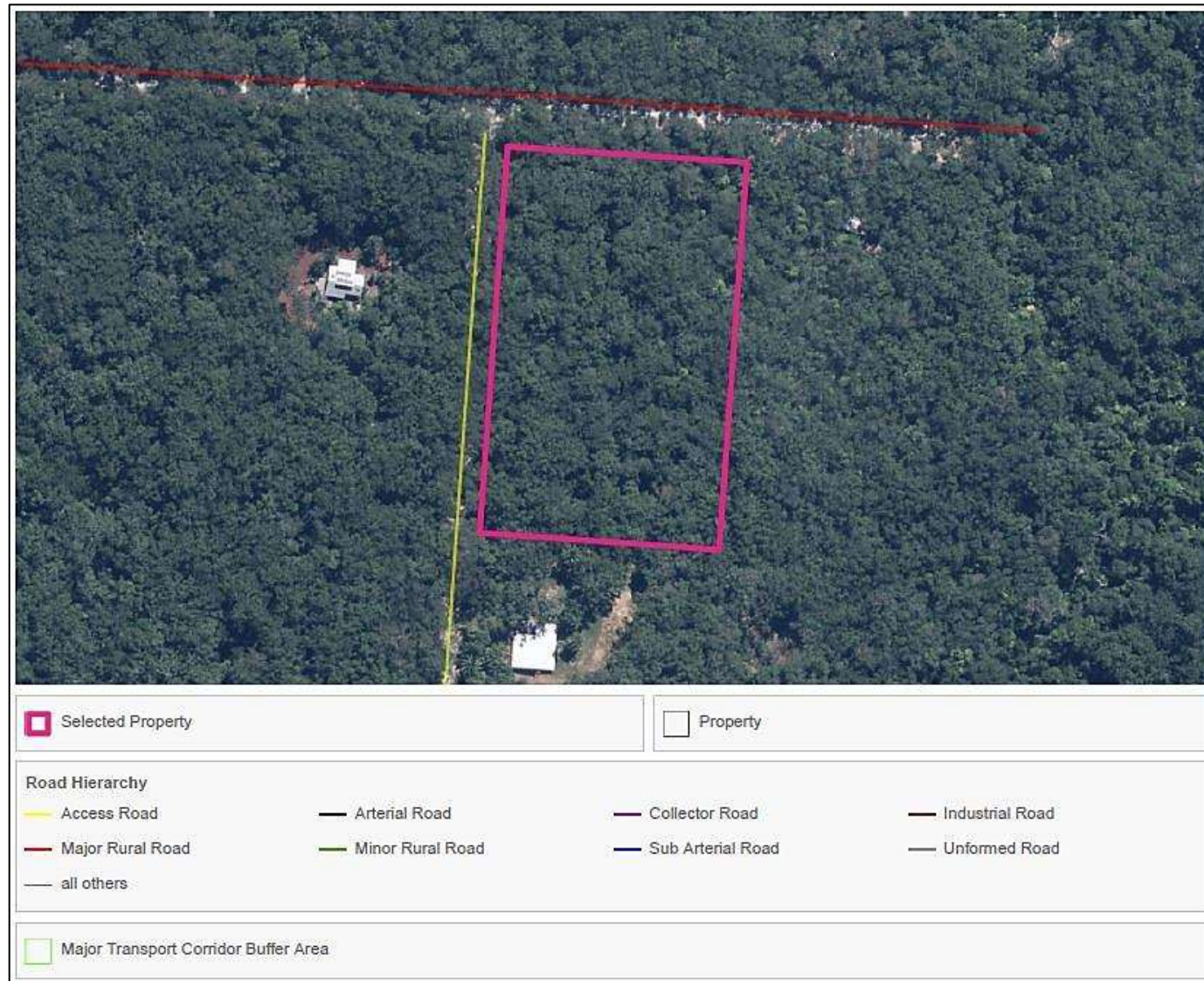
Management of impacts on matters of environmental significance		
<p>PO2 Development is located, designed and constructed to avoid significant impacts on matters of environmental significance.</p>	<p>AO2 The design and layout of development minimises adverse impacts on ecologically important areas by:</p> <ul style="list-style-type: none"> (a) focusing development in cleared areas to protect existing habitat; (b) utilising design to consolidate density and preserve existing habitat and native vegetation; (c) aligning new property boundaries to maintain ecologically important areas; (d) ensuring that alterations to natural landforms, hydrology and drainage patterns on the development site do not negatively affect ecologically important areas; (e) ensuring that significant fauna habitats are protected in their environmental context; and (f) incorporating measures that allow for the safe movement of fauna through the site. 	<p>Complies The development is sited and designed to confine disturbance to the minimum area required for a permitted dwelling and access, retains the majority of the site in a vegetated state, avoids unnecessary alteration to landform, hydrology and drainage patterns, preserves surrounding habitat connectivity, and maintains ecological function and fauna movement across the site, thereby avoiding significant impacts on matters of environmental significance.</p>
<p>PO3 An adequate buffer to areas of state environmental significance is provided and maintained.</p>	<p>AO3.1 A buffer for an area of state environmental significance (Wetland protection area) has a minimum width of:</p> <ul style="list-style-type: none"> (a) 100 metres where the area is located outside Urban areas; or (b) 50 metres where the area is located within a Urban areas. <p>or</p> <p>AO3.2 A buffer for an area of state environmental significance is applied and maintained, the width of which is supported by an evaluation of environmental values, including the function and threats to matters of environmental significance.</p>	<p>Complies The proposed Dwelling and associated works are located outside the mapped wetland protection area and do not encroach into or disturb the wetland buffer, with separation and site layout maintaining the functional integrity of the area of state environmental significance as demonstrated on the submitted plans.</p>

<p>PO4 Wetland and wetland buffer areas are maintained, protected and restored.</p> <p>Note – Wetland buffer areas are identified in AO3.1.</p>	<p>AO4.1 Native vegetation within wetlands and wetland buffer areas is retained.</p> <p>AO4.2 Degraded sections of wetlands and wetland buffer areas are revegetated with endemic native plants in patterns and densities which emulate the relevant regional ecosystem.</p>	<p>Complies Native vegetation within the wetland and associated buffer is retained, with no disturbance proposed and no works occurring within these areas.</p>
<p>PO5 Development avoids the introduction of non-native pest species (plant or animal), that pose a risk to ecological integrity.</p>	<p>AO5.1 Development avoids the introduction of non-native pest species.</p> <p>AO5.2 The threat of existing pest species is controlled by adopting pest management practices for long-term ecological integrity.</p>	<p>Complies The proposed development avoids the introduction of non-native pest species and will manage any existing pest species through standard construction and site management practices to protect long-term ecological integrity.</p>
<p>Ecological connectivity</p>		
<p>PO6 Development protects and enhances ecological connectivity and/or habitat extent.</p>	<p>AO6.1 Development retains native vegetation in areas large enough to maintain ecological values, functions and processes.</p> <p>and</p> <p>AO6.2 Development within an ecological corridor rehabilitates native vegetation.</p> <p>and</p> <p>AO6.3 Development within a conservation corridor mitigates adverse impacts on native fauna, feeding, nesting, breeding and roosting sites and native fauna movements.</p>	<p>Complies The proposed development retains the majority of native vegetation to maintain ecological values and functions and is designed to minimise adverse impacts on native fauna habitat and movement within the broader vegetated landscape.</p>

<p>PO7 Development minimises disturbance to matters of state environmental significance (including existing ecological corridors).</p>	<p>A07.1 Development avoids shading of vegetation by setting back buildings by a distance equivalent to the height of the native vegetation.</p> <p>and</p> <p>A07.2 Development does not encroach within 10 metres of existing riparian vegetation and watercourses.</p>	<p>Complies Buildings and works are sited to avoid shading impacts on native vegetation and do not encroach within 10 metres of existing riparian vegetation or watercourses.</p>
<p>Waterways in an urban area</p>		
<p>PO8 Development is set back from waterways to protect and maintain:</p> <ul style="list-style-type: none"> (a) water quality; (b) hydrological functions; (c) ecological processes; (d) biodiversity values; (e) riparian and in-stream habitat values and connectivity; (f) in-stream migration. 	<p>A08.1 Where a waterway is contained within an easement or a reserve required for that purpose, development does not occur within the easement or reserve;</p> <p>or</p> <p>A08.2 Development does not occur on the part of the site affected by the waterway corridor.</p> <p>Note – Waterway corridors are identified within Table 8.2.7.3.b.</p>	<p>Not Applicable The proposed development does not involve Waterways in an Urban Area.</p>
<p>Waterways in a non-urban area</p>		
<p>PO9 Development is set back from waterways to protect and maintain:</p> <ul style="list-style-type: none"> (a) water quality; (b) hydrological functions; (c) ecological processes; (d) biodiversity values; (e) riparian and in-stream habitat values and connectivity; (f) in-stream migration. 	<p>A09 Development does not occur on that part of the site affected by a waterway corridor.</p> <p>Note – Waterway corridors are identified within Table 8.2.7.3.b.</p>	<p>Not Applicable The proposed development does not involve Waterways in a Non-urban Area.</p>

8.2.10 Transport Network Overlay Code

The proposed development is assessable against the provisions of the Transport Network Overlay Code of the Douglas Shire Planning Scheme 2018.



8.2.10.3 Criteria for assessment

Table 8.2.10.3.a – Transport network overlay code – assessable development

Performance outcomes	Acceptable outcomes	Compliance
For assessable development		
<p>PO1 Development supports the road hierarchy for the region.</p> <p>Note -A Traffic impact assessment report prepared in accordance with Planning scheme policy SC6.10 - Parking and access is one way to demonstrate achievement of the Performance Outcomes.</p>	<p>AO1.1 Development is compatible with the intended role and function of the transport network as identified on the Transport network overlay maps contained in Schedule 2.</p> <p>AO1.2 Development does not compromise the safety and efficiency of the transport network.</p> <p>AO1.3 Development is designed to provide access via the lowest order road, where legal and practicable access can be provided to that road.</p>	<p>Complies The proposed development is compatible with the intended role of the transport network, does not compromise safety or efficiency, and utilises the Collector Road frontage for lawful and practical site access consistent with the transport network overlay.</p>
<p>PO2 Transport infrastructure is provided in an integrated and timely manner.</p> <p>Note - A Traffic impact assessment report prepared in accordance with Planning scheme policy SC6.10 - Parking and access is one way to demonstrate achievement of the Performance Outcomes.</p>	<p>AO2 Development provides infrastructure (including improvements to existing infrastructure) in accordance with: (e) the Transport network overlay maps contained in Schedule 2; (a) any relevant Local Plan.</p> <p>Note – The Translink Public Transport Infrastructure Manual provides guidance on the design of public transport facilities.</p>	<p>Not Applicable The development site fronts a gravel road in a remote setting with minimal services. No new infrastructure is required.</p>
<p>PO3 Development involving sensitive land uses within a major transport corridor buffer area is located, designed and maintained to avoid or mitigate adverse impacts on amenity for the sensitive land use.</p>	<p>AO3 No acceptable outcomes are prescribed.</p> <p>Note – Part 4.4 of the Queensland Development Code provides requirements for residential building design in a designated transport noise corridor.</p>	<p>Not Applicable The proposed development is not a sensitive use and is not located within a major transport corridor buffer area.</p>

<p>PO4 Development does not compromise the intended role and function or safety and efficiency of major transport corridors.</p> <p>Note - A Traffic impact assessment report prepared in accordance with Planning scheme policy SC6.10 - Parking and access is one way to demonstrate achievement of the Performance Outcomes.</p>	<p>AO4.1 Development is compatible with the role and function (including the future role and function) of major transport corridors.</p> <p>AO4.2 Direct access is not provided to a major transport corridor where legal and practical access from another road is available.</p> <p>AO4.3 Intersection and access points associated with major transport corridors are located in accordance with: (a) the Transport network overlay maps contained in Schedule 2; and (b) any relevant Local Plan.</p> <p>AO4.4 The layout of development and the design of the associated access is compatible with existing and future boundaries of the major transport corridor or major transport facility.</p>	<p>Not Applicable The proposed development is not located within a major transport corridor buffer area.</p>
<p>PO5 Development retains and enhances existing vegetation between a development and a major transport corridor, so as to provide screening to potential noise, dust, odour and visual impacts emanating from the corridor.</p>	<p>AO5 No acceptable outcomes are prescribed.</p>	<p>Not Applicable The proposed development is not located within a major transport corridor buffer area.</p>

Pedestrian and cycle network		
PO6 Lot reconfiguration assists in the implementation of the pedestrian and cycle movement network to achieve safe, attractive and efficient pedestrian and cycle networks.	AO6.1 Where a lot is subject to, or adjacent to an element of the pedestrian and cycle Movement network (identified on the Transport network overlay maps contained in Schedule 2) the specific location of this element of the pedestrian and cycle network is incorporated in the design of the lot layout. AO6.2 The element of the pedestrian and cycle network is constructed in accordance with the Design Guidelines set out in Sections D4 and D5 of the Planning scheme policy SC6.5 – FNQROC Regional Development Manual.	Not Applicable The proposed development does not involve a lot reconfiguration.

9.3.8 Dwelling House Code

The proposed development is assessable against the provisions of the Dwelling House Code of the Douglas Shire Planning Scheme 2018.

9.3.8.3 Criteria for assessment

Table 9.3.8.3.a – Dwelling house code – assessable development

Performance outcomes	Acceptable outcomes	
For self-assessable and assessable development		
PO1 Secondary dwellings: (a) are subordinate, small-scaled dwellings; (b) contribute to a safe and pleasant living environment; (c) are established on appropriate sized lots; (d) do not cause adverse impacts on adjoining properties.	AO1 The secondary dwelling: (a) has a total gross floor area of not more than 80m ² , excluding a single carport or garage; (b) is occupied by 1 or more members of the same household as the dwelling house.	Not Applicable The proposed development does not involve a Secondary Dwelling.
PO2 Resident's vehicles are accommodated on- site.	AO2 Development provides a minimum number of on-site car parking spaces comprising: (a) 2 car parking spaces which may be in tandem for the dwelling house; (b) 1 car parking space for any secondary dwelling on the same site.	Complies The proposed development includes 2 parking spaces for the Dwelling. The proposed development does not involve a Secondary Dwelling.
PO3 Development is of a bulk and scale that: (a) is consistent with and complements the built form and front boundary setbacks prevailing in the street and local area; (b) does not create an overbearing development for adjoining dwelling houses and their private open space; (c) does not impact on the amenity and privacy of residents in adjoining dwelling houses; (d) ensures that garages do not dominate the appearance of the street.	AO3 Development meets the acceptable outcome for building height in the applicable Zone code associated with the site.	Complies The proposed development meets the acceptable outcome for the maximum building height of 8.5m in the applicable Conservation Zone Code.

9.4.1 Access, Parking and Servicing Code

The proposed development is assessable against the provisions of the Access, Parking and Servicing Code of the Douglas Shire Planning Scheme 2018.

9.4.1.3 Criteria for assessment

Table 9.4.1.3.a – Access, parking and servicing code – assessable development

Performance outcomes	Acceptable outcomes
For self-assessable and assessable development	
<p>PO1 Sufficient on-site car parking is provided to cater for the amount and type of vehicle traffic expected to be generated by the use or uses of the site, having particular regard to:</p> <ul style="list-style-type: none"> (a) the desired character of the area; (b) the nature of the particular use and its specific characteristics and scale; (c) the number of employees and the likely number of visitors to the site; (d) the level of local accessibility; (e) the nature and frequency of any public transport serving the area; (f) whether or not the use involves the retention of an existing building and the previous requirements for car parking for the building (g) whether or not the use involves a heritage building or place of local significance; (h) whether or not the proposed use involves the retention of significant vegetation. 	<p>AO1.1 The minimum number of on-site vehicle parking spaces is not less than the number prescribed in Table 9.4.1.3.b for that particular use or uses.</p> <p>Note - Where the number of spaces calculated from the table is not a whole number, the number of spaces provided is the next highest whole number.</p> <p>AO1.2 Car parking spaces are freely available for the parking of vehicles at all times and are not used for external storage purposes, the display of products or rented/sub-leased.</p> <p>AO1.3 Parking for motorcycles is substituted for ordinary vehicle parking to a maximum level of 2% of total ordinary vehicle parking.</p> <p>AO1.4 For parking areas exceeding 50 spaces parking, is provided for recreational vehicles as a substitute for ordinary vehicle parking to a maximum of 5% of total ordinary vehicle parking rate.</p> <p>Complies The proposed development provides the minimum number of on-site vehicle parking spaces required for the use, with parking spaces available at all times for vehicle parking purposes only.</p>

	<p>AO1.3 Parking for motorcycles is substituted for ordinary vehicle parking to a maximum level of 2% of total ordinary vehicle parking.</p> <p>AO1.4 For parking areas exceeding 50 spaces parking, is provided for recreational vehicles as a substitute for ordinary vehicle parking to a maximum of 5% of total ordinary vehicle parking rate.</p>	
<p>PO2 Vehicle parking areas are designed and constructed in accordance with relevant standards.</p>	<p>AO2 Vehicle parking areas are designed and constructed in accordance with Australian Standard: (a) AS2890.1; (b) AS2890.3; (c) AS2890.6.</p>	<p>Complies Vehicle parking areas will be designed and constructed in accordance with relevant standards.</p>
<p>PO3 Access points are designed and constructed: (a) to operate safely and efficiently; (b) to accommodate the anticipated type and volume of vehicles (c) to provide for shared vehicle (including cyclists) and pedestrian use, where appropriate; (d) so that they do not impede traffic or pedestrian movement on the adjacent road area; (e) so that they do not adversely impact upon existing intersections or future road or intersection improvements; (f) so that they do not adversely impact current and future on-street parking arrangements; (g) so that they do not adversely impact on existing services within the road reserve adjacent to the site; (h) so that they do not involve ramping, cutting of the adjoining road reserve or any built structures (other than what may be necessary to cross over a stormwater channel).</p>	<p>AO3.1 Access is limited to one access cross over per site and is an access point located, designed and constructed in accordance with: (a) Australian Standard AS2890.1; (b) Planning scheme policy SC6.5 – FNQROC Regional Development Manual - access crossovers.</p> <p>AO3.2 Access, including driveways or access crossovers: (a) are not placed over an existing: (i) telecommunications pit; (ii) stormwater kerb inlet; (iii) sewer utility hole; (iv) water valve or hydrant. (b) are designed to accommodate any adjacent footpath; (c) adhere to minimum sight distance requirements in accordance with AS2980.1.</p>	<p>Complies The proposed development will provide a single lawful access crossover designed and constructed in accordance with AS 2890.1 and Planning scheme policy SC6.5, avoids conflicts with existing services, meets sight distance requirements, follows natural site contours within permitted gradients, contains all grade transitions within the lot, incorporates appropriate stormwater drainage, and utilises surface materials consistent with the existing streetscape character.</p>

	<p>AO3.3 Driveways are:</p> <ul style="list-style-type: none"> (a) designed to follow as closely as possible to the existing contours, but are no steeper than the gradients outlined in Planning scheme policy SC6.5 – FNQROC Regional Development Manual; (b) constructed such that where there is a grade shift to 1 in 4 (25%), there is an area with a grade of no more than 1 in 6 (16.6%) prior to this area, for a distance of at least 5 metres; (c) on gradients greater than 1 in 6 (16.6%) driveways are constructed to ensure the cross-fall of the driveway is one way and directed into the hill, for vehicle safety and drainage purposes; (d) constructed such that the transitional change in grade from the road to the lot is fully contained within the lot and not within the road reserve; (e) designed to include all necessary associated drainage that intercepts and directs storm water runoff to the storm water drainage system. <p>AO3.4 Surface construction materials are consistent with the current or intended future streetscape or character of the area and contrast with the surface construction materials of any adjacent footpath.</p>	
<p>PO4 Sufficient on-site wheel chair accessible car parking spaces are provided and are identified and reserved for such purposes.</p>	<p>AO4 The number of on-site wheel chair accessible car parking spaces complies with the rates specified in AS2890 Parking Facilities.</p>	<p>Not Applicable The proposed development does not require accessibility parking.</p>
<p>PO5 Access for people with disabilities is provided to the building from the parking area and from the street.</p>	<p>AO5 Access for people with disabilities is provided in accordance with the relevant Australian Standard.</p>	<p>Not Applicable The proposed development does not require accessibility parking.</p>

<p>PO6 Sufficient on-site bicycle parking is provided to cater for the anticipated demand generated by the development.</p>	<p>A06 The number of on-site bicycle parking spaces complies with the rates specified in Table 9.4.1.3.b.</p>	<p>Not Applicable The proposed development does not require on-site bicycle parking.</p>
<p>PO7 Development provides secure and convenient bicycle parking which: (a) for visitors is obvious and located close to the building's main entrance; (b) for employees is conveniently located to provide secure and convenient access between the bicycle storage area, end-of-trip facilities and the main area of the building; (c) is easily and safely accessible from outside the site.</p>	<p>A07.1 Development provides bicycle parking spaces for employees which are co-located with end-of-trip facilities (shower cubicles and lockers);</p> <p>A07.2 Development ensures that the location of visitor bicycle parking is discernible either by direct view or using signs from the street.</p> <p>A07.3 Development provides visitor bicycle parking which does not impede pedestrian movement.</p>	<p>Not Applicable The proposed development does not require on-site bicycle parking.</p>
<p>PO8 Development provides walking and cycle routes through the site which: (a) link to the external network and pedestrian and cyclist destinations such as schools, shopping centres, open space, public transport stations, shops and local activity centres along the safest, most direct and convenient routes; (b) encourage walking and cycling; (c) ensure pedestrian and cyclist safety.</p>	<p>A08 Development provides walking and cycle routes which are constructed on the carriageway or through the site to: (a) create a walking or cycle route along the full frontage of the site; (b) connect to public transport and existing cycle and walking routes at the frontage or boundary of the site.</p>	<p>Not Applicable The proposed development does not require walking and cycle routes.</p>

<p>PO9 Access, internal circulation and on-site parking for service vehicles are designed and constructed:</p> <ul style="list-style-type: none"> (a) in accordance with relevant standards; (b) so that they do not interfere with the amenity of the surrounding area; (c) so that they allow for the safe and convenient movement of pedestrians, cyclists and other vehicles. 	<p>AO9.1 Access driveways, vehicle manoeuvring and on-site parking for service vehicles are designed and constructed in accordance with AS2890.1 and AS2890.2.</p> <p>AO9.2 Service and loading areas are contained fully within the site.</p> <p>AO9.3 The movement of service vehicles and service operations are designed so they:</p> <ul style="list-style-type: none"> (a) do not impede access to parking spaces; (b) do not impede vehicle or pedestrian traffic movement. 	<p>Complies Access, internal circulation and on-site parking are designed in accordance with the relevant Australian Standards, are fully contained within the site, and enable safe and convenient service vehicle, pedestrian and vehicle movements without adverse impacts on surrounding amenity.</p>
<p>PO10 Sufficient queuing and set down areas are provided to accommodate the demand generated by the development.</p>	<p>AO10.1 Development provides adequate area on-site for vehicle queuing to accommodate the demand generated by the development where drive through facilities or drop-off/pick-up services are proposed as part of the use, including, but not limited to, the following land uses:</p> <ul style="list-style-type: none"> (a) car wash; (b) child care centre; (c) educational establishment where for a school; (d) food and drink outlet, where including a drive- through facility; (e) hardware and trade supplies, where including a drive-through facility; (f) hotel, where including a drive-through facility; (g) service station. <p>AO10.2 Queuing and set-down areas are designed and constructed in accordance with AS2890.1.</p>	<p>Not Applicable The proposed development is a Dwelling House and does not include drive-through facilities or drop-off/pick-up services.</p>

9.4.4 Filling and Excavation Code

The proposed development is assessable against the provisions of the Filling and Excavation Code of the Douglas Shire Planning Scheme 2018.

