

YOUR REF:

OUR REF: MCUC 1346/2016 (770441)

22 March 2016

Greg Skyring Design & Drafting Pty Ltd (TTE)
11 Noli Cl
MOSSMAN QLD 4873

Attention: Greg Skyring

Dear Sir

**DECISION NOTICE UNDER S 335 SUSTAINABLE PLANNING ACT 2009:
DEVELOPMENT APPLICATION FOR FOREST CREEK ROAD FOREST
CREEK**

With reference to the abovementioned Development Application, which was determined under Instrument of Delegation on 22 March 2016, please find attached the relevant Decision Notice.

The Notice includes extracts from the Act with respect to making representations about conditions, negotiated decisions, suspension of the appeal period, and lodging an Appeal.

Should you have any enquiries in relation to this Decision Notice, please contact Daniel Lamond of Development Assessment and Coordination on telephone number 07 4099 9456.

Yours faithfully

Paul Hoyer
General Manager Operations

Att

APPLICANT DETAILS

K Jack
C/- Greg Skyring Design & Drafting Pty Ltd (TTE)
11 Noli Cl
MOSSMAN QLD 4873

ADDRESS

Forest Creek Road FOREST CREEK

REAL PROPERTY DESCRIPTION

Lot 64 on BS6

PROPOSAL

House

DECISION

Approved subject to conditions (refer to approval package below).

DECISION DATE

22 March 2016

TYPE

Material Change of Use (Development Permit)

REFERRAL AGENCIES

None Applicable

SUBMISSIONS

There were no submissions for this application.

FURTHER DEVELOPMENT PERMITS REQUIRED

Development Permit for Building Works
Development Permit for Plumbing Works

CODES TO COMPLY WITH FOR SELF-ASSESSABLE DEVELOPMENT

None

DOES THE ASSESSMENT MANAGER CONSIDER THE APPLICATION TO BE IN CONFLICT WITH APPLICABLE CODES, PLANNING SCHEME, STATE PLANNING POLICIES OR PRIORITY INFRASTRUCTURE PLAN (IF YES, INCLUDE STATEMENT OF REASONS)

Not in conflict

APPROVED DRAWING(S) AND/OR DOCUMENT(S)

The term 'approved drawing(s) and/or document(s)' or other similar expression means:

Drawing or Document	Reference	Date
Site Plan, Area Plan, Sheet List	Plan Number 102-16 sheet 1/3 Prepared by Greg Skyring Design and Drafting Pty Ltd (#769144)	7 March 2016
Floor Plan	Plan Number 102-16 sheet 2/3 Prepared by Greg Skyring Design and Drafting Pty Ltd (#769144)	7 March 2016
Elevations	Plan Number 102-16 sheet 3/3 Prepared by Greg Skyring Design and Drafting Pty Ltd (#769144)	7 March 2016

ASSESSMENT MANAGER CONDITIONS:

1. Carry out the approved development generally in accordance with the approved drawing(s) and/or document(s), and in accordance with:
 - a. The specifications, facts and circumstances as set out in the application submitted to Council, including recommendations and findings confirmed within technical reports; and
 - b. The following conditions of approval and the requirements of Council's Planning Scheme and the *FNQROC Development Manual*.

Except where modified by these conditions of approval.

Timing of Effect

2. The conditions of the Development Permit must be satisfied prior to Commencement of Use, except where specified otherwise in these conditions of approval.

Lawful Point of Discharge

3. The flow of all external stormwater from the property must be directed to a lawful point of discharge such that it does not adversely affect surrounding properties or properties downstream from the development.

Water Supply

4. Water storage tank(s) with a minimum capacity not less than 30 000 litres must be installed prior to occupation of the premises. Details of the water tank(s) must be shown on plans submitted with the Building Application. Such water tank(s) must be provided with:
 - a. Mosquito-proof screens of brass, copper, aluminium or stainless steel gauze not coarser than one (1) mm aperture mesh of substantial construction and installed in such manner as not to cause or accelerate corrosion; or
 - b. Flap valve at every opening of the tank or other receptacle; or
 - c. Other approved means for preventing the ingress or egress of mosquitoes; and
 - d. Where a tank or other receptacle is provided with a manhole, the manhole must have a diameter of no more than 40 cm; and
 - e. A 50 mm ball valve with a camlock fitting.

