

YOUR REF: 45-2014/DSC/MCU 29092014
OUR REF: MCUC 449/2014 (438235)

22 January 2015

Reef Marina Pty Ltd
C/- RECS Consulting Engineers & Building Design
PO Box 894
PORT DOUGLAS QLD 4877

Attention: Mr Peter Dutailis

Dear Sir

**DECISION NOTICE UNDER S 335 SUSTAINABLE PLANNING ACT 2009:
DEVELOPMENT APPLICATION FOR WHARF STREET, PORT DOUGLAS**

With reference to the abovementioned Development Application, which was determined by Council at the Ordinary Meeting held on 20 January 2015, please find attached the relevant Decision Notice.

The Notice includes extracts from the Act with respect to making representations about conditions, negotiated decisions, suspension of the appeal period, and lodging an Appeal.

This notice also includes an Infrastructure Charges Notice issued in accordance with section 648F of the *Sustainable Planning Act 2009*.

Your attention is drawn to the Advice statements in respect to compliance with other legislation and in particular compliance with the requirement for any disability access under the Premises Standards.

Should you have any enquiries in relation to this Decision Notice, please contact Neil Beck of Development and Environment on telephone number 07 4099 9451.

Yours faithfully

Donna Graham
Manager Development & Environment

Att

43.2014.449
1/38

APPLICANT DETAILS

Reef Marina Pty Ltd
C/- RECS Consulting Engineers & Building Design
PO Box 894
PORT DOUGLAS QLD 4873

ADDRESS

Wharf Street, Port Douglas

REAL PROPERTY DESCRIPTION

Lot 146 on SR861

PROPOSAL

Marina

DECISION

Approved in part subject to conditions (refer to approval package below) and Refused in part.

DECISION DATE

20 January 2015

TYPE

Material Change of Use (Development Permit)

REFERRAL AGENCIES

For an application involving	Name of referral agency	Advice agency or concurrence agency	Address
Tidal works or development in a coastal management district	Department of State Development, Infrastructure and Planning	Advice or Concurrence	Far North Queensland Regional Office PO Box 2358 CAIRNS QLD 4870

SUBMISSIONS

There were no submissions for this application.

FURTHER DEVELOPMENT PERMITS REQUIRED

Development Permit for Building Works

CODES TO COMPLY WITH FOR SELF-ASSESSABLE DEVELOPMENT

None

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DOES THE ASSESSMENT MANAGER CONSIDER THE APPLICATION TO BE IN CONFLICT WITH APPLICABLE CODES, PLANNING SCHEME, STATE PLANNING POLICIES OR PRIORITY INFRASTRUCTURE PLAN (IF YES, INCLUDE STATEMENT OF REASONS)

Not in conflict

A. CONDITIONS FOR APPROVAL IN PART FOR A MATERIAL CHANGE OF USE AND OPERATIONAL WORK FOR PRESCRIBED TIDAL WORK FOR THE EXPANSION OF THE EXISTING MARINA OVER LAND DESCRIBED AS LOT 146 ON SR861, LOCATED AT WHARF STREET, PORT DOUGLAS:

APPROVED DRAWING(S) AND / OR DOCUMENT(S)

The term 'approved drawing(s) and / or document(s)' or other similar expressions means:

Drawing or Document	Reference	Date
General Notes & Locality Plan	4577-100B	29 July 2014
Demolition Plan	4577-101/A	25 July 2014
General Arrangement	4577-102/D	25 July 2014
Marina Setout	4577-103/C	28 July 2014
Pile Layout & Profile	4577-105/C	25 July 2014
Pile Schedule	4577-106/B	25 July 2014
Services Layout	4577-107/C	28 July 2014
Concrete Abutment Details	4577-109	29 July 2014
Typical Pile Bracket Details	4577-110	29 July 2014
Typical Bracket Details	4577-111	29 July 2014
Standard Pontoon Details	4577-112	29 July 2014

Note – The utility berths are not approved. All reference to the utility berths on the approved plans listed in the above table have no force or effect.

ASSESSMENT MANAGER CONDITIONS

1. Carry out the approved development generally in accordance with the approved drawing(s) and/or document(s), and in accordance with:
 - a. The specifications, facts and circumstances as set out in the application submitted to Council; and
 - b. The following conditions of approval and the requirements of Council's Planning Scheme and the *FNQROC Development Manual*.

Except where modified by these conditions of approval

Timing of Effect

2. The conditions of the Development Permit must be effected prior to Commencement of Use, except where specified otherwise in these conditions of approval.

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Damage to Council Infrastructure

3. In the event that any part of Council's existing sewer / water or road infrastructure is damaged as a result of construction activities occurring on the site, the applicant/owner must notify Council immediately of the affected infrastructure and have it repaired or replaced at the applicant / owners cost, prior to the Commencement of Use.

Storage of Machinery and Plant

4. The storage of any machinery, material and vehicles must not cause a nuisance to surrounding properties to the satisfaction of the Chief Executive Officer.

Demolish Structures

5. All structures not associated with the approved development (including disused services and utilities) must be demolished and/or removed from the subject land prior to Commencement of Use.

Construction Access

6. All construction works and delivery of materials must take place using the existing access location into Lot 146 on SR861 or via Dickson Inlet. Wharf Street is not to be used for the set down of materials or to aid with the construction of the expansion without the express approval of the Chief Executive Officer.

CONCURRENCE AGENCY CONDITIONS & REQUIREMENTS

Concurrency Agency	Concurrency Agency Reference	Date	Council Electronic Reference
Department of State Development Infrastructure & Planning	SDA-1014-015258	5 December 2014	435421

Refer to Appendix 2: Concurrence Agency Requirements. (Please note that these conditions / requirements may be superseded by subsequent negotiations with the relevant referral agencies).

ADVICE

1. This approval, granted under the provisions of the *Sustainable Planning Act 2009*, shall lapse four (4) years from the day the approval takes effect in accordance with the provisions of 339 and 341 of the *Sustainable Planning Act 2009*.
2. All building site managers must take all action necessary to ensure building materials and / or machinery on construction sites are secured immediately following the first cyclone watch and that relevant emergency telephone contacts are provided to Council officers, prior to commencement of works.

3. This approval does not negate the requirement for compliance with all other relevant Local Laws and other statutory requirements.

Infrastructure Charges Notice

4. A charge levied for the supply of trunk infrastructure is payable to Council towards the provision of trunk infrastructure in accordance with the Adopted Infrastructure Charges Notice, a copy of which is attached for reference purposes only. The original Adopted Infrastructure Charges Notice will be provided under cover of a separate letter.

The amount in the Adopted Infrastructure Charges Notice has been calculated according to Council's Adopted Infrastructure Charges Resolution.

Please note that this Decision Notice and the Adopted Infrastructure Charges Notice are stand-alone documents. *The Sustainable Planning Act 2009* confers rights to make representations and appeal in relation to a Decision Notice and an Adopted Infrastructure Charges Notice separately.

The amount in the Adopted Infrastructure Charges Notice is subject to index adjustments and may be different at the time of payment. Please contact the Development and Environment Branch at Council for review of the charge amount prior to payment.

The time when payment is due is contained in the Adopted Infrastructure Charges Notice.

5. For information relating to the *Sustainable Planning Act 2009* log on to www.dsdip.qld.gov.au. To access the *FNQROC Development Manual*, Local Laws and other applicable Policies log on to www.douglas.qld.gov.au.

LAND USE DEFINITIONS*

In accordance with the Douglas Shire Planning Scheme 2008, the approved land use of Marina is defined as:

Premises used to moor or store marine vessels (including power driven, yachts and fishing vessels) on, or adjacent to the water.

The use may include ancillary facilities for the refuelling, servicing, repair, land storage and sale of marine craft and for the sale of related boating gear and equipment.

The use includes:

- *slipway;*
- *marine infrastructure;*
- *offices and storerooms;*
- *laundry, toilet and shower facilities;*
- *general store not exceeding 250m²*
- *marine retail, including dive stores;*
- *marine related tourism activities;*

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- *ancillary marina facilities used in connection with the marina;*
- *sale of freshly caught seafood produce from marine vessels (specifically the vessel the seafood was caught from).*

*This definition is provided for convenience only. This Development Permit is limited to the specifications, facts and circumstances as set out in the application submitted to Council and is subject to the abovementioned conditions of approval and the requirements of Council's Planning Scheme and the *FNQROC Development Manual*.