9.4.4.3 Criteria for assessment

Table 9.4.4.3.a – Filling and excavation code – for self-assessable and assessable development

Performance outcomes	Acceptable outcomes	Compliance
For self-assessable and assessable development		
Filling and excavation - General		
PO1 All filling and excavation work does not create a detrimental impact on the slope stability, erosion potential or visual amenity of the site or the surrounding area.	AO1.1 The height of cut and/or fill, whether retained or not, does not exceed 2 metres in height. and Cuts in excess of those stated in A1.1 above are separated by benches/ terraces with a minimum width of 1.2 metres that incorporate drainage provisions and screen planting. AO1.2 Cuts are supported by batters, retaining or rock walls and associated benches/terraces are capable of supporting mature vegetation. AO1.3 Cuts are screened from view by the siting of the building/structure, wherever possible. AO1.4 Topsoil from the site is retained from cuttings and reused on benches/terraces. AO1.5 No crest of any cut or toe of any fill, or any part of any retaining wall or structure is closer than 600mm to any boundary of the property, unless the prior written approval of the adjoining landowner has been obtained.	Complies The site is flat and the development requires only minor earthworks, with no retained or un-retained cuts or fills proposed, and stormwater drainage and erosion control managed through compliant site drainage design and standard construction controls as shown on the submitted plans.

	AO1.6 Non-retained cut and/or fill on slopes are stabilised and protected against scour and erosion by suitable measures, such as grassing, landscaping or other protective/aesthetic measures.	
Visual Impact and Site Stability		
PO2 Filling and excavation are carried out in such a manner that the visual/scenic amenity of the area and the privacy and stability of adjoining properties is not compromised.	AO2.1 The extent of filling and excavation does not exceed 40% of the site area, or 500m ² whichever is the lesser, except that AO2.1 does not apply to reconfiguration of 5 lots or more. AO2.2 Filling and excavation does not occur within 2 metres of the site boundary.	Complies Any required filling and excavation will be carried out in such a manner that the visual/scenic amenity of the area and the privacy and stability of adjoining properties is not compromised.
Flooding and drainage		
PO3 Filling and excavation does not result in a change to the run off characteristics of a site which then have a detrimental impact on the site or nearby land or adjacent road reserves.	AO3.1 Filling and excavation does not result in the ponding of water on a site or adjacent land or road reserves. AO3.2 Filling and excavation does not result in an increase in the flow of water across a site or any other land or road reserves. AO3.3 Filling and excavation does not result in an increase in the volume of water or concentration of water in a watercourse and overland flow paths. AO3.4 Filling and excavation complies with the specifications set out in Planning Scheme Policy No SC5 – FNQROC Development Manual.	Complies Minor filling and excavation associated with the flat site do not alter existing runoff characteristics, cause ponding, increase flow rates or concentrations, or adversely affect adjoining land or road reserves, with stormwater managed in accordance with Planning Scheme Policy SC5 – FNQROC Development Manual as shown on the submitted plans.
Water quality		
PO4 Filling and excavation does not result in a reduction of the water quality of receiving waters.	AO4 Water quality is maintained to comply with the specifications set out in Planning Scheme Policy No SC5 – FNQROC Development Manual.	Complies Filling and excavation will not result in a reduction of the water quality of receiving waters.
Infrastructure		
PO5 Excavation and filling does not impact on Public Utilities.	AO5 Excavation and filling is clear of the zone of influence of public utilities.	Complies Excavation and filling will not impact on Public Utilities.

9.4.6 Landscaping Code

The proposed development is assessable against the provisions of the Landscaping Code of the Douglas Shire Planning Scheme 2018.

9.4.6.3 Criteria for assessment

Table 9.4.6.3.a – Landscaping code –assessable development

Performance outcomes	Acceptable outcomes	Compliance
For self-assessable and assessable development		
Landscape design		
PO1 Development provides landscaping that contributes to and creates a high quality landscape character for the site, street and local areas of the Shire by: <ul style="list-style-type: none"> (a) promoting the Shire's character as a tropical environment; (b) softening the built form of development; (c) enhancing the appearance of the development from within and outside the development and makes a positive contribution to the streetscape; (d) screening the view of buildings, structures, open storage areas, service equipment, machinery plant and the like from public places, residences and other sensitive development; (e) where necessary, ensuring the privacy of habitable rooms and private outdoor recreation areas; (f) contributing to a comfortable living environment and improved energy efficiency, by providing shade to reduce glare and heat absorption and re-radiation from buildings, parking areas and other hard surfaces; (g) ensuring private outdoor recreation space is useable; (h) providing long term soil erosion protection; (i) providing a safe environment; (j) integrating existing vegetation and other natural features of the premises into the development; 	AO1 Development provides landscaping: <ul style="list-style-type: none"> (a) in accordance with the minimum area, dimensions and other requirements of applicable development codes; (b) that is designed and planned in a way that meets the guidelines for landscaping outlined in Planning Scheme Policy SC6.7 – Landscaping; (c) that is carried out and maintained in accordance with a landscaping plan that meets the guidelines for landscaping outlined in Planning Scheme Policy SC6.7 – Landscaping. <p>Note - Planning scheme policy SC6.7 – Landscaping provides guidance on meeting the outcomes of this code. A landscape plan submitted for approval in accordance with the Planning policy is one way to achieve this outcome.</p>	Complies No additional landscaping is proposed, with existing vegetation retained wherever not required to be cleared for the approved development, thereby satisfying landscaping outcomes without the need for a separate landscaping plan.

(k) not adversely affecting vehicular and pedestrian sightlines and road safety.		
For assessable development		
PO2 Landscaping contributes to a sense of place, is functional to the surroundings and enhances the streetscape and visual appearance of the development.	A02.1 No acceptable outcomes are specified. Note - Landscaping is in accordance with the requirements specified in Planning scheme policy SC6.7 – Landscaping. A02.2 Tropical urbanism is incorporated into building design. Note – ‘Tropical urbanism’ includes many things such as green walls, green roofs, podium planting and vegetation incorporated into the design of a building.	Complies The retention of existing native vegetation maintains the established landscape character, contributes to a sense of place, and provides an appropriate streetscape and visual outcome without the need for additional landscaping works.
PO3 Development provides landscaping that is , as far as practical, consistent with the existing desirable landscape character of the area and protects trees, vegetation and other features of ecological, recreational, aesthetic and cultural value.	A03.1 Existing vegetation on site is retained and incorporated into the site design, wherever possible, utilising the methodologies and principles outline in AS4970-2009 Protection of Trees on Development Sites. A03.2 Mature vegetation on the site that is removed or damaged during development is replaced with advanced species. A03.3 Where there is an existing landscape character in a street or locality which results from existing vegetation, similar species are incorporated into new development. A03.4 Street trees are species which enhance the landscape character of the streetscape, with species chosen from the Planning scheme policy SC6.7 – Landscaping.	Complies Existing vegetation is retained and incorporated into the site design wherever practicable, with clearing limited to that required for the dwelling and access, and no removal of mature vegetation triggering replacement or new street planting, consistent with the established landscape character of the locality.
PO4 Plant species are selected with consideration to the scale and form of development, screening, buffering, streetscape, shading and the locality of the area.	A04 Species are selected in accordance with Planning scheme policy SC6.7 – Landscaping.	Not Applicable No new planting or landscaping is proposed as part of the development, with existing vegetation retained wherever practicable.

PO5 Shade planting is provided in car parking areas where uncovered or open, and adjacent to driveways and internal roadways.	AO5 Species are selected in accordance with Planning scheme policy SC6.7 – Landscaping.	Not Applicable The development is a Dwelling House and does not include uncovered or open car parking areas or internal roadways requiring shade planting.
PO6 Landscaped areas are designed in order to allow for efficient maintenance.	AO6.1 A maintenance program is undertaken in accordance with Planning scheme policy SC6.7 – Landscaping. AO6.2 Tree maintenance is to have regard to the 'Safe Useful Life Expectancy of Trees (SULE). Note – It may be more appropriate to replace trees with a SULE of less than 20 years (as an example), and replant with younger healthy species.	Not Applicable No new landscaped areas or tree planting are proposed, and existing vegetation is retained without alteration, therefore a landscaping or tree maintenance program is not required.
PO7 Podium planting is provided with appropriate species for long term survival and ease of maintenance, with beds capable of proper drainage.	AO7.1 Podium planting beds are provided with irrigation and are connected to stormwater infrastructure to permit flush out. AO7.2 Species of plants are selected for long term performance designed to suit the degree of access to podiums and roof tops for maintenance.	Not Applicable The proposed development does not include podiums, rooftop planting or podium planting beds.
PO8 Development provides for the removal of all weed and invasive species and implement on-going measures to ensure that weeds and invasive species do not re-infest the site and nearby premises.	AO8 Weed and invasive species detected on a development site are removed in accordance with a management plan prepared by an appropriately qualified person.	Complies The proposed development will provide for the removal of all weed and invasive species and implement on-going measures to ensure that weeds and invasive species do not re-infest the site and nearby premises.
PO9 The landscape design enhances personal safety and reduces the potential for crime and vandalism.	AO9 No acceptable outcomes are specified. Note - Planning scheme policy SC6.3 – Crime prevention through environmental design (CPTED) provides guidance on meeting this outcome.	Complies The siting of the dwelling and retention of vegetation maintain clear sightlines and support personal safety.
PO10 The location and type of plant species does not adversely affect the function and accessibility of services and facilities and service areas.	AO10 Species are selected in accordance with Planning scheme policy SC6.7 – Landscaping.	Not Applicable No new planting is proposed and existing vegetation is retained without affecting the function or accessibility of services or facilities.

9.4.9 Vegetation Management Code

The proposed development is assessable against the provisions of the Vegetation Management Code of the Douglas Shire Planning Scheme 2018.

9.4.9.3 Criteria for assessment

Table 9.4.9.3.a – Vegetation management –assessable development

Performance outcomes	Acceptable outcomes	Compliance
For self-assessable and assessable development		
PO1 Vegetation is protected to ensure that: <ul style="list-style-type: none"> (a) the character and amenity of the local area is maintained; (b) vegetation damage does not result in fragmentation of habitats; (c) vegetation damage is undertaken in a sustainable manner; (d) the Shire's biodiversity and ecological values are maintained and protected; (e) vegetation of historical, cultural and / or visual significance is retained; (f) vegetation is retained for erosion prevention and slope stabilisation. 	AO1.1 Vegetation damage is undertaken by a statutory authority on land other than freehold land that the statutory authority has control over; or AO1.2 Vegetation damage is undertaken by or on behalf of the local government on land controlled, owned or operated by the local government; or AO1.3 Vegetation damage, other than referenced in AO1.1 or AO1.2 is the damage of: <ul style="list-style-type: none"> (a) vegetation declared as a pest pursuant to the <i>Land Protection (Pest and Stock Route Management) Act 2002</i>; or (b) vegetation identified within the local government's register of declared plants pursuant to the local government's local laws; or (c) vegetation is located within a Rural zone and the trunk is located within ten metres of an existing building; or (d) vegetation is located within the Conservation zone or Environmental management zone and the trunk is located within three metres of an existing or approved structure, not including a boundary fence; 	Complies Vegetation clearing is limited to that reasonably necessary to give effect to the approved dwelling and associated works, with the majority of vegetation retained to maintain local character, biodiversity, habitat connectivity, visual amenity and erosion stability, and without fragmentation of ecological values.

	<p>or</p> <p>AO1.4 Vegetation damage that is reasonably necessary for carrying out work that is:</p> <ul style="list-style-type: none"> (a) authorised or required under legislation or a local law; (b) specified in a notice served by the local government or another regulatory authority; <p>or</p> <p>AO1.5 Vegetation damage for development where the damage is on land the subject of a valid development approval and is necessary to give effect to the development approval;</p> <p>or</p> <p>AO1.6 Vegetation damage is in accordance with an approved Property Map of Assessable Vegetation issued under the Vegetation Management Act 1999;</p> <p>or</p> <p>AO1.7 Vegetation damage is essential to the maintenance of an existing fire break;</p> <p>or</p> <p>AO1.8 Vegetation damage is essential to prevent interference to overhead service cabling;</p> <p>or</p> <p>AO1.9 Vegetation damage is for an approved Forest practice, where the lot is subject to a scheme approved under the Vegetation Management Act 1999;</p>	
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	<p>or</p> <p>AO1.10 Vegetation damage is undertaken in accordance with section 584 of the Sustainable Planning Act 2009.</p> <p>AO1.11 Vegetation damage where it is necessary to remove one tree in order to protect an adjacent more significant tree (where they are growing close to one another).</p> <p>AO1.12 Private property owners may only remove dead, dying, structurally unsound vegetation following receipt of written advice from, at minimum, a fully qualified Certificate V Arborist. A copy of the written advice is to be submitted to Council for its records, a minimum of seven business days prior to the vegetation damage work commencing.</p>	
<p>PO2 Vegetation damaged on a lot does not result in a nuisance</p>	<p>AO2.1 Damaged vegetation is removed and disposed of at an approved site;</p> <p>or</p> <p>AO2.2 Damaged vegetation is mulched or chipped if used onsite.</p>	<p>Complies Damaged vegetation will be removed and disposed of at an approved site or mulched or chipped if used onsite.</p>
For assessable development		
<p>PO3 Vegetation damage identified on the Places of significance overlay lot does not result in a negative impact on the site's heritage values.</p>	<p>AO3 No acceptable outcomes are prescribed.</p>	<p>Complies Vegetation clearing is limited to that necessary to accommodate the development and does not adversely affect the heritage values of the Places of Significance overlay.</p>

Drawing List	
Sheet Number	Sheet Name
A000	Cover Sheet
A001	Proposed 3D (9am)
A002	Pr. Internal 3D - 1
A003	Pr. Internal 3D - 2
A004	Site Plan
A005	Site Drainage
A006	Site Vegetation
A007	Pr. Grnd Flr.
A008	Pr. Pool
A009	Elevations - 1
A010	Elevations - 2
A011	Int. Elevations - 1
A012	Int. Elevations - 2
A013	Gen. Details Sheet
A014	General Notes - 1
A015	General Notes - 2

Area Schedule		
Name	Area	Sqrs
Pr. Structure	144.1 m²	15.5
Pr. Deck	119.9 m²	12.9
Pr. Garage	92.2 m²	9.9
Pr. Porch	73.2 m²	7.9
Pr. Pool	60.8 m²	6.5
Pr. Solar Battery Storage	19.6 m²	2.1
	509.8 m²	54.9

40° PITCH
SELECTED 'SOUTHERLEY' NON-REFLECTIVE COLOURBOND ROOF,
INSTALLED STRICTLY TO MANUFACTURER'S SPECIFICATIONS

25° PITCH
SELECTED 'SOUTHERLEY' NON-REFLECTIVE COLOURBOND ROOF,
INSTALLED STRICTLY TO MANUFACTURER'S SPECIFICATIONS

5° PITCH
SELECTED 'SOUTHERLEY' NON-REFLECTIVE TRIMDECK
ROOF, INSTALLED STRICTLY TO MANUFACTURER'S
SPECIFICATIONS

SELECTED NON-REFLECTIVE AND NON-COMBUSTIBLE
STONE CLADDING, TO COMPLY WITH THE LATEST AS 3959
AND TO BE STRICTLY INSTALLED TO MANUFACTURER'S
SPECIFICATIONS

SELECTED 'SHALE GREY' NON-REFLECTIVE AND NON-COMBUSTIBLE
COLOURBOND WALL, INSTALLED STRICTLY TO MANUFACTURER'S
SPECIFICATIONS



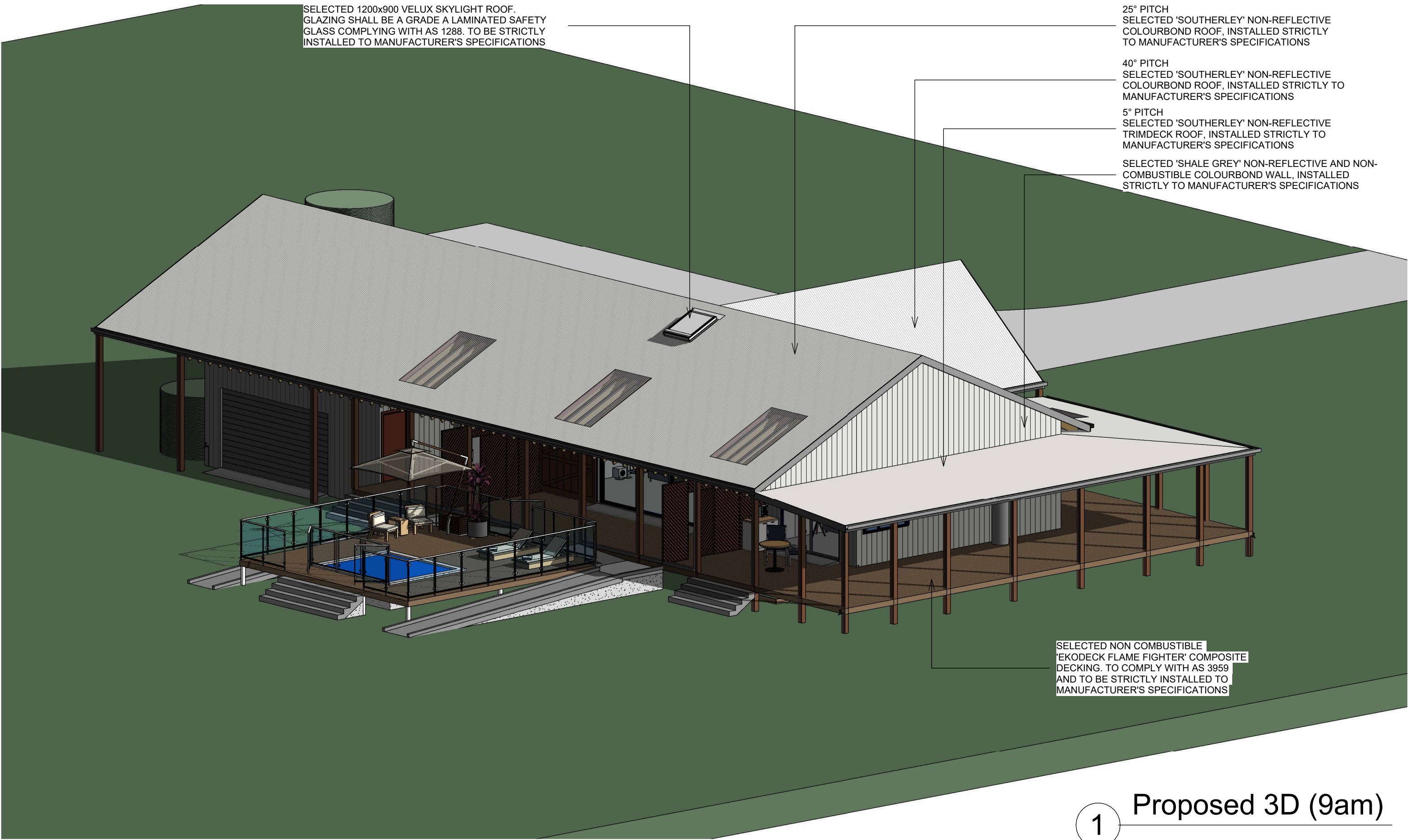
SELECTED NON COMBUSTIBLE
'EKODECK FLAME FIGHTER' COMPOSITE
DECKING. TO COMPLY WITH AS 3959
AND TO BE STRICTLY INSTALLED TO
MANUFACTURER'S SPECIFICATIONS