On-Site Effluent Disposal

5. The method of on-site effluent disposal must be in accordance with the Queensland Plumbing & Wastewater Code. Details of the wastewater treatment system to be installed must be approved by the Chief Executive Officer prior to the issue of a Development Permit for Building Work. The recommendations contained in the On-Site

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Sewage Disposal Assessment Report No SI 041-16 dated 29 February 2016 prepared by Earth Test, are considered to satisfy this condition requirement.

Vegetation Clearing

6. Existing vegetation on the land must be retained in all areas. Any further clearing requires a Permit for Operational Works.

Building Colours

7. The exterior finishes and colours of Buildings are non-reflective and blend with the natural colours of the surrounding environment. Roofs and structures (including water tanks) must be of moderately dark to darker shades of green, grey, blue and brown.

The following proposed building colours are approved for use:

Exterior Walls – Paperbark

Roof – Bush Land

The above requirements must be made known in writing to all prospective purchasers.

Sediment and Erosion Control

8. Soil and water management measures must be installed/implemented prior to discharge of water from the site, such that no external stormwater flow from the site adversely affects surrounding or downstream properties (in accordance with the requirements of the *Environmental Protection Act 1994*, and the *FNQROC Development Manual*).

Weed Management

9. All works must be undertaken in a manner which does not spread noxious weed species off site. Vehicles and machinery are to be washed down effectively before leaving the site. Identified weed species must be eradicated from the site over time. For assistance with eradication methods visit the Queensland Biosecurity website on www.daf.qld.gov.au.

Geotechnical Report

10. Construction must be in accordance with the recommendations of the Geotechnical Report No SI 041-16 dated 29 February 2016. The works must be supervised by a Registered Professional Engineer of Queensland with all work detailed on a certificate of supervision and a copy of the supervision certificate submitted to Council upon completion;

Structural Certification

11. All retaining walls or structures higher than 900 mm must be structurally certified prior to the issue of a Development Permit for Building Work. Where the profile or height of the wall is redesigned during structural certification, amended plans must be endorsed by the Chief Executive Officer prior to the issue of a Development.

ADVICE

1. This approval, granted under the provisions of the *Sustainable Planning Act 2009*, shall lapse four (4) years from the day the approval takes effect in accordance with the provisions of section 339 and section 341 of the *Sustainable Planning Act 2009*.
2. The applicant/owner is advised that this approval does not approve the construction of the building work. A Development Permit for Building Work must be obtained in order for construction to commence.
3. All building site managers must take all action necessary to ensure building materials and / or machinery on construction sites are secured immediately

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following the first cyclone watch and that relevant emergency telephone contacts are provided to Council officers, prior to commencement of works.

4. This approval does not negate the requirement for compliance with all other relevant Local Laws and other statutory requirements.
5. For information relating to the *Sustainable Planning Act 2009* log on to www.dilqp.qld.gov.au . To access the *FNQROC Development Manual*, Local Laws and other applicable Policies log on to www.douglas.qld.gov.au .

LAND USE DEFINITIONS*

In accordance with the 2006 Douglas Shire Planning Scheme the approved land use of House is defined as:

Means the use of premises comprising one Dwelling Unit, located on one lot for the exclusive residential use of one Household. The use includes:

- Outbuildings/structures incidental to and necessarily associated with the residential use;
- the care of children in accordance with the Child Care (Family Day Care) Regulation 1991;
- accommodation for a member or members of the extended family of the Household occupying the House and for personal staff;
- a display house which displays to the general public the type of construction or design offered by a builder/developer, for a maximum period of twelve (12) months and which then converts to a House for the exclusive use of one Household; and
- The short term letting of a house for the purpose of holiday rental accommodation.