B. PLANNING GROUNDS FOR REFUSAL IN PART OF THE MATERIAL CHANGE OF USE AND OPERATIONAL WORK FOR PRESCRIBED TIDAL WORK FOR THE EXPANSION OF THE EXISTING MARINA AS IT RELATES TO THE PROPOSED 'UTILITY BERTHS' OVER LAND DESCRIBED AS LOT 146 ON SR861, LOCATED AT WHARF STREET, PORT DOUGLAS:

1. The proposed utility berths and associated service demands generated by commercial and other vessels will take place within the road reserve of Wharf Street.
2. The reliance on Wharf Street to absorb all associated parking and servicing demands generated by the various commercial vessels being moored at this location is in conflict with the purpose statements and desired development outcomes of the Port Douglas Waterfront Planning Area in that:
 - a. The use of the Wharf Street road reserve in this manner does not contribute to a high quality public space;
 - b. Does not provide for or promote pedestrian connectivity which is safe and efficient.
 - c. Will have a detrimental impact on the streetscape in terms of aesthetics for both pedestrian and vehicle traffic.
 - d. Will have an adverse impact on the sense of arrival when entering Port Douglas through having a negative impact on the existing amenity and character of the precinct.
 - e. Places additional and unnecessary pedestrian and vehicle movements in this location which will create conflict with the Bally Hooley rail line.
3. The proposed utility berths conflict with the Performance Criterion 10 & 11 of the Port Douglas Waterfront Planning Area Code as it relates to Parking Access and Mobility in that:
 - a. Vehicle parking and service areas will dominate the streetscape in this location enhancing pedestrian and vehicle conflict.
 - b. Will detrimentally impact of the ability of Wharf Street being a planned connectivity route to convey pedestrians, cyclists, motorists and public transport into and through the Waterfront.

RIGHTS OF APPEAL
Attached

End of Decision Notice

APPENDIX 1: APPROVED DRAWING(S) & DOCUMENT(S)

Note – The utility berths are not approved. All reference to the utility berths on the approved plans listed in the above table have no force or effect.

GENERAL NOTES :

- 10 ALL DIMENSIONS AND LEVELS ARE TO BE VERIFIED ON SITE.
- 20 WHEN IN DOUBT ASK DO NOT SCALE
- 30 ALL DIMENSIONS ARE SHOWN IN MILLIMETRES UNO
- 40 ALL LEVELS ARE SHOWN IN METRES AND ARE REDUCED TO LOWEST ASTRONOMICAL TIDE (LATI). (AHD IS +1584 ABOVE LATI).
- 50 PILES
 - TOLERANCE FOR DRIVING IN PLAN +/- 50 mm, MEASURED AS THE WORST COMBINATION OF PLAN DEVIATION AND OUT OF PLUMB OVER FULL TIDAL RANGE. VERTICAL = 1 IN 150 MAX OUT OF PLUMB
 - CONTRACTOR TO ADVISE ENGINEER IF BED LEVEL DIFFERS FROM DESIGN LEVEL BY MORE THAN 300mm.
- 60 PONTOON DIMENSIONS ARE NOMINAL
 - DIMENSIONS ARE MEASURED TIMBER TO TIMBER
- 70 PONTOONS ARE TO BE CONNECTED TOGETHER WITH TIMBER WALERS
- 80 ALL THRU-RODS ARE TO BE M20 NOMINAL ROLL THREADED ROD (GALV) EX 165mm DIA. SPACING TO VARY WITH LOCATION
- 90 ALL TIMBER DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH AS 1720-1
 - WALKER SIZES
 - ARM A
 - WALKWAY
 - 2/75 x 300 GRADE F17 HARDWOOD PLUS 40 x 300 FB SOFTWOOD COVERBOARD
 - FINGERS FOR 25m TO 30m BOAT
 - 2/75 x 200 GRADE F17 HARDWOOD PLUS 40 x 300 FB SOFTWOOD COVERBOARD
 - FINGERS FOR 22m BOAT
 - 2/50 x 200 GRADE F17 HARDWOOD
 - ARM B
 - WALKWAY
 - 2/50 x 200 GRADE F17 HARDWOOD PLUS 40 x 300 FB SOFTWOOD COVERBOARD
 - FINGERS
 - 2/50 x 200 GRADE F17 HARDWOOD
 - UTILITY BERTHS
 - 2/50 x 200 GRADE F17 HARDWOOD PLUS 40 x 300 FB SOFTWOOD COVERBOARD
 - ALL TIMBER TO BE SEASONED AND TREATED IN ACCORDANCE WITH AS 1664.
 - STRUCTURAL TIMBER MUST NOT BE CUT OR DRILLED FOR ANY REASON OTHER THAN SHOWN ON THESE DRAWINGS
- 100 ALL WELDS TO BE COMPLETE PENETRATION BUTT WELD OR 6mm FILLET WELD AS REQUIRED UNO
- 110 ALL ALUMINIUM WORK TO BE IN ACCORDANCE WITH AS 1664
 - ALL EXTRUSIONS TO BE TYPE 6061-T6 OR 6082-T5 UNO
 - PLATES TO BE TYPE 5083 TEMPER H21
 - ALL WELDS SHALL BE INERT GAS WELD USING PULSE MIG OR TIG FUSION WELDING PROCESS
 - ALL WORK SHALL BE NEATLY FINISHED WITH ALL SHARP EDGES GRIND SMOOTH
 - ALL WELDS TO BE COMPLETE PENETRATION BUTT WELD
- 120 ALL STEEL AND ALUMINIUM WORK SHALL BE NEATLY FINISHED WITH ALL SHARP EDGES GRIND SMOOTH
- 130 PILE GUIDE BLOCKS ARE TO BE ADJUSTED AS REQUIRED TO SUIT PILE SIZE AND POSITION ON SITE
 - CLEARANCE MUST BE PROVIDED BETWEEN PILE AND GUIDE TO PREVENT "HANGING" OF PONTOON UNDER FULL TIDAL RANGE

- 14.0 CONCRETE
 - ALL CONCRETE WORKS SHALL BE IN ACCORDANCE WITH AS 3600
 - MINIMUM CONCRETE STRENGTH f_c = 50MPa
 - ALL STEEL REINFORCEMENT TO BE HOT DIP GALVANIZED
- 15.0 WALKING SURFACES SHALL BE FINISHED IN ACCORDANCE WITH AS4586

16.0 INSULATION

BOLTED MATERIAL	INSULATING MATERIAL
ALUMINIUM / GALV STEEL	DURALAC ANTI CORROSION COMPOUND OR NYLON SEPARATION WASHERS
ALUMINIUM / CONCRETE	3mm NEOPRENE
STEEL / CONCRETE	3mm NEOPRENE

- 17.0 DESIGN PARAMETERS
 - WIND
 - BASIC WIND SPEED V_b = 67.3m/s
 - TERRAIN CATEGORY TC2
 - GUST DURATION = 30sec
 - WAVE
 - WIND GENERATED WAVE
 - H_s = 0.75m T = 2.1/s (FOR OUTER ARM)
 - H_s = 0.3m T = 2.1/s (FOR INNER ARM)
 - BOAT WAKE
 - H_{max} = 0.6m

- BERTHING IMPACT
 - APPROACHING VELOCITY
 - v = 0.3m/s LOA ≤ 25m
 - v = 0.2m/s LOA > 25m
- LIVE LOAD ON PONTOONS
 - MAX UNIFORMLY DISTRIBUTED LOAD 3 kPa
 - FREEBOARD UNDER DEAD LOAD
 - NEW ARM A : 600 +25mm
 - NEW ARM B & FISHERMEN BERTHS : 400 +25mm

- DESIGN VESSELS (MAX)