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Proposed Residence
192 Cedar Road, Cow Bay, QLD

Revision:		Cover Sheet	Sheet:	A000 of 15	Speedy Gomez Building Design M:0415 170 642 E:cinda@speedygomez.com.au
			Status:	Concept	
			Date:	23/01/26	
			Ref:	GGF-131	
			Size:	A3	
			Drawing No. A000		
		Drawn: Cinda Gomes-Franklin QBCC 15153859 DP-AD 39400			

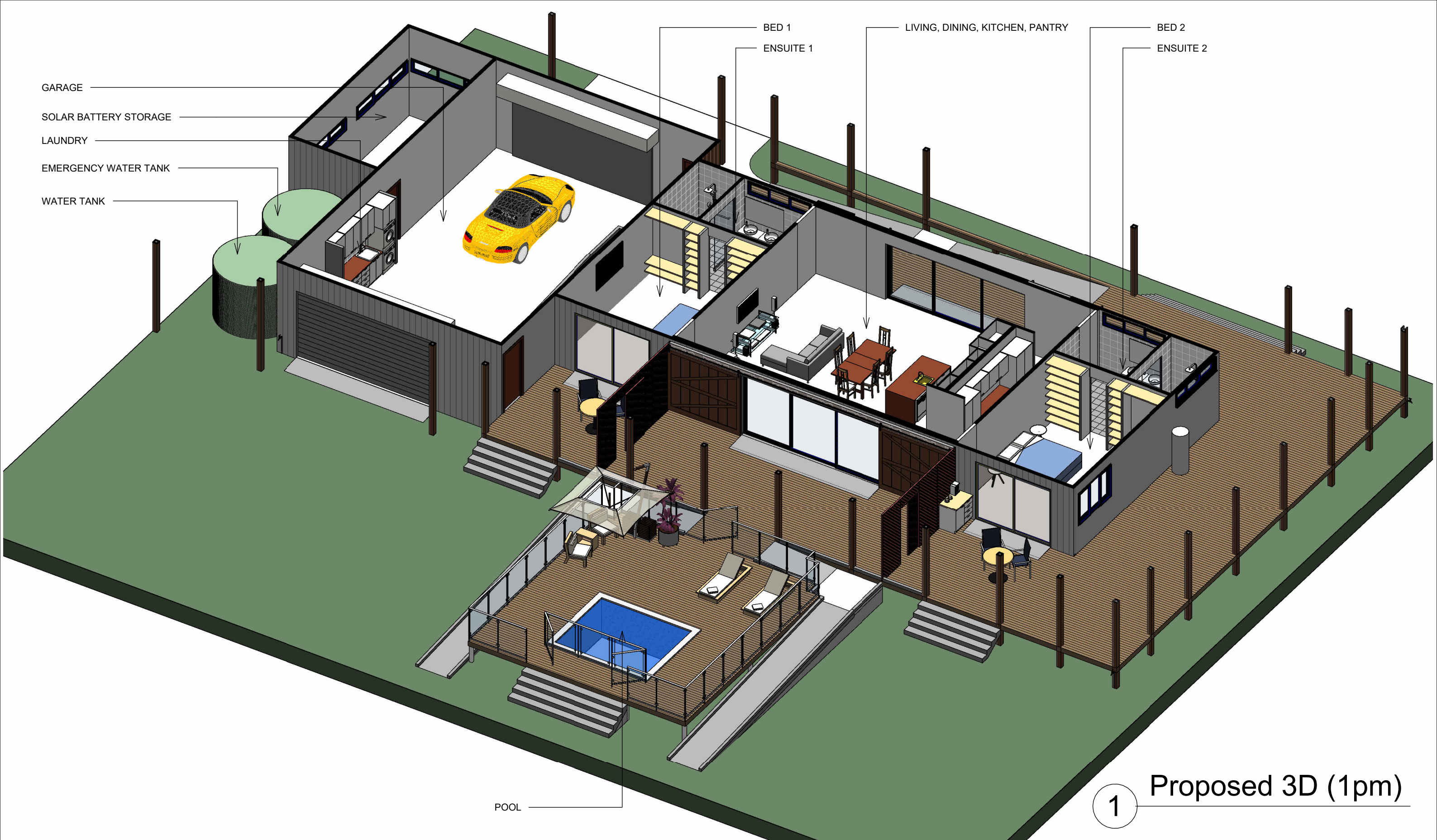


1 Proposed 3D (9am)

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Proposed Residence
192 Cedar Road, Cow Bay, QLD

Revision:		Proposed 3D (9am)		Sheet:	A001 of 15	Speedy Gomez Building Design M:0415 170 642 E:cinda@speedygomez.com.au
		Drawing No.		Status:	Concept	
		A001		Date:	23/01/26	
		Drawn: Cinda Gomes-Franklin		Ref:	GGF-131	
		QBCC 15153859		Size:	A3	
		DP-AD 39400				



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Proposed Residence
192 Cedar Road, Cow Bay, QLD

Revision:		Pr. Internal 3D - 1 Drawing No. A002 <small>Drawn: Cinda Gomes-Franklin QBCC 15153859 DP-AD 39400</small>	Sheet:	A002 of 15	Speedy Gomez Building Design M:0415 170 642 E:cinda@speedygomez.com.au
			Status:	Concept	
			Date:	23/01/26	
			Ref:	GGF-131	
			Size:	A3	



1 Proposed 3D (3pm)

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Proposed Residence
192 Cedar Road, Cow Bay, QLD

Revision:	Pr. Internal 3D - 2		Sheet:	A003 of 15	Speedy Gomez Building Design M:0415 170 642 E:cinda@speedygomez.com.au
	Drawing No.		Status:	Concept	
	A003		Date:	23/01/26	
	Drawn: Cinda Gomes-Franklin		Ref:	GGF-131	
		QBCC 15153859	Size:	A3	
		DP-AD 39400			

LEGEND

-PROPOSED GGE

-PROPOSED STRUCTURE

-BUILDING ENVELOPE

TBC

- TO BE CONFIRMED

C.O.S

- CONFIRM ON SITE

EX.

- EXISTING

PR.

- PROPOSED

INT.

- INTERNAL

EXT.

- EXTERNAL

N.G.L.

- NATURAL GROUND LEVEL

E.G.L

- EXISTING GROUND LEVEL

FFL.

- FINISHED FLOOR LEVEL

FL

- FLOOR

CL

- CEILING

~

- APPROXIMATE

M

- METER/S

SQM/m²

- SQUARE METRES

mm

- MILLIMETRES

MIN.

- MINIMUM

O-H

- OVERHANG

O/H

- OVERHEAD

MAX.

- MAXIMUM

HT.

- HEIGHT

U/S

- UNDERSIDE

SPEC.

- SPECIFICATIONS

MANF.

- MANUFACTURERS

ENGR.

- ENGINEERS

REQ'S

- REQUIRES

B.C.A

- BUILDING CODE OF AUSTRALIA

N.C.C

- NATIONAL CONSTRUCTION CODE

A.S.

- AUSTRALIAN STANDARDS

Q.D.C.

- QUEENSLAND DEVELOPMENT CODE

RP

- REGISTERED PLAN

BDY.

- BOUNDARY

S.P.O.S

- SECLUDED PRIVATE OPEN SPACE

DN

- DOWN

SHW

- SHOWER

W.C

- WATER CLOSET

V.B

- VANITY BASIN

D.W

- DISHWASHER

W.M

- WASHING MACHINE

TR.

- TROUGH

DR.

- DRYER

R.H

- RANGEHOOD

M.W

- MICROWAVE

W.O

- WALL OVEN

U.B.O

- UNDER BENCH OVEN

C.T

- COOKTOP

W.I.R

- WALK IN ROBE

CAB.

- CABINET

WIN

- WINDOW

SL

- SLIDING WINDOW

CAS

- CASEMENT WINDOW

B.F.W

- BI-FOLD WINDOW

AW

- AWNING WINDOW

F

- FIXED WINDOW

FOF

- FIXED / OPEN / FIXED WINDOW

OFO

- OPEN / FIXED / OPEN WINDOW

DR.

- DOORS

SLD

- SLIDING DOOR

STDR

- STACKER DOOR

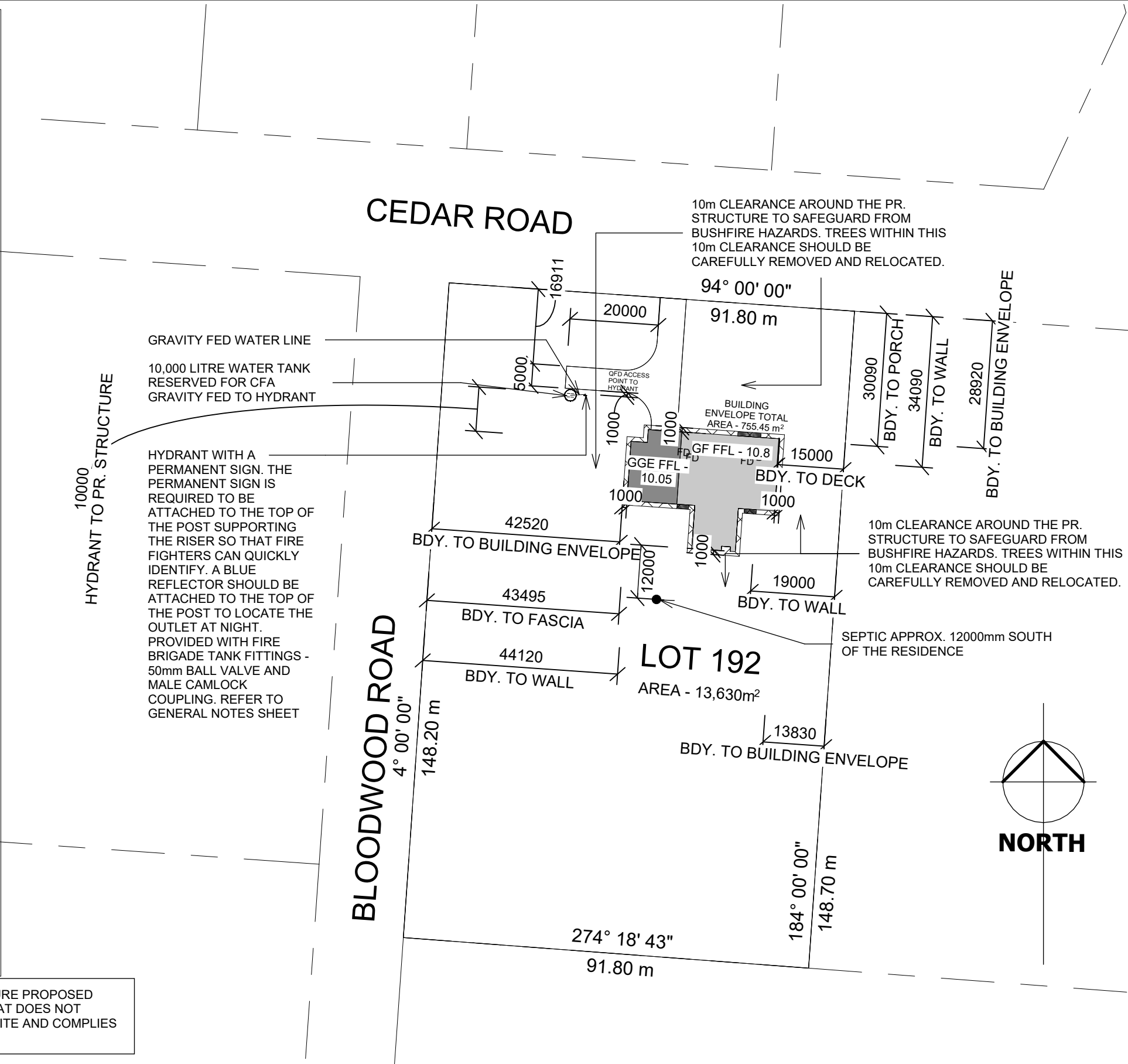
B.F.D

- BI-FOLD DOOR

C.S.D.

- CAVITY SLIDING DOOR

IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE PROPOSED DEVELOPMENT IS LOCATED IN A POSITION THAT DOES NOT INTERFERE WITH THE INFRASTRUCTURE ON SITE AND COMPLIES WITH THE QDC MP1.4.



R.P.D.
LOT 192
192RP738148
LOT AREA 13,630m²
LOCAL AUTHORITY- DOUGLAS SHIRE COUNCIL

DRAINAGE
NEW SOIL & SULLAGE DRAINAGE TO COUNCIL SEWER IN ACCORDANCE WITH WATER SUPPLY & SEWERAGE ACT & AMENDMENTS. NEW STORMWATER DRAINAGE TO BE IN ACCORDANCE WITH A.S. 3500 & LOCAL AUTHORITY GUIDELINES & B.C.A. SPECIFICATIONS

NOTES:
ALL DRAINAGE TO COMPLY WITH B.C.A PART 3.1.2 DRAINAGE.
FALL FINISHED GROUND @1.20 FOR MIN. IM AROUND PERIMETER OF FOUNDATIONS.

ALTERNATIVE METHODS OF SURFACE WATER CONTROL TO BE APPROVED BY PRIVATE CERTIFIER PRIOR TO INSTALLATION.

ALL EARTHWORKS TO BE IN ACCORDANCE WITH B.C.A. PART 3.1.1 OR ENGINEERS SPECIFICATION.

ALL LEVELS, HEIGHTS AND DIMENSIONS TO BE CONFIRMED PRIOR TO START OF ANY WORKS. DRIVEWAYS TO BE CONSTRUCTED IN ACCORDANCE WITH QDC NMP1.1, A.S. 2890 AND LOCAL AUTHORITY REQUIREMENTS.

SURVEY & EXISTING SERVICES
LEVELS SHOWN ARE TO ASSUME DATUM ORIGIN - TBM ON FOOTPATH RL 50.000
THE CONTRACTOR IS TO LOCATE ALL EXISTING SERVICES PRIOR TO ANY EXCAVATION PARTICULARLY ON THE FOOTPATH
ALL DAMAGE TO EXISTING SERVICES SHALL BE MADE GOOD TO THE SATISFACTION OF THE SUPERITENDENT AND THE RELEVANT AUTHORITY AT THE CONTRACTORS EXPENSE
THE CONTRACTOR SHALL NOTIFY THE RELEVANT AUTHORITY IMMEDIATELY WHEN ANY DAMAGE OCCURS.

ENVIRONMENTAL PROTECTION AND SEDIMENT EROSION CONTROL
THE CONTRACTOR IS RESPONSIBLE WITHIN THE LIMITS IMPOSED BY THE WORKS, TO PROTECT AND PRESERVE THE NATURAL ENVIRONMENT AND AVOID POLLUTION
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INCORPORATION OF APPROPRIATE CONTROL MEASURES CONFORMING WITH THE REQUIREMENTS OF THE CARNS CITY COUNCIL INCLUDING HYDROMULCHING BARE EARTH AREAS AS SOON AS POSSIBLE (IF DIRECTED)

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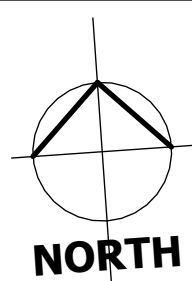
Proposed Residence
192 Cedar Road, Cow Bay, QLD

Revision:		Site Plan	Sheet:	A004 of 15
			Status:	Concept
			Date:	23/01/26
			Ref:	GGF-131
			Size:	A3

Drawn: Cinda Gomes-Franklin
QBCC 15153859
DP-AD 39400

Speedy Gomez
Building Design
M:0415 170 642
E:cinda@speedygomez.com.au

1 Site Proposed
1 : 1000



NORTH

DRAINAGE NOTES:

1.The drainage layout shown is indicative only. all work shall be carried out by a licensed plumber.

2. Plumber to confirm existing plumbing & venting on site.

3. all new work to be constructed in accordance with the current Plumbing and Drainage ACT 2002, Cairns Regional Council regulations and other relevant and current Australian Standards.

4. The contractor shall verify all existing surface and invert levels prior to construction.

5. All Drainage shall be 100mmØ UPVC run at min. Grade of 1:60.

6. Terminate vent pipes if required in accordance with the current AS 3500

Legend :

F.F.L. - Finished Floor Level

E.G.L. - Excavated Ground Level ready for paving

P1 - unipit 200 (225x225x89 grated pit

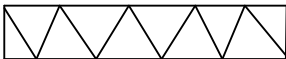
L.P.O.D. - Legal Point Of Discharge

S.W.D. - 90Ømm P.V.C. Storm Water Drain

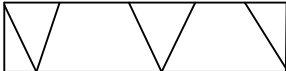
D.P. - Down Pipe

R.H. - Rain head

B.G. - 300mm wide box gutter



45° Cut Batter



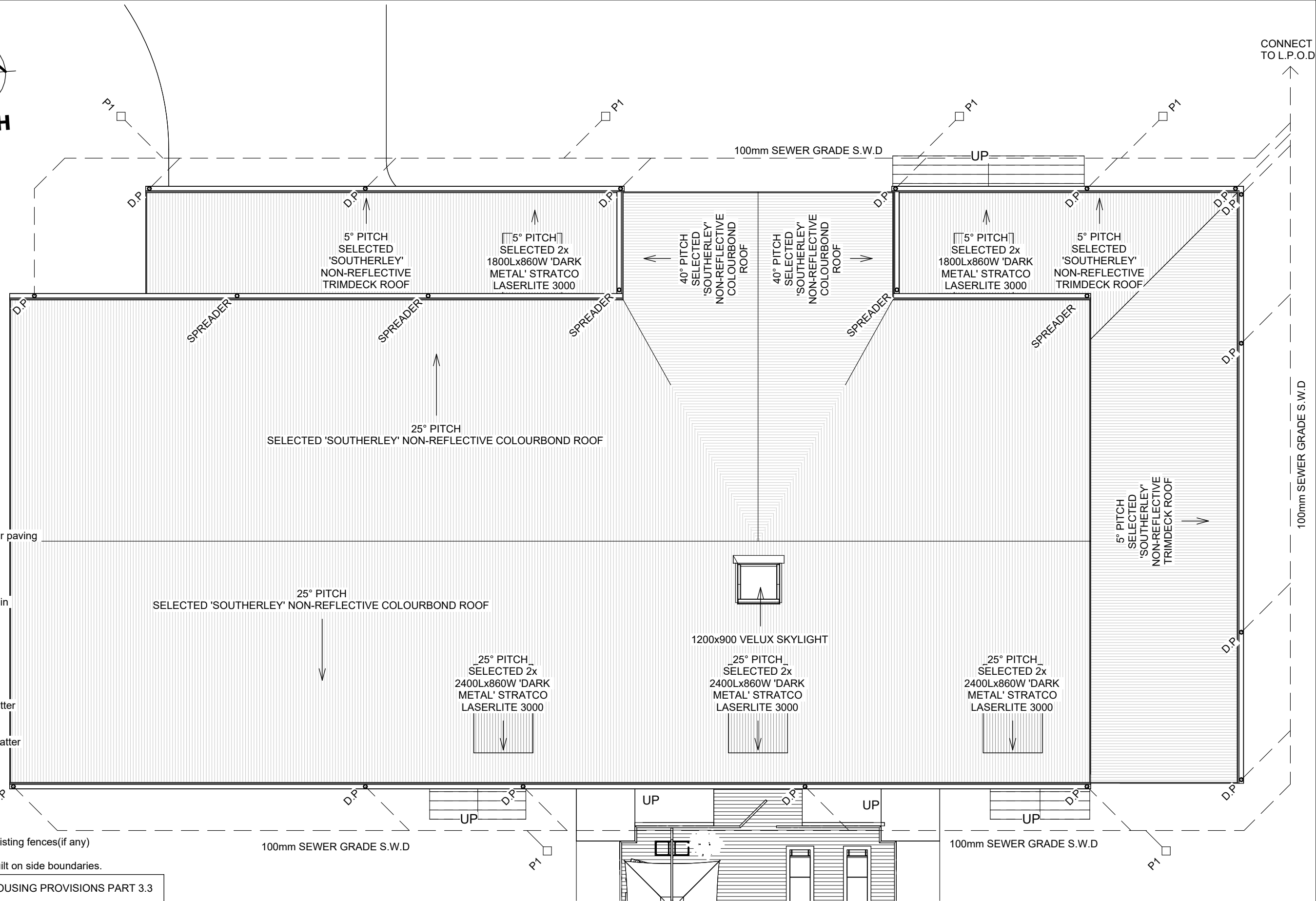
30° filled Batter

100Ømm Sewer Grade S.W.D. shall be used under all driveways, paths and house and garage slabs.

All levels shall be checked on site before commencement of any works

owners are responsible for removal of any existing fences(if any) and future reinstatement if required where garage walls and dwelling walls are built on side boundaries.