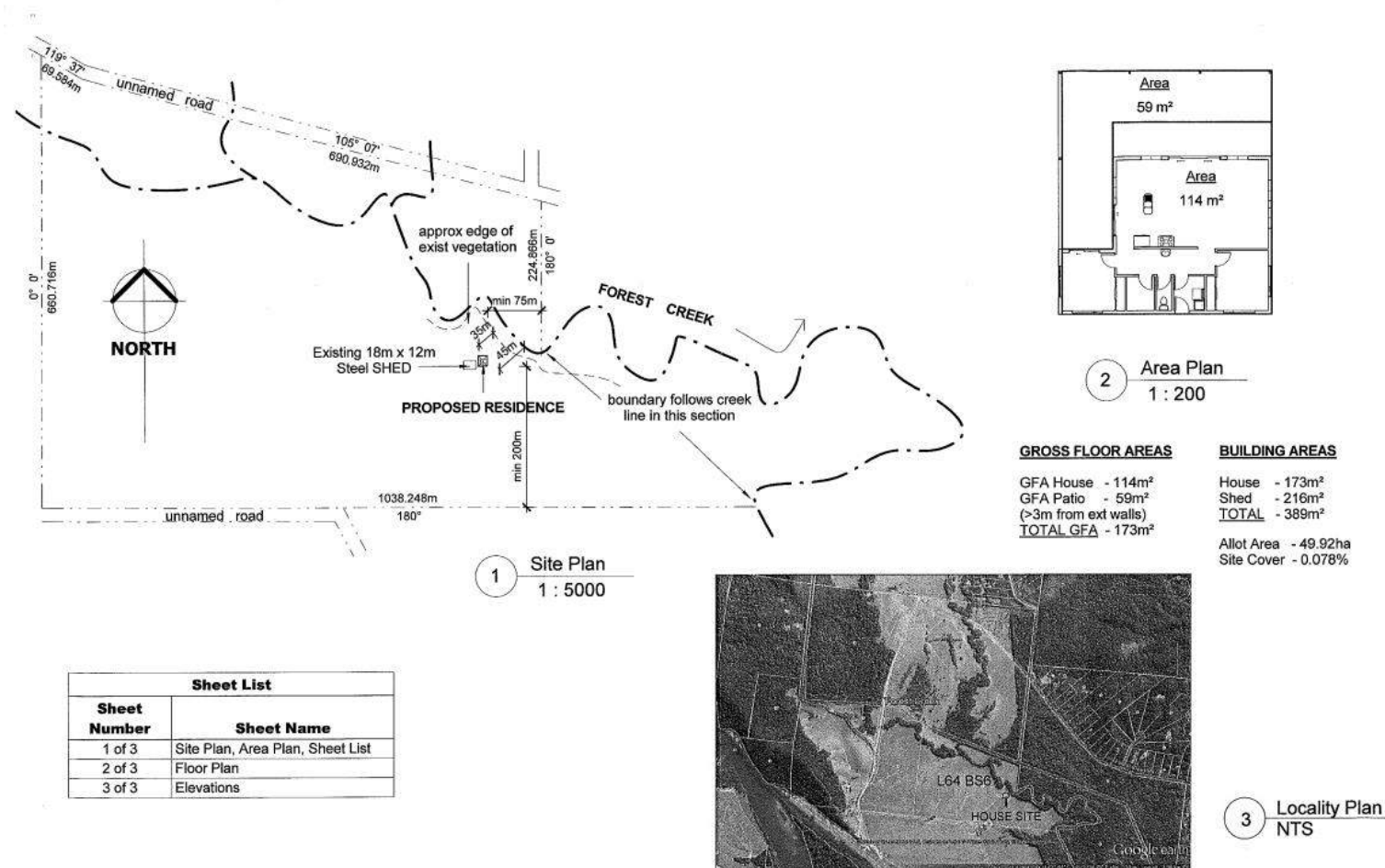
*This definition is provided for convenience only. This Development Permit is limited to the specifications, facts and circumstances as set out in the application submitted to Council and is subject to the abovementioned conditions of approval and the requirements of Council's Planning Scheme and the *FNQROC Development Manual*.