VESSEL LENGTH (m)	WIND PROFILE AREA (m ²)		DISPLACEMENT (t)
	BEAM	HEAD	
17	57.7	20.7	19.5
20	76.0	24.0	30.0
22	83.6	26.4	40.0
25	95.0	30.0	55.0
26	100.0	33.0	60.0
27	105.0	36.0	65.0
28	110.0	39.0	70.0
29	115.0	42.0	75.0
30	120.0	45.0	80.0
60	326.0	100.0	600.0

- 18.0 THE PROPOSED PONTOON COMPLIES WITH THE GUIDELINES IN AS3962-2001 "GUIDELINES FOR DESIGN OF MARINAS"
- 19.0 THE WORKS WILL BE STRUCTURALLY ADEQUATE FOR ANTICIPATED USAGE
- 20.0 THE WORKS COMPLY WITH ALL RELEVANT CODES - INCLUDING THE DEHP'S OPERATIONAL POLICY, BUILDING AND ENGINEERING STANDARDS FOR TIDAL WORKS

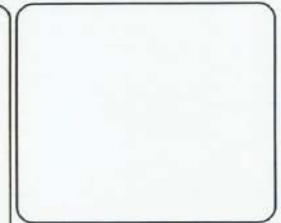


LOCALITY PLAN
SCALE: NTS

LOT 146
SR861
IS221802
PARISH : SALISBURY
COUNTY : SOLANDER
TOWN : PORT DOUGLAS
LOCAL GOVERNMENT : CAIRNS REGIONAL

J. M. Eeman
J. M. EEMAN
REGISTERED PROFESSIONAL ENGINEER
OF QUEENSLAND NUMBER : 2938

FOR APPROVAL



B 9/09/14 DESIGN VESSEL TABLE UPDATED
A 12/08/14 NOTE Nos. 9 & 17 UPDATED

Revisions:

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International Marina Consultants
Consultants to the Marina Industry.

International Marina Consultants Pty. Ltd.
A.C.N. 079 905 481
473 Annerley Road
Annerley QLD 4103
Australia
Phone (07)3892 5711 Fax (07)3892 5611
Email - nc@imc-marinas.com

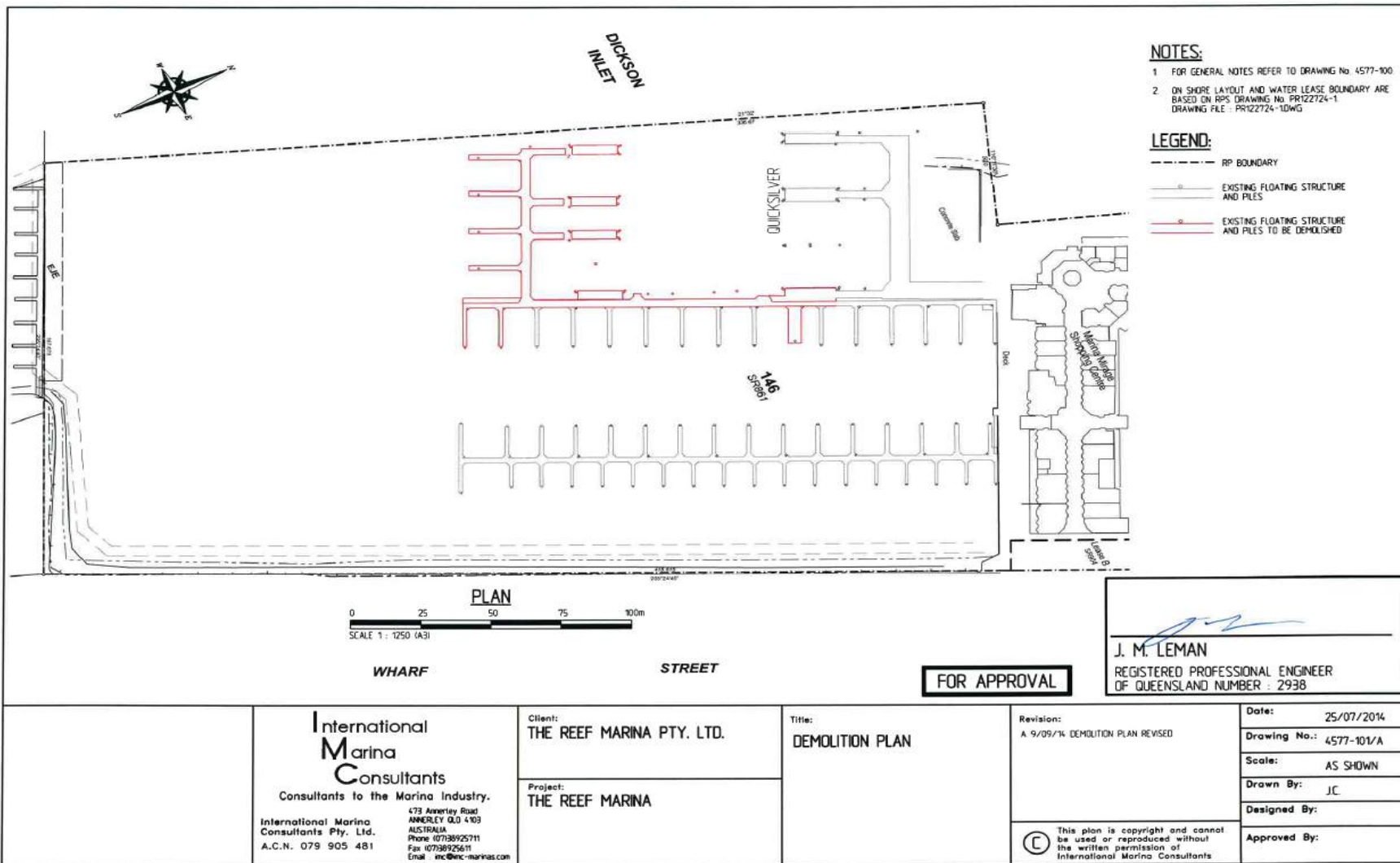
CLIENT:
THE REEF MARINA PTY. LTD.

