

ENQUIRIES: Ms Jenny Elphinstone
PHONE: (07) 4044 9482
FAX: (07) 4044 3836
YOUR REF: VGF – C937 (WP: 21359)
OUR REF: 8/7/2772 (4136044)

1 October 2013

Kass Investments Pty Ltd
ATF The Partridge Family Trust
C/- Victor G Feros Planning Consultants
PO Box 1256
CAIRNS QLD 4870

Attention: Mr Nick Hardy

Dear Sir

**DECISION NOTICE UNDER S 335 SUSTAINABLE PLANNING ACT 2009:
DEVELOPMENT APPLICATION FOR 34 MURPHY STREET, PORT DOUGLAS**

With reference to the abovementioned Development Application, which was determined by Council at the Ordinary Meeting held on 25 September 2013, please find attached the relevant Decision Notice.

Minor administrative corrections have been made to the Decision Notice to reflect advice received by the Applicant (Council document reference 4129447).

The notice includes extracts from the Act with respect to making representations about conditions, negotiated decisions, suspension of the appeal period, and lodging an Appeal.

Should you have any enquiries in relation to this Decision Notice, please contact Jenny Elphinstone of Council's Development Services team on telephone number (07) 4099 9482.

Yours faithfully

Neil Beck
Acting Manager Development & Regulatory Services

Att

APPLICANT DETAILS

Kass Investments Pty Ltd
ATF The Partridge Family Trust
C/- Victor Feros Planning Cons
PO Box 1256
CAIRNS QLD 4870

ADDRESS

34 Murphy Street, Port Douglas

REAL PROPERTY DESCRIPTION

Lot 126 on SP144708

PROPOSAL

House (Special Management Area 1 – Flagstaff Hill)

DECISION

Approved subject to conditions (refer to approval package below).

DECISION DATE

25 September 2013

TYPE

Material Change of Use (Development Permit)

REFERRAL AGENCIES

None Applicable

SUBMISSIONS

There were no submissions for this application.

FURTHER DEVELOPMENT PERMITS REQUIRED

Development Permit for Building Works
Development Permit for Plumbing Works

CODES TO COMPLY WITH FOR SELF-ASSESSABLE DEVELOPMENT

None

DOES THE ASSESSMENT MANAGER CONSIDER THE APPLICATION TO BE IN CONFLICT WITH APPLICABLE CODES, PLANNING SCHEME, STATE PLANNING POLICIES OR PRIORITY INFRASTRUCTURE PLAN (IF YES, INCLUDE STATEMENT OF REASONS)

Not in conflict

APPROVED DRAWING(S) AND/OR DOCUMENT(S)

The term 'approved drawing(s) and/or document(s)' or other similar expression means:

Drawing or Document	Reference	Date
Proposed Site Plan	Charles Wright Architecture Drawing A300 Revision R2	26 August 2013
Proposed Site Plan & Undercroft Level Floor Plan	Charles Wright Architecture Drawing A301 Revision R4	26 August 2013
Proposed Floor Plan Level 1 & Level 2	Charles Wright Architecture Drawing A302 Revision R4	26 August 2013
Colour Plan, Proposed Site Plans & Undercroft Level Floor Plan	Charles Wright Architecture Drawing A303 Revision R3	26 August 2013
Colour Plan, Proposed Floor Plan, Level 1 & Level 2	Charles Wright Architecture Drawing A304 Revision R3	26 August 2013
Proposed Pool & Undercroft, Suspended Slab & Footings	Charles Wright Architecture Drawing A311 Revision R2	26 August 2013
Proposed South Elevation & East Elevation	Charles Wright Architecture Drawing A401 Revision R3	26 August 2013
Proposed North Elevation & West Elevation	Charles Wright Architecture Drawing A402 Revision R3	26 August 2013
Proposed Sections	Charles Wright Architecture Drawing A411 Revision R4	26 August 2013
Existing & Proposed Driveway	Charles Wright Architecture Drawing A501 Revision R4	26 August 2013
Landscape Plan Set: Cover Sheet; Existing Site Vegetation; Landscape Planting Concept – Trees & Palms; Landscape Planting Concept – Shrubs;	Andrew Prowse Landscape Architect Drawings, Revision A: LP-P1.0; LP-P2.0; LP-P3.0; LP-4.0;	13 August 2013

Landscape Planting List & Specifications; Landscape Elevation – North/East; Landscape Elevation – West / South; and Landscape Drainage Swale – Typical Detail.	LP-P5.0; LP-E1.0; LP-E2.0; and LP-D1.0.	
Geotechnical Investigation L126 Murphy Street	Golder Associates Report 137632049-001-R-Revision 1	August 2013
Cut and Fill Plan Report	G &A Consulting Pty Ltd	4 September 2013
Benching Plan	Drawing 13-3375 SK01	4 September 2013
Outline of Cut Bench Plan	G &A Consulting Pty Ltd Drawing 13-3375 SK02	4 September 2013

ASSESSMENT MANAGER CONDITIONS

1. Carry out the approved development generally in accordance with the approved drawing(s) and/or document(s), and in accordance with:
 - a. The specifications, facts and circumstances as set out in the application submitted to Council;
 - b. The following conditions of approval and the requirements of Council's Planning Scheme and the FNQROC Development Manual.

Except where modified by these conditions of approval

Timing of Effect

2. The conditions of the Development Permit must be effected prior to Commencement of Use, except where specified otherwise in these conditions of approval.

Airconditioning Screens

3. Airconditioning units located above ground level and visible from external properties and the street must be screened with appropriate materials to improve the appearance of the building. Such screening must be completed prior to the Commencement of Use.

Lawful Point of Discharge

4. The flow of all external stormwater from the property must be directed to a lawful point of discharge such that it does not adversely affect surrounding properties or properties downstream from the development.

Drainage Study of Site

5. Undertake a local drainage study on the subject land to determine drainage impacts on downstream properties and the mitigation measures required to minimise such impacts. In particular, the post-development discharge of stormwater from the subject site must have no worsening effect on the drainage of upstream or downstream properties. The proposed development is not to create ponding nuisances and/or concentration of stormwater flows to adjoining properties.

In addition the drainage study needs to consider the upslope catchment and flows and compare these to the existing capacity of the northern boundary drain. The drainage study needs to assess what freeboard the existing drain provides and what the impact of any blockages in the drain and inlet structure would have on its functionality. Should the study demonstrate that the drain is likely to overtop on a regular basis, the impact on the downstream batter and building needs to be considered and adequate erosion protection measures needs to be introduced to the design.

The study must also identify the need and location of any drainage easements to convey stormwater to the lawful point of discharge. The drainage study must be endorsed by the Chief Executive Officer prior to the issue of a Development Permit for Building Work with the necessary works being undertaken prior to Commencement of Use.

6. The concept for excavation and earthworks as detailed on G & A Consultants Pty Ltd drawings 13-3375 SK01 and SK02 dated 4 September 2013 is generally approved subject to compliance with the geotechnical and drainage conditions as identified in the Golder Associates Geotechnical investigation report 137632049-001-R-Rev 1 dated August 2013. All construction works must be in regards to the requirements of the Golder Associates Geotechnical investigation report 137632049-001-R-Rev 1 dated August 2013 unless otherwise approved by the Chief Executive Officer.

Earthwork details must be endorsed by the Chief Executive Officer prior to the issue of a Development Permit for Building Work. Such earthworks must be completed in accordance with the approved plans prior to the commencement of use.

Sediment and Erosion Control

7. Soil and water management measures must be installed/implemented prior to discharge of water from the site, such that no external stormwater flow from the site adversely affects surrounding or downstream properties (in accordance with the requirements of the *Environmental Protection Act 1994*, and the *FNQROC Development Manual*).

Structural Certification and Geotechnical Assessment

8. All earthwork batters steeper than 1 in 2 and/or higher than 1.8 metres must be certified by a qualified Geotechnical Engineer prior to the Commencement of Use. All batters must be constructed in a manner that minimises the construction footprint and has the ability to be screened.

All retaining walls or structures higher than one (1) metre must be structurally certified prior to the issue of a Development Permit for Building Work. The retaining wall must be constructed of materials and/or finished in colours, which blend with the surrounding natural environment.

Where the profile or height of the wall is redesigned during structural certification, amended plans must be endorsed by the Chief Executive Officer prior to the issue of a Development Permit for Building Work.

Stockpiling and Transportation of Fill Material

9. Soil used for filling or spoil from the excavation is not to be stockpiled in locations that can be viewed from adjoining premises or a road frontage for any longer than one (1) month from the commencement of works.

Transportation of fill or spoil to and from the site must not occur within:

- a. peak traffic times;
 - b. before 7:00 am or after 6:00 pm Monday to Friday;
 - c. before 7:00 am or after 1:00 pm Saturdays; or
 - d. on Sundays or Public Holidays.
10. Dust emissions or other air pollutants, including odours, must not extend beyond the boundary of the site and cause a nuisance to surrounding properties.

Vehicle Parking and Access Driveway

11. The amount of vehicle parking must be as specified in Council's Planning Scheme which is a minimum of two (2) spaces. The car parking layout must comply with the *Australian Standard AS2890.1 2004 Parking Facilities – off-street car parking* and be constructed in accordance with Austroads and good engineering design. In addition, all parking, driveway and vehicular manoeuvring areas must be imperviously sealed, drained and line marked.

The driveway's surface roughness needs to be improved through using a deep stencil print on the concrete surface, or similar approved methods.

Water Supply and Sewerage Works External

12. Undertake the following water supply and sewerage works external to the site to connect the site to existing water supply and sewerage infrastructure:
 - a. Extend a 100 DN road crossing across Murphy Street terminating just short of the access driveway on the western side of the lot frontage. Bore a 50mm conduit under the access driveway such that a water service can be made to the Lot.

The external works outlined above constitute Operational Works. Three (3) copies of a plan of the works at A1 size and one (1) copy at A3 size must be endorsed by the Chief Executive Officer prior to commencement of such works. Such work must be constructed in accordance with the endorsed plan to the satisfaction of the Chief Executive Officer prior to Commencement of Use.

Water Supply and Sewerage Works Internal

13. Undertake the following water supply and sewerage works internal to the subject land:
 - a. The development must be serviced by a single internal water and sewerage connection made clear of any buildings or structures;
 - b. Provide internal water pump and storage tanks to the extent necessary to provide adequate supply and pressure at the house pad. A minimum pressure (50 kPa (5m head) as per Standard 3.3.2 of *AS/NZ 3500.1:2003, Plumbing and drainage*, Part 1: Water Services – refer to Advice 2) must be provided at the house pad;
 - c. Supply and installation construction of the pump and associated pipework and fillings is to be at the applicant's cost.

All the above works must be designed and constructed in accordance with the *FNQROC Development Manual*.

All works must be carried out in accordance with the approved plans, to the requirements and satisfaction of the Chief Executive Officer prior to Commencement of Use.

Damage to Council Infrastructure

14. In the event that any part of Council's existing road infrastructure, including any embankment on the road reserve, is damaged as a result of construction activities occurring on the site, including but not limited to; mobilisation of heavy construction equipment, stripping and grubbing, the applicant/owner must notify Cairns Regional Council immediately of the affected infrastructure and have it repaired or replaced at the developer's/owner's/builder's cost, prior to the Commencement of Use.

Retention of Vegetation

15. Trees identified to be retained as detailed on Drawing No LP-P2.0, Project 1108 prepared by Andrew Prowse Landscape Architect dated 13 August 2013, as well as vegetation on the adjacent road reserve area of Owen and Murphy Streets together with the vegetation on the neighbouring Lot 1 on RP729453 and Lot 125 on SP144708 Street must be protected from any damage to the trunk, roots and branches during the construction period. Effective fencing or barriers are to be installed and maintained in accordance with Australian Standard *AS 4970-2009 Protection of trees on development sites*.

The common boundaries with Council road reserve, excepting the driveway entry point must be temporarily delineated and fenced off to restrict building access for the duration of construction activity.

16. All pruning of trees is to be in accordance with the requirements of *Australian Standard Pruning of Amenity Trees AS 4373-2007*.

Wildlife

17. Prior to removal of any tree, an inspection must be carried out for any signs of protected wildlife including nests and animal habitat. Should any recent wildlife activity be identified, removal of the tree must not occur until the animal has vacated the area of immediate danger. If the animal does not move from the area of danger, the Queensland Parks and Wildlife Services must be contacted for advice. Important habitat trees should be retained wherever possible.

Notification of Vegetation Clearing

18. Council's Development Services Branch must be notified two (2) business days prior to the proposed date of commencement of any approved vegetation clearing.

Landscaping

19. All landscaping and garden maintenance is to be in accordance with the Landscape Planting Concept plans and Schedules, Project 1108 Drawings LP-P3.0, LP-P4.0, LP-P5.0 and LP-D1.0, revision A dated 13 August 2013 by Andrew Prowse, Landscape Architect.

Any change to the approved Landscape Plan must be to the satisfaction of the Chief Executive Officer prior to the undertaking of works.

Building Colours

20. The exterior finishes and colours of Buildings are non-reflective and blend with the natural colours of the surrounding environment. Roofs and structures (including water tanks) must be of moderately dark to darker shades of green, grey, blue and brown. Glazed balconies are to be non-reflective.

The applicant must also provide colour samples to the Chief Executive Officer prior to the issue of the Development Permit for Building Works.

The above requirements must be made known in writing to all prospective purchasers.

ADVICE

1. This approval, granted under the provisions of the *Sustainable Planning Act 2009*, shall lapse four (4) years from the day the approval takes effect in accordance with the provisions of sections 339 and 341 of the *Sustainable Planning Act 2009*.
2. Copy of the Building Siting Dispensation is included in Appendix 3.
3. Standard 3.3.2 *AS/NZ 3500.1:2003 Plumbing & Drainage*, Part 1: Water Services, reads as follows:

'3.3.2 Pressure at Outlets

The minimum working head at the furthestmost or most disadvantages fixture or outlet shall not be less than 5-kPa (5 m head) at the flow rate specified in Table 3.1.