SURFACE WATER DRAINAGE TO NCC HOUSING PROVISIONS PART 3.3



Notes: BUILDER TO CONFIRM ALL MEASUREMENTS ON SITE BEFORE COMMENCING WORKS OR ORDERING PRODUCTS

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Proposed Residence

192 Cedar Road, Cow Bay, QLD

Revision:

Site Drainage

Drawing No.
A005

Drawn: Cinda Gomes-Franklin
QBCC 15153859
DP-AD 39400

Sheet:	A005 of 15
Status:	Concept
Date:	23/01/26
Ref:	GGF-131
Size:	A3

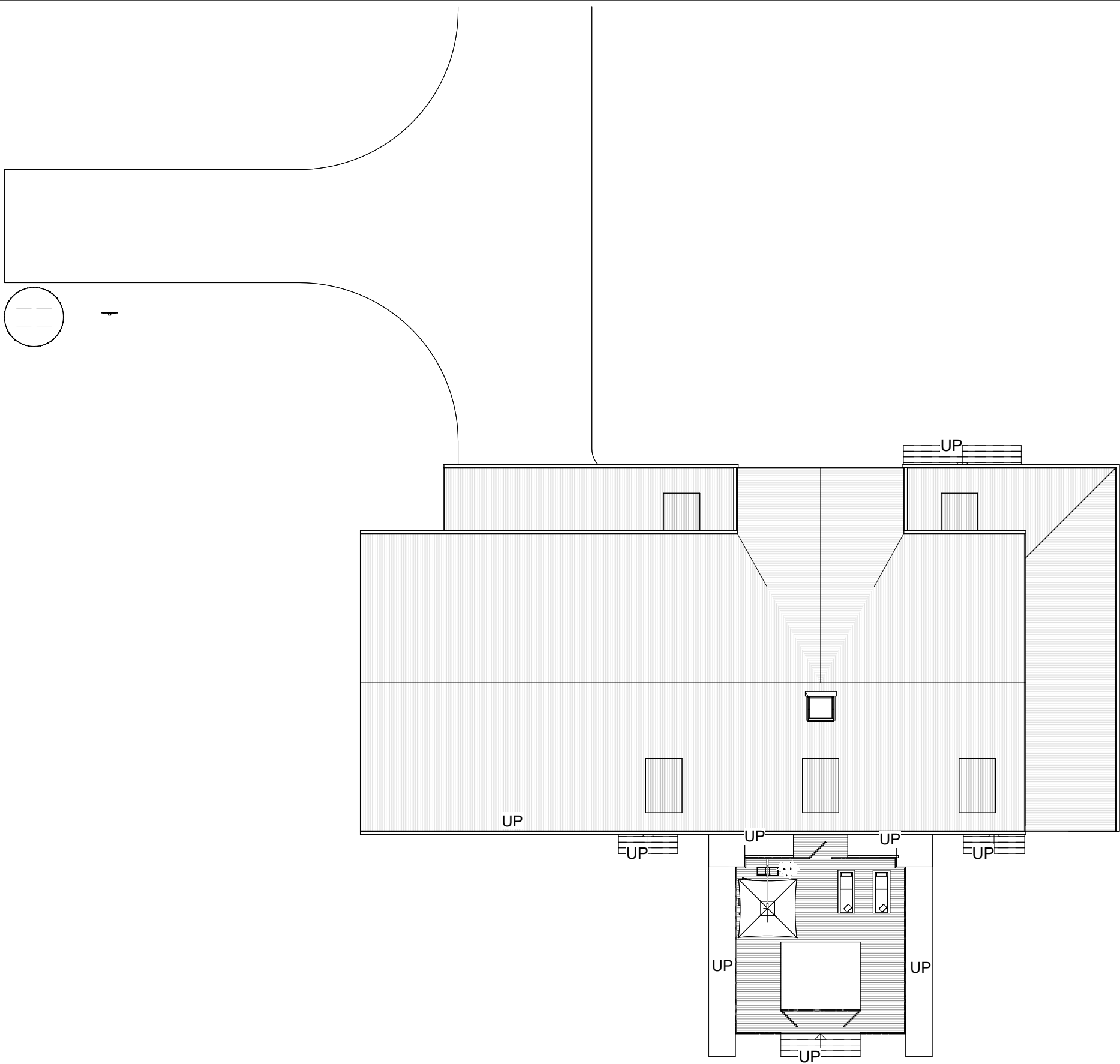
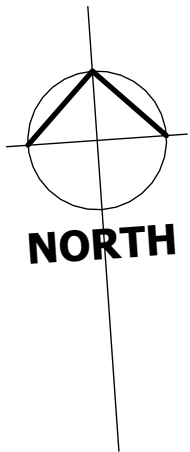
Speedy Gomez
Building Design
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1

Site Drainage

1 : 100

PROPERTY LINE



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Proposed Residence
192 Cedar Road, Cow Bay, QLD

Revision:		Site Vegetation
		Drawing No.
		A006
		Drawn: Cinda Gomes-Franklin
		QBCC 15153859
		DP-AD 39400

Sheet:	A006 of 15
Status:	Concept
Date:	23/01/26
Ref:	GGF-131
Size:	A3

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1

Site Vegetation
1 : 200

PROPERTY LINE

ROOM LEGEND:

- 1. LIVING
- 2. DINING
- 3. KITCHEN
- 4. BED 1
- 5. BED 2
- 6. ENSUITE 1
- 7. ENSUITE 2
- 8. PORCH
- 9. DECK
- 10. GARAGE
- 11. L'DRY
- 12. SOLAR BATTERY STORAGE
- 13. W.I.P
- 14. POOL

LEGEND:

Shower Door
No Shower Doors
FL to CL Tiles

Raked Ceiling
Living, Dining, Kitchen, Garage,
Laundry, Bed 1, Bed 2

Flat Ceiling
Other Areas

Bathroom
300ht x 1000w
Tiled Shw Niche

en Suite
600ht x 300w
Tiled Shw Niche
1 x glass insert
shelf central

2550H CEILING HEIGHT TYPICAL THROUGHOUT UNLESS NOTED OTHERWISE

SQUARE SET WALL/CEILING JUNCTION TYPICAL UNLESS NOTED OTHERWISE

67mm x 18mm NOM. ARCHITRAVE TYPICAL THROUGHOUT. PROFILE: 'SINGLE BEVEL'

140mm x 18mm NOM. SKIRTING TYPICAL THROUGHOUT. PROFILE: 'SINGLE BEVEL'

PROVIDE REBATE IN FLOOR FOR A FLUSH THRESHOLD TO ALL EXTERNAL DOORS. EXACT DEPTHS OF REBATE TO BE CONFIRMED ON SITE UPON DOOR SELECTION

EXTENT TO JOINERY SHOWN IS INDICATIVE ONLY. ALL JOINERY DETAILS INCLUDING DESIGN, DIENSIONS, MATERIALS, FITTINGS & FIXTURES TO BE CONFIRMED WITH OWNER PRIOR TO FABRICATION & INSTALLATION

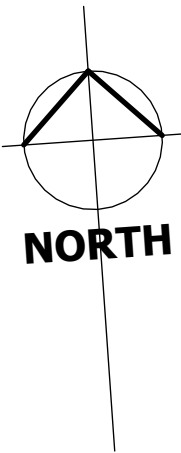
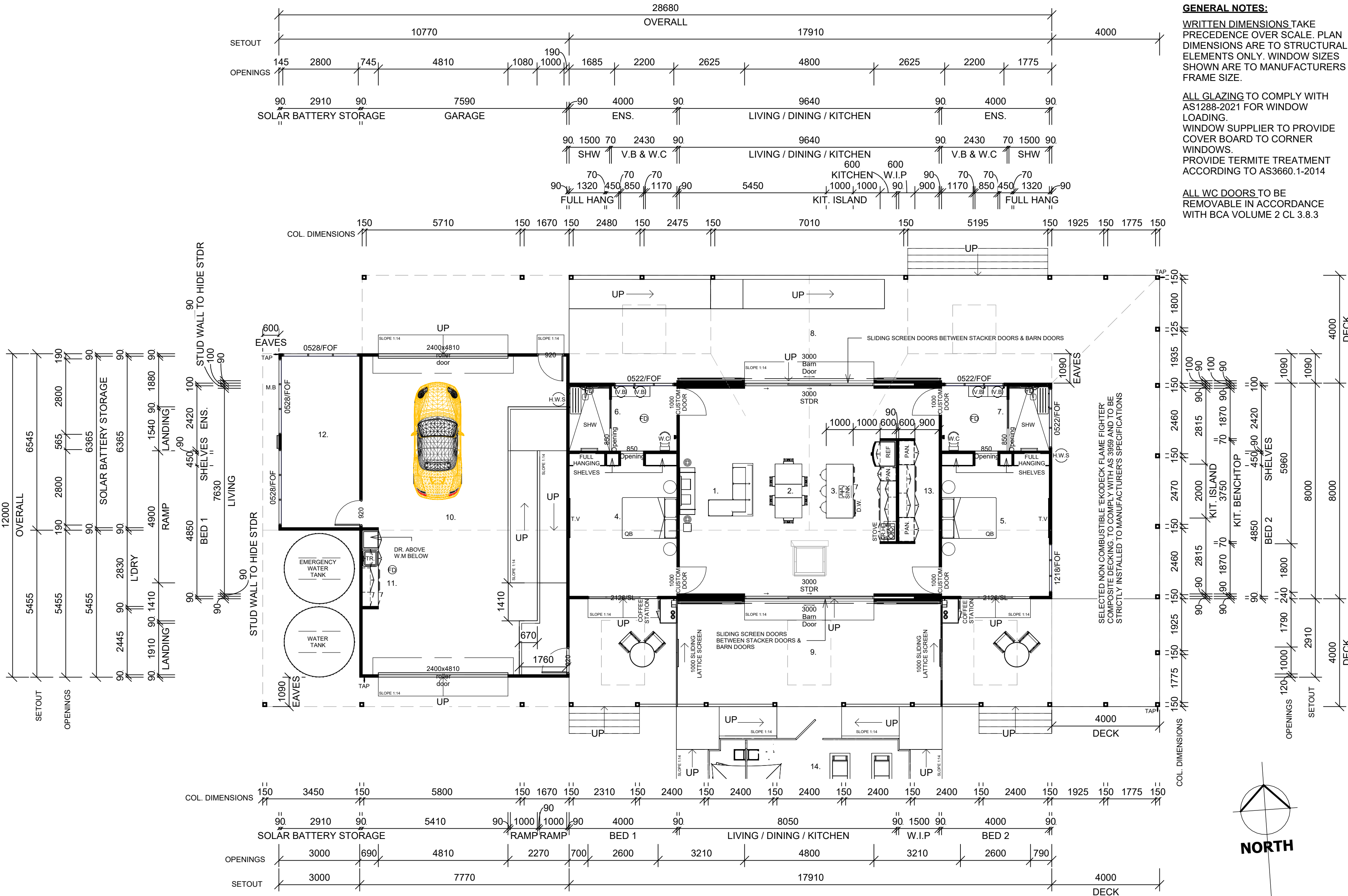
STAIRWAY, BARRIER AND HANDRAIL CONSTRUCTION TO BE IN ACCORDANCE WITH THE NCC VOL. 2 HOUSING PROVISIONS PARTS 11.2 AND 11.3

GENERAL NOTES:

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. PLAN DIMENSIONS ARE TO STRUCTURAL ELEMENTS ONLY. WINDOW SIZES SHOWN ARE TO MANUFACTURERS FRAME SIZE.

ALL GLAZING TO COMPLY WITH AS1288-2021 FOR WINDOW LOADING.
WINDOW SUPPLIER TO PROVIDE COVER BOARD TO CORNER WINDOWS.
PROVIDE TERMITE TREATMENT ACCORDING TO AS3660.1-2014

ALL WC DOORS TO BE REMOVABLE IN ACCORDANCE WITH BCA VOLUME 2 CL 3.8.3



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Proposed Residence
192 Cedar Road, Cow Bay, QLD

Revision:

Pr. Grnd Flr.

Sheet: A007 of 15

Status: Concept

Date: 23/01/26

Ref: GGF-131

Size: A2

Drawing No.
A007

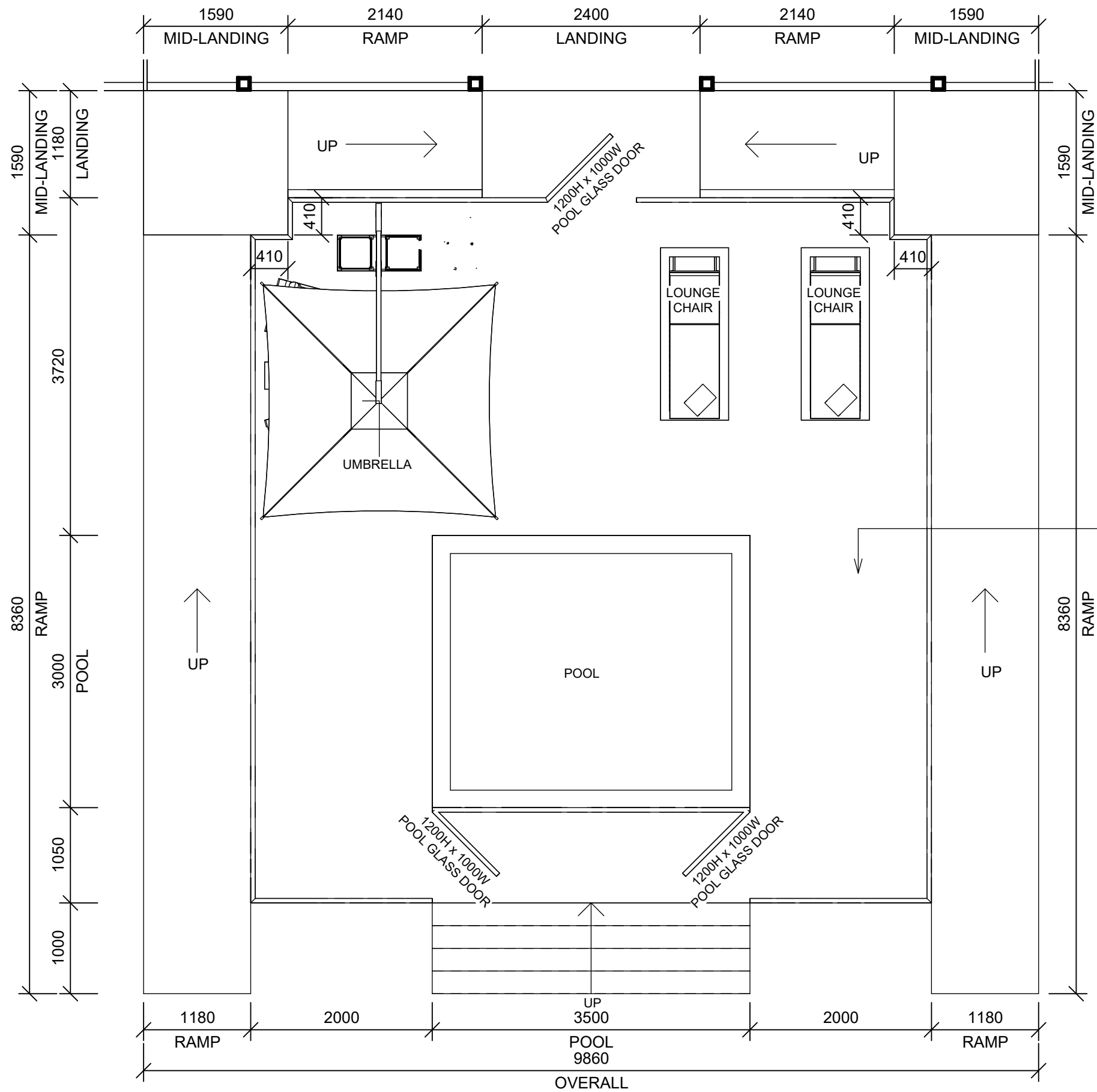
Drawn: Cinda Gomes-Franklin
QBCC 15153859
DP-AD 39400

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1

Grnd. Flr. Proposed

1 : 100



GENERAL NOTES:

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ALL GLAZING TO COMPLY WITH AS1288-2021 FOR WINDOW LOADING.
WINDOW SUPPLIER TO PROVIDE COVER BOARD TO CORNER WINDOWS.
PROVIDE TERMITE TREATMENT ACCORDING TO AS3660.1-2014

ALL WC DOORS TO BE REMOVABLE IN ACCORDANCE WITH BCA VOLUME 2 CL 3.8.3

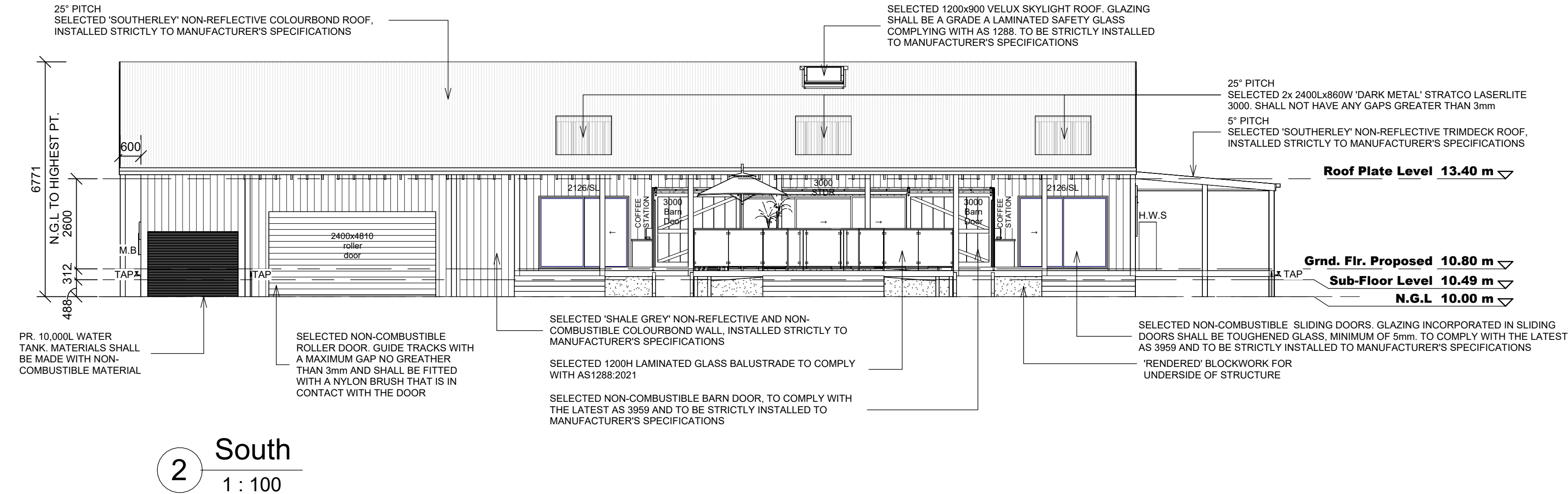
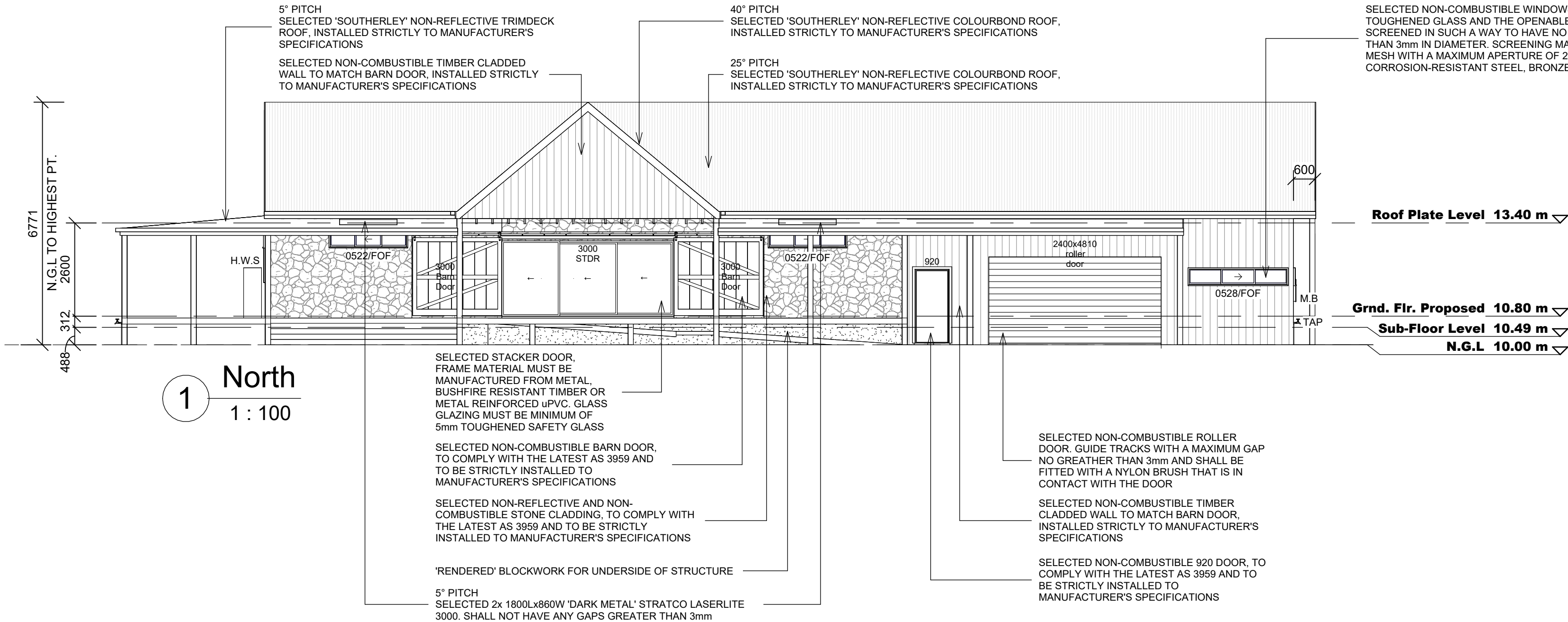
SELECTED NON COMBUSTIBLE 'EKODECK FLAME FIGHTER' COMPOSITE DECKING. TO COMPLY WITH AS 3959 AND TO BE STRICTLY INSTALLED TO MANUFACTURER'S SPECIFICATIONS

Notes: BUILDER TO CONFIRM ALL MEASUREMENTS ON SITE BEFORE COMMENCING WORKS OR ORDERING PRODUCTS

Proposed Residence
192 Cedar Road, Cow Bay, QLD

Revision:		Pr. Pool Drawing No. A008 <small>Drawn: Cinda Gomes-Franklin QBCC 15153859 DP-AD 39400</small>	Sheet:	A008 of 15	Speedy Gomez Building Design M:0415 170 642 E:cinda@speedygomez.com.au
			Status:	Concept	
			Date:	23/01/26	
			Ref:	GGF-131	
			Size:	A3	

1 Pr. Pool
1 : 50



GENERAL NOTES:

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. PLAN DIMENSIONS ARE TO STRUCTURAL ELEMENTS ONLY. WINDOW SIZES SHOWN ARE TO MANUFACTURERS FRAME SIZE.