PROJECT:
THE REEF MARINA

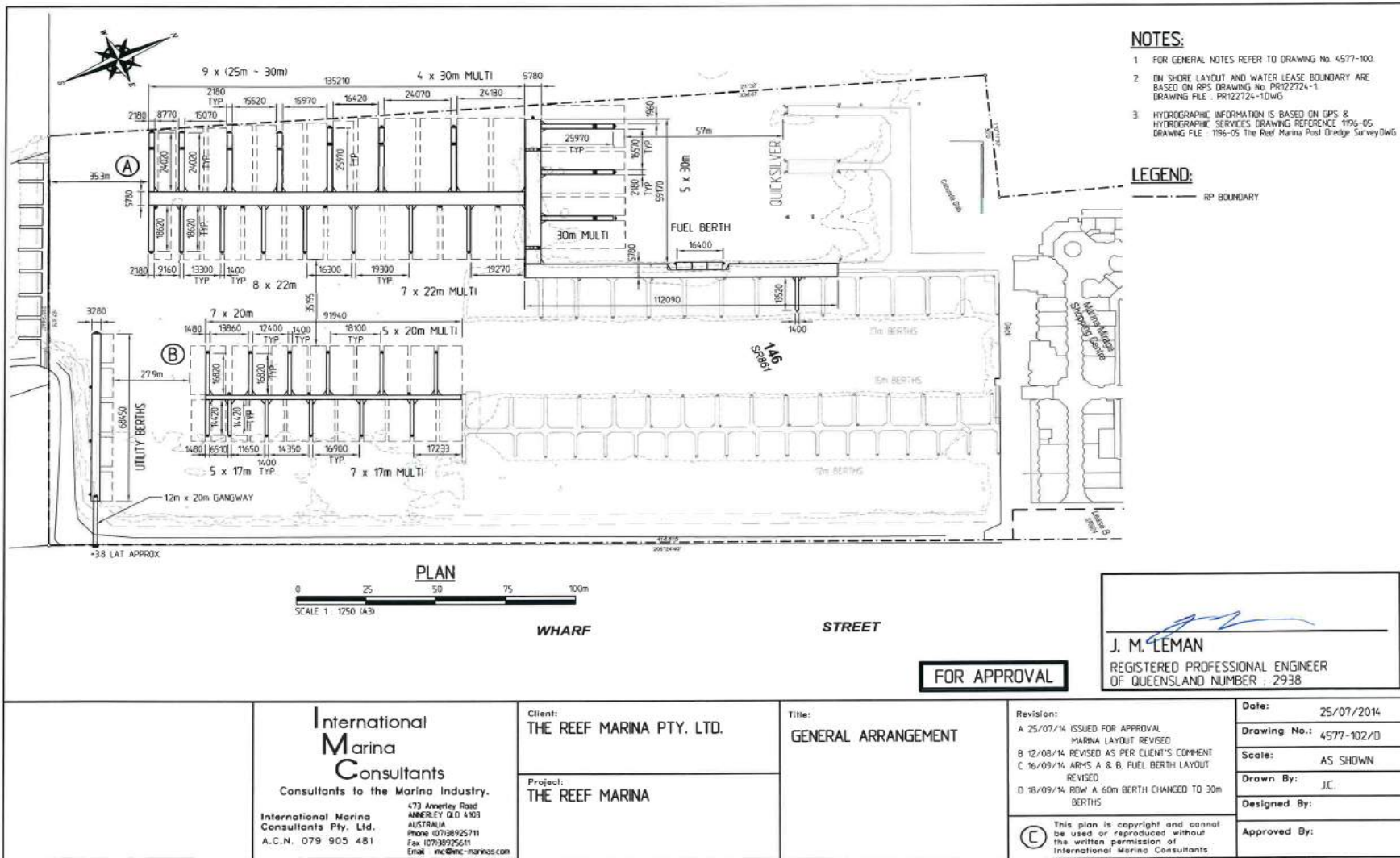
TITLE:
GENERAL NOTES & LOCALITY PLAN

Date: 29/07/2014
Drawing No.: 4577-100/B
Scale: NIL
Drawn By: JC Designed By:
Approved By:

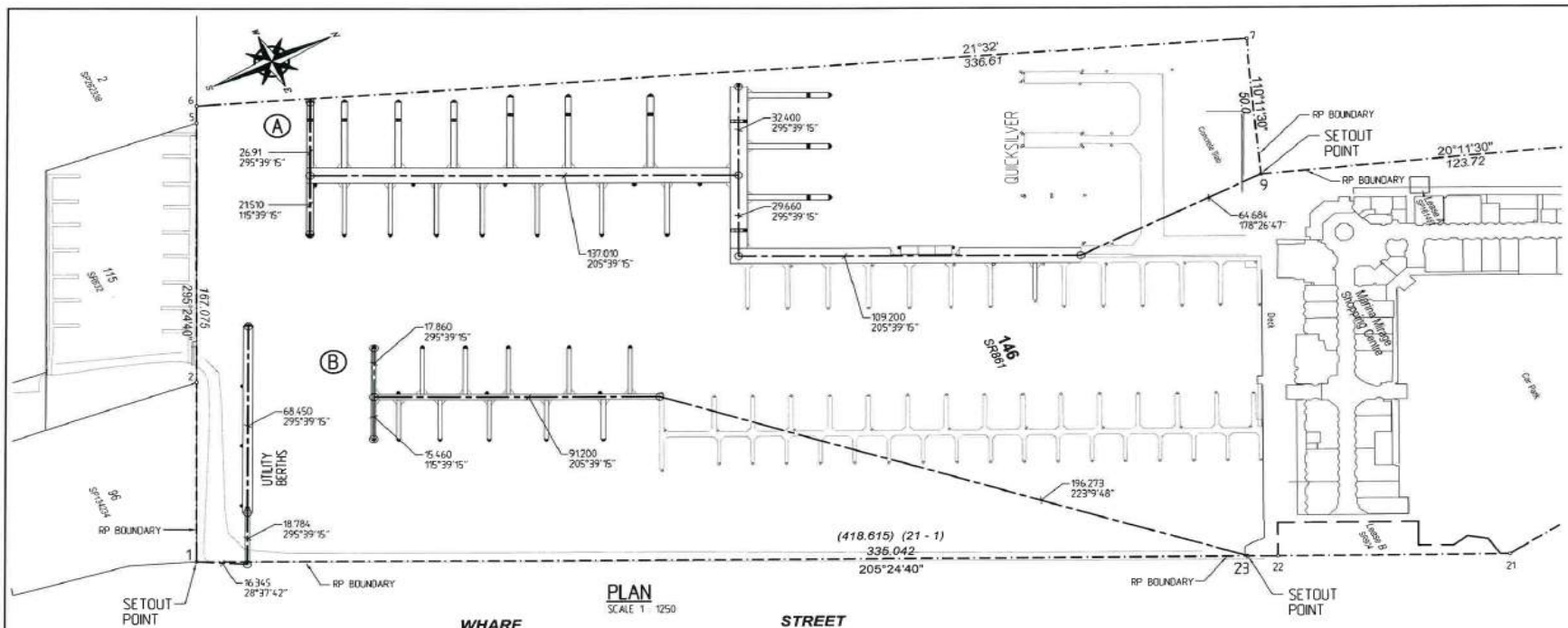
**DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009**



DECISION NOTICE DETAILS SUSTAINABLE PLANNING ACT 2009



**DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009**



NOTES:

1 FOR GENERAL NOTES REFER TO DRAWING No 4577-100

LEGEND:

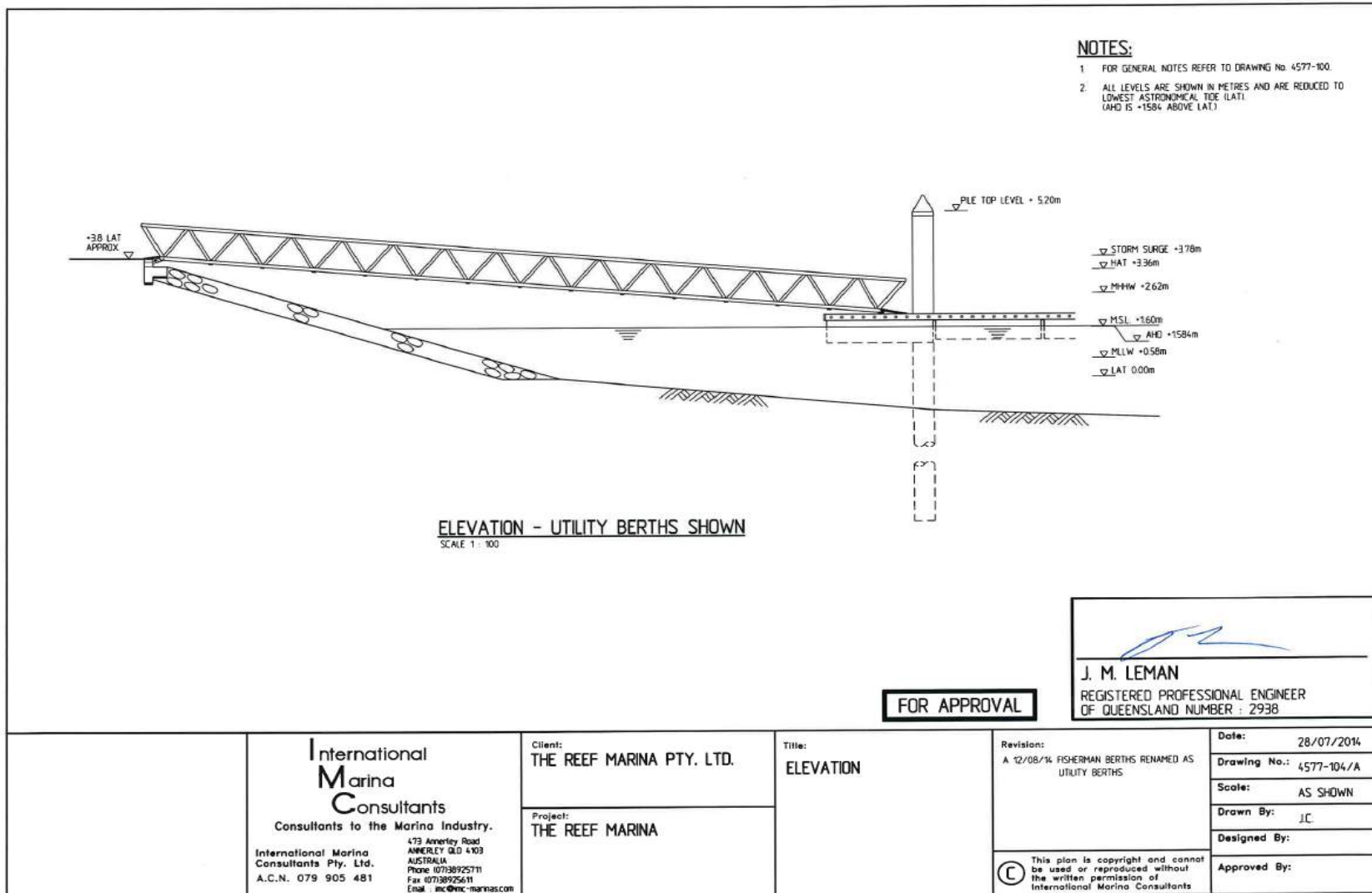
--- RP BOUNDARY

J. M. LEMAN
J. M. LEMAN
REGISTERED PROFESSIONAL ENGINEER
OF QUEENSLAND NUMBER 2938

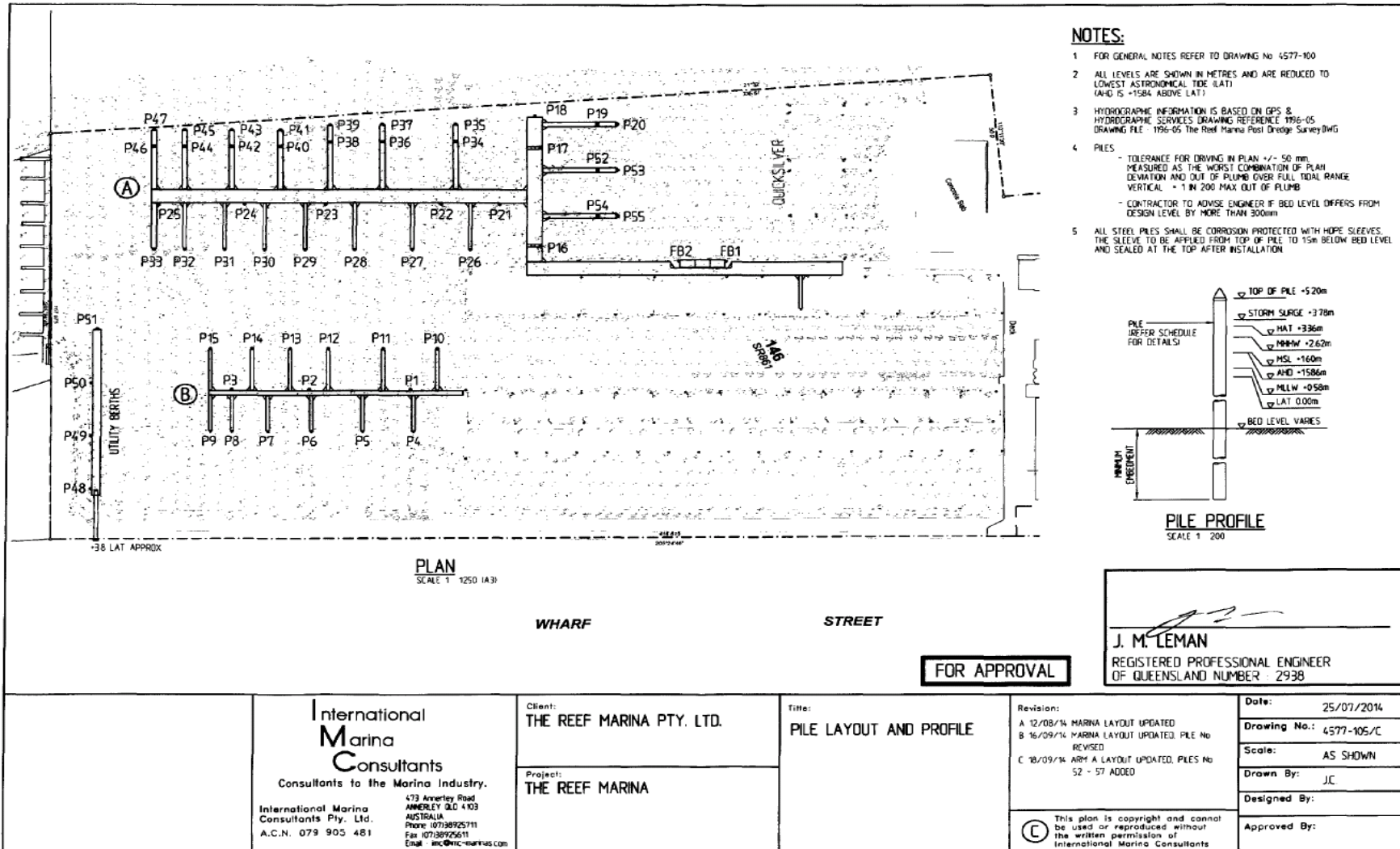
FOR APPROVAL

<p align="center">International Marina Consultants Consultants to the Marina Industry. 473 Annerley Road ANNERLEY QLD 4103 AUSTRALIA Phone 07138925711 Fax 07138925671 Email imc@imc-marinas.com</p>	<p>Client: THE REEF MARINA PTY. LTD.</p>	<p>Title: MARINA SETOUT</p>	<p>Revision: A 12/08/14 MARINA LAYOUT UPDATED, ARM A T-HEAD SETOUT REVISED B 16/09/14 MARINA LAYOUT UPDATED, ARMS A & B SETOUT REVISED C 18/09/14 ARM A LAYOUT UPDATED AND SETOUT REVISED</p>	<p>Date: 28/07/2014 Drawing No.: 4577-103/C Scale: AS SHOWN Drawn By: J.C. Designed By:</p>
	<p>Project: THE REEF MARINA</p>		<p>Approved By:</p>	

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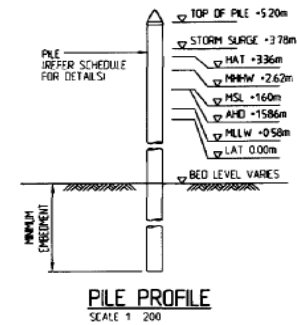


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NOTES:

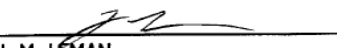
- 1 FOR GENERAL NOTES REFER TO DRAWING No 4577-100
- 2 ALL LEVELS ARE SHOWN IN METRES AND ARE REDUCED TO LOWEST ASTRONOMICAL TIDE (LAT) (AHD IS +1584 ABOVE LAT)
- 3 HYDROGRAPHIC INFORMATION IS BASED ON GPS & HYDROGRAPHIC SERVICES DRAWING REFERENCE 1996-05 DRAWING FILE 1996-05 The Reef Marina Post Bridge Survey.DWG
- 4 PILES
 - TOLERANCE FOR DRIVING IN PLAN +/- 50 mm MEASURED AS THE WORST COMBINATION OF PLAN DEVIATION AND OUT OF PLUMB OVER FULL TIDAL RANGE
 - VERTICAL = 1 IN 200 MAX OUT OF PLUMB
 - CONTRACTOR TO ADVISE ENGINEER IF BED LEVEL DIFFERS FROM DESIGN LEVEL BY MORE THAN 300mm
- 5 ALL STEEL PILES SHALL BE CORROSION PROTECTED WITH HOPE SLEEVES. THE SLEEVE TO BE APPLIED FROM TOP OF PILE TO 15m BELOW BED LEVEL AND SEALED AT THE TOP AFTER INSTALLATION