NOTE: Storage tanks complying with Section 8, or booster pumps with Section 11, may be required to achieve the minimum pressure.'

4. The applicant/owner is advised that this approval does not approve the construction of the building work. A Development Permit for Building Work must be obtained in order for construction to commence.
5. Materials and / or machinery on construction sites are secured immediately following the first cyclone watch and that relevant emergency telephone contacts are provided to Council officers, prior to commencement of works.
6. This approval does not negate the requirement for compliance with all other relevant Local Laws and other statutory requirements.
7. For information relating to the *Sustainable Planning Act 2009* log on to www.dsdip.qld.gov.au. To access the *FNQROC Development Manual*, Local Laws and other applicable Policies log on to www.cairns.qld.gov.au.

LAND USE DEFINITIONS*

In accordance with *Douglas Shire Planning Scheme 2008* the approved land use of House is defined as:

House

Means the use of premises comprising one Dwelling Unit, located on one lot for the exclusive residential use of one Household. The use includes:

- *Outbuildings/structures incidental to and necessarily associated with the residential use;*
- *The care of children in accordance with the Child Care (Family Day Care) Regulation 1991;*
- *Accommodation for a member or members of the extended family of the Household occupying the House and for personal staff; and*
- *A display house which displays to the general public the type of construction or design offered by a builder/developer, for a maximum period of 12 months and which then converts to a House for the exclusive use of one (1) Household.*

*This definition is provided for convenience only. This Development Permit is limited to the specifications, facts and circumstances as set out in the application submitted to Council and is subject to the abovementioned conditions of approval and the requirements of Council's Planning Scheme and the *FNQROC Development Manual*.

B. The following notations will be placed on Council's future rates record:

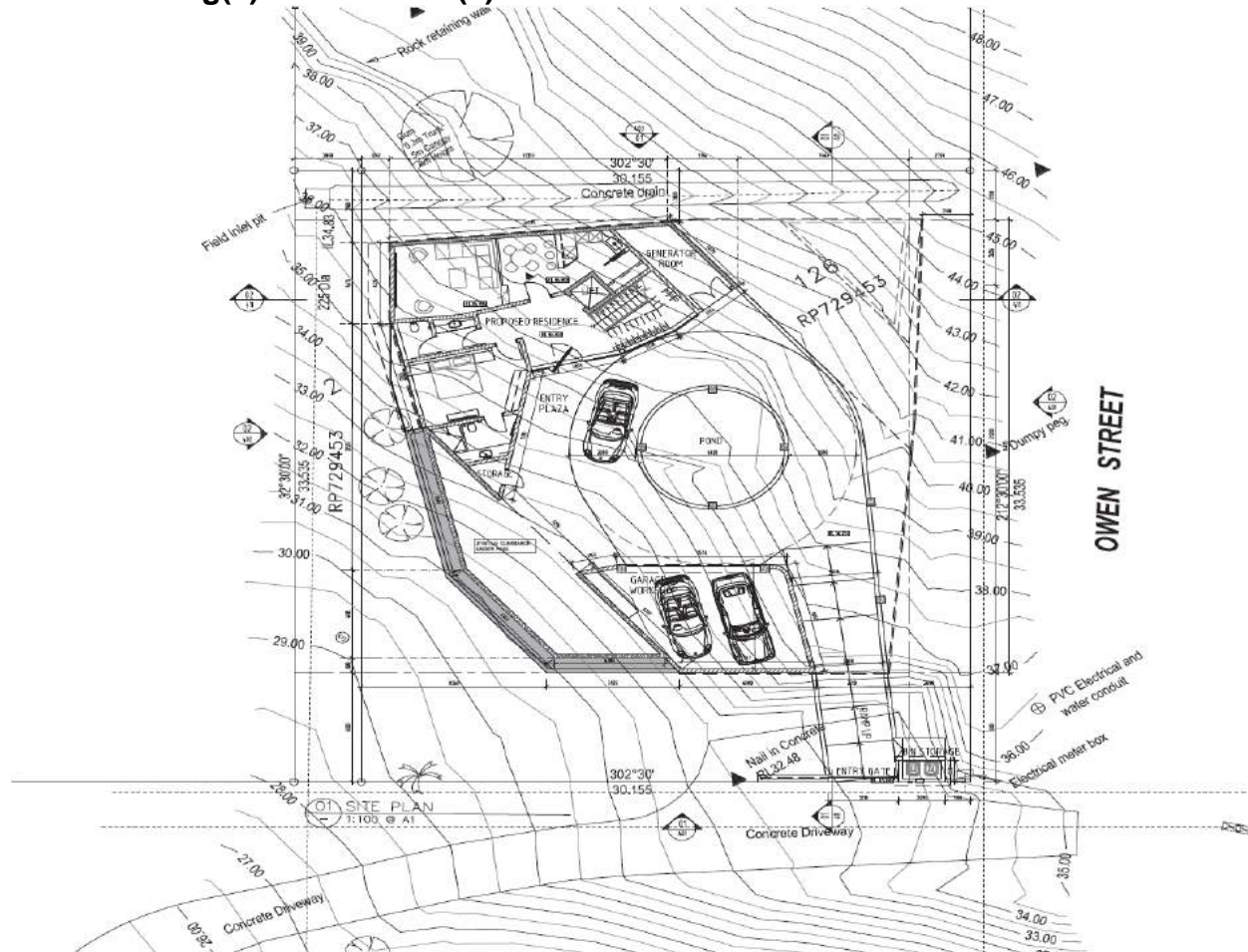
1. The owner (s) of this lot will be responsible for providing adequate pressure (50 kPa (5m head) as per Standard 3.3.2 of *AS/NZ 3500.1:2003, Plumbing and drainage*, Part 1: Water Services) to the house pad. Any pump required must be supplied, maintained and replaced at the owner's expense.
2. The exterior colour and materials of any proposed structures must be non-reflective and must blend with the natural colours of the surrounding environment. Details of the proposed building materials and colour scheme for the exterior walls, features and roof, including any changes to the building materials and colour scheme must receive prior approval from the Chief Executive Officer.

RIGHTS OF APPEAL

Attached

End of Decision Notice

APPENDIX 1: Approved Drawing(s) & Document(s)



REVISED	REVISIONS

FOR CONSTRUCTION

CONSULTING ENGINEERS
G & A CONSULTANTS PTY LTD
 Consulting Engineers


ANDREW PROWSE
 LANDSCAPE ARCHITECT Pty Ltd


Tel: 07 4201 3310
 P.O. Box 1410 Cairns QLD 4870
 AUSTRALIA
 andrew.prowse@andrewprose.com.au

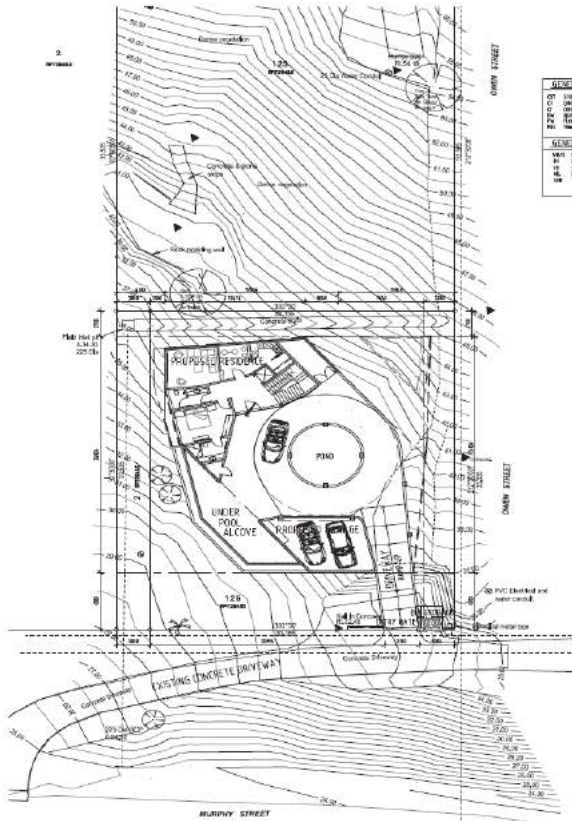

charles wright architects pty ltd
 Architecture Interiors Interior Design Real Estate Design


CONTRACT DOCUMENTATION
 PROJECT:
 PARTIDGE RESIDENCE
 LOT 125, MURPHY STREET
 PORT DOUGLAS QLD

DATE	BY	DESCRIPTION

DA PROPOSED SITE PLAN
 SCALE: 1:100 @ A1
 DRAWN: MUG4
 CHECKED: A300
 DATE: 12/08/2013
 PROJECT NO: R2

43.2013.5228
12/32



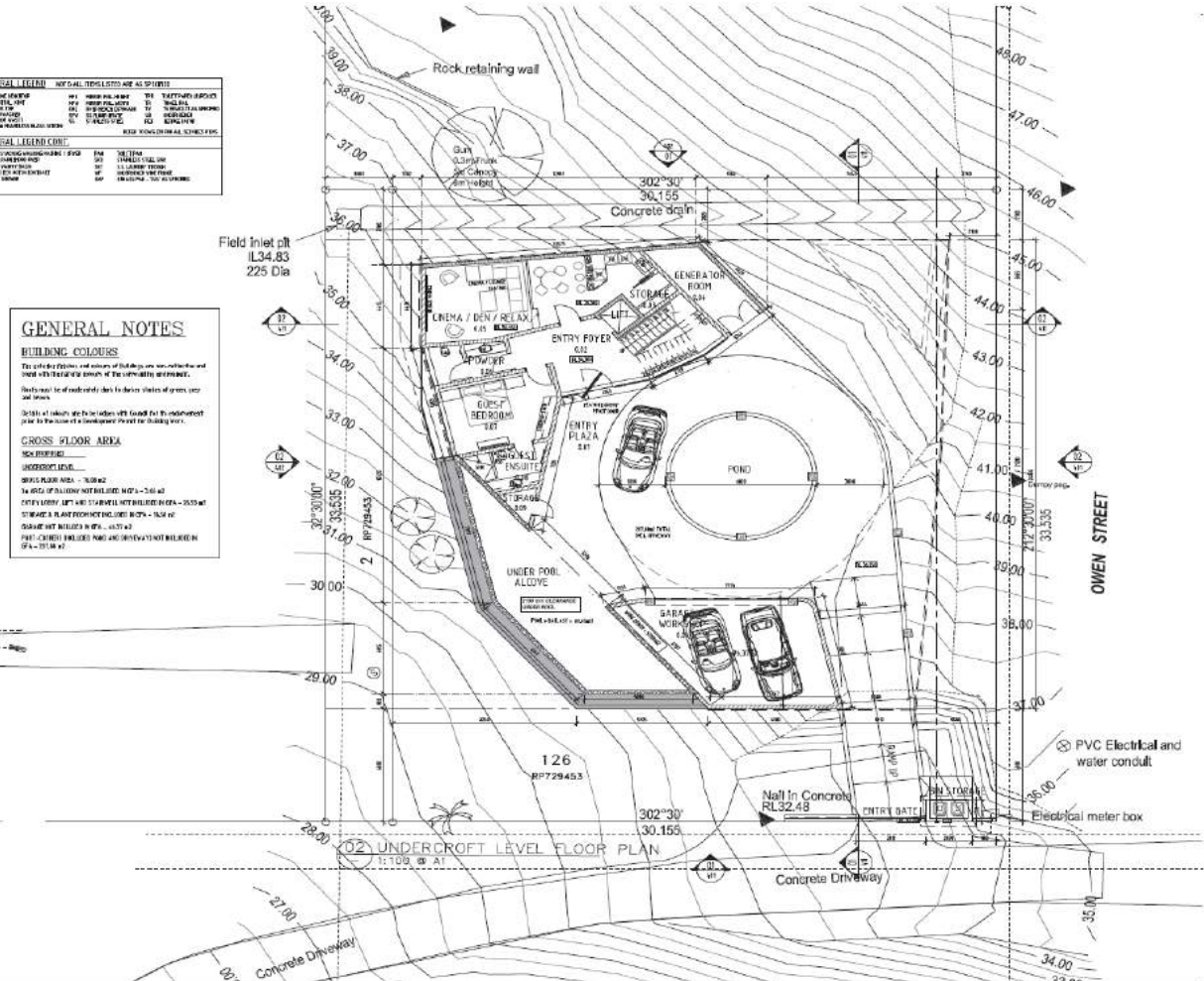
01 SITE PLAN
1:200 @ A1

GENERAL LEGEND	REF. TO ALL DIMENSIONS ARE AS SHOWN
01: TO BE REMOVED	01: EXISTING CONCRETE DRIVEWAY
02: TO BE CONSTRUCTED	02: PROPOSED RESIDENCE
03: TO BE CONSTRUCTED	03: UNDERCROFT LEVEL FLOOR PLAN
04: TO BE CONSTRUCTED	04: CONCRETE DRIVEWAY
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GENERAL NOTES

BUILDING COLOURS
The site plan shows the colours of buildings are shown in the plan and shall be constructed in accordance with the site plan. If the site plan shows the colours of buildings are shown in the plan and shall be constructed in accordance with the site plan.