ALL GLAZING TO COMPLY WITH AS1288-2021 FOR WINDOW LOADING.
WINDOW SUPPLIER TO PROVIDE COVER BOARD TO CORNER WINDOWS.
PROVIDE TERMITE TREATMENT ACCORDING TO AS3660.1-2014

ALL WC DOORS TO BE REMOVABLE IN ACCORDANCE WITH BCA VOLUME 2 CL 3.8.3

REQUIREMENTS FOR SUSTAINABLE BUILDINGS

ACCEPTABLE SOLUTIONS:

TAPWARE:
SHOWER ROSES TO BE AAA RATING WHEN ASSESSED AGAINST AS/NZ 6400-2016 OR A 3 STAR RATING UNDER THE WATER EFFICIENCY LABELLING AND STANDARDS RATING FOR TAPS SERVING:
LAUNDRY TUBS
KITCHEN SINKS
BASINS

WATER SUPPLY:
IN A SERVICE AREA FOR RETAIL WATER SERVICE UNDER THE WATER ACT 2000, THE WATER SUPPLIED TO ANEW CLASS 1 BUILDING DOES NOT EXCEED PRESSURE LEVELS SE OUT IN AS/NZ3550.1-2003 AND IF THE MAIN WATER PRESSURE EXCEEDS OR COULD EXCEED 500 Kpa, A WATER PRESSURE LIMITING DEVICE IS INSTALLED TO ENSURE THAT THE MAXIMUM OPERATING PRESSURE AT THE OUTLET WITHIN THE BOUNDARIES OF THE PROPERTY DOES NOT EXCEED 500Kpa.

VOLUME OF WATER USED IN TOILET:
TOILET CISTERNS TO HAVE DUAL FLUSH CAPABILITY AND HAVE A MINIMUM 4 STAR WATER LABELLING AND STANDARDS RATING.

ENERGY EFFICIENT LIGHTING:
A MINIMUM OF 80% OF ALL INTERNAL FIXED LIGHTING MUST BE ENERGY EFFICIENT LIGHTING.

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Proposed Residence

192 Cedar Road, Cow Bay, QLD

Revision:

Elevations - 1

Drawing No.
A009

Drawn: Cinda Gomes-Franklin
QBCC 15153859
DP-AD 39400

Sheet: A009 of 15

Status: Concept

Date: 23/01/26

Ref: GGF-131

Size: A2

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Building Design
M:0415 170 642
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A015
15

SELECTED 1200x900 VELUX SKYLIGHT ROOF.
GLAZING SHALL BE A GRADE A LAMINATED
SAFETY GLASS COMPLYING WITH AS 1288. TO BE
STRICTLY INSTALLED TO MANUFACTURER'S
SPECIFICATIONS

5° PITCH
SELECTED 'SOUTHERLEY'
NON-REFLECTIVE
TRIMDECK ROOF,
INSTALLED STRICTLY TO
MANUFACTURER'S
SPECIFICATIONS

25° PITCH
- SELECTED 'SOUTHERLEY' NON-REFLECTIVE COLOURBOND ROOF,
INSTALLED STRICTLY TO MANUFACTURER'S SPECIFICATIONS

40° PITCH
- SELECTED 'SOUTHERLEY' NON-REFLECTIVE COLOURBOND ROOF,
INSTALLED STRICTLY TO MANUFACTURER'S SPECIFICATIONS

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. PLAN DIMENSIONS ARE TO STRUCTURAL ELEMENTS ONLY. WINDOW SIZES SHOWN ARE TO MANUFACTURERS FRAME SIZE.

ALL GLAZING TO COMPLY WITH
AS1288-2021 FOR WINDOW
LOADING.
WINDOW SUPPLIER TO PROVIDE
COVER BOARD TO CORNER
WINDOWS.
→ PROVIDE TERMITE TREATMENT
ACCORDING TO AS3660.1-2014

ALL WC DOORS TO BE
REMOVABLE IN ACCORDANCE
WITH BCA VOLUME 2 CL 3.8.3

6771
N.G.L TO HIGHEST PT.

6771
N.G.L TO HIGH

Roof Plate Level 13.40 m ▾

Grnd. Flr. Proposed 10.80 m

Sub-Floor Level 10.49 m

N.G.L 10.00 m

SELECTED 'SHALE GREY' NON-REFLECTIVE AND NON-COMBUSTIBLE COLOURBOND WALL TO RECESS STACKER DOOR. INSTALLED STRICTLY TO MANUFACTURER'S SPECIFICATIONS

- 'RENDERED' BLOCKWORK FOR UNDERSIDE OF STRUCTURE

5° PITCH
- SELECTED 'SOUTHERLEY' NON-REFLECTIVE TRIMDECK ROOF
INSTALLED STRICTLY TO MANUFACTURER'S SPECIFICATIONS

40° PITCH SELECTED 'SOUTHERLEY' NON-REFLECTIVE COLOURBOND ROOF, INSTALLED STRICTLY TO MANUFACTURER'S SPECIFICATIONS

SELECTED 1200x900 VELUX SKYLIGHT ROOF.
GLAZING SHALL BE A GRADE A LAMINATED SAFETY
GLASS COMPLYING WITH AS 1288. TO BE STRICTLY
INSTALLED TO MANUFACTURER'S SPECIFICATIONS

25° PITCH
- SELECTED 'SOUTHERLEY' NON-REFLECTIVE COLOURBOND ROOF
INSTALLED STRICTLY TO MANUFACTURER'S SPECIFICATIONS

SELECTED 1200H LAMINATED GLASS
BALUSTRADE TO COMPLY WITH AS1288:2021

Roof Plate Level 13.40 m 

Grnd. Flr. Proposed 10.80 m

Sub-Floor Level 10.49 m

N.G.L 10.00 m

PR. RAMP —

SELECTED 'SHALE GREY'
NON-REFLECTIVE AND
NON-COMBUSTIBLE
COLOURBOND WALL,
INSTALLED STRICTLY TO
MANUFACTURER'S
SPECIFICATIONS

SELECTED NON-COMBUSTIBLE
LATTICE SCREEN FOR PRIVACY

PR. 10,000L WATER TANK. MATERIALS SHALL BE MADE WITH NON-COMBUSTIBLE MATERIAL

PR. SECONDARY 10,000L WATER TANK.
— MATERIALS SHALL BE MADE WITH NON-COMBUSTIBLE MATERIAL

SELECTED NON-COMBUSTIBLE WINDOWS. GLASS MUST BE TOUGHENED GLASS AND THE OPENABLE PORTION SHALL BE SCREENED IN SUCH A WAY TO HAVE NO GAPS GREATER THAN 3mm IN DIAMETER. SCREENING MATERIAL SHALL BE A MESH WITH A MAXIMUM APERTURE OF 2mm. MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM

East

1 : 100

West

1 : 100

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192 Cedar Road, Cow Bay, QLD

Revision:

Elevations - 2

Drawing No.

A010

Drawn: Cinda Gomes-Franklin
QBCC 15153859
DP-AD 39400

Sheet:	A010 of 15
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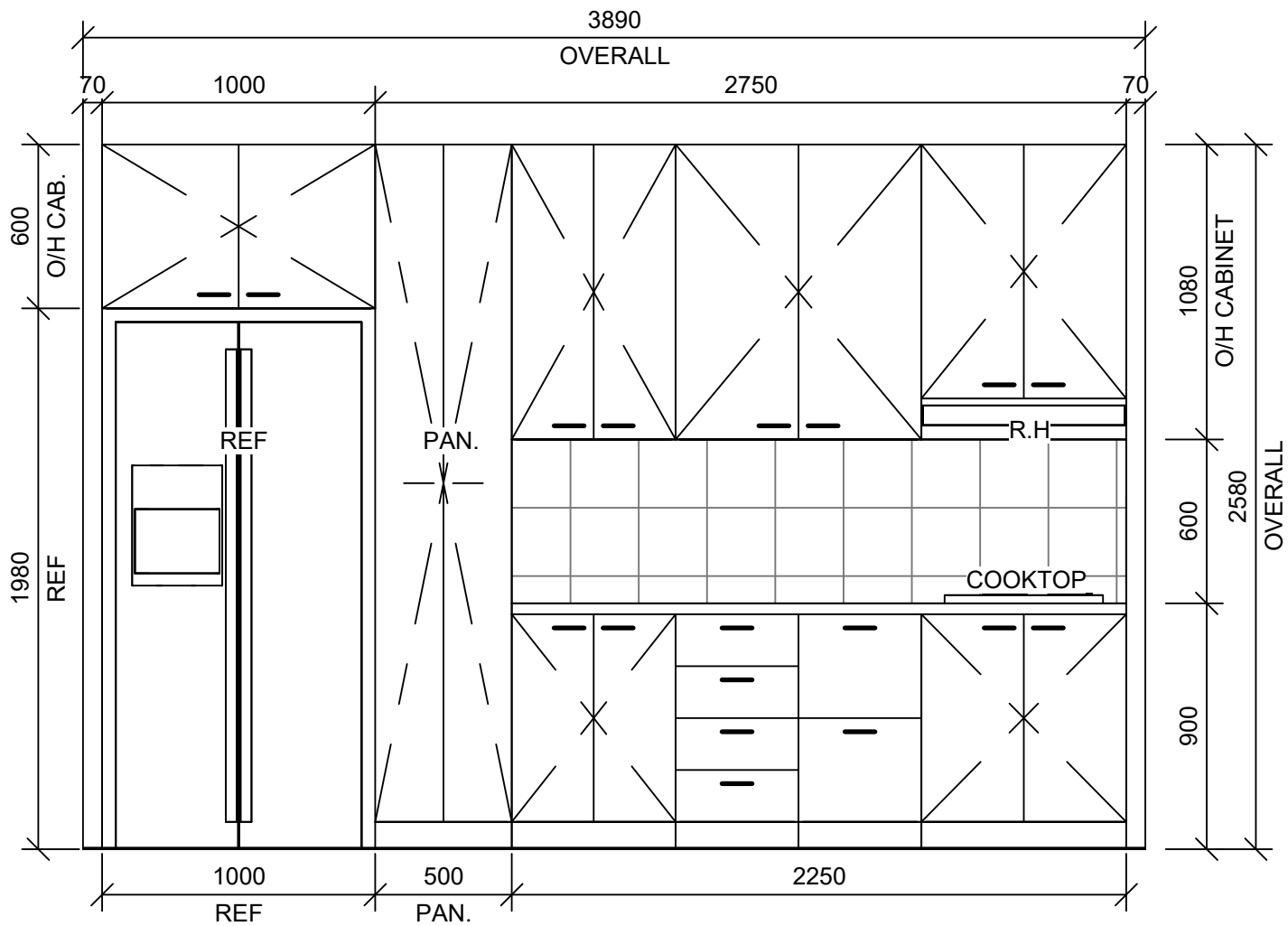
Status:	Concept
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Date:	23/01/26
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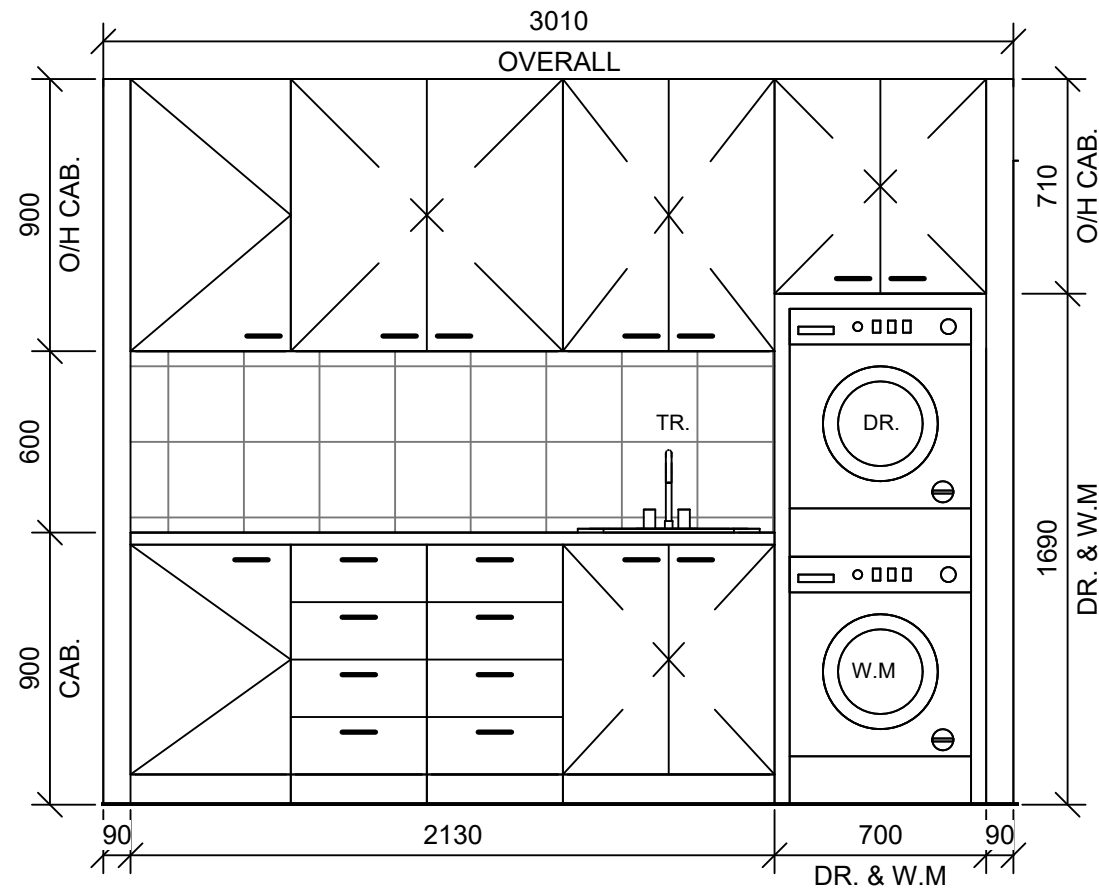
Ref:	GGF-13'
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Size:	A3
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1 Kitchen Int. Elev. - 1
1 : 25



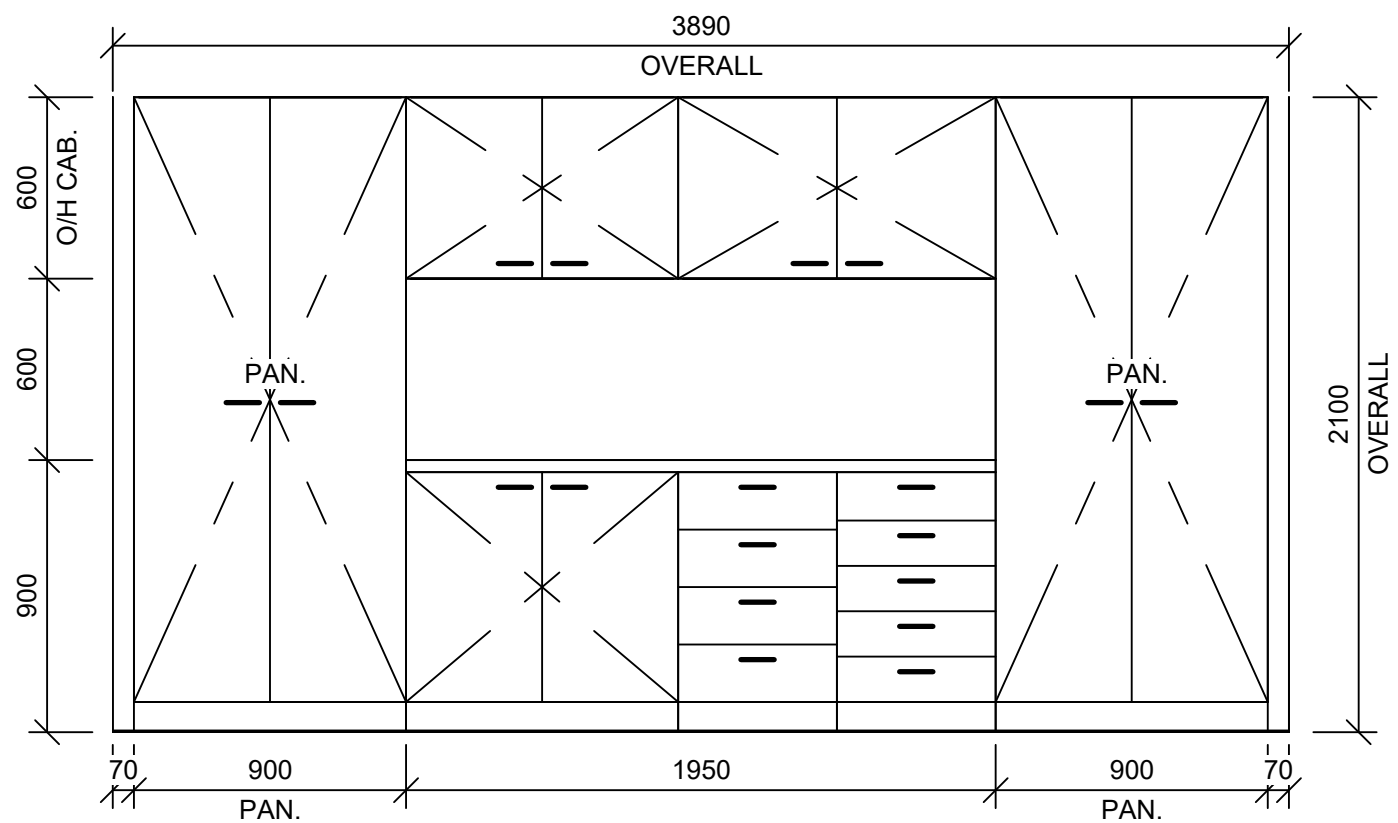
GENERAL NOTES:

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. PLAN DIMENSIONS ARE TO STRUCTURAL ELEMENTS ONLY. WINDOW SIZES SHOWN ARE TO MANUFACTURERS FRAME SIZE.