RIGHTS OF APPEAL

Attached

End of Decision Notice

APPENDIX 1: APPROVED DRAWING(S) & DOCUMENT(S)



43.2016.1346
8/10

GREG SKYRING
Design and DRAFTING Pty. Ltd.

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Mossman Q. 4873

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Email: greg@skyringdesign.com.au

PROJECT

Proposed Residence,
Off Forest Creek Road,
L64 BS6,
FOREST CREEK

CLIENT

K. Jack

WIND CLASS

C2

PLAN NUMBER

102-16

SHEET

1 of 3

SCALES

As indicated

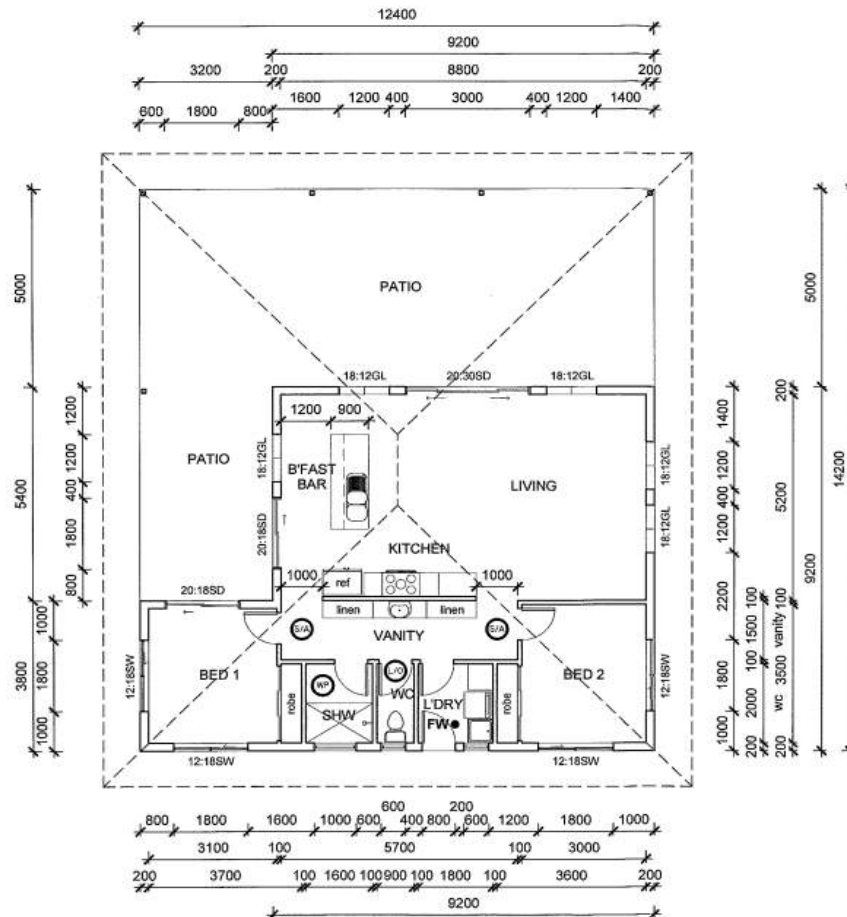
PLAN TITLE

Site Plan, Area Plan, Sheet List

DATE OF ISSUE

7.03.16

REV



1 Floor Plan
1 : 100

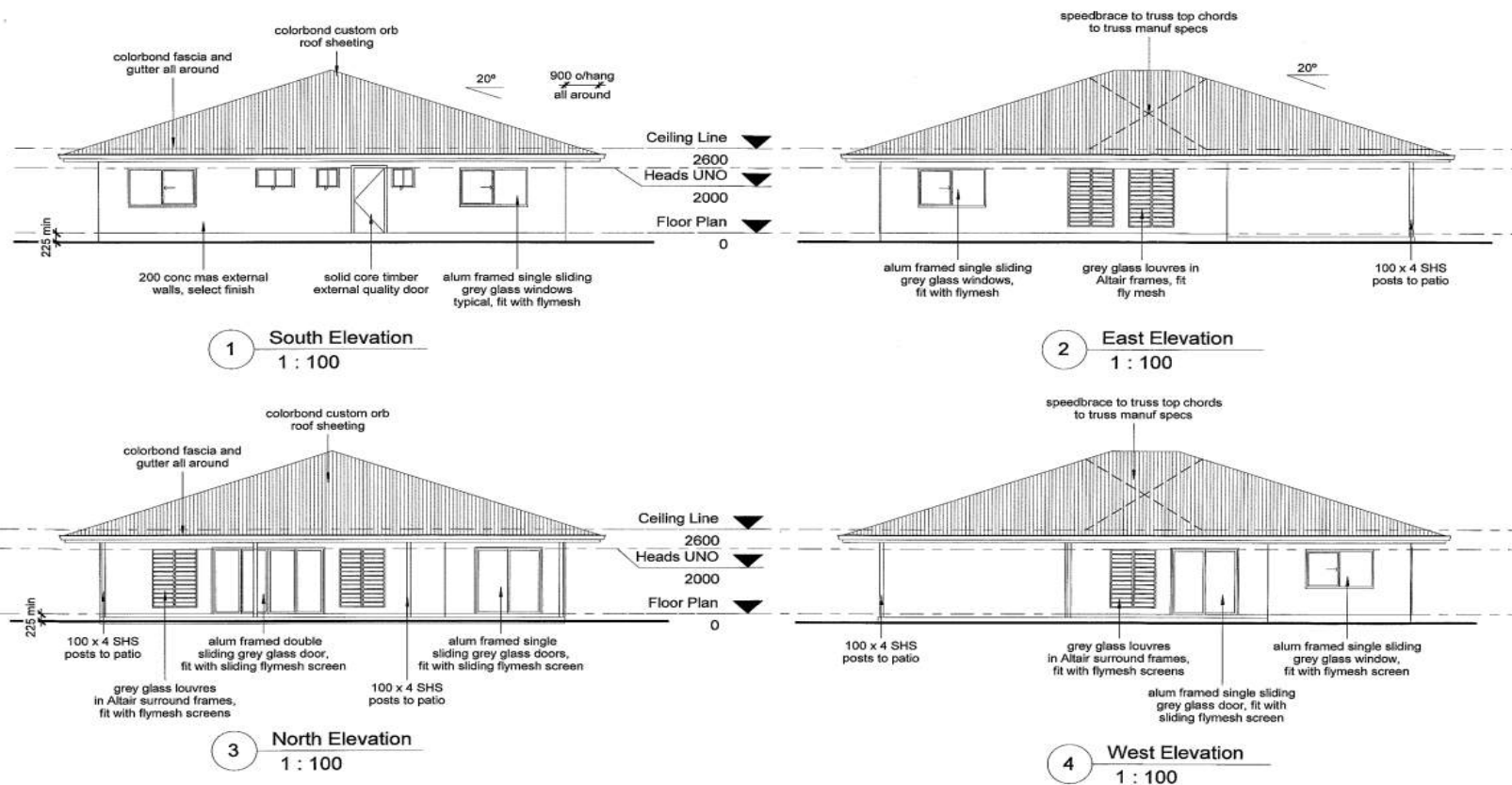
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SCALES
1 : 100

PLAN TITLE
Floor Plan

WIND CLASS	PLAN NUMBER	SHEET
C2	102-16	2 of 3
DATE OF ISSUE	7.03.16	REV



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CLIENT	K. Jack	WIND CLASS	C2	PLAN NUMBER	102-16	SHEET	3 of 3
SCALES	1 : 100	PLAN TITLE	Elevations	DATE OF ISSUE	7.03.16	REV	