GROSS FLOOR AREA
GROSS FLOOR AREA - 126m²
GROSS FLOOR AREA - 126m²
1. AREA OF BUILDING NOT INCLUDED: 126m² - 126m²
2. AREA OF BUILDING NOT INCLUDED: 126m² - 126m²
3. AREA OF BUILDING NOT INCLUDED: 126m² - 126m²
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9. AREA OF BUILDING NOT INCLUDED: 126m² - 126m²
10. AREA OF BUILDING NOT INCLUDED: 126m² - 126m²



02 UNDERCROFT LEVEL FLOOR PLAN
1:100 @ A1

FOR CONSTRUCTION

Professional Services
Q & A CONSULTANTS PTY LTD
 Consulting Engineers

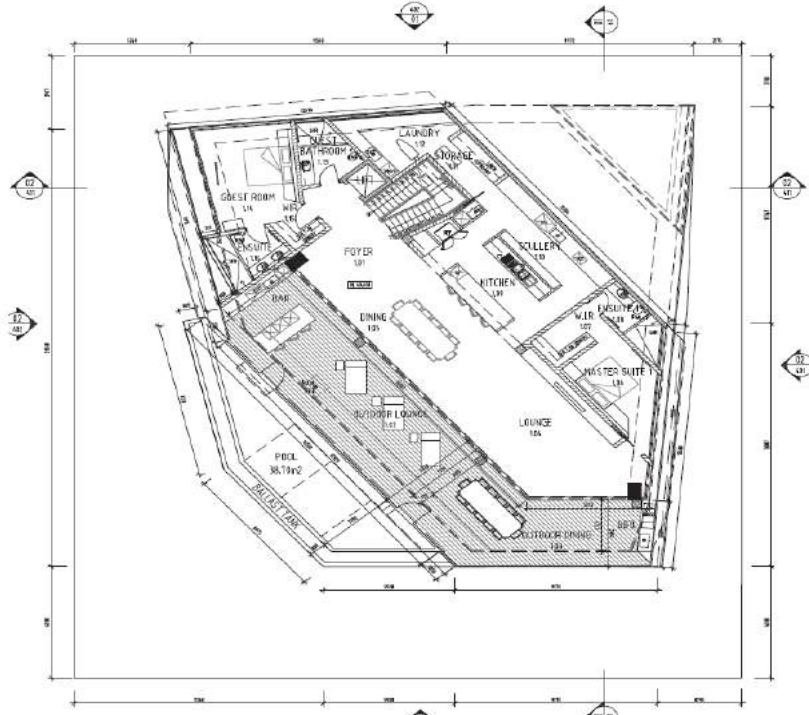
ANDREW PROWSE
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 andrew.prowse@cairnsq.com.au

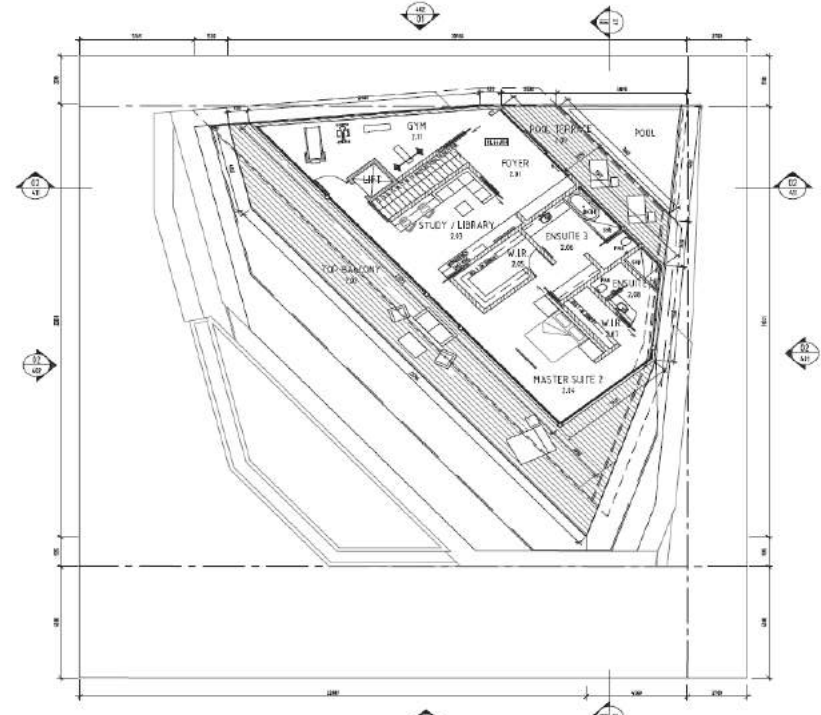
charles wright architects pty ltd
 architecture interiors urban design sustainable design

CONTRACT DOCUMENTATION
 PARTRIDGE RESIDENCE
 LOT 126, MURPHY STREET
 PORT DOUGLAS QLD

DA PROPOSED SITE PLAN & UNDERCROFT LEVEL FL. PLAN
 MURPHY STREET
 PORT DOUGLAS QLD
 MU04 **A301** R4



01 LEVEL 1 FLOOR PLAN
1:100 @ A1



02 LEVEL 2 FLOOR PLAN
1:100 @ A1

GENERAL NOTES

BUILDING COLOURS
The overall finish and colour of building work shall include but not be limited to the material colours of the surrounding environment.
Works shall be in accordance with the latest edition of the Australian Standard AS/NZS 3958:2006.
Materials of colour shall be supplied with colour fastness and durability suitable for the use of the material in the proposed location.

GROSS FLOOR AREA
GROSS FLOOR AREA - 7475 sq m
GROSS FLOOR AREA INCLUDING BALCONY - 7475 sq m
AREA OF ADDITIONAL BALCONY BOXED - 625 sq m
AREA OF ADDITIONAL BALCONY UN-BOXED - 3325 sq m
EFT AND ST MESSAL, NOT INCLUDED IN GFA - 325 sq m

COVERING
EFT AND ST MESSAL - 7475 sq m
EFT AND ST MESSAL INCLUDING BALCONY - 8100 sq m
AREA OF ADDITIONAL BALCONY UN-BOXED - 6 sq m
AREA OF ADDITIONAL BALCONY UN-BOXED - 3475 sq m
EFT AND ST MESSAL, NOT INCLUDED IN GFA - 325 sq m

GENERAL LEGEND (SEE ALL DIMENSIONS AND ALL DIMENSIONS)

01	CONCRETE	02	CONCRETE	03	CONCRETE
04	CONCRETE	05	CONCRETE	06	CONCRETE
07	CONCRETE	08	CONCRETE	09	CONCRETE
10	CONCRETE	11	CONCRETE	12	CONCRETE

GENERAL LEGEND CONT.

13	CONCRETE	14	CONCRETE	15	CONCRETE
16	CONCRETE	17	CONCRETE	18	CONCRETE
19	CONCRETE	20	CONCRETE	21	CONCRETE
22	CONCRETE	23	CONCRETE	24	CONCRETE

ISSUES / REVISIONS

NO.	DESCRIPTION	DATE

FOR CONSTRUCTION

CONSULTANT ENGINEER
G & A CONSULTANTS PTY LTD
Consulting Engineers

ANDREW PROWSE
LANDSCAPE ARCHITECT PTY LTD

ANDREW PROWSE
LANDSCAPE ARCHITECT PTY LTD

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GILBOY HYDRAULIC SOLUTIONS

CWA
charles wright architects Pty Ltd

Architecture | Interiors | Urban Design | Sustainable Design

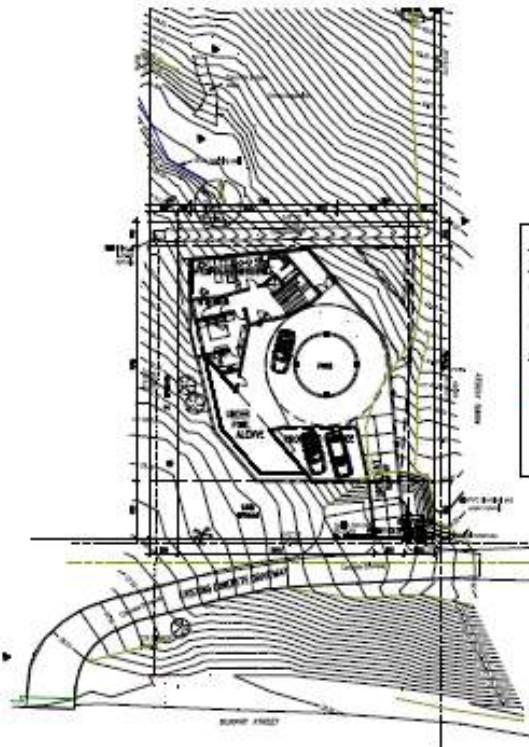
100/110 SOUTH BRISBANE ROAD, BRISBANE QLD 4000
TEL: 07 3251 1111 FAX: 07 3251 1112
WWW.CHARLESWRIGHTARCHITECTS.COM.AU

CONTRACT DOCUMENTATION

PROJECT
PARTIDGE RESIDENCE
LOT 126, MURPHY STREET
PORT DOUGLAS QLD

DATE: 01/04/2013
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: 1:100 @ A1
DATE: 01/04/2013

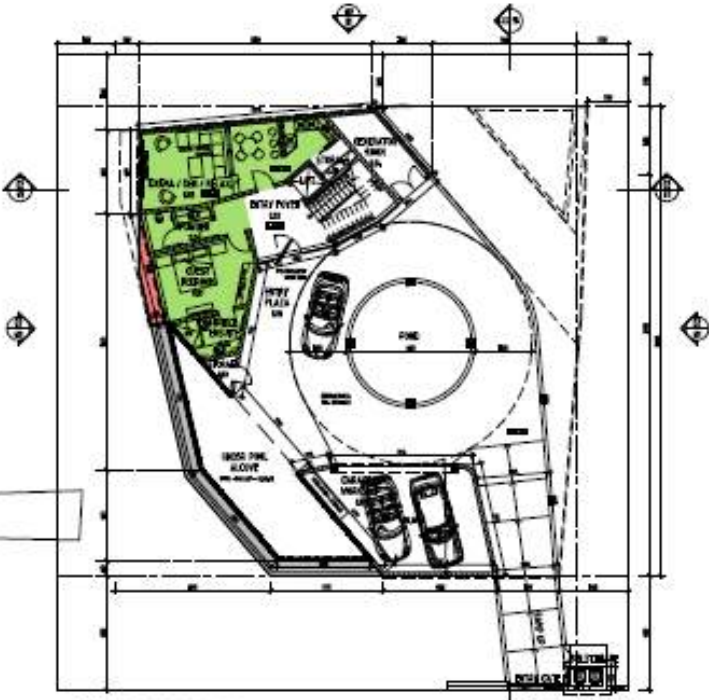
MUD4 **A302** R4



01 SITE PLAN
1:200 @ A1

GENERAL NOTES
PERMITS REQUIRED
 Provide information relating to availability of lot area information, roads, drainage, etc.
 See not as a substitute to take before you go
 All work to be done in accordance with relevant codes & standards unless otherwise stated.

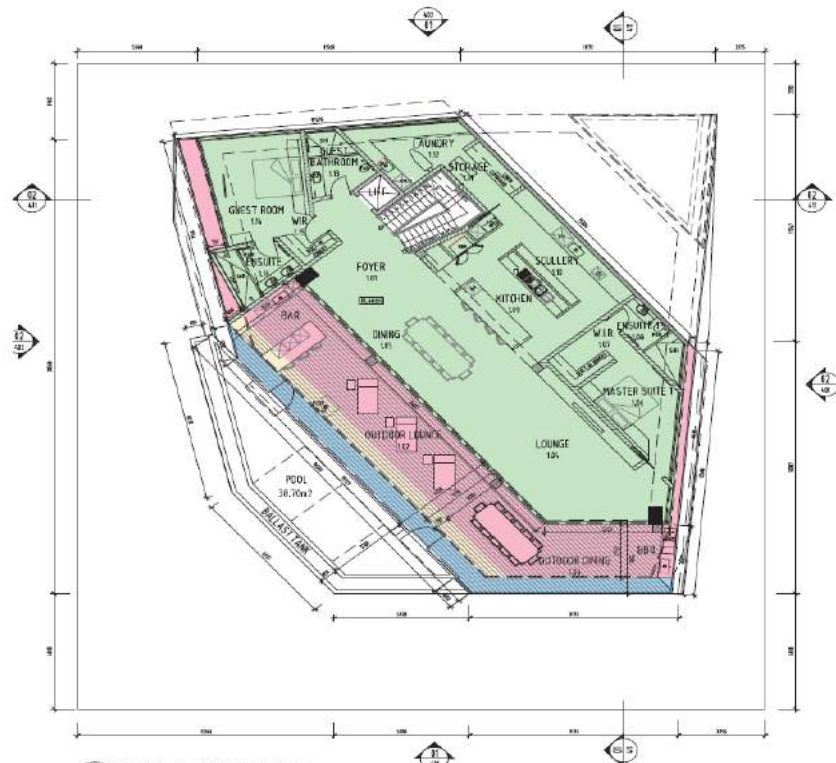
GRADE WORK AREA
 RETAINMENT
 1.0m max high - 1:1 slope
 1.5m max high - 1:1.5 slope
 2.0m max high - 1:2 slope
 3.0m max high - 1:2.5 slope
 4.0m max high - 1:3 slope
 5.0m max high - 1:4 slope
 6.0m max high - 1:5 slope
 7.0m max high - 1:6 slope
 8.0m max high - 1:7 slope
 9.0m max high - 1:8 slope
 10.0m max high - 1:9 slope



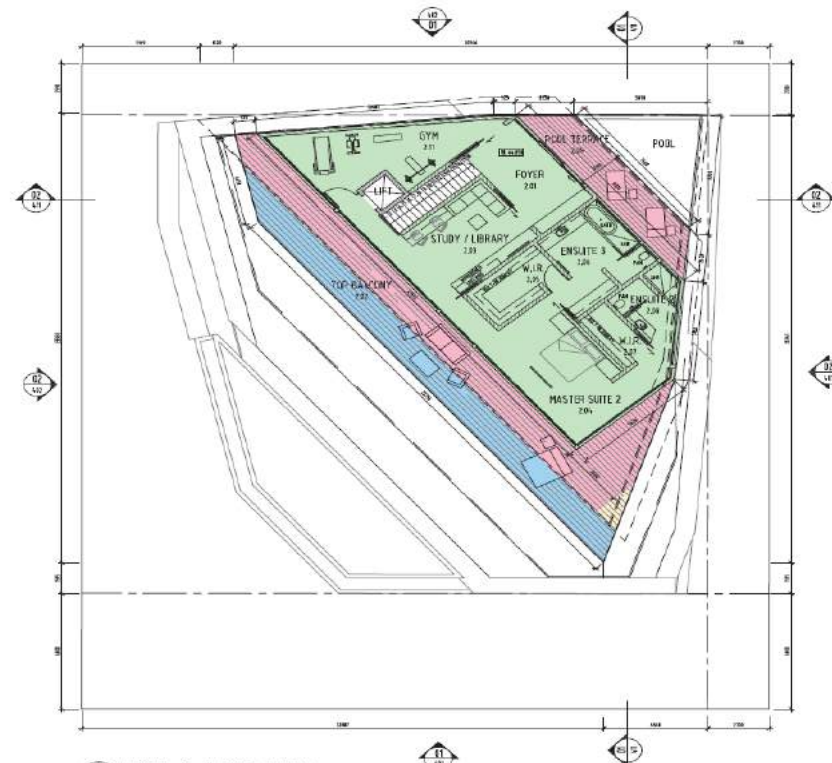
02 UNDERCROFT LEVEL FLOOR PLAN
1:100 @ A1