ALL GLAZING TO COMPLY WITH AS1288-2021 FOR WINDOW LOADING. WINDOW SUPPLIER TO PROVIDE COVER BOARD TO CORNER WINDOWS. PROVIDE TERMITE TREATMENT ACCORDING TO AS3660.1-2014

ALL WC DOORS TO BE REMOVABLE IN ACCORDANCE WITH BCA VOLUME 2 CL 3.8.3

3 Laundry
1 : 25



2 Kitchen Int. Elev. - 2
1 : 25

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Notes: BUILDER TO CONFIRM ALL MEASUREMENTS ON SITE BEFORE COMMENCING WORKS OR ORDERING PRODUCTS

Proposed Residence
192 Cedar Road, Cow Bay, QLD

Revision:

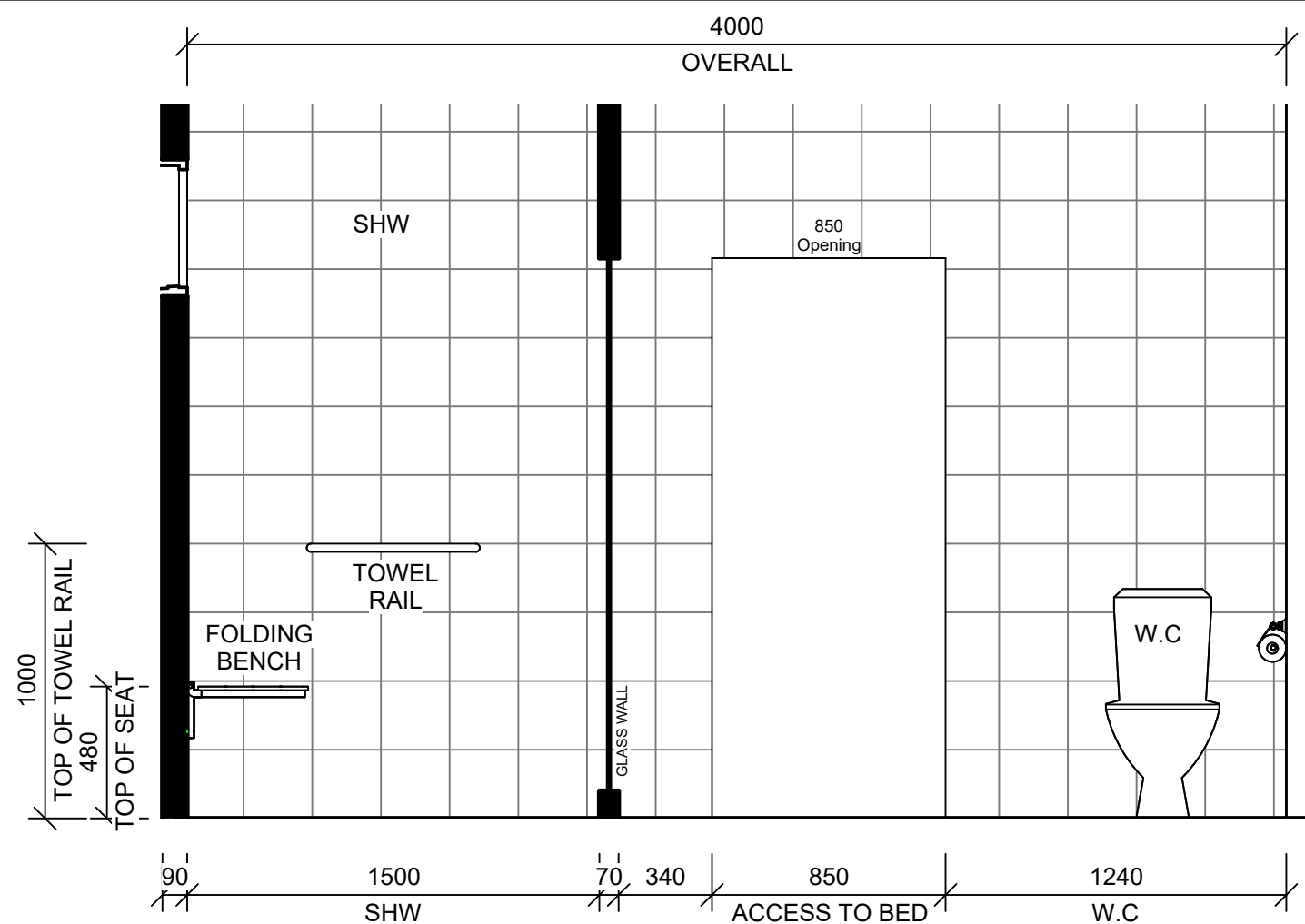
Int. Elevations - 1

Drawing No.
A011

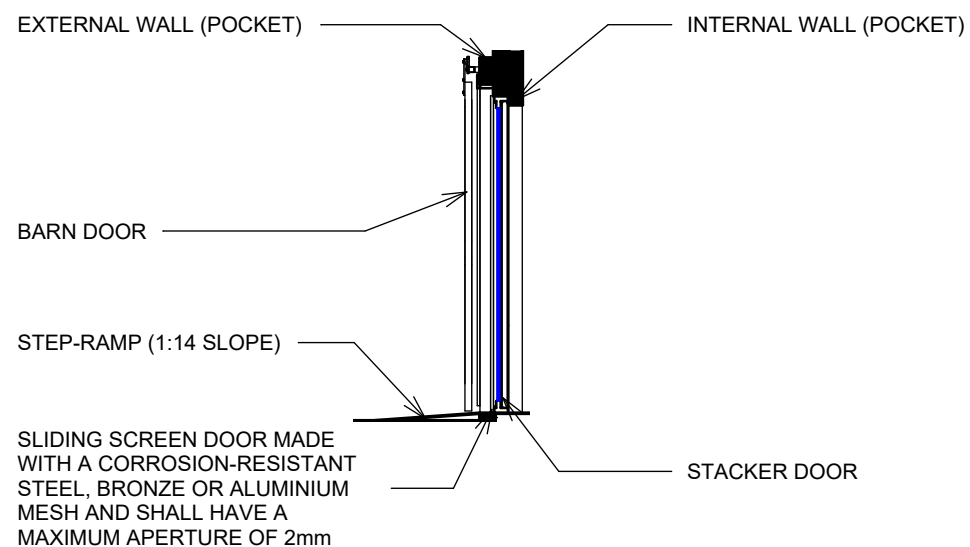
Drawn: Cinda Gomes-Franklin
QBCC 15153859
DP-AD 39400

Sheet:	A011 of 15
Status:	Concept
Date:	23/01/26
Ref:	GGF-131
Size:	A3

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1 Typ. Ensuite Int. Elev. - 1
1 : 25



3 Main & Back Door Cross Section
1 : 50

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Proposed Residence
192 Cedar Road, Cow Bay, QLD

Revision:

Int. Elevations - 2

Drawing No.
A012

Drawn: Cinda Gomes-Franklin
QBCC 15153859
DP-AD 39400

Sheet:	A012 of 15
Status:	Concept
Date:	23/01/26
Ref:	GGF-131
Size:	A3

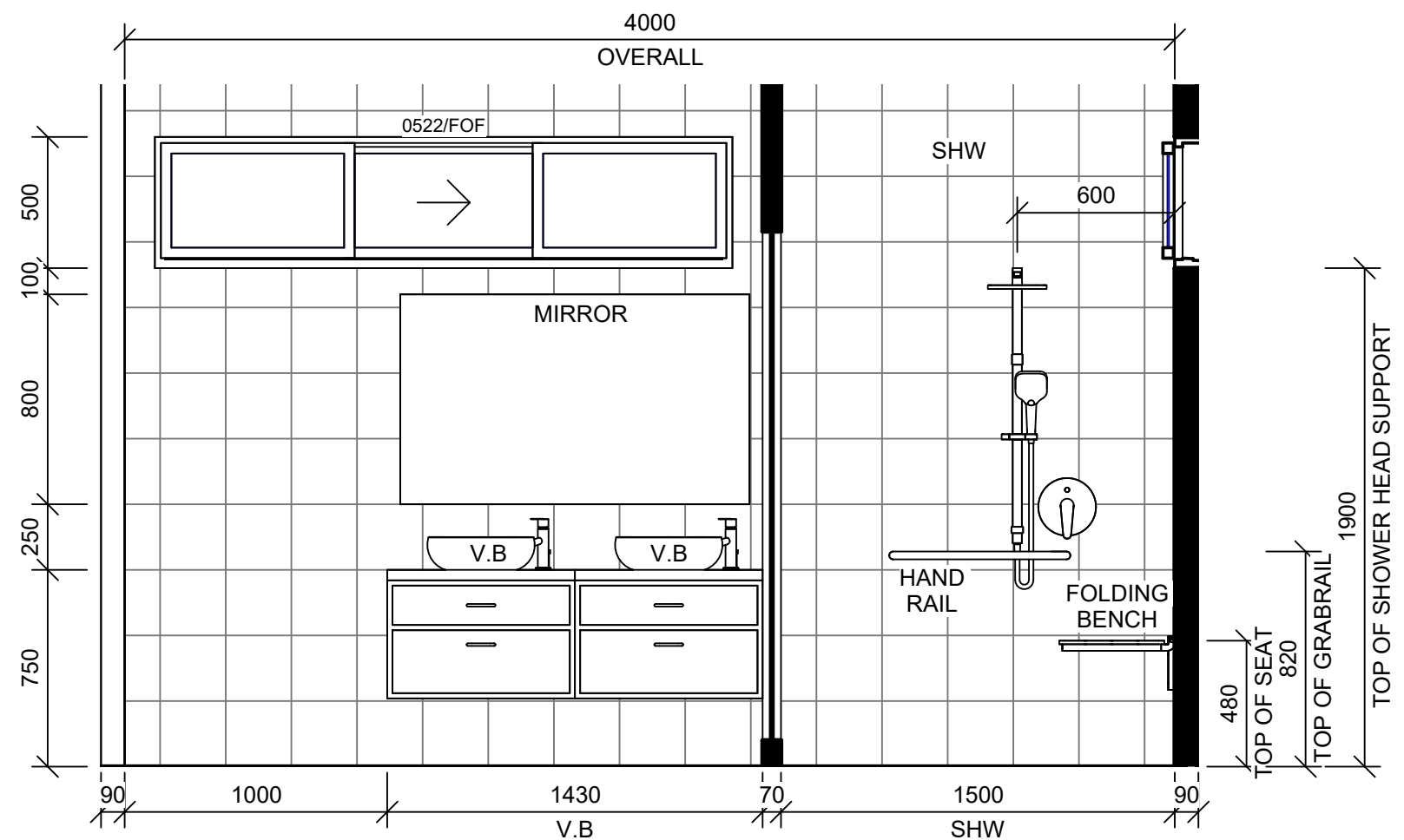
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Building Design
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E:cinda@speedygomez.com.au

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ALL GLAZING TO COMPLY WITH AS1288-2021 FOR WINDOW LOADING.
WINDOW SUPPLIER TO PROVIDE COVER BOARD TO CORNER WINDOWS.
PROVIDE TERMITE TREATMENT ACCORDING TO AS3660.1-2014

ALL WC DOORS TO BE REMOVABLE IN ACCORDANCE WITH BCA VOLUME 2 CL 3.8.3

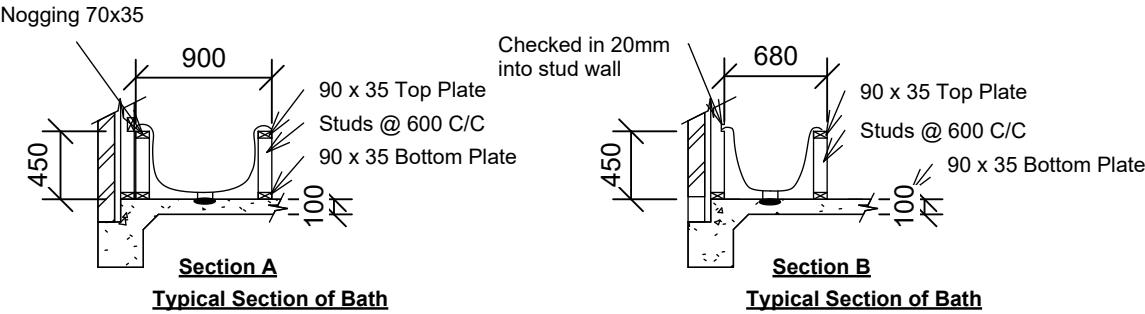


2 Typ. Ensuite Int. Elev. - 2
1 : 25

Bath Hobs/Check Ins

All bath hobs to be detailed as 900mm wide as standard. However, where bathroom size does not permit, refer to detail B, showing that the bath Hob is to be smaller and checked into the wall.

Standard Bath Deep Bath & Spa Bath
Hob Height is 450mm Hob Height is 600mm



ENERGY EFFICIENCY NOTES:

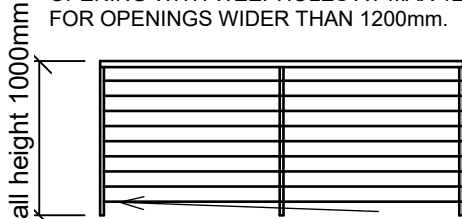
- MINIMUM STANDARD INCLUSIONS ARE AS FOLLOWS:
- AIRFLOW DRAFT STOPPERS TO EXHAUST FANS
 - ALUMINIUM IMPROVED WINDOWS THROUGHOUT
 - DOOR SEALS TO ALL EXTERNAL & GARAGE ACCESS DOORS
 - SEALS AROUND ALL EXTERNAL WINDOWS
 - MIN. R2.- GLASSWOOL BATTS TO ALL EXTERNAL WALLS OF HABITABLE AREAS INCLUDING ADJOINING A CEILING CAVITY, THIS EXCLUDES GARAGE CEILINGS IN MULTI STOREY DWELLINGS.

FURTHER INCLUSIONS OR INCREASES TO INSULATION AS REQUIRED TO ACHIEVE 6 STAR ENERGY RATINGS ARE OUTLINED IN THE ENERGY RATING ASSESSMENT AND MUST BE READ IN CONJUNCTION WITH THESE NOTES/PLANS.

HEATING AND COOLING NOTES:

WHERE DUCTWORK IS EMPLOYED. DUCTING MUST COMPLY WITH AS4254 &AS/NZ4859.1 AND BE IN ACCORDANCE WITH THE NCC TABLE FOR CLIMATE ZONE REQUIREMENTS.

LIFT OFF HINGES ARE TO BE INSTALLED TO ALL W.C. DOORS UNLESS TOILET PAN IS GREATER THAN 1.2m DISTANCE FROM DOOR. MANHOLE POSITION IS INDICATIVE & SUBJECT TO THE POSITION OF FRAMING ELEMENTS & SERVICES. DAMPCOURSE TO BE INSTALLED IN ACCORDANCE WITH AS4773-2010 CAVITY FLASHING & WEEPHOLES TO BE INSTALLED EVERY 4TH PERPEND/ABOVE WINDOWS & DOORS AT THE BASE OF OR 1 BRICKCOURSE BELOW SILLS. WEEPHOLES MAY BE OMMITED AT SILL FLASHINGS. HEAD FLASHINGS NOT MORE THATN 300mm ABOVE THE OPENING WITH WEEPHOLES AT MAX 1200mm CENTRES FOR OPENINGS WIDER THAN 1200mm.



wire size, Spacing and tension of balustrade to comply with BCA 2009 table 3.9.2.1. Wire Deflection to comply with BCA table 3.9.2.3 Glass Balustrade to comply with AS1288.

Tiling (indicative representation only) - Final layout and finished heights will be subject to tilers discretion based on size of tiles selected and actual cabinetry heights.

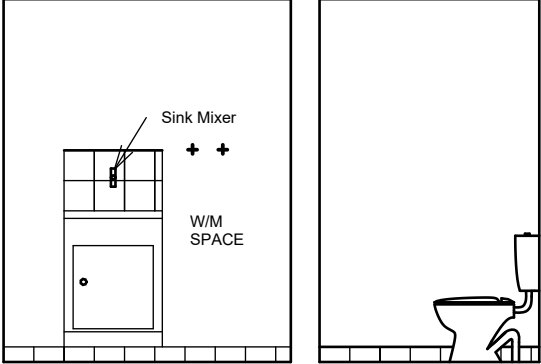
Kitchen Walls - From bench top to over head cupboards at full width of bench to 650mm high. Bench upstands above counter tops to be tiled also.

Bathroom Walls - All showers to 2 metres, 400mm high over bath except where vanity meets bath hob, tiles to 600mm over bath with 200mm over vanity top.

Laundry Walls - to 400mm high over trough except when over head cupboards are installed, then allow tiling to cupboards to full width of bench.

Skirting Tiles - To laundry, ensuite, WC's and bathrooms (all wet areas) to 100mm high.

Vanity Mirrors - Vanity mirrors are supplied to approx. 900mm high above the tiled splashbacks within the bathroom, ensuite and powder rooms for the length of the vanity bench only. Generally, in the bathroom and ensuite they will be set to match the height of the Shower Screens.

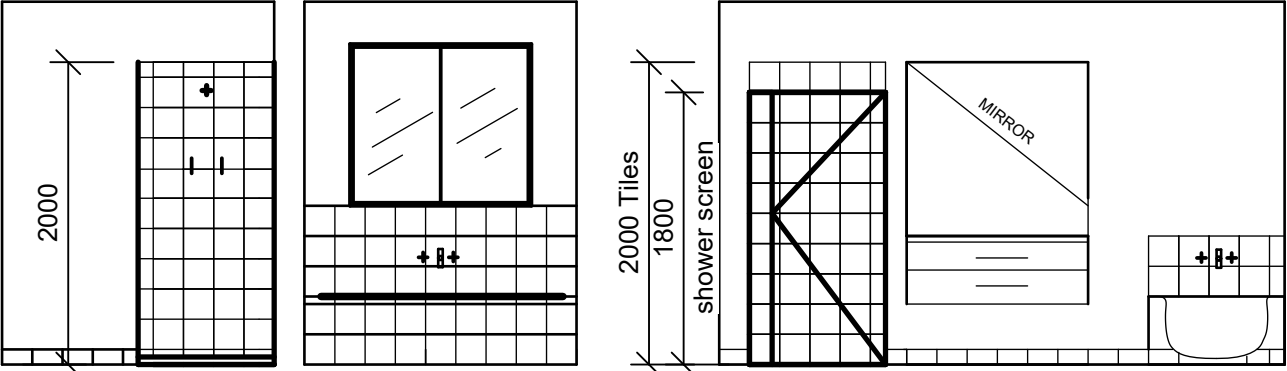


LAUNDRY

WC

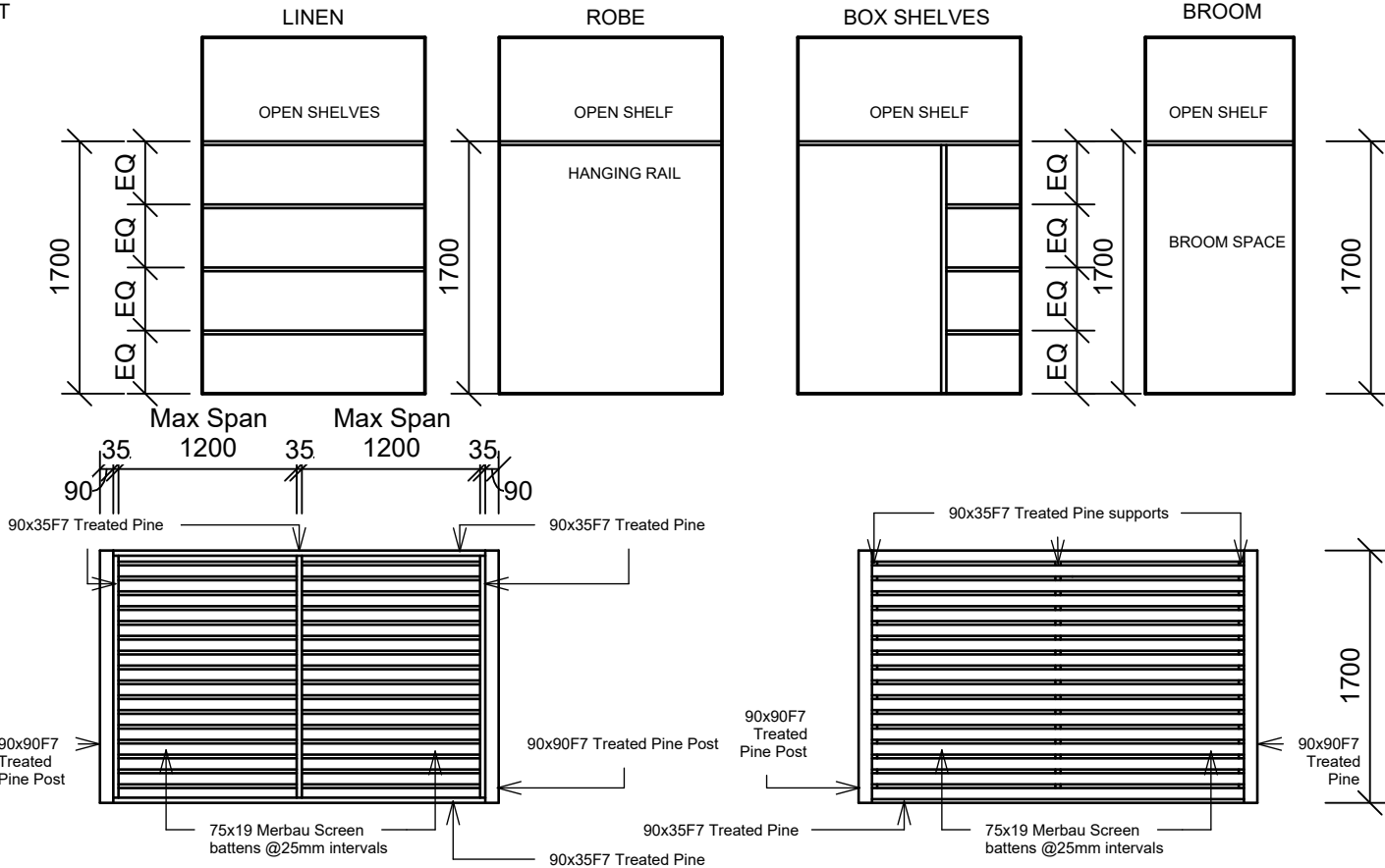
BATH NOTES

1. Builder to make floor and wall surfaces waterproof or water-resistant as per current BCA.
2. Builder to ensure adequate in-wall support is provided for client-supplied bathroom accessories (towel holder, rails, toilet brush etc).
- 3.Extent of tiling is indicative only, refer client for full scope of works.



BATHROOM

Typical Linen, Robe, Box Shelves & Broom Details



Outside View

Inside View From Deck

ROOF MEMBRANE (TYPICAL THROUGHOUT) - TO BE LAPPED & TAPPED WITH NO GAPS. ALLOW SUFFICIENT SAG BETWEEN BATTENS TO FACILITATE DRAINAGE TOWARDS GUTTER. MEMBRANE TO OVERLAP FASCIA MAX. 25mm TO AVOID MOISTURE WICKING.

INTERMITTENT BATTENS FOR FALL PROTECTION TO BE METAL, NOMINAL HEIGHT 16mm. ENSURE NO CONTACT WITH UNDERSIDE OF SHEET ROOFING

TIMBER BATTENS (TYPICAL THROUGHOUT) - TIMBER REDUCES THERMAL BRIDGING & THE LIKELIHOOD OF CONDENSATION FORMING ON THE UNDERSIDE OF THE METAL SHEET ROOFING.