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PILE SCHEDULE						PILE SCHEDULE					
PILE No.	DESIGNED BED LEVEL (m LAT)	PILE SIZE	MINIMUM EMBEDMENT (m)	PILE TOP LEVEL (m LAT)	ESTIMATED PILE LENGTH (m)	PILE No.	DESIGNED BED LEVEL (m CD)	PILE SIZE	MINIMUM EMBEDMENT (m)	PILE TOP LEVEL (m CD)	ESTIMATED PILE LENGTH (m)
P1	-22	610φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	75	+5.2	15.0	P35	-25	610φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	64	+5.2	14.5
P2	-23	610φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	75	+5.2	15.0	P36	-25	610φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	64	+5.2	14.5
P3	-22	610φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	75	+5.2	15.0	P37	-26	610φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	64	+5.2	14.5
P4	-23	457φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	63	+5.2	14.0	P38	-26	508φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	63	+5.2	14.5
P5	-20	457φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	63	+5.2	13.5	P39	-26	508φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	63	+5.2	14.5
P6	-20	457φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	63	+5.2	13.5	P40	-27	457φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	63	+5.2	14.5
P7	-21	457φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	63	+5.2	14.0	P41	-27	457φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	63	+5.2	14.5
P8	-22	457φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	63	+5.2	14.0	P42	-25	457φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	62	+5.2	14.0
P9	-22	457φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	63	+5.2	14.0	P43	-26	457φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	62	+5.2	14.0
P10	-22	610φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	66	+5.2	14.0	P44	-27	457φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	60	+5.2	14.0
P11	-22	610φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	66	+5.2	14.0	P45	-26	457φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	60	+5.2	14.0
P12	-22	610φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	66	+5.2	14.0	P46	-26	457φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	60	+5.2	14.0
P13	-22	610φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	66	+5.2	14.0	P47	-25	457φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	60	+5.2	14.0
P14	-22	610φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	66	+5.2	14.0	P48	-20	508φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	64	+5.2	14.0
P15	-23	610φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	66	+5.2	14.5	P49	-20	508φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	64	+5.2	14.0
P16	-22	610φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	72	+5.2	15.0	P50	-21	508φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	64	+5.2	14.0
P17	-25	610φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	72	+5.2	15.0	P51	-22	508φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	64	+5.2	14.0
P18	-25	610φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	72	+5.2	15.0	P52	-25	610φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	72	+5.2	15.0
P19	-26	610φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	72	+5.2	15.0	P53	-25	610φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	72	+5.2	15.0
P20	-27	610φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	72	+5.2	15.5	P54	-25	610φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	72	+5.2	15.0
P21	-25	610φ x 16.0 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	82	+5.2	16.0	P55	-26	610φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	72	+5.2	15.0
P22	-26	610φ x 16.0 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	82	+5.2	16.0	FB1	-25	457φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	58	+5.2	13.5
P23	-25	610φ x 16.0 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	82	+5.2	16.0	FB2	-25	457φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	58	+5.2	13.5
P24	-25	610φ x 16.0 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	82	+5.2	16.0						
P25	-25	610φ x 16.0 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	82	+5.2	16.0						
P26	-27	610φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	70	+5.2	15.0						
P27	-27	610φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	70	+5.2	15.0						
P28	-26	610φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	70	+5.2	15.0						
P29	-27	610φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	70	+5.2	15.0						
P30	-26	610φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	70	+5.2	15.0						
P31	-25	610φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	70	+5.2	15.0						
P32	-27	610φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	70	+5.2	15.0						
P33	-25	610φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	70	+5.2	15.0						
P34	-26	610φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	64	+5.2	14.5						

FOR APPROVAL


J. M. LEMAN
 REGISTERED PROFESSIONAL ENGINEER
 OF QUEENSLAND NUMBER : 2938


International Marina Consultants
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 International Marina Consultants Pty. Ltd.
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 AUSTRALIA
 Phone 07138925711
 Fax 07138925611
 Email: icc@ic-marinas.com

Client: **THE REEF MARINA PTY. LTD.**

Project: **THE REEF MARINA**

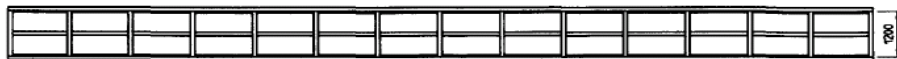
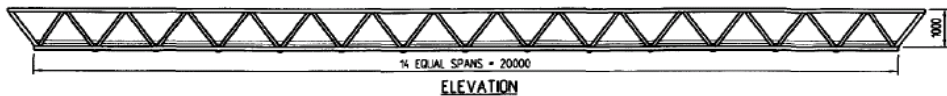
Title: **PILE SCHEDULE**

Revision: A 16/09/14 PILE SCHEDULE UPDATED
B 18/09/14 PILES P52 - P57 ADDED

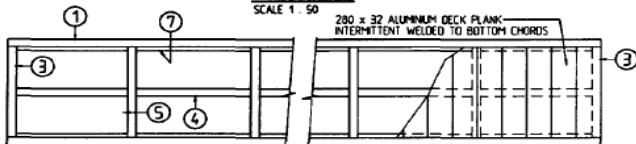
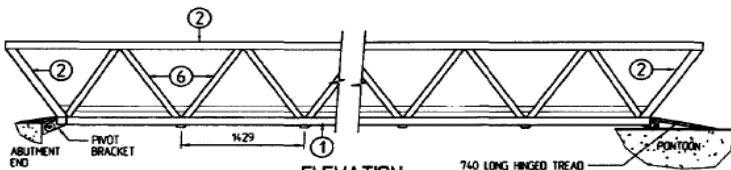
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Date: 25/07/2014
 Drawing No.: 4577-106/B
 Scale: NL
 Drawn By: J.C.
 Designed By:
 Approved By:

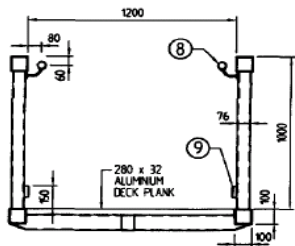
**DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009**



GENERAL ARRANGEMENT
SCALE 1: 100



SCALE 1: 50



SCALE 1: 25

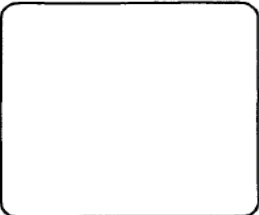
NOTES:

- 1 ALL DIMENSIONS ARE IN MILLIMETRES.
- 2 ALL WORKMANSHIP AND MATERIAL SHALL BE IN ACCORDANCE WITH AS1664.
- 3 ALUMINUM STRUCTURAL EXTRUSIONS SHALL BE 6061-T6, 6062-T5 OR 6005A-T5 UNO. HANDRAILS, KECKRAILS AND DECK PLANK SUPPORTING ANGLES CAN BE GRADE 6060-T5.
- 4 ALUMINUM PLATES SHALL BE TYPE 5083 TEMPER H321.
- 5 ALL WELDS SHALL BE INERT GAS WELD USING PULSE MIG OR TIG FUSION WELDING PROCESS.
- 6 ALL WORK SHALL BE NEATLY FINISHED WITH ALL SHARP EDGES GROUND SMOOTH.
- 7 ALL WELDS TO BE COMPLETE PENETRATION BUTT WELD.
- 8 DESIGN LIVE LOADS
 UDL 4.0kPa
 CONCENTRATED LOAD 4.5kN
 HANDRAIL 0.75kN/m
- 9 SPLICE JOINT IN TOP CHORD TO BE LOCATED OUTSIDE THE CENTRAL 6m.
- 10 WALKING SURFACES SHALL BE FINISHED IN ACCORDANCE WITH AS4586.

ITEM	DESCRIPTION
1	SHS 100 x 100 x 6
2	SHS 100 x 100 x 6
3	SHS 100 x 100 x 6
4	RHS 1016 x 76.2 x 2.35
5	SHS 100 x 100 x 6
6	SHS 76 x 76 x 6
7	ANGLE 50 x 25 x 3
8	CHS 50 x 3
9	RHS 76.2 x 25.4 x 2.36

FOR APPROVAL

J. M. LEMAN
 REGISTERED PROFESSIONAL ENGINEER
 OF QUEENSLAND NUMBER : 2938



Revisions

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 Email : imc@imc-marinas.com

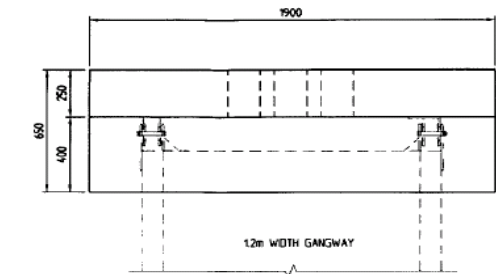
CLIENT:
THE REEF MARINA PTY. LTD.