REVISIONS	
NO.	DESCRIPTION

<p>FOR CONSTRUCTION</p>	<p>3 & A CONSULTANTS PTY LTD 3 & A CONSULTANTS PTY LTD 3 & A CONSULTANTS PTY LTD 3 & A CONSULTANTS PTY LTD</p>	<p>ANDREW PROWSE LANDSCAPE ARCHITECT PTY LTD 14/11 081 084 14/11 081 084 14/11 081 084</p>	<p>CWA charles wright architects 100/101 SOUTH STREET PORT DOUGLAS QLD 4222 07 5533 1111 www.charleswright.com.au</p>	<p>CONTRACT DOCUMENTATION PART 100 RESIDENTIAL LOT 100, SOUTH STREET PORT DOUGLAS QLD</p>	<p>04 - COLOUR PLANS PROPOSED SITE PLAN & UNDERCROFT LEVEL FLOOR PLAN No. A303</p>
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01 LEVEL 1 FLOOR PLAN
1:100 @ A1



02 LEVEL 2 FLOOR PLAN
1:100 @ A1

GENERAL NOTES

BUILDING COLOURS
The exterior facade and colours of buildings are controlled by the local council. The colours of the building are to be as shown on the site plan. The colours of the building are to be as shown on the site plan. The colours of the building are to be as shown on the site plan.

GROSS FLOOR AREA		NET FLOOR AREA	
COLOUR	DESCRIPTION	COLOUR	DESCRIPTION
Green	GROSS FLOOR AREA - 15.75 m ²	Green	GROSS FLOOR AREA - 15.75 m ²
Blue	AREA OF BALCONY NOT INCLUDED IN GFA - 11.05 m ²	Blue	AREA OF BALCONY NOT INCLUDED IN NFA - 11.05 m ²
Pink	AREA OF ADDITIONAL BALCONY (ENCLOSED) - 3.17 m ²	Pink	AREA OF ADDITIONAL BALCONY (ENCLOSED) - 3.17 m ²
Light Blue	AREA OF ADDITIONAL BALCONY (UNENCLOSED) - 3.33 m ²	Light Blue	AREA OF ADDITIONAL BALCONY (UNENCLOSED) - 3.33 m ²
Light Blue	LIFT AND STAIRWELL NOT INCLUDED IN GFA - 5.36 m ²	Light Blue	LIFT AND STAIRWELL NOT INCLUDED IN NFA - 5.36 m ²

GENERAL LEGEND WITH ALL ITEMS UNLESS OTHERWISE SPECIFIED

01	CONCRETE	02	BRICK	03	GLASS
04	WOOD	05	STEEL	06	ALUMINIUM
07	PAINT	08	ROOFING	09	LANDSCAPE
10	MECHANICAL	11	ELECTRICAL	12	PLUMBING
13	TELEPHONE	14	TV	15	HEATING
16	COOLING	17	AC	18	WATER
19	SEWER	20	RAIL	21	ROAD

GENERAL LEGEND CONT

22	UPPER	23	DOWN	24	TO
25	FROM	26	TO	27	FROM
28	TO	29	FROM	30	TO
31	FROM	32	TO	33	FROM
34	TO	35	FROM	36	TO
37	FROM	38	TO	39	FROM
40	TO	41	FROM	42	TO

ISSUES / REVISIONS

NO.	DESCRIPTION	DATE	BY

FOR CONSTRUCTION

CONSULTANT
Q & A CONSULTANTS PTY LTD
 Consulting Engineers

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ANDREW PROWSE
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ARCHITECT
charles wright architects pty ltd

Architecture Interiors Green Design Sustainable Design

CONTRACT DOCUMENTATION

PROJECT
PARTRIDGE RESIDENCE
LOT 126, MURPHY STREET
PORT DOUGLAS QLD

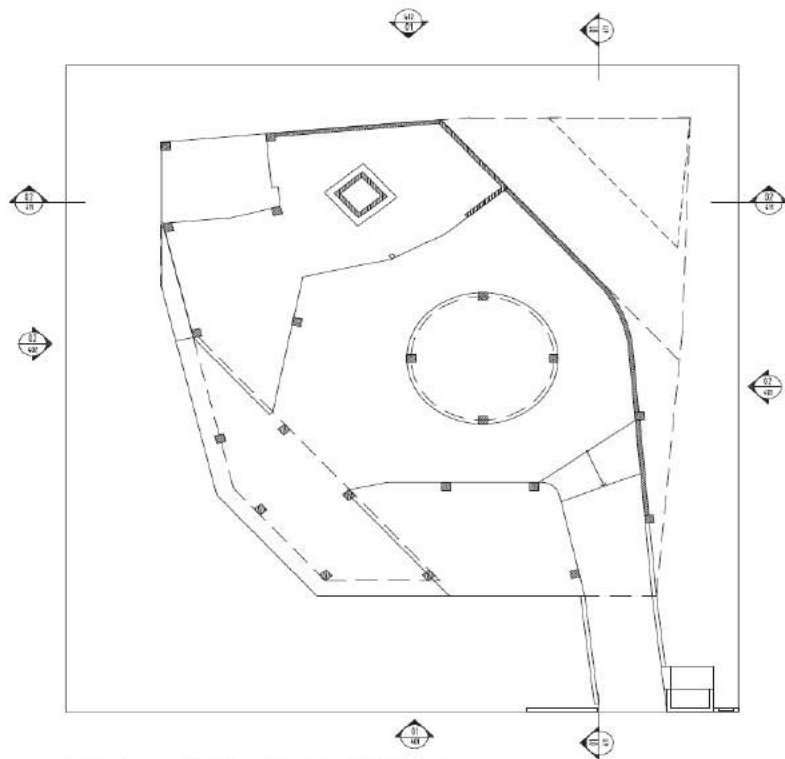
SCALE: 1:100 @ A1

CA - COLOUR PLAN
PROPOSED FLOOR PLAN
LEVEL 1 & LEVEL 2

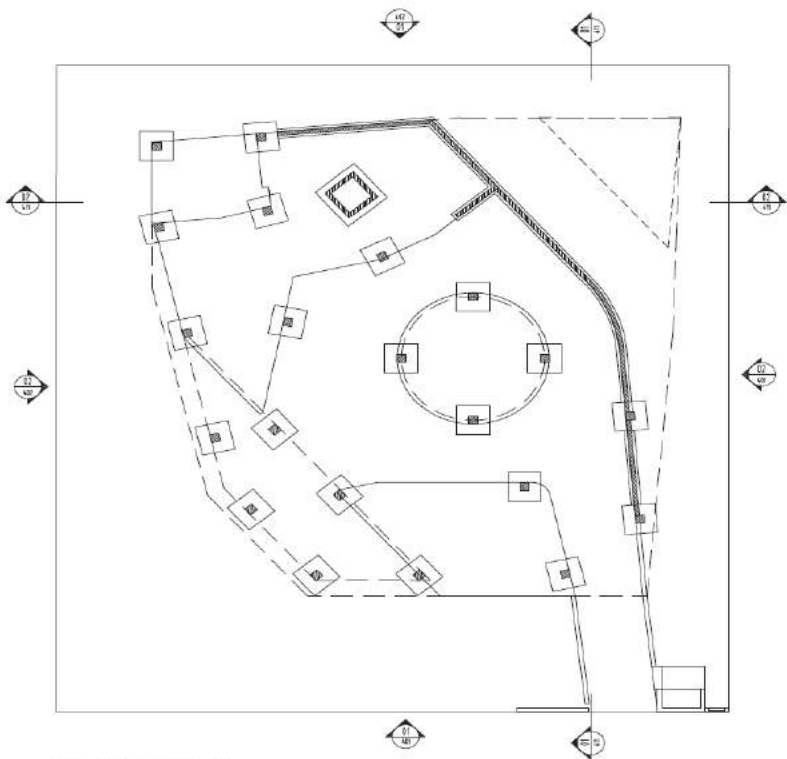
DATE: 2013/05/28

NO: **MU04** **A304** **R3**

43.2013.5228
 16/32



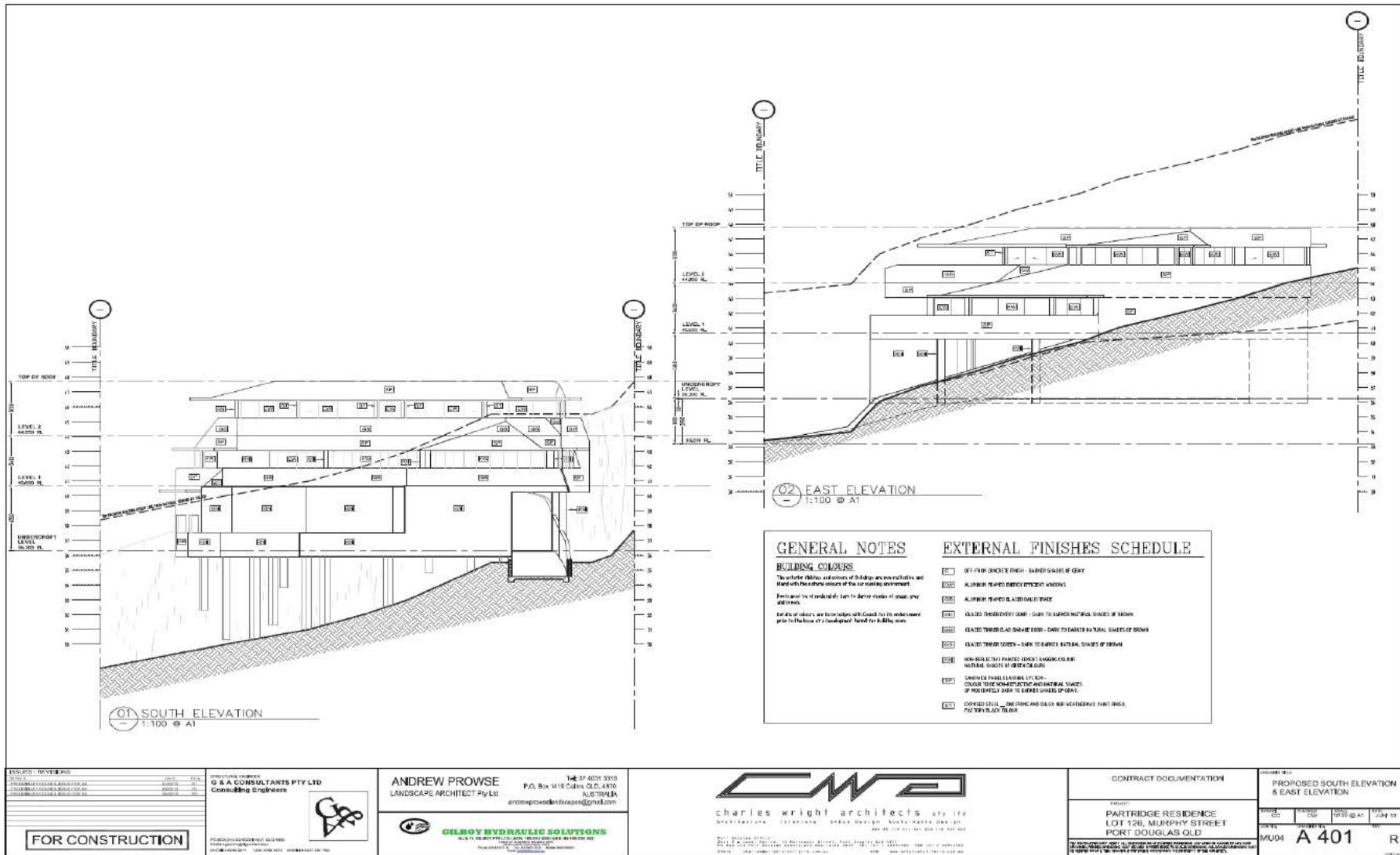
01 POOL & UNDERCROFT SUSPENDED SLAB
1:100 @ A1