CEILING INSULATION (TYPICAL THROUGHOUT) - ENSURE A MINIMUM 20mm AIR GAP BETWEEN THE INSULATION BATT & THE UNDERSIDE OF ALL ROOFING MATERIALS INC. RAFTERS, BATTENS & ANY SARKING OR MEMBRANE. WHERE SPACE IS RESTRICTED CHECK OUT BATT AROUND TOP CORD OR USE A LWOER PROFILE PERIMETER BATT SUCH AS AN R3.5 CEILING BATT OR A 90MM R2.5 WALL BATT. ENSURE BATTS EXTEND A MINIMUM 50mm ONTO THE EXTERNAL TOP PLATE

WALL INSULATION (TYPICAL THROUGHOUT) - INSTALL INSULATION OVER WINDOW/DOOR HEADS & WHERE REQUIRED CHECK OUT AROUND LINTELS TO ENSURE BATTs ARE NOT COMPRESSED OR SQUASHED INTO THE SPACE THEREBY COMPROMISING PERFORMANCE.

FC SHEET LINING WITH EXPRESS JOINTS. FIX TO BATTENS IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION & DETAILS.

Typical Eave's Detail
1 : 20

Proposed Residence
192 Cedar Road, Cow Bay, QLD

Revision:

Gen. Details Sheet

Drawing No.
A013

Drawn: Cinda Gomes-Franklin
QBCC 15153859
DP-AD 39400

Sheet:	A013 of 15
Status:	Concept
Date:	23/01/26
Ref:	GGF-131
Size:	A3

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GENERAL NOTES:

1. ALL MATERIALS AND WORK PRACTICES SHALL BE IN STRICT ACCORDANCE WITH, BUT NOT LIMITED TO THE CURRENT BUILDING REGULATIONS. THE CURRENT BUILDING CODE OF AUSTRALIA (BCA) AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ANY HOUSE ENERGY RATING (HERS) REPORT AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STAMPED PLANS ENDORSED BY THE ACCREDITED THERMAL PERFORMANCE ASSESSOR WITHOUT REGULATIONS 2006, NATIONAL CONSTRUCTION CODE SERIES 2022 BUILDING CODE OF AUSTRALIA Vol 2 AND ALL RELEVENT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN. UNLESS OTHERWISE SPECIFIED, THE TERM BCA SHALL REFER TO THE NATIONAL CONSTRUCTION CODE SERIES 2022, AND AMENDMENTS, BUILDING CODE OF AUSTRALIA VOLUME 2. ALL MATERIALS AND CONSTRUCTION PRACTICE SHALL MEET THE PERFORMANCE REQUIREMENTS OF THE BCA. WHERE AN ALTERNATIVE SOLUTIONS PROPOSED THEN, PRIOR TO IMPLEMENTATION OR ALTERATION.

2. THE CONTRACTOR AND SUB CONTRACTORS ARE RESPONSIBLE FOR ENSURING CONFORMANCE TO AND COMPLIANCE WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS, LOCAL AUTHORITY CODES, REGULATIONS , AND TOWN PLANNING REQUIREMENTS AND ANY OTHER RELEVANT LEGISLATION.

3. ALL DIMENSIONS SHOWN ARE NOMINAL. DO NOT SCALE FROM THESE DRAWINGS. ALL DIMENSIONS, LEVELS, INSTALLATION DETAILS, SIZES, HEIGHTS, SETBACKS, AND ANY OTHER RELEVANT SPECIFICATIONS OR INSTRUCTIONS TO BE VERIFIED BY CONTRACTOR AND SUBCONTRACTORS PRIOR TO COMMENCING ANY ORDERING, FABRICATION OR WORKS.

4. ANY DISCREPENCIES IN THE DOCUMENTATION MUST BE NOTIFIED TO THE OWNER/CONTRACTOR PRIOR TO ANY ORDERING, FABRICATION OR WORKS COMMENCING.

5. WATER PROOFING AND WATER RESISTANCE OF WET AREAS TO BE IN PROVIDED IN ACCORDANCE WITH PART 10.2 OF THE CURRENT BCA, & AS 3740-2021, WATERPROOFING OF DOMESTIC WET AREAS, BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS. TO BE WATERPROOFED WITH APPROVED MEMBRANES AND SHALL BE IN ACCORDANCE WITH AS/NZS-4858.
- IN PARTICULAR THE FOLLOWING STANDARDS SHALL BE READ AS PART OF THESE GENERAL NOTES, AND COPIES SHALL BE KEPT ON SITE ALONG WITH THE REQUIRED BULDING DOCUMENTS.

- AS-1684 - SAA RESIDENTIAL TIMBER FRAMED CONSTRUCTION-CYCLONIC
- AS-3600 - SAA CONCRETE STRUCTURES CODE
- AS-4100 - SAA STEEL STRUCTURES CODE
- AS-1554 - SAA MASONRY CODE
- AS-1720 - SAA TIMBER STRUCTURES CODE

6. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ANY PROJECT SPECIFICATIONS PRODUCT SPECIFICATIONS AND INSTRUCTIONS, PRODUCT SCHEDULES AND OTHER RELEVANT ACCOMPANYING DOCUMENTS.

7. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ANY STRUCTURAL ENGINEERING DRAWINGS, COMPUTATIONS AND SPECIFICATIONS.

8. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT SIX STAR ENERGY RATING, COMPLIANCE WITH WHICH MUST BE VERIFIED PRIOR TO ORDERING, FABRICATION OR WORKS ON RELEVANT ITEMS COMMENCING.

9. STRUCTURAL FOOTINGS, FLOORS WALLS AND ROOFS TO BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF ANY GEOTECHNICAL REPORT, STRUCTURAL ENGINEERING DRAWINGS AND SPECIFICATIONS IN COMPLIANCE WITH PART 4. BCA.

10. ALL GLAZING SHALL COMPLY WITH THE REQUIREMENTS OF AS1288-2021-GLASS IN BUILDINGS. ALL WINDOWS TO COMPLY WITH AS2047-2014, WINDOW SIZES SHOWN ARE NOMINAL ONLY, GLAZING, INCLUDING SAFETY GLAZING, SHALL BE INSTALLED TO A SIZE, TYPE AND THICKNESS SO AS TO COMPLY WITH: - BCA PART 3.6 FOR CLASS 1 AND 10 BUILDINGS WITHIN A DESIGN WIND SPEED OF NOT MORE THAN C2; AND - BCA PART B1.4 FOR CLASS 2 AND 9 BUILDINGS. ALL STRUCTURAL OPENINGS ARE TO BE CONFIRMED ON SITE PRIOR TO ORDERING/FABRICATION AND COMMENCING. ACCORDING TO MANUFACTURER. WINDOWS TO BE FLASHED ALL AROUND.
WINDOW SIZES NOMINATED ARE NOMINAL ONLY. ACTUAL SIZE MAY VARY.

11. IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE PROPOSED DEVELOPMENT IS LOCATED IN A POSITION THAT DOES NOT INTERFERE WITH THE INFRASTRUCTURE ON SITE AND COMPLIES WITH THE QDC MP1.4.

AIR CONDITIONING:
BUILDER TO NOTE THAT PROVISION FOR SPLIT AIR CONDITIONING UNITS TO BE INSTALLED WHERE NOTED ON THE FLOOR PLAN. ALLOWANCE TO BE MADE FOR THE INSTALLATION OF GAS PIPES AND CONDENSATION DRAINS AT TIME OF POURING SLAB AND ERECTING WALLS. ALL PIPES TO BE INSULATED AS REQUIRED. LOCATION OF UNITS AND INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

WALL/FLOOR COVERINGS:
PROVIDE SELECTED FLOOR TILES TO ROOMS AS DENOTED ON FLOOR PLAN. GARAGE VERANDA & PORTICO TO HAVE BROOM FINISH TO CONCRETE SLAB. SELECTED WALL TILES TO WET AREAS AND SPLASHBACK. OWNER AND BUILDER TO LIAISE FOR FULL EXTENT OF TILING CONTRACT. PROVIDE RUBBER BASED ADHESIVE TO ALL FLOOR TILES.
NOTE: TILES TO BE PLACED IN ALL ROBES.

Design Gust Wind Speed/Wind Classification

Building tie-downs to be provided in accordance with AS1684-2021 for an assumed design wind gust speed/wind classification of C1 subject to confirmation on site by (Relevant Building Certifier at first inspection) Refer to AS1684 for construction requirements.

Climate Zone
Climate zone to thermal design/thermal performance assessment: Zone1

Proposed Residence

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SMOKE DETECTORS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTALLATION DETAILS AND AS 3786:2023 AND ARE TO BE, HARD WIRED WITH BATTERY BACKUP IN ACCORDANCE WITH BCA REQUIREMENTS 9.5 WHEN REPLACING SMOKE ALARMS, THEY MUST BE OF A PHOTOELECTRIC TYPE WHICH COMPLIES WITH THE AUSTRALIAN STANDARD AS 3786:2023. EXISTING SMOKE ALARMS MANUFACTURED MORE THAN 10 YEARS AGO MUST BE REPLACED. (NOTE: SMOKE ALARMS SHOULD HAVE THE DATE OF MANUFACTURE STAMPED ON THEM). SMOKE ALARMS THAT DO NOT OPERATE WHEN TESTED MUST BE EPLACED IMMEDIATELY. EXISTING HARDWIRED SMOKE ALARMS THAT NEED REPLACEMENT MUST BE REPLACED WITH HARDWIRED SMOKE ALARM. (REFER WWW.QFES.QLD.GOV.AU/SMOKEALARMS) FOR FURTHER INFORMATION).

13.TERMITE TREATMENT

ALL TIMBER USED IN PROJECT TO BE EITHER NATURALLY RESISTANT TO TERMITE ATTACK (AS LISTED IN AS 3660.1- APPENDIX C OR CHEMICALLY TREATMENT IN ACCORDANCE WITH AS3660.1-2014 APPENDIX D. LOSP TREATED TIMBER TO BE TREATED TO H2 LEVEL FOR ALL TIMBERS USED IN ABOVE GROUND, DRY WEATHER PROTECTED AREAS, SUCH AS TRUSSES, WALL FRAMING AND SUB FLOOR APPLICATIONS. H3 LEVEL APPLICATIONS TO BE ABOVE GROUND, OUTSIDE EXPOSED TO WEATHER. AREAS SUCH AS DECKING, FENCE PICKETS AND RAILS, PERGOLAS, EXPOSED FLOOR JOISTS AND BEARERS AND EXTERNAL WALL CLADDINGS. DUE TO THE DYE PIGMENT CONTAINED IN LOSP TREATED TIMBERS, ALL INTERNAL ARCHITRAVES AND MOULDINGS TO BE EITHER NATURALLY RESISTANT TIMBERS OR H3 LEVEL LOSP TREATED TIMBERS.

14. ALL SLAB PENETRATIONS TO HAVE TERMIMESH MARINE GRADE STEEL COLLARS FITTED BY MANUFACTURERS QUALIFIED TECHNICIANS, BUILDER TO PROVIDE 2 DURABLE NOTICES PERMANENTLY FIXED IN PROMINENT LOCATIONS. SUCH AS THE ELECTRICITY METER BOX AND A KITCHEN CUPBOARD.
THE NOTICE TO INDICATE:
-METHOD OF PROTECTION
-DATE OF INSTALLATION OF THE SYSTEM USED.
-WHERE A CHEMICAL BARRIER IS USED, ITS LIFE EXPECTANCY IS LISTED ON THE NATIONAL REGISTRAION AUTHORITY LABEL.
-THE INSTALLERS OR MANUFACTURERS RECOMMENDATION FOR THE SCOPE AND FREQUENCY OF FUTURE INSPECTIONS FOR TERMITE ACTIVITY.
THE BUILDER MAY PROVIDE AN ALTERNATIVE TERMITE TREATMENT SYSTEM PROVIDED SUCH A SYSTEM IS CERTIFIED WITH THE AUSTRALIAN BUILDING CODES BOARD AS REQUIRED BY THE BUILDING CODE OF AUSTRALIA 2019. GENERALLY THE TERMITE TREATMENT SHALL COMPLY WITH BCA-2022 PART 3.4 'TERMITE RISK MANAGEMENT'.

DOOR TO WC:
ALLOW LIFT OF HINGES WHERE ANY INWARD SWINGING LEAF DOES NOT HAVE CLEARANCE WITH TOILET PAN AS REQUIRED BY THE CURRENT BUILDING CODE.

ALL WORKS SHALL BE IN STRICT ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA 2022, AND AMENDMENTS. AS 1684.3-2021. RESIDENTIAL TIMBER FRAMED CONSTRUCTION PART 3 AND AMENDMENTS. ALL RELEVANT STANDARDS. LOCAL AUTHORITY BY LAWS AND REGULATIONS, WRITTEN SPECIFICATIONS AND RECOMMENDATIONS.

BUILDER TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING ANY SITE WORKS OR WORKSHOP DRAWNGS.
BE WARNED: SUBSTITUTION OF ANY STRUCTURAL MEMBERS AND OR ANY VARIATION TO ANY PART OF THE DESIGN**WILL VOID** ANY RESPONSIBILITIES OF MY DESIGN AND CONSTRUCTION FOR THE STRUCTURAL INTEGRITY AND PERFORMANCE OF THE BUILDING.

BRACE WALL NOTES:

- P/BR DENOTES 4.0 THICK STUCTURAL F14 PLY LINING FIXED ONE SIDE (U.N.O.) WITH 2.8X30mm GALV. FLAT HEAD NAILS @
- 50 CTRS AT TOP & BOTTOM PLATES.
- 150 CTRS AT VERTICAL EDGES.
- 300 CTRS AT INTERMEDIATE STUDS.
REFER BRACE WALL PLAN SHEET
- INSTALL DOUBLE STUDS AT VERTICAL JOINT LOCATIONS TO MEET EDGE DISTANCE REQUIREMENTS ALL PER AS1684.3 OR USE 45 WIDE STUDS.
- 75X35 MGP12 HYNÉ T2 STUDS @450 CTRS 70X35 MGP12 T2 TOP& BOTTOM PLATES.
- FIX BOTTOM PLATES TO SLAB WITH M12 BOLTS @ 1200 CTRS
- WHERE WALL IS PARALLEL TO TRUSSES, PROVIDE NOGGINS BETWEEN TRUSSES AT MID POINT OF WALL. ALLOW FREE VERTICAL MOVEMENT OF TRUSSES. REFER TO AS 1648.3 TABLE 8.23 (b) USING 2M12 BOLTS THRU 120X35 MGP12 NOGGING. FIX END STUD OF BRACE WALLS TO EXTERNAL MASONRY WALL WITH M12 TRU BOLT AT TOP & BOTTOM OF BRACE WALL (100mm FROM END GRAIN OF STUD)

TYPICAL WALL FRAMING NOTES:

- 1.WHERE APPLICABLE, TIMBER FRAMING AND FIXINGS SHALL BE IN ACCORDANCE WITH AS 1684.3 & ALL STRUCTURAL TIMBERS SHALL BE MINIMUM GRADE F17 HARDWOOD OR MGP12 H2 TREATED SOFTWOOD ALL IN ACCORDANCE WITH AS 1720 UNLESS NOTED OTHERWISE.
- 2.INTERNAL WALLS TO BE DESIGNED TO COMPLY WITH NCC & AS 1170 WITH 0.5 kPA MIN. FACE LOADING, OPTIONAL 90 X 35 TOP & BOTTOM PLATES. STUDS @ 450 CTRS MAX. 1 X ROW OF NOGGINS
- 3.USE SERIES 500 TEK WHERE WALL THICKNESS >3mm
- 4.ALL EXTERNAL LININGS FIXED TO MANUFACTURERS SPECIFICATION FOR CYCLONE 2 CYCLONIC AREAS.
- 5.ALL GLAZING, FRAMING & FIXINGS TO MANUFACTURERS DESIGN, SPECIFICATION AND CERTIFICATION INCLUDING FIXING DETAILS, SIMLARLY FOR GLASS BALUSTRADING & INTERNAL STAIRS.

TYPICAL WALL FRAMING NOTES:

BOTTOM PLATES:

90X35 MGP12 H2 OR 75X50 F17 HW (3500 MAX -RLW - ROOF LOAD WIDTH).
SPLICES SHALL OCCUR ONLY AT WALL JUNCTIONS.
FIX BOTTOM PLATE TO SLAB WITH M12 BOLT EPOXIED @ 900 MAX. CTRS,110 MIN. EMBED
TOP PLATES
2/90X35 MGP12 H2 OR 75X50 F17 HW EXTERNAL WALL, 4300 MAX. RLW-ROOF LOAD WIDTH).
STUDS (7500 MAX. RLW-ROOF LOAD WIDTH):
90X35 MGP12 H2 OR 75X38 F17 HW.
STUDS SHALL BE AT 450 MAX. CTRS, NOGGINS @ 1350 MAX CTRS.
NO.14 TEK FIX OR SHOT FIRED PINS TO STEEL COLUMNS @ 450 CTRS.
EXTERNAL CORNERS @ TEE JUNCTIONS SHALL BE TIED BY STRAPPING STUDS TOGETHER
ADJACENT TO TOP & BOTTOM PLATES & NOGGINS USING 25 X 1.2 G.I. STRAP WRAPPED
AROUND THE STUDS & HAVING ENDS FIXED WITH 3/25 X 2.8Ø .F.H. NAILS.
FULL HEIGHT JAMB STUDS (6000 max RLW-ROOF LOAD WIDTH).

90 X 45 MGP12 H2 OR 2/75x38 F17 HWD < 900 OPENING
2/90 X 35 MGP12 H2 OR 3/75x38 F17 HWD <1900 OPENING
2/90 X 45 MGP12 H2 OR 2/75x50 F17 HWD <2700 OPENING
JAMB STUDS FIXED TOGETHER WITH M12 BOLTS/COACH SCREWS OR NO. 14 T17 BATTEN SCREWS @ 450 CTRS FULL HEIGHT.
LINTEL (6500max RLW-ROOF LOAD WIDTH).
100X75 F17 HW, M12 FULL HEIGHT H.D. ROD < 900 OPENING
175X75 F17 HW, M12 FULL HEIGHT H.D. ROD <1800 OPENING
300X50 F17 HW, M16 FULL HEIGHT H.D. ROD <2500 OPENING
300X75 F17 HW, M16 FULL HEIGHT H.D. ROD <3000 OPENING
FULL HEIGHT HOLD DOWN RODS EACH SIDE OF OPENINGS FIXED TO SLAB AS DETAILED.
NB. IF WALL IS FIXED TO U/S OF RHS ROOF BEAM, LINTEL MAY BE REDUCED TO MATCH SILL TRIMMER SIZES.

SILL TRIMMER:
1/90x45 <2400 OPENING
2/90x45 <3000 OPENING
ROOF BATTENS
70x45 MGP12 H3 TREATED OR 75X38 F17 HWD, 1 ROW 600 CTRS TO EAVES & RIDGE, 900 MAX. BETWEEN, 1No. 14 T17 BATTEN SCREW TO EACH RAFTER, 40 MIN. PENETRATION, OR 40x0.75 BMT P.M. BATTENS 2x ROWS @ 600 CTRS TO EAVES, 900MAX CTRS BETWEEN

SERVICE LOADS:
THE STRUCTURAL WORK SHOWN ON THESE DRAWINGS HAS BEEN DESIGNED FOR THE FOLLOWING LIVE LOADS UNLESS NOTED OTHERWISE.
ROOF -0.25kPA
INTERNAL SUSPENDED FLOORS -kPA
EXTERNAL SUSPENDED FLOORS -kPA
GROUND FLOORS -kPA
C1 WALL CLASSIFICATION, LOADING HAS BEEN DETERMINED IN ACCORDANCE WITH AS 4055 REGION C, TERRAIN CATEGORY 3 V des = 50m/s ULS is 32 m/s SLS IN ACCORDANCE WITH AS 4055 (residential).

SITE PREPERATION NOTES:

1. STRIP BUILDING SITE OF ALL TOPSOIL AND ORGANICS.
2. BUILDING PLATFORM AND PAVEMENT SUPPORT AREAS SHOULD BE UNIFORMLY COMPACTED BY HEAVY SURFACE ROLLING TO A MINIMUN FRY DENSITY RATIO OF 95% SRDD. SOFT SPOTS ENCOUNTERED DURING COMPACTIONS TO BE TREATED BY TYNING, DRYING AND RECOMPACTION.
3. THE USE OF VIBRATORY ROLLERS FOR EARTHWORKS COMPACTION MAY CAUSE SIGNIFICANT GROUND VIBRATION AND CAREFUL SITE CONTROL OR THE USE OF HEAVY STATIC COMPACTION PLANT WILL BE REQUIRED TO AVOID DAMAGE TO ADJOINING MASONRY BUILDINGS.
4. ALL FILL MATERIALS TO BE OF LOW PLASTICITY (P1<15) GRANULAR SELECT FILL. PLACED IN LAYERS NOT MORE THAN 200mm COMPACTED THICKNESS, AND UNIFORMLY COMPACTED TO A MINIMUM DRY DENSITY RATIO OF 90% SRDD.
5. BUILDER TO SURVEY SITE PRIOR TO COMMENCEMENT OF EARTHWORKS AND CONSTRUCT BUILDING PLATFORM TO A LEVEL SUCH THAT ALL SURFACE WATER IS DIRECTED AWAY FROM THE BUILDING TO A SATISFACTORY DRAINAGE OUTLET.
6. BUILDER SHALL ENSURE THAT SUITABLE AND APPROPRIATE VEHICULAR ACCESS IS PROVIDED TO THE BUILDING.
7. BUILDER SHALL ENSURE THAT SUITABLE SOIL EROSION BARRIERS ARE INSTALLED COMPLYING WITH EPA AND LOCAL AUTHORITY REQUIREMENTS.
8. REFER TO SOIL TEST CLASSIFICATION CARRIED OUT BY
REPORT No.....DATE.....
SITE CLASSIFICATION ' CLASS ?'
AS INDICATED IN THE SOIL CLASSIFICATION REPORT, BUILDER TO CONFIRM TEST RESULTS OF CONTROLLED FILL COMPACTION AS PART OF THE CONSTRUCTION OF THE SUBDIVISION. THE CUT AND FILL LINES AND TEST RESULTS CAN BE OBTAINED FROM THE DEVELOPER OR THE LOCAL COUNCIL.