PROJECT:
THE REEF MARINA

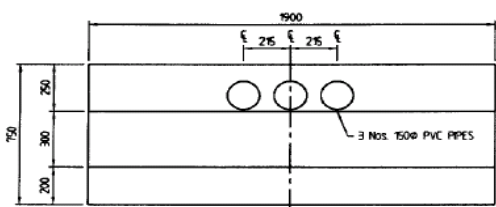
TITLE:
12m WIDE x 20m LONG GANGWAY

Date: 29/07/2014
 Drawing No.: 4577-108
 Scale: AS SHOWN
 Drawn By: J.C. Designed By:
 Approved By:

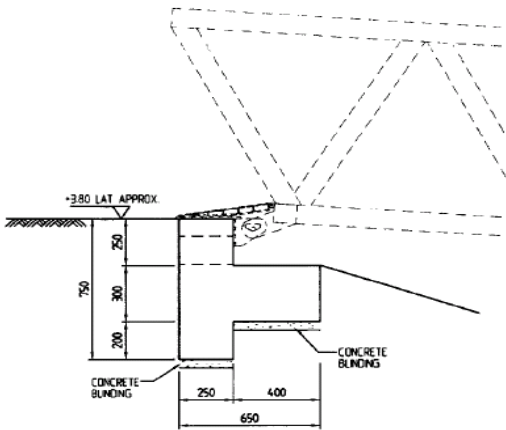
**DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009**



PLAN
SCALE 1 : 20

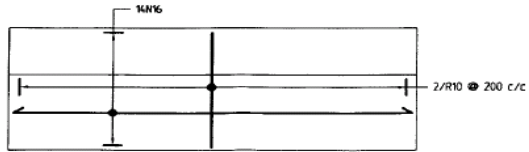


(GANGWAY NOT SHOWN FOR CLARITY)
ELEVATION
SCALE 1 : 20



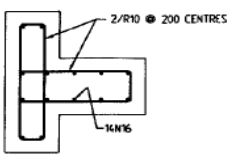
ELEVATION
SCALE 1 : 20

- NOTES:**
- 1 ALL DIMENSIONS ARE IN MILLIMETRES UNO
 - 2 ALL LEVELS ARE SHOWN IN METRES AND REDUCED TO LOWEST ASTRONOMICAL TIDE (LAT) (AHD IS +1584 ABOVE LAT)
 - 3 CONCRETE
- ALL CONCRETE WORKS SHALL COMPLY WITH AS 3600
- MINIMUM CONCRETE STRENGTH (f_c) = 40MPa
- MINIMUM COVER TO REINFORCEMENT = 70mm
 - 4 THE ABUTMENT FOUNDATION BEARING CAPACITY AND SLOPE STABILITY OF REVENMENT TO BE CHECKED AND CONFIRMED BY A GEOTECHNICAL ENGINEER.



PLAN

REINFORCEMENT DETAILS
SCALE 1 : 20



TYPICAL SECTION

FOR APPROVAL

J. M. LEMAN
REGISTERED PROFESSIONAL ENGINEER
OF QUEENSLAND NUMBER : 2938

Revisions

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**International
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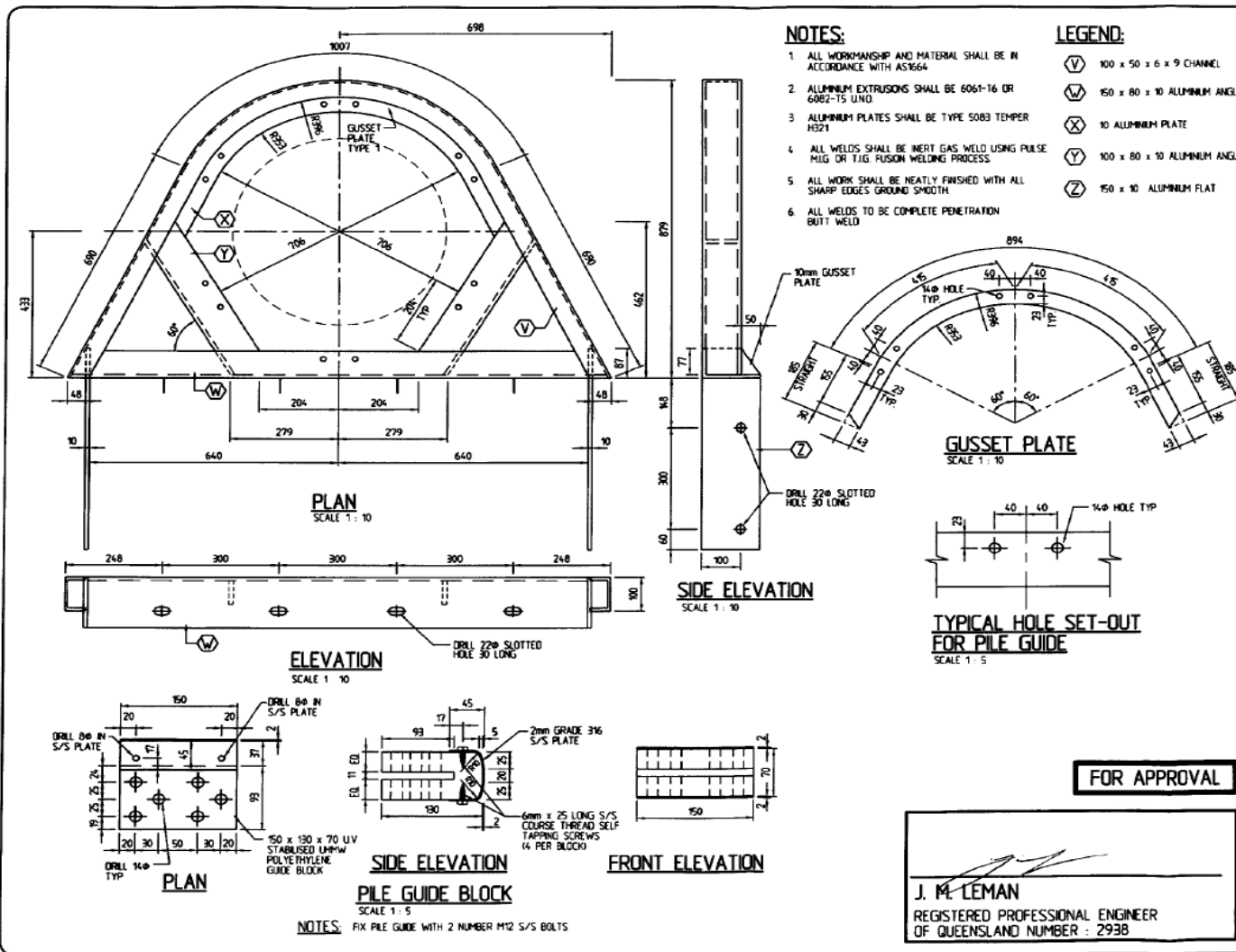
CLIENT:
THE REEF MARINA PTY. LTD.