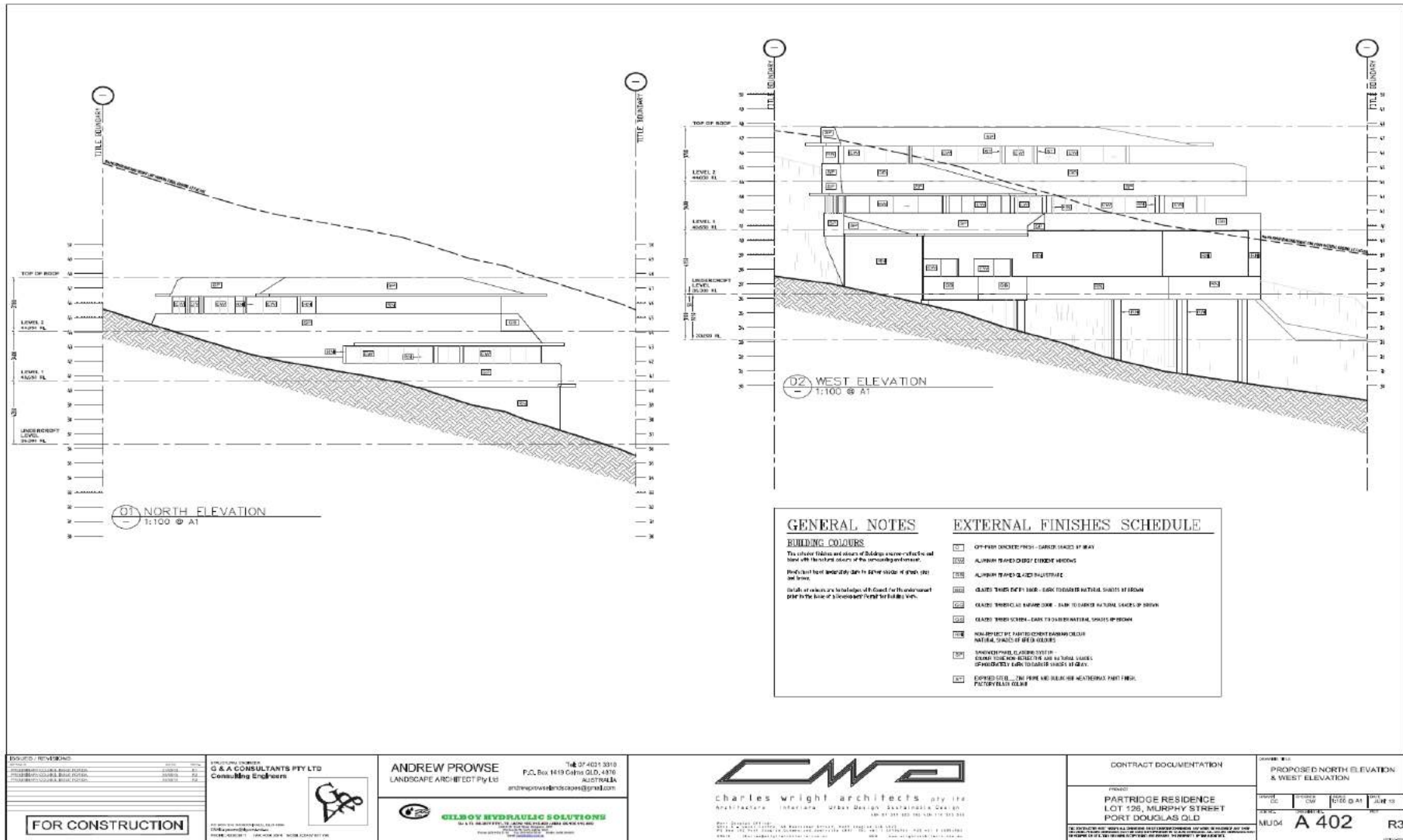
02 FOOTINGS PLAN
1:100 @ A1

<p>REVISIONS</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table> <p>FOR CONSTRUCTION</p>	NO.	DATE	DESCRIPTION							<p>STRUCTURAL ENGINEER G & A CONSULTANTS PTY LTD Consulting Engineers</p> 	<p>ANDREW PROWSE LANDSCAPE ARCHITECT PTY LTD andvipowse@icloud.com</p> <p>Tel: 07 4031 2510 P.O. Box 1618 Cairns QLD, 4870 AUSTRALIA</p> <p>GILBOY HYDRAULIC SOLUTIONS SPECIALIST PIPING & PUMPING CONTRACTORS</p>	 <p>charles wright architects pty ltd ARCHITECTURE INTERIORS DESIGN DESIGN SUBMITTALS DESIGN</p> <p>1700 BRIDGE STREET, PORT DOUGLAS QLD 4870 TEL: 07 4031 2510 WWW.CHARLESWRIGHTARCHITECTS.COM.AU</p>	<p>CONTRACT DOCUMENTATION</p> <p>PROJECT: PARTRIDGE RESIDENCE LOT 126, MURPHY STREET PORT DOUGLAS QLD</p>	<p>DA PROPOSED POOL & UNDERCROFT SUSPENDED SLAB & FOOTINGS</p> <p>DATE: 10/08/2015 MUG4 A311 R2</p>
NO.	DATE	DESCRIPTION												

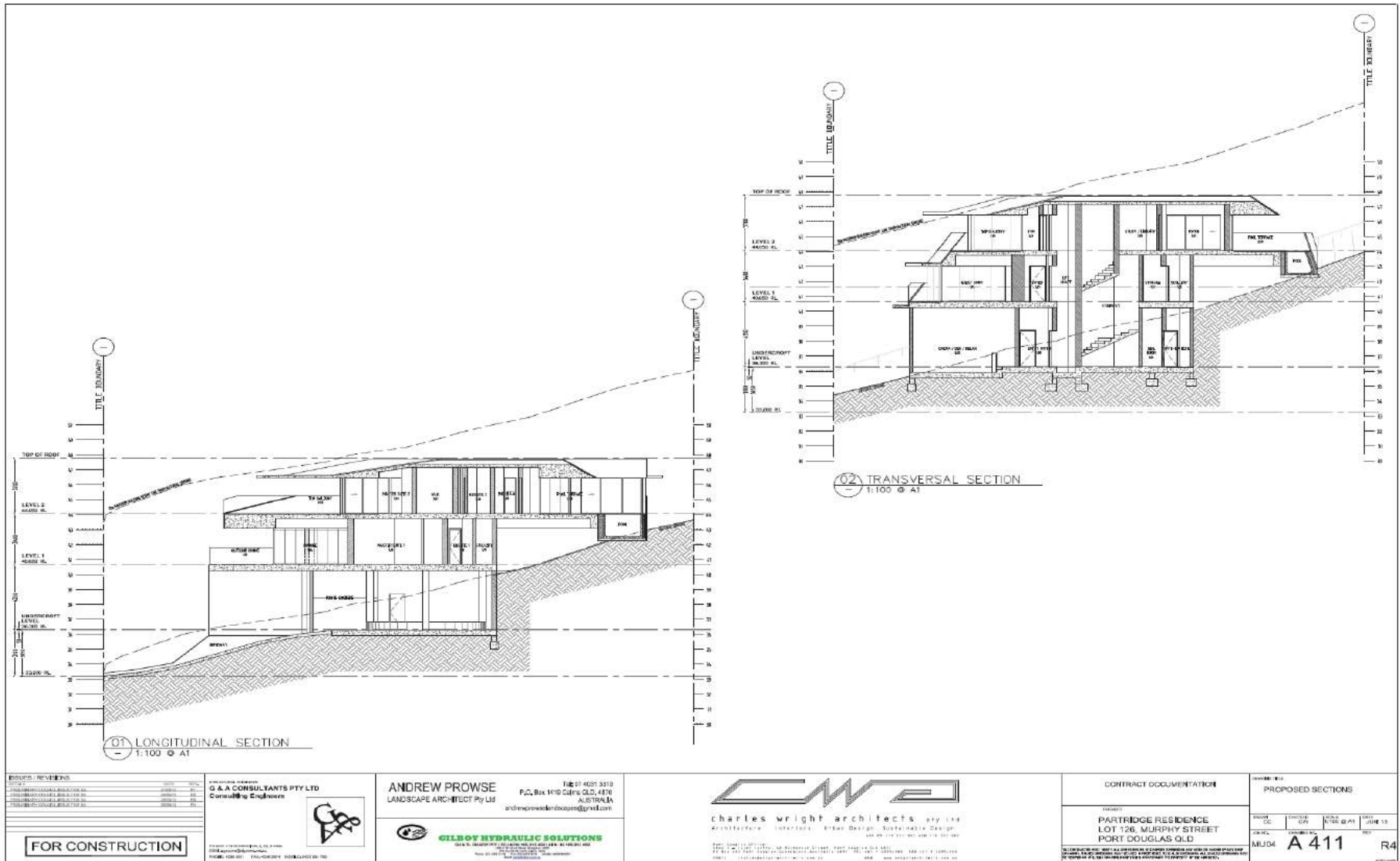
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17/32

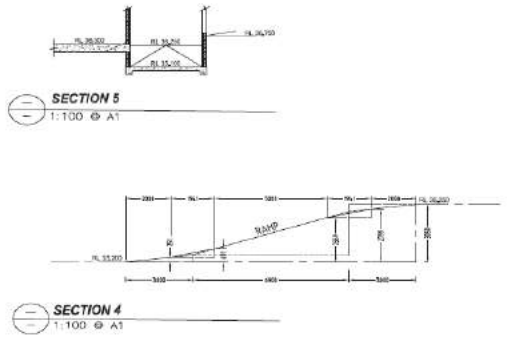
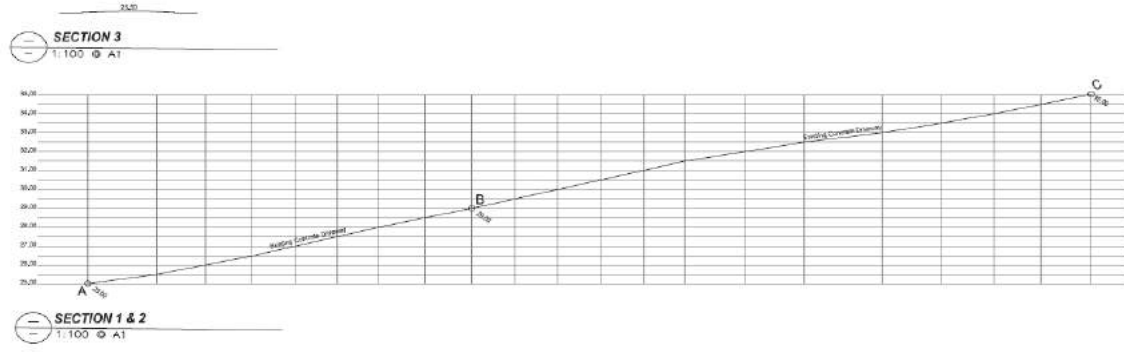
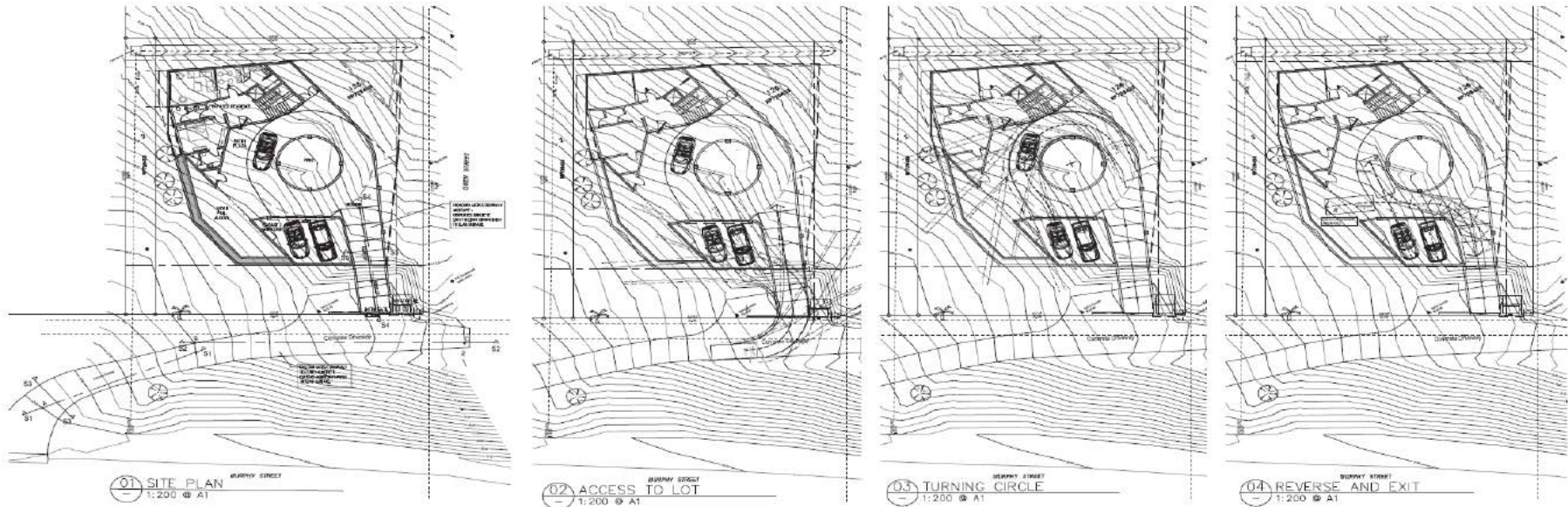


43.2013.5228
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43.2013.5228
19/32





ISSUES	NO.	DATE
1. CHECKED FOR CONSTRUCTION	001	2013
2. CHECKED FOR CONSTRUCTION	002	2013
3. CHECKED FOR CONSTRUCTION	003	2013
4. CHECKED FOR CONSTRUCTION	004	2013
5. CHECKED FOR CONSTRUCTION	005	2013

STRUCTURAL ENGINEER
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charles wright architects pty ltd
 ARCHITECTS • INTERIORS • EXTERIOR DESIGN • SUSTAINABLE DESIGN