WHERE THE CLIENT PROVIDES TO THE BUILDING DESIGNER ANY MATERIALS INCLUDING SKETCHES, PHOTOGRAPHS, DRAWINGS, PLANS UPON WHICH THE BUILDING DESIGNER IS TO BASE THE WORK, THE CLIENT SHALL INDEMNIFY AN KEEP INDEMNIFIED THE BUILDING DESIGNER AT ALL TIMES AGAINST ALL ACTIONS, PROCEEDINGS, CLAIMS, DEMANDS, LIABILITIES, EITHER WHATSOEVER WHICH MAY BE TAKEN AGAINST THE BUILDING DESIGNER OR INCURRED OR BECOME PAYABLE BY THE BUILDING DESIGNER RESULTING OR ARISING FROM ANY CLAIM OR INFRINGEMENT OF AN PATENT, REGISTERED DESIGN, TRADEMARK, COPYRIGHT OR ANY OTHER PROPERTY INTEREST OF A THIRD PARTY WHICH MAY RESULT OUT OF THE USE BY THE BUILDING DESIGNER OF THE MATERIALS.

Site Classification Site Classification as Class '?' Refer Soil Report No:-..... By:-	AUTHORITIES/CONSULTANTS Municipality Cairns Regional Council 1300 692 247 BUILDING DESIGNER/ARCHITECT Speedy Gomez Building Design PO BOX 296N Cairns North QLD 4870	RELEVANT BUILDING CERTIFIER The Building Approval Company PO Box 74, Redlynch QLD 4870 CONSULTING ENGINEER KFB Engineers Unit 1, Bohemia Business Centre, 38 - 42 Pease St, Cairns Q 4870 PO Box 927, Cairns Q 4870
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Revision:

General Notes - 1

Sheet: A014 of 15

Status: Concept

Date: 23/01/26

Ref: GGF-131

Size: A3

Drawing No.

A014

Drawn: Cinda Gomes-Franklin
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General Notes

1 : 100

GUIDELINES FOR REMOTE OUTLETS ON WATER TANKS

IDENTIFICATION INSTALLATION REQUIREMENTS

THE FOLLOWING DETAILS RELATING TO HYDRANTS ARE DIVIDED INTO THREE SECTIONS: GENERAL - REQUIREMENTS THAT RELATE TO ALL HYDRANT TYPES; ABOVE GROUND HYDRANTS - IDENTIFICATION INSTALLATION REQUIREMENTS RELATIVE TO ABOVE GROUND HYDRANTS ONLY (IE: L TYPE HYDRANT, PILLAR HYDRANTS, MILLCOCKS AND DRY RISER); AND BELOW GROUND HYDRANTS - IDENTIFICATION INSTALLATION REQUIREMENTS RELATIVE TO BELOW GROUND HYDRANTS ONLY (IE: GROUND BALL, SPRING LOADED HYDRANTS [FIRE PLUG] AND VALVE CONTROLLED HYDRANTS). 5.1 GENERAL TOTAL COMPLIANCE WITH THE APPLICABLE IDENTIFICATION INSTALLATION CRITERIA OF THIS SECTION IS DEEMED TO SATISFY THE REQUIREMENTS OF THE RELEVANT FIRE SERVICE, AND AS SUCH NO APPROVAL OF THE DEFINED IDENTIFICATION SYSTEM IS NECESSARY. HOWEVER, THIS DOES NOT LIMIT IN ANY WAY OTHER APPROVAL REQUIREMENTS WHICH MAY BE IMPOSED FROM TIME TO TIME, BY THE RELEVANT FIRE SERVICE IN RELATION TO OTHER MATTERS ASSOCIATED WITH THE IDENTIFICATION OF STREET HYDRANTS FOR FIRE FIGHTING PURPOSES

HYDRANT MARKINGS

- GENERAL
- (i) ALL HYDRANTS ARE TO BE IDENTIFIED BY BLUE REFLECTIVE MARKERS EACH WITH A SURFACE AREA OF AT LEAST 50cm ² AND MANUFACTURED EITHER GENERALLY OR IN ACCORDANCE WITH THE SPECIFIC PROVISIONS OF:
- FOR REFLECTIVE TAPE - OF AS/NZS 1906.1 - 2007 - RETROREFLECTIVE MATERIALS AND DEVICES FOR ROAD TRAFFIC CONTROL PURPOSES - CLASS 1 RETROREFLECTIVE MATERIALS
 - FOR POST MOUNTED DISCS - AS 1906.2 - 2007 - RETROREFLECTIVEMATERIALS FOR ROAD TRAFFIC CONTROL PURPOSES - RETROREFLECTIVE DEVICES (NON-PAVEMENT APPLICATION); AND
 - FOR RAISED REFLECTIVE ROAD MARKERS - AS 1906.3 - 1992 - RETROREFLECTIVE MATERIALS AND DEVICES FOR ROAD TRAFFIC CONTROL PURPOSES - RAISED PAVEMENT MARKERS (RETROREFLECTIVE AND NONRETROREFLECTIVE). THE NUMBER AND THEIR LOCATION ARE AS CONTAINED IN THESE GUIDELINES.
- (ii) ALL POST TYPE MARKERS AND ABOVE GROUND HYDRANTS ARE TO HAVE A RED (PMS 185), NON-REFLECTIVE MARKING OF AT LEAST 200mm AROUND THE TOP OF THE POST, OR THE DEFINED HEAD OF THE ABOVE GROUND HYDRANT BODY OR COVER. (THE PANTONE MANAGEMENT SYSTEM, PMS, IS AN INTERNATIONALLY ACCEPTED SYSTEM FOR MATCHING COLOUR)

- (iii) ALL HYDRANTS MUST HAVE A WHITE TRIANGULAR ROAD MARKING BEING 450mm ± 50mm LONG AND 250mm ± 50mm WIDE MEETING THE REQUIREMENTS OF AS 4049.2 - 2005 - PAINTS AND RELATED MATERIALS - PAVEMENT MARKING MATERIALS - THERMOPLASTIC PAVEMENT MARKING MATEIRALS - FOR USE WITH SURFACE APPLIED GLASS BEADS.

PROTECTION OF PIPEWORK

THE PIPELINE BETWEEN THE TANK AND THE REMOTE OUTLET MUST BE INSTALLED SO THAT IT IS NOT EASILY DAMAGED. FOR THE BELOW-GROUND PIPEWORK, THIS CAN BE ACHIEVED BY ENSURING THAT THERE IS ADEQUATE COVER OVER THE PIPELINE. TO ACHIEVE ADEQUATE POWER, ALL BELOW-GROUND WATER PIPES MUNST BE INSTALLED TO BE AT LEAST THE FOLLOWING DEPTH BELOW THE FINISHED SURFACE:

- 300mm FOR PIPES SUBJECT TO VEHICLE TRAFFIC
- 75mm FOR PIPES UNDER DWELLINGS OR CONCRETE SLABS
- 225mm FOR ALL OTHER LCOATIONS

THE ABOVE GROUND PIPEWORK (E.G. THE RISER) AND FIXINGS AND FITTINGS MUST BE MADE WITH CORROSIVE RESISTANT METAL.



CFA Outlet Only



CFA & Occupant Outlet

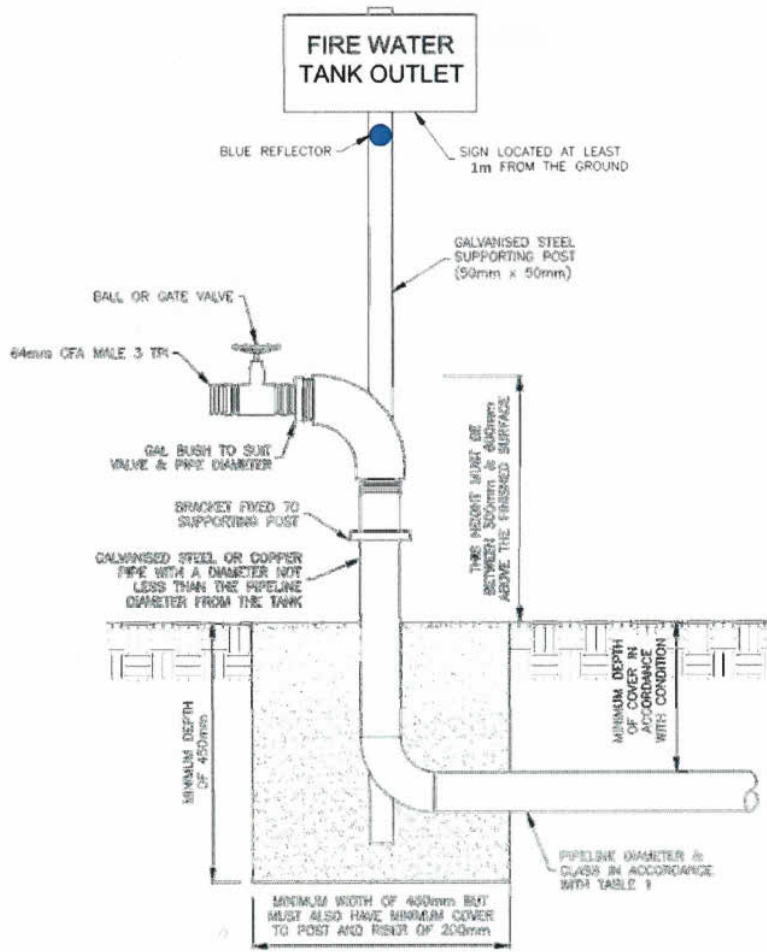


FIGURE 3
REMOTE OUTLET ARRANGEMENT

IDENTIFICATION

A PERMANENT SIGN IS REQUIRED TO BE ATTACHED TO THE TOP OF THE POST SUPPORTING THE RISER SO THAT FIRE FIGHTERS CAN QUICKLY IDENTIFY THAT THE OUTLET IS CONNECTED TO A STATIC WATER SUPPLY FOR FIRE FIGHTING. A BLUE REFLECTOR IS ALSO REQUIRED TO BE ATTACHED TO THIS POST TO AID IN LOCATING THE OUTLET AT NIGHT. THE SPECIFICATIONS FOR THIS REFLECTOR SHOULD BE IN ACCORDANCE WITH THE DETAILS GIVEN UNDER ITEM 5.1.1 OF THE "IDENTIFICATION OF STREET HYDRANTS FOR FIRE FIGHTING PURPOSES".

THE REMOTE OUTLET SHOULD BE READILY IDENTIFIABLE FROM THE ENTRANCE TO THE PROPERTY OR THE DWELLING / BUILDING. THIS IS SO THAT FIRE FIGHTERS DON'T WASTE VALUABLE TIME IN SEARCHING FOR IT. IF THE OUTLET IS NOT READILY IDENTIFIABLE, STANDARD SIGNAGE MUST BE INSTALLED TO DIRECT FIRE FIGHTERS TO THE OUTLET.

CONSTRUCTION NOTES FOR BUSHFIRE ATTACK LEVEL 19 (BAL-19):

WALLS

- EXTERNAL WALL SURFACE SHALL BE MADE FROM NON-COMBUSTIBLE MATERIAL

JOINTS

- ALL JOINTS IN THE EXTERNAL SURFACE MATERIAL OF WALLS SHALL BE COVERED, SEALED, OVERLAPPED, BACKED OR BUTT-JOINTED TO PREVENT GAPS GREATER THAN 3mm

WINDOWS

- WINDOW ASSEMBLIES SHALL BE METAL-REINFORCED PVC-U. THE REINFORCING MEMBERS SHALL BE MADE FROM ALUMINIUM, STAINLESS STEEL, OR CORROSION-RESISTANT STEEL AND THE FRAME AND THE SASH SHALL SATISFY THE DESIGN LOAD, PERFORMANCE AND STRUCTURAL STRENGTH OF THE MEMBER.

- GLAZED ELEMENTS THAT ARE DESIGN TO TAKE INTERNAL SCREENS SHALL USE TOUGHENED GLASS AND THE OPENABLE PORTION SHALL BE SCREENED IN SUCH A WAY TO HAVE NO GAPS GREATER THAN 3mm IN DIAMETER. SCREENING MATERIAL SHALL BE A MESH WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM

SIDE-HUNG DOORS

- MADE FROM NON-COMBUSTIBLE MATERIAL OR A SOLID TIMBER DOOR, HAVING A MINIMUM THICKNESS OF 35mm FOR THE FIRST 400mm ABOVE THE THRESHOLD

- DOORS SHALL BE TIGHT-FITTING TO THE DOORFRAME AND TO AN ABUTTING DOOR, IF APPLICABLE.

STACKER DOOR

- GLAZING INCORPORATED IN SLIDING DOORS SHALL BE TOUGHENED GLASS, MINIMUM OF 5mm

- SLIDING SCREEN DOOR MADE WITH A CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM MESH AND SHALL HAVE A MAXIMUM APERTURE OF 2mm

SLIDING DOORS

- GLAZING INCORPORATED IN SLIDING DOORS SHALL BE TOUGHENED GLASS, MINIMUM OF 5mm

ROLLER DOOR (VEHICLE ACCESS)

- THE LOWER PORTION OF A VEHICLE ACCESS DOOR THAT IS WITHIN 400mm OF THE GROUND WHEN THE DOOR IS CLOSED SHALL BE MADE FROM NON-COMBUSTIBLE MATERIAL

- SHALL HAVE GUIDE TRACKS WITH A MAXIMUM GAP NO GREATER THAN 3mm AND SHALL BE FITTED WITH A NYLON BRUSH THAT IS IN CONTACT WITH THE DOOR

- VEHICLE ACCESS DOORS SHALL NOT INCLUDE VENTILATION SLOTS

SHEET ROOFS

- SARKING SHALL HAVE A FLAMMABILITY INDEX OF NOT MORE THAN 5, WHEN TESTED TO AS 1530.2; BE LOCATED DIRECTLY BELOW THE ROOF BATTENS; COVER THE ENTIRE ROOF AREA INCLUDING THE RIDGE; AND BE INSTALLED SO THAT THERE ARE NO GAPS THAT WOULD ALLOW THE ENTRY OF EMBERS WHERE THE SARKING MEETS FASCIA, GUTTERS, VALLEYS AND THE LIKE.

- SHALL NOT HAVE ANY GAPS GREATER THAN 3mm UNDER CORRUGATIONS OR RIBS OF SHEET ROOFING AND BETWEEN ROOF COMPONENTS SEALED AT THE FASCIA OR WALL LINE AND AT VALLEYS, HIPS AND RIDGES BY A MINERAL WOOL

SKYLIGHT

- ALL OVERHEAD GLAZING SHALL BE GRADE A LAINATED SAFETY GLASS COMPLYING WITH AS 1288.

- GLAZED ELEMENTS IN SKYLIGHTS MAY BE OF POLYMER PROVIDED A GRADE A SAFETY GLASS DIFFUSER, COMPLYING WITH AS 1288, IS INSTALLED UNDER THE GLAZING. WHERE GLAZING IS AN INSULATING GLAZING UNIT (IGU), GRADE A TOUGHENED SAFETY GLASS OF MINIMUM 4mm SHALL BE USED IN THE OUTER PANE OF THE IGU.

EAVES LININGS, FASCIAS AND GABLES

- EAVES VENTILATION OPENINGS GREATER THAN 3mm SHALL BE FITTED WITH EMBER GUARDS MADE OF NON-COMBUSTIBLLE MATERIAL OR A MESH OR PERFORATED SHEET WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM.

- JOINTS IN EAVES LININGS, FASCIAS AND GABLES MAY BE SEALED WITH PASTIC JOINING STRIPS OR TIMBER STORM MOULDS.

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Proposed Residence
192 Cedar Road, Cow Bay, QLD

Revision:

General Notes - 2

Drawing No.
A015

Drawn: Cinda Gomes-Franklin
QBCC 15153859
DP-AD 39400

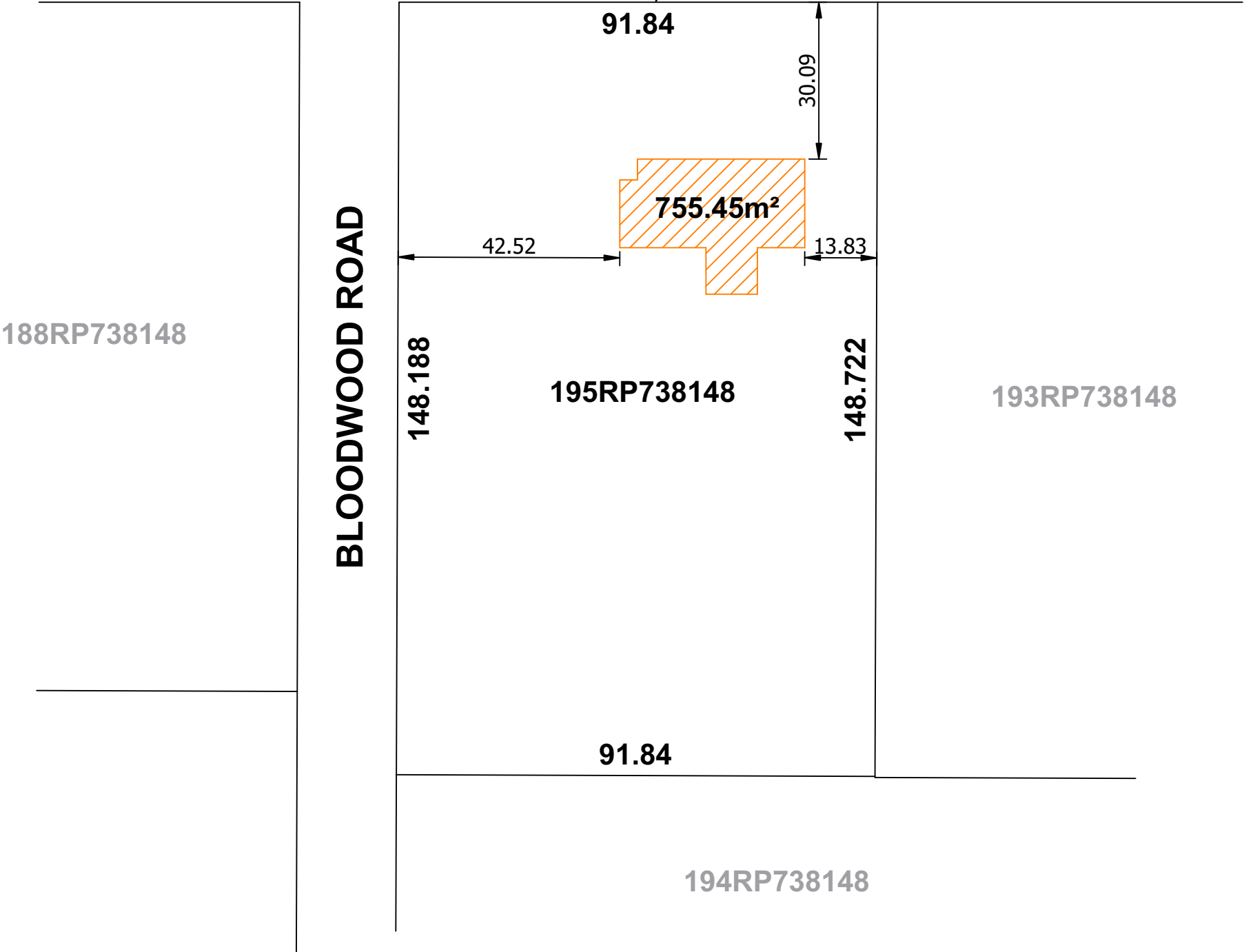
Sheet: A015 of 15
Status: Concept
Date: 23/01/26
Ref: GGF-131
Size: A3


Speedy Gomez
Building Design
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CEDAR ROAD

NEW CROSSOVER



0450 781 841	DRAWING REFERENCE: 25025-1.0	BUILDING ENVELOPE PLAN	DRAWING ISSUE: 1.0		Scale: 1:350 @ A3	NOTE: This is not a survey plan
info@scopetownplanning.com.au	Prepared for: Speedy Gomez Design & Draw	BUILDING ENVELOPE & SITE ACCESS FOR A DWELLING HOUSE	Drw Issue:	Amendment:	Date:	COMMENTS:
	Job Number: 25025	LOCAL AUTHORITY: DOUGLAS SHIRE COUNCIL	1	0	23-01-26	-
	Date: January 2026	REAL PROPERTY ADDRESS: 192RP738148				
	Drawn by: J. Burns	SITE ADDRESS: LOT 192 CEDAR RD. COW BAY				

Individual owner's consent for making a development application under the *Planning Act 2016*

I, RODRICK N Q SARMAARDIN

as owner of the premises identified as follows:

192 Cedar Rd. Cow Bay Qld. 4873
Lot 192 on RP738148

consent to the making of a development application under the *Planning Act 2016* by:

Scope Town Planning

on the premises described above for:

Material Change of Use for a Dwelling House



[signature of owner and date signed]

25.11.25