CONTRACT DOCUMENTATION

PROJECT
PARTRIDGE RESIDENCE
 LOT 726, MURPHY STREET
 PORT DOUGLAS QLD

DATE: 11/08/2013
 DRAWN BY: CW
 CHECKED BY: CW
 SCALE: 1/100 @ A1
 DATE: AUG 2013

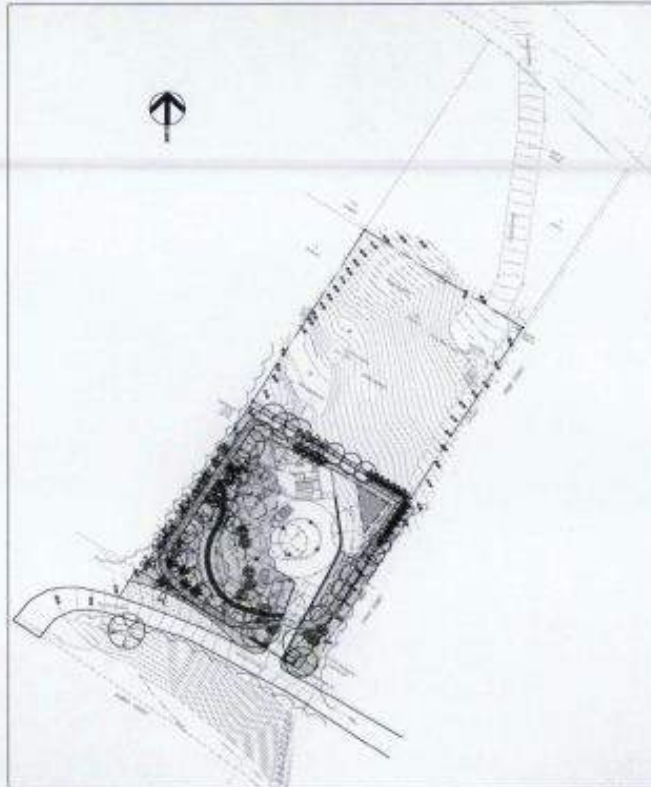
MU04 **A501** R4

PARTRIDGE RESIDENCE
 LOT 126, MURPHY STREET, PORT DOUGLAS, QUEENSLAND

LANDSCAPE WORKS
 DATE : 13 AUG 2013
 Project No. 1108

DRAWING INDEX

Numbers	Description	Scale	Rev
LP-P1.0	COVER SHEET	N/A	A
LP-P2.0	EXISTING SITE VEGETATION	1:100@A1	A
LP-P3.0	LANDSCAPE PLANTING CONCEPT - TREES & PALMS	1:100@A1	A
LP-P4.0	LANDSCAPE PLANTING CONCEPT - SHRUBS	1:100@A1	A
LP-P5.0	LANDSCAPE PLANTING LIST & SPECIFICATION	N/A	A
LP-E1.0	LANDSCAPE ELEVATION - NORTH / EAST	N/A	A
LP-E2.0	LANDSCAPE ELEVATION - WEST / SOUTH	N/A	A
LP-D1.0	LANDSCAPE DRAINAGE SWALE - TYPICAL DETAIL	N/A	A



LOCATION MAP
 (NO SCALE)

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PROJECT NO.
 PARTURIDGE RESIDENCE
 LOT 126, MURPHY STREET
 PORT DOUGLAS
 QUEENSLAND

ISSUE NO.
 1108

ISSUE
 LP-P1.0

DESCRIPTION
 COVER SHEET

DATE
 13/AUG/2013

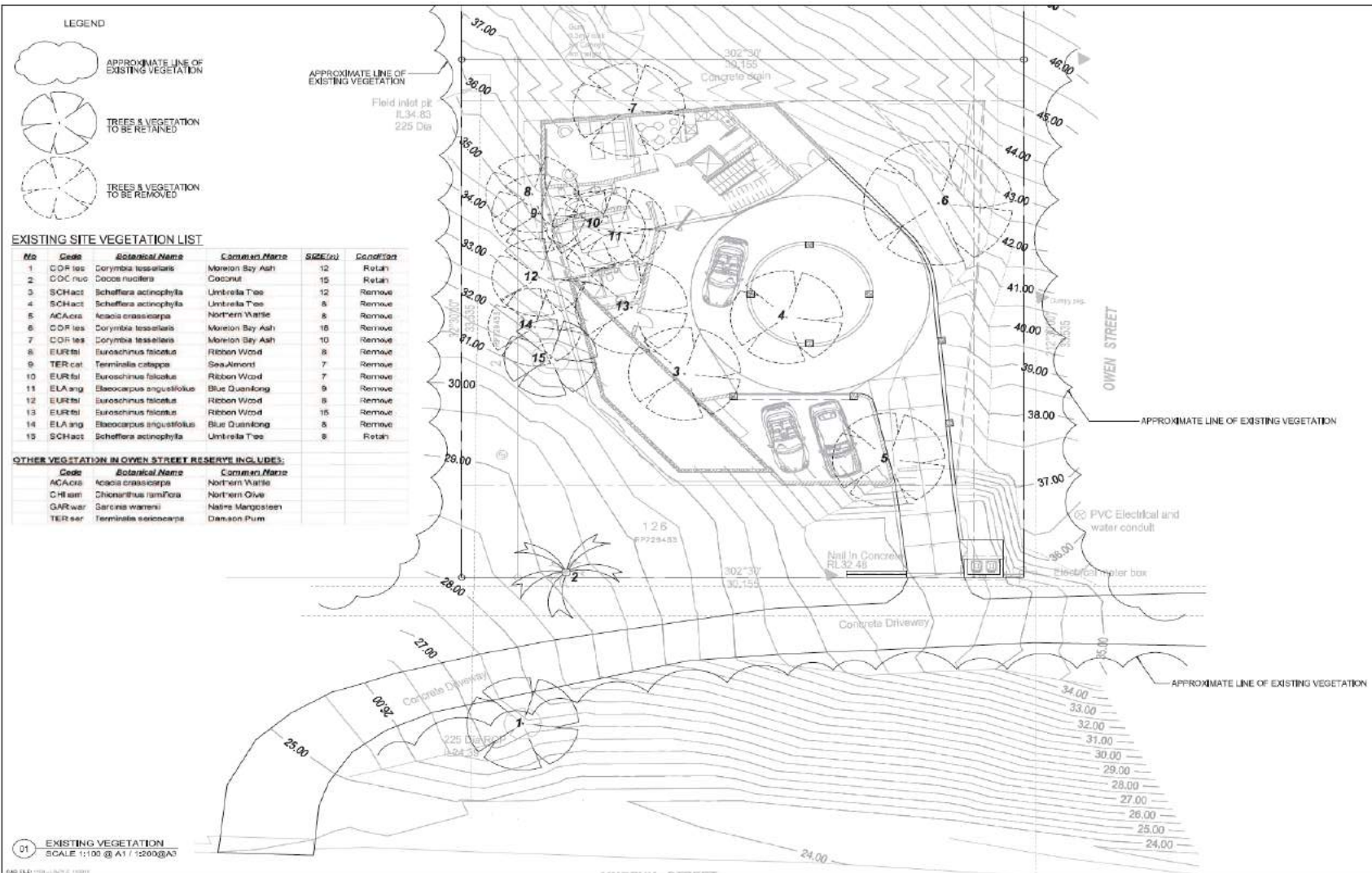
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PROJECT NO.
 1108




ISSUE NO.
 LP-P1.0

DATE
 13/AUG/2013

ISSUE FOR REVIEW
 13/AUG/2013



LEGEND

-  APPROXIMATE LINE OF EXISTING VEGETATION
-  TREES & VEGETATION TO BE RETAINED
-  TREES & VEGETATION TO BE REMOVED

EXISTING SITE VEGETATION LIST

No	Code	Botanical Name	Common Name	SIZE(m)	Condition
1	COP las	<i>Corymbia tessellata</i>	Moreton Bay Ash	12	Retain
2	COC nuc	<i>Cocos nucifera</i>	Coconut	15	Retain
3	SCHact	<i>Scheffera actinophylla</i>	Umbrella Tree	12	Remove
4	SCHact	<i>Scheffera actinophylla</i>	Umbrella Tree	8	Remove
5	ACAcrs	<i>Acacia crassicaarpa</i>	Northern Wattle	8	Remove
6	COP las	<i>Corymbia tessellata</i>	Moreton Bay Ash	16	Remove
7	COP las	<i>Corymbia tessellata</i>	Moreton Bay Ash	10	Remove
8	EURtbl	<i>Euroschinus frutescens</i>	Ribbon Wood	8	Remove
9	TERcal	<i>Terminalia catappa</i>	Sea Almond	7	Remove
10	EURtbl	<i>Euroschinus frutescens</i>	Ribbon Wood	7	Remove
11	ELAing	<i>Elaeocarpus inguatifolius</i>	Blue Quamking	9	Remove
12	EURtbl	<i>Euroschinus frutescens</i>	Ribbon Wood	8	Remove
13	EURtbl	<i>Euroschinus frutescens</i>	Ribbon Wood	15	Remove
14	ELAing	<i>Elaeocarpus inguatifolius</i>	Blue Quamking	8	Remove
15	SCHact	<i>Scheffera actinophylla</i>	Umbrella Tree	8	Retain

OTHER VEGETATION IN OWEN STREET RESERVE INCLUDES:

Code	Botanical Name	Common Name
ACAcrs	<i>Acacia crassicaarpa</i>	Northern Wattle
CHIam	<i>Chionochloa ramiflora</i>	Northern Olive
GARwar	<i>Sarcocaulis warrenii</i>	Nature Mangroves
TERsar	<i>Terminalia sarcocephala</i>	Daniellon Plum

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01 EXISTING VEGETATION
SCALE 1:100 @ A1 1200x840

ISSUE FOR REVIEW
13/AUG/2013

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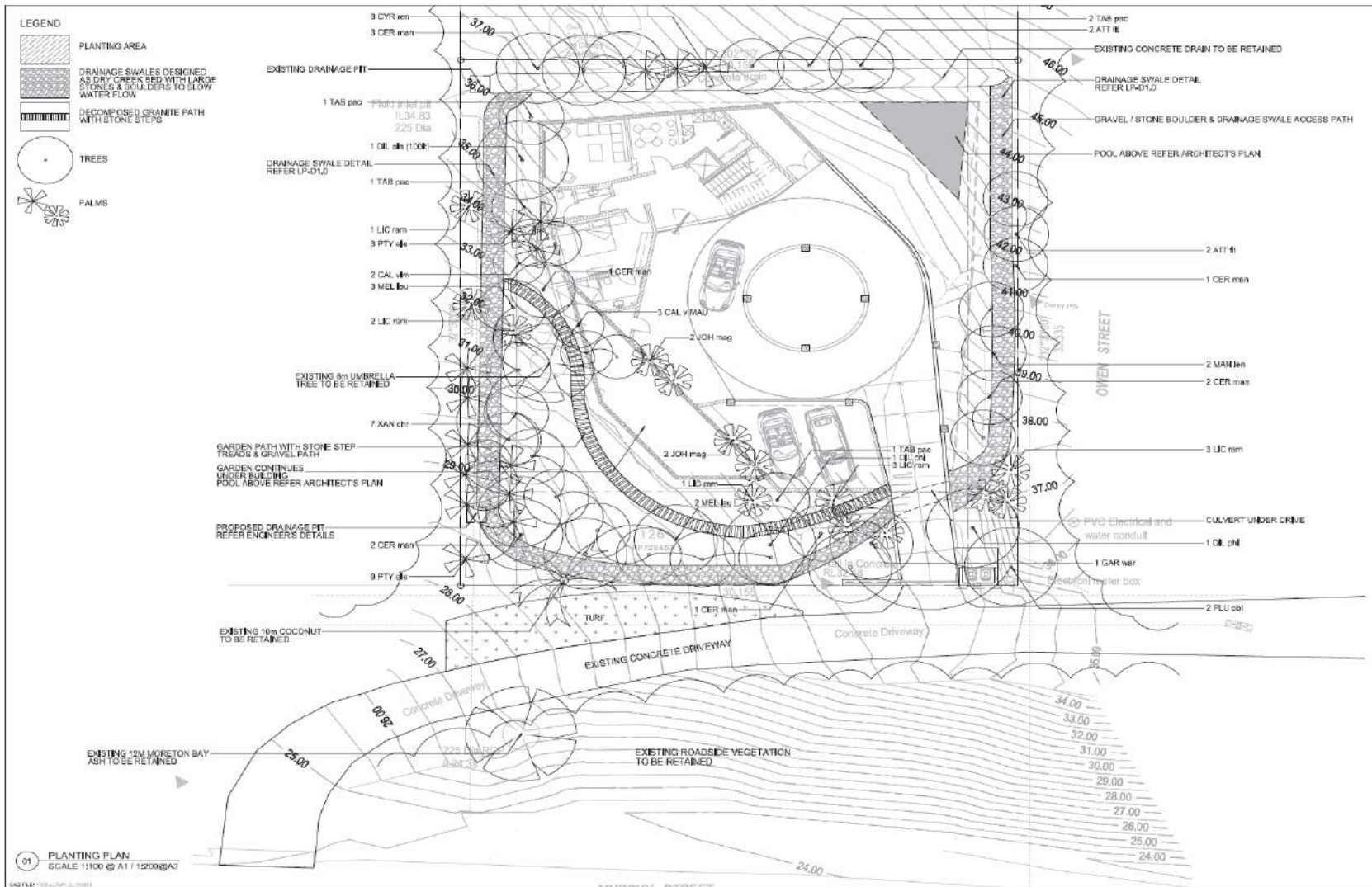
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43.2013.5228
23/32



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PROJECT NAME
PARTRIDGE RESIDENCE
 LOT 126, MURPHY STREET
 PORT DOUGLAS
 QUEENSLAND

PROJECT NO
1108

PROPOSED TITLE
LP-P.3.0

CONTRACT NO.
LANDSCAPE
PLANTING CONCEPT
TREES & PALMS

ISSUE NO
A

SCALE
1:100 @ A1
1:200 @ A3






DATE
13/AUG/2013

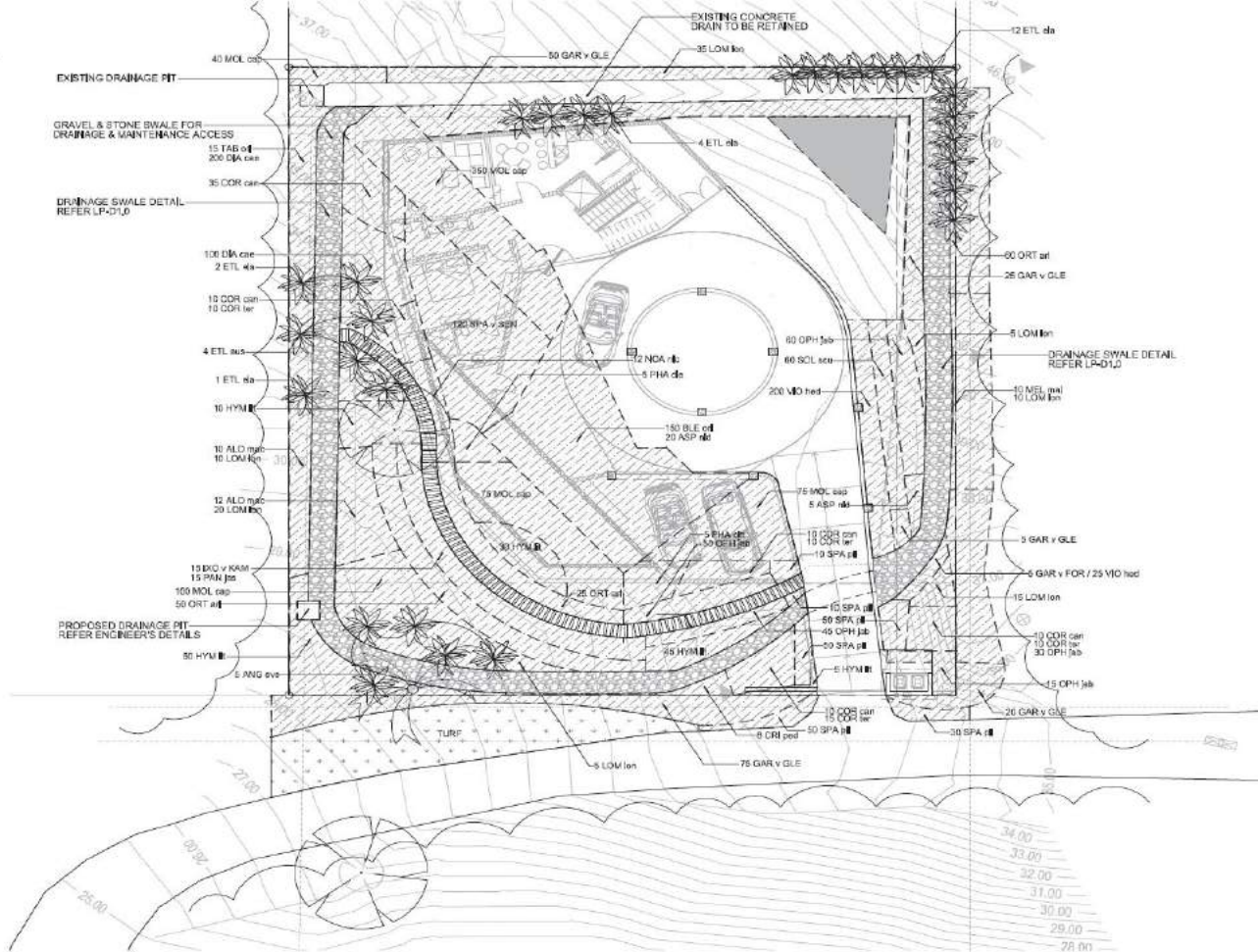
DESIGNER
JT

APPROVED BY
AP

ISSUE FOR REVIEW
13/AUG/2013

LEGEND

-  **PLANTING AREA**
-  **DRAINAGE SWALES DESIGNED AS DRY CREEK BED WITH LARGE STONES & SHOULDERS TO SLOW WATER FLOW**
-  **DECOMPOSED GRANITE PATH WITH STONE STEPS**
-  **TREES**
-  **PALMS**



01 **PLANTING PLAN**
SCALE 1:100 @ A1 / 1:200 @ A3
DATE: 13/08/2013

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PROJECT NAME
PARTRIDGE RESIDENCE
LOT 126, MURPHY STREET
PORT DOUGLAS
QUEENSLAND

PROJECT NO.
1108
DRAWINGS
LP-P4.0

LANDSCAPE PLANTING CONCEPT SHRUBS

REVISIONS
A
DATE: 11/08/2013
BY: JT
CHECKED: AP
DATE: 12/08/2013
13/AUG/2013

NO.	DATE	DESCRIPTION

ISSUE FOR REVIEW
13/AUG/2013

DATE: 13/08/2013

LANDSCAPE PERFORMANCE SPECIFICATION

EXCAVATION - All building rubble and other unsuitable material including weeds to be removed from new garden areas. All excavated material to be removed from site and disposed of in an approved manner.

GARDEN MIX - Garden mix shall be spread where required to all shrub beds and to a 25mm depth to all turf areas.

Garden mix shall consist of:
 1 part aged sawdust / 1 part well composted chicken manure / 1 part aged bagasse / 2 parts coarse sand / 3 parts imported Premium topsoil (free of Nutgrass)

Imported topsoil shall be fertile and friable premium loam with good moisture holding capacity and containing a minimum of 2% organic matter for sandy loams. The topsoil acidity shall be between 5.5 - 7.0ph and shall be free from any subsoil admixtures and contain no more than 1% salt measured on an oven-dried basis. All imported topsoil shall be free from materials toxic to plant growth, noxious weeds, stones, roots and other extraneous materials.

TURF - Zoysia 'Maitrelis' or approved equivalent shall be laid on prepared subgrade, evenly laid and finished flush.

FERTILISER / SOIL CONDITIONING

TURFING - Type: 'Terra Cottem' soil conditioner - Application rate: 200g/m2 to depth of 200mm

PLANTING - Type: 'Terra Cottem' - Application rates: 40g per 140mm pot - 100g per 200mm pot - 750g per > 45lt bag

MULCH - Teatree mulch or equivalent shall be spread to a minimum depth of 100mm over all garden beds.

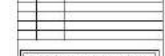
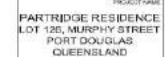
IRRIGATION - The Irrigation system will be capable of watering all the new landscape areas as shown on the Landscape drawings. Care is to be taken to avoid any overspray onto paving. No low-density pipe is to be used up stream of the solenoid valves. No drip line or barbed micro-jet fittings etc to be used. The irrigation system will conform to all relevant local authority regulations including the provision of the necessary backflow prevention devices. The irrigation system will include a filter guaranteed by the manufacturer to function effectively within these site conditions. The contractor will submit with his tender an Irrigation drawing showing the location of all the valves, sprinklers, controllers and associated equipment.

PLANTING LIST

Trees							
Code	Botanical Name	Common Name	Spacing	Size	Approx 2yrs	Approx 10yrs	Qty
ATT fit	Atractocarpus fitzalanii	Brown Sardenia	as shown	45 lt (1.5m)	3tr	5-6m	4
CAL vim	Callistemon viminalis	Weeping Bottlebrush	as shown	200 mm (0.7m)	1.5m	4m	2
CER man	Cerbera mangalis	Sea Mango	as shown	100 lt (2.5m)	3-5m	5-6m	10
DL ala (100lt)	Dillenia alata	Red Beach	as shown	100 lt (3.0m)	6-8m	7-9m	1
DL phi	Dillenia philippinensis	Philippine Simpoh	as shown	100 lt (3.0m)	3-5m	5-6m	2
GAR war	Garcinia warrenii	Native Mangosteen	as shown	300 mm (1.5m)	3-5m	7-9m	1
MAN len	Manitoba lenticellata	Hackerchief Tree	as shown	45 lt (1.5m)	2-3m	5-6m	2
MEL lea	Melaleuca leucocendra	Paperbark	as shown	300 mm (1.5m)	5-6m	15-18m	6
PLU obt	Plumeria obtusa	Evergreen Frangipani	as shown	ex ground 1.5m	2-3m	5-6m	2
TAB pec	Tabernaemontana pachysiphon	Giant Tabernaemontana	as shown	45 lt (1.5m)	2tr	4-5m	5
XAN chr	Xanthostemon chrysanthus	Golden Penda	as shown	45 lt (1.5m)	3tr	5-10m	7
Palms							
Code	Botanical Name	Common Name	Spacing	Size	Approx 2yrs	Approx 10yrs	Qty
CVR ren	Cyrtostachys renda	Lipstick Palm	as shown	200 lt (3.5m stems)	4 m	7-9m	3
LIC ram	Licuala ramsayi	Daintree Fan Palm	as shown	100 lt (1.5m)	2-3m	4-5m	10
JOH mag	Johannastoebe mannis magnifica	Silver Joey Palm	as shown	300mm (0.6m)	1tr	1.5m	4
PTY ele	Ptychosperma elegans	Sclitere Palm	as shown	100 lt (3tr trunks)	4-5m	7-9m	12
Shrubs and Ground Cover							
Code	Botanical Name	Common Name	Spacing	Size	Approx 2yrs	Approx 10yrs	Qty
ALO mac	Alcousia macrostiza	Elephants Ears	1/lt	300 mm (1.5m)	3tr	3-4m	30
ANG eve	Angiopteris evecta	King Fern	1/bt	300 mm (1m)	2tr	3-4m	5
ASP rid	Asplenium nidus	Bird's Nest Fern	3/bt	200 mm (0.3m)	1tr	1m	25
BLE or	Blechnum orientale	Blechnum Fern	3/bt	140 mm (0.3m)	0.5m	1m	150
COR gar	Cordyline garcinii	Native Cordyline	1/bt	200 mm (0.3m)	1tr	5m	75
COR ter	Cordyline terminalis	Ti Plant	3/bt	200 mm (0.3m)	1tr	1.5m	45
CRI ped	Critium pedunculatum	Sweet Lily	3/bt	200 mm (0.5m)	1tr	1.5m	8
DIA ese	Dianella caerulea	Blue Flax Lily	12/bt	140 mm (0.2m)	0.5m	0.5m	360
ETL aus	Etingera australasica	Native Ginger	1/bt	300 mm (1.5m)	2-3m	3-4m	4
ETL ela	Etingera elatior	Torch Ginger	1/bt	300 mm (1.5m)	2-3m	3-4m	19
GAR v FOR	Gardonia vietnamensis 'Forever More'	Gardonia Forever More	3/bt	200 mm (0.5m)	1tr	1.5m	5
GAR v GLE	Gardonia pallidis 'Glanrie River'	Prostrate Gardonia	1/bt	140 mm (0.2m)	1tr	1m	175
HYM lit	Hymenocallis littoralis	Spider Lily	4/bt	bulbs (0.2m)	0.5m	0.5m	140
KO v KAM	Isora coccinea 'Kampoona Pride'	Kampoona Pride Isora	1/bt	200 mm (0.5m)	1tr	1.5m	15
LOM lon	Lomandra longifolia	Matt Rush	1/bt	140 mm (0.2m)	0.5m	1m	160
MEL mai	Melastoma malsbaeiuncum	Native Lessandra	1/bt	140 mm (0.2m)	1.5m	1.5-2m	10
MOL cap	Molinia capillata	Weevil Palm	3/bt	bulbs (0.2m)	1tr	1m	540
NOA nic	Noecleron nicotianae	Noecleron	1/bt	140 mm (0.2m)	0.5m	1m	12
OPH jab	Ophiopogon jaburan	Giant Mondo Grass	9/bt	140 mm (0.2m)	0.5m	0.5m	200
ORT ari	Oriobolus aristatus	Cat's Whiskers	3/bt	140 mm (0.2m)	1tr	1m	135
PHA cla	Phaleria clarendon	Native Dahpna	1/bt	200 mm (0.3m)	1tr	3-5m	10
SOL acu	Solenostemon acutellarioides	Cleus	4/bt	140 mm (0.2m)	0.5m	0.5m	60
SPA v SEN	Spathiphyllum wallisii 'Sensation'	Giant Peace Lily	3/bt	300 mm (0.6m)	1tr	1m	120
SPA pl	Spathoglottis plicata	Ground Orchid	15/lt	140 mm (0.2)	0.3m	0.3m	200
TAB ori	Tabernaemontana orientalis	Goncola Bush	1/bt	200 mm (0.3m)	1tr	3-4m	15
VIO hed	Vicia hederacea	Native Violet	15/lt	140 mm (0.25m)	0.1m	0.1m	225
Vines							
Code	Botanical Name	Common Name	Spacing	Size	Approx 2yrs	Approx 10yrs	Qty
PAN jas	Pancrura jasmioides	Bower of Beauty	1/bt	200 mm (0.2m)	2x5m	3x8m	15

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PARTNDRIDGE RESIDENCE
 LOT 126, MURPHY STREET
 PORT DOUGLAS
 QUEENSLAND

110B
 LP-PS-0

LANDSCAPE SPECIFICATION & PLANTING LIST

A
 N/A

JT AP
 13/AUG/2013

ISSUE FOR REVIEW
 13/AUG/2013

ISSUE FOR REVIEW
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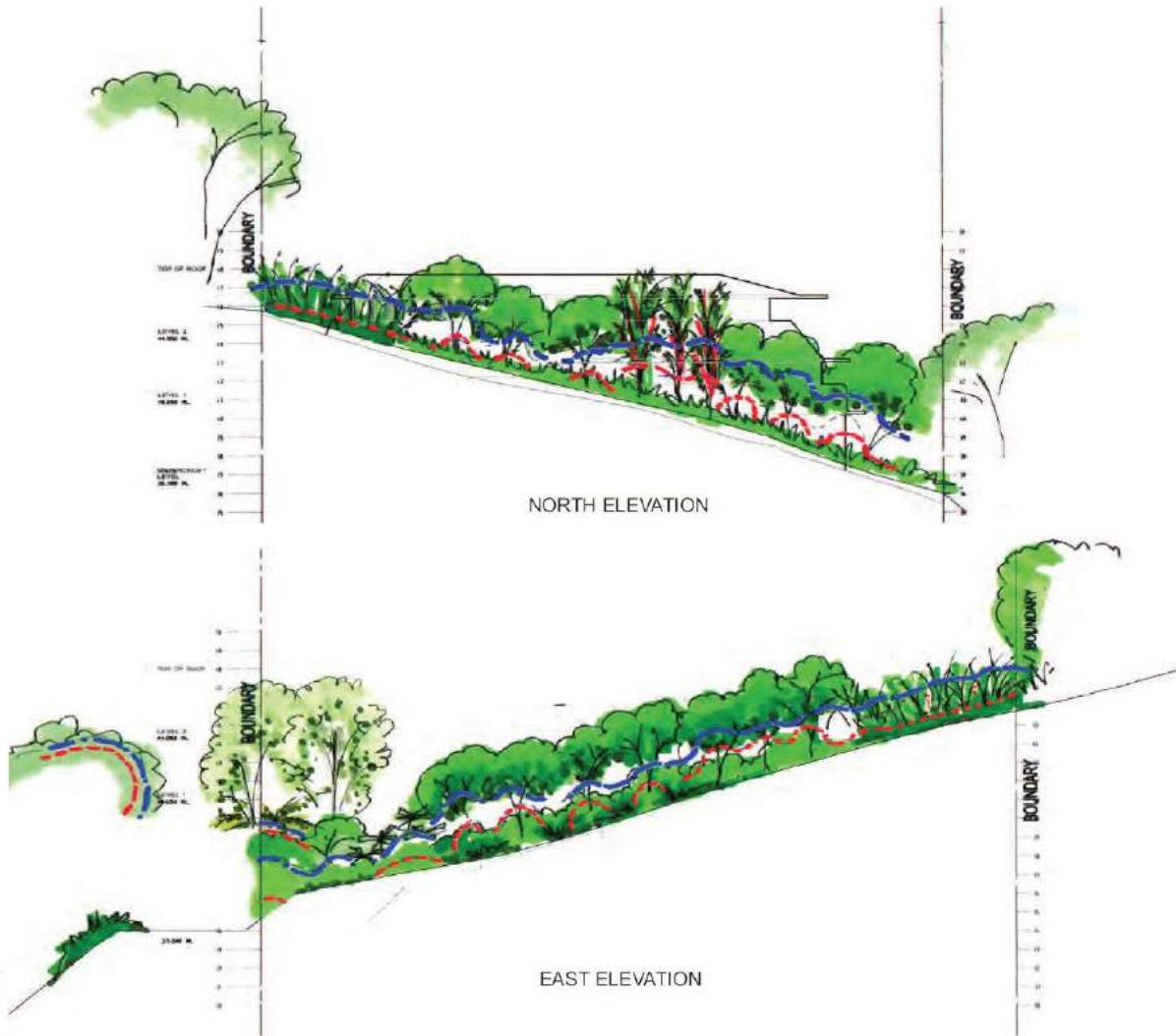
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AWA

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100/101 BRISBANE STREET, BRISBANE QLD 4000
100/101 BRISBANE STREET, BRISBANE QLD 4000

PROJECT NAME
PARTRIDGE RESIDENCE
LOT 126, MURPHY STREET
FORT DOUGLAS
QUEENSLAND

PROJECT NO.
1108

DRAWING NO.
LP-E-1.0

ISSUE NO.
LANDSCAPE
ELEVATION
NORTH / EAST

REVISION
A

SCALE
N/A

DRAWN BY
JT

CHECKED / DATE
AP
13/AUG/2013

REV.	DATE	DESCRIPTION

ISSUE FOR REVIEW
13/AUG/2013



--- TWO YEARS GROWTH
--- AS PLANTED & EXISTING

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ILLUSTRATION BY ANDREW PROWSE
 PHOTOGRAPHY BY ANDREW PROWSE
 SUBJECT TO LANDSCAPE ARCHITECTURE ACT 2010
 AND LANDSCAPE ARCHITECTURE REGULATIONS 2012

PROJECT NAME
PARTRIDGE RESIDENCE
 LOT 126, MURPHY STREET
 FORT DOUGLAS
 QUEENSLAND

PROJECT NO.
1108
 DRAWING NO.
LP-E-2.0

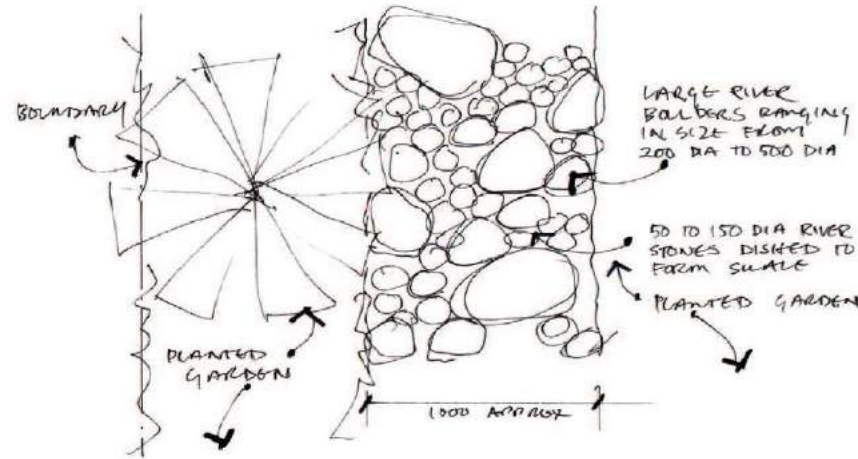
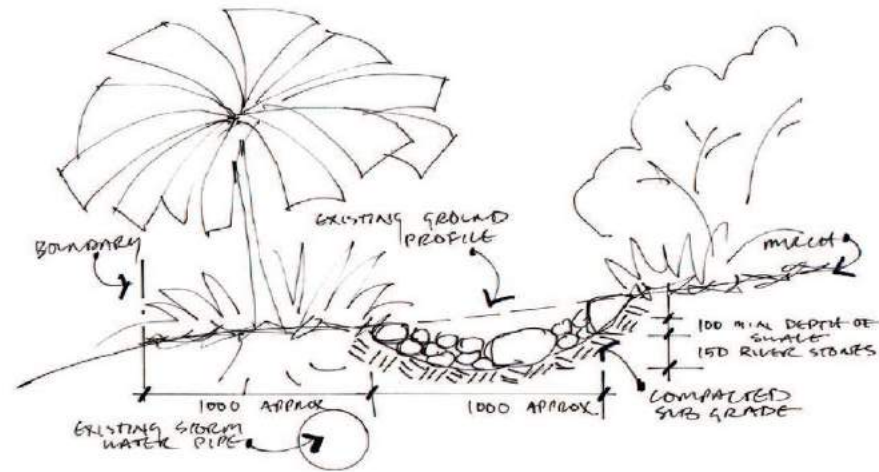
DRAWING TITLE
**LANDSCAPE
 ELEVATION
 WEST / SOUTH**

SCALE
 A
 N/A
 DRAWN BY
 JT
 CHECKED BY
 AP
 DATE
 13/AUG/2013

REVISION HISTORY	
REV.	DESCRIPTION

ISSUE FOR REVIEW
13/AUG/2013

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PROJECT NO. 1108
PROJECT SITE: LOT 126, MURPHY STREET, PORT DOUGLAS, QUEENSLAND

PROJECT NO. 1108
DRAWING NO. LP-D1.0

LANDSCAPE DRAINAGE SWALE - TYPICAL DETAIL

SCALE: A
DATE: N/A
DRAWN BY: JT
APPROVED BY: AP
DATE: 13/AUG/2013

NO.	DATE	DESCRIPTION

ISSUE FOR REVIEW
13/AUG/2013

APPENDIX 3 – SITING DISPENSATION

Queensland Development Code Part MP 1.1 (Lots under 450m²) and MP 1.2 (Lots 450m² and over)

PRELIMINARY APPROVAL

FORM LETTER

DATE: 9 August 2013
ADDRESS: 34 Murphy Street PORT DOUGLAS 4877
APPLICANT: Victor G Feros Town Planning Consultants
PROPOSAL: Siting dispensations for the construction of a new dwelling

The decision on a Preliminary Approval for the above siting layout request under the Performance Criteria may be given considering that the above proposal does not meet the Deemed to Satisfy provisions of the Queensland Development Code MP 1.2 as referred in Schedule 7 Table 1 of the Sustainable Planning Regulation 2009..

Recommendation

The proposed siting layout request generally appears to satisfy the performance criteria stated in MP 1.2 of the Queensland Development Code, it is considered acceptable to approve the siting of a new tiered dwelling on the primary road frontage of Murphy Street that the side boundary encroachment of Owen Street which is currently a gazetted but as yet unformed road @ up to 2.5 metres and the rear boundary @ up to 2 metres from the outermost projections as per the provided stamped plans. Due to the nature of the slope and the significant mature vegetation that contributes to the visual amenity and stability it is considered that the proposed structure will not impose on the streetscape or neighbouring properties therefore approval recommended.

OFFICER: M Thorley



Development Application Concurrence Agency Response
 Sustainable Planning Act 2009
 Sustainable Planning Regulation 2009 Schedule 7 Table 1

APPLICANT:
Victor G Feros Town Planning Consultants
 PO Box 1256
 CAIRNS QLD 4870

FULL SITE ADDRESS: 34 Murphy Street PORT DOUGLAS 4877 LOT: 126 SP: 144708

Dear Applicant

The Development Application No. 2013/2606. Siting dispensations for a new tiered dwelling on the primary road frontage of Murphy Street that the side boundary encroachment of Owen Street which is currently a gazetted but as yet unformed road @ up to 2.5 metres and the rear boundary @ up to 2 metres from the outermost projections as per the provided stamped plans. Due to the nature of the slope and the significant mature vegetation that contributes to the visual amenity and stability it is considered that the proposed structure will not impose on the streetscape or neighbouring properties therefore approval recommended was assessed and was approved with conditions

The decision was made by Cairns Regional Council on 09/08/2013

The following schedule provides all the relevant details.

1. Referral agencies

Concurrence Agencies Cairns Regional Council

Advice Agencies Not Applicable

2. Conditions if applicable

Assessment Manager's Conditions: Not Applicable

Concurrence Agency Conditions Nil

3. Reasons for refusal if applicable

Not Applicable

4. Approval Type

Concurrence Agency Response for Siting

Development Permit

5. Development permits required

A Development permit for carrying out building work must be obtained


6. Rights of appeal

A copy of the relevant provisions is attached.

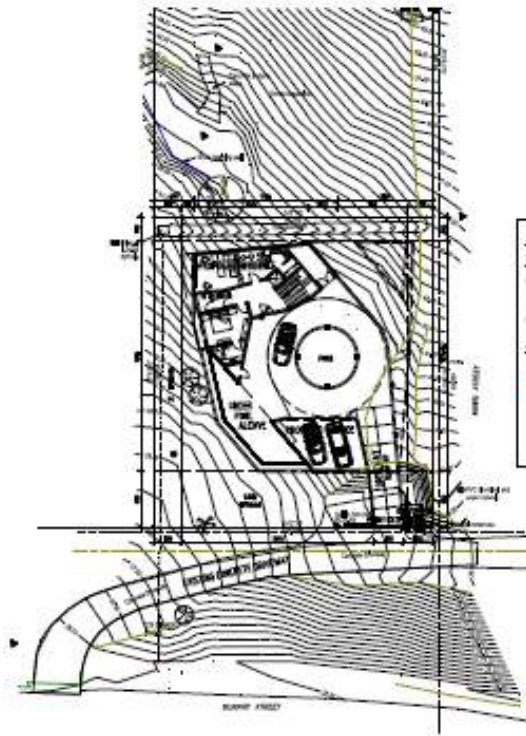
7. This concurrence agency response notice is in relation to a siting only and it is the responsibility of the Building Certifier to ensure that the application complies with all relevant acts and fire safety

8. Regulatory Officer M Thorley

9. Assessment Manager – Cairns Regional Council

Signature: 

Date 09/08/2013

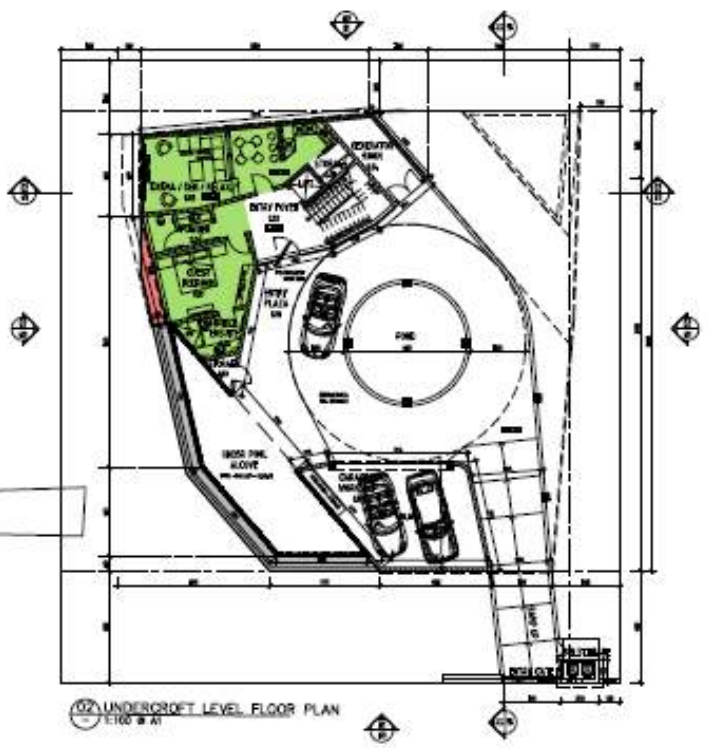


01 SITE PLAN
E100 @ A1

GENERAL NOTES

GENERAL NOTES
 The site plan shows the location of the proposed building and its relationship to the surrounding site. The site plan also shows the location of the proposed building and its relationship to the surrounding site.

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02 UNDERCROFT LEVEL FLOOR PLAN
E100 @ A1

NO. 1	NO. 2	NO. 3	NO. 4	NO. 5	NO. 6	NO. 7	NO. 8	NO. 9	NO. 10

<p>FOR CONSTRUCTION</p>	<p>3 & A CONSULTANTS PTY LTD CONSULTANTS</p>	<p>ANDREW FROWSE LANDSCAPE ARCHITECT PTY LTD</p>	<p>CWA charles wright architects</p>	<p>CONTACT & REMITTANCE PARKSIDE RESIDENCE LOT 38, MURPHY STREET PORT DOUGLAS QLD</p>	<p>04 - 05049 PLANS PROPOSED SITE PLAN & UNDERCROFT LEVEL FLOOR PLAN</p> <p>NO. 104 A303</p>
	<p> </p>	<p> </p>	<p> </p>	<p> </p>	<p> </p>