PROJECT:
THE REEF MARINA

TITLE:
**CONCRETE ABUTMENT
DETAILS**

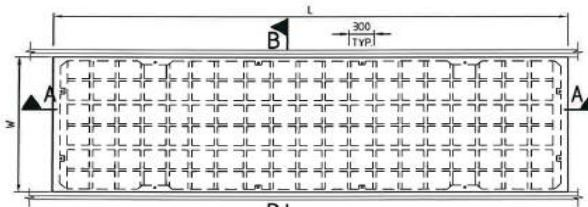
Date: 29/07/2014
Drawing No.: 4577-109
Scale: AS SHOWN
Drawn By: J.C. **Designed By:**
Approved By:

**DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009**



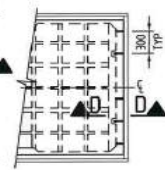
Revisions	
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<p align="center">International Marina Consultants</p> <p align="center">Consultants to the Marina Industry.</p> <p align="center">International Marina Consultants Pty. Ltd. A.C.N. 079 905 481</p> <p align="center">473 Annerley Road Annerley QLD 4103 Australia Phone 0773892 5711 Fax 0773892 5611 Email : inc@imc-marinas.com</p>	
CLIENT:	THE REEF MARINA PTY. LTD.
PROJECT:	THE REEF MARINA
TITLE:	TYPICAL PILE BRACKET DETAILS
Date:	29/07/2014
Drawing No.:	4577-110
Scale:	AS SHOWN
Drawn By: JC	Designed By:
Approved By:	

DECISION NOTICE DETAILS SUSTAINABLE PLANNING ACT 2009



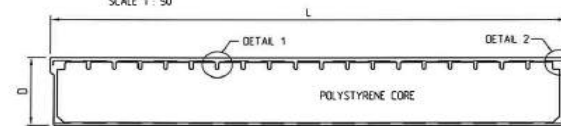
PLAN - TYPICAL WALKWAY PONTOON
(1800 WIDE SHOWN)

SCALE 1 : 50



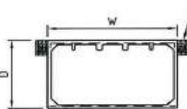
**PART PLAN SHOWING
INSERT AT ONE END**

SCALE 1 : 50



SECTION A - A

SCALE 1 : 50



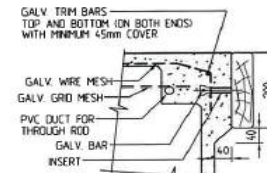
SECTION B - B

SCALE 1 : 50



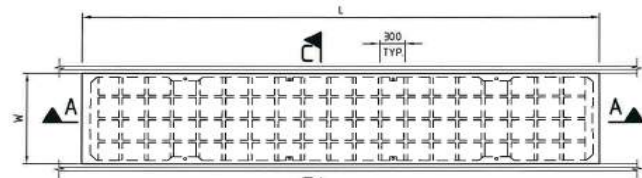
SECTION C - C

SCALE 1 : 50



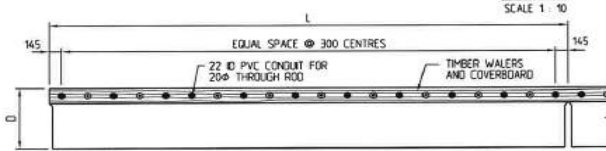
SECTION D - D

SCALE 1 : 10



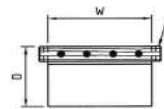
PLAN - TYPICAL FINGER PONTOON
(1200 WIDE SHOWN)

SCALE 1 : 50



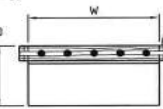
ELEVATION

SCALE 1 : 50



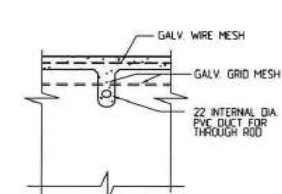
END ELEVATION

SCALE 1 : 50



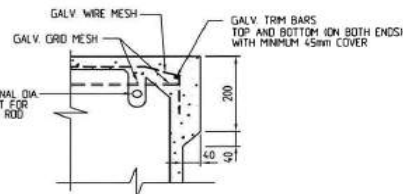
END ELEVATION

SCALE 1 : 50



DETAIL 1

SCALE 1 : 10



DETAIL 2

SCALE 1 : 10

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES UNDO.
2. PROVIDE STAINLESS STEEL INSERTS AS REQUIRED TO END OF LAST PONTOON ONLY TO WALKWAYS AND FINGERS.
3. CONCRETE STRENGTH $f_c = 50MPa$
4. ALL REINFORCEMENT TO BE HOT DIP GALVANIZED.
5. MATERIAL SIZES MAY BE VARIED BY THE MANUFACTURER WITHOUT NOTICE TO COMPLY WITH SPECIFIC APPLICATIONS.
6. DIMENSION 'D' VARIES TO SUIT FREEBOARD REQUIREMENTS.

DIMENSIONS SCHEDULE

TYPE	L	W
12/4.5	4490	1200
12/6.0	5990	1200
18/4.8	4790	1800
18/5.1	5090	1800
18/6.0	5990	1800
30/3.0	2990	3000
30/2.4	2390	3000
54/3.0	2990	5400

Revisions

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Phone 10713892 5711 Fax 10713892 5611
Email inc@imc-marinas.com

CLIENT:
THE REEF MARINA PTY. LTD.

PROJECT:
THE REEF MARINA

TITLE:
STANDARD PONTOON DETAILS

Date: 29/07/2014
Drawing No.: 4577-112
Scale: AS SHOWN
Drawn By: J.C. Designed By:
Approved By:

J. M. LEMAN
REGISTERED PROFESSIONAL ENGINEER
OF QUEENSLAND NUMBER : 2938

FOR APPROVAL

APPENDIX 2: REFERRAL AGENCY REQUIREMENTS



Department of
**State Development,
Infrastructure and Planning**

Our reference: SDA-1014-015258
Your reference: MCU449/2014

5 December 2014

Ms Linda Cardew
Chief Executive Officer
Douglas Shire Council
PO Box 723
Mossman QLD 4873

Att: Neil Beck

Dear Ms Cardew

Concurrence agency response—with conditions

Material change of use (Marina) involving operational works (prescribed tidal works) at Wharf Street, Port Douglas and more particularly described as Lot 146 on SR861 in the Douglas Shire
(Given under section 285 of the *Sustainable Planning Act 2009*)

The referral agency material for the development application described below was received by the Department of State Development, Infrastructure and Planning under section 272 of the *Sustainable Planning Act 2009* on 22 October 2014.

Applicant details

Applicant name: Reef Marina Pty Ltd
Applicant contact details: C/- RECS Consulting Engineers
PO Box 894
Port Douglas QLD 4877
peter@reco.net.au

Site details

Street address: Wharf Street, Port Douglas

Page 1

Far North Queensland Regional Office
Ground Floor, Cairns Port Authority
PO Box 2358
Cairns QLD 4870

DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009

SDA-1014-015258

Lot on plan: Lot 146 on SR861
Local government area: Douglas Shire

Application details

Proposed development: Development permit for material change of use (Marina) involving operational works (prescribed tidal works)

Aspects of development and type of approval being sought

Nature of Development	Approval Type	Brief Proposal of Description	Level of Assessment
Material Change of Use	Development permit	Construction of additional fully serviced marine berths from 115 to approximately 145	Code Assessment
Operational Work	Development permit	Tidal works	Code Assessment

Referral triggers

The development application was referred to the department under the following provisions of the *Sustainable Planning Regulation 2009*:

Referral trigger Schedule 7, Table 2, Item 13 – Tidal works, or development in a coastal management district
Schedule 7, Table 2, Item 15 – Tidal works, or development in a coastal management district

Conditions

Under section 287(1)(a) of the *Sustainable Planning Act 2009*, the conditions set out in Attachment 1 must be attached to any development approval.

Reasons for decision to impose conditions

Under section 289(1) of the *Sustainable Planning Act 2009*, the department must set out the reasons for the decision to impose conditions. These reasons are set out in Attachment 2.

Further advice

Under section 287(6) of the *Sustainable Planning Act 2009*, the department offers advice about the application to the assessment manager—see Attachment 3.

Approved plans and specifications

The department requires that the following plans and specifications set out below and in Attachment 4 must be attached to any development approval.

Drawing/Report Title	Prepared by	Date	Reference no.	Version/Issue
Aspect of development: Material change of use involving operational works				
Demolition Plan	International Marina Consultant	25 June 2014	REPQ 2938, drawing number 4577-	A

DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009

SDA-1014-015258

			101-A,	
General Arrangement	International Marina Consultant	18 September 2014	RPEQ 2938, drawing number 4577-102/D	D
Marina Setout	International Marina Consultant	18 September 2014	RPEQ 2938, drawing number 4577-103/C	C
Elevation	International Marina Consultant	12 August 2014	RPEQ 2938, drawing number 4577-104/A	A
Standard Pontoon Details	International Marina Consultant	29 July 2014	RPEQ 2938, drawing number 4577-112	NA

A copy of this response has been sent to the applicant for their information.

For further information, please contact Joanne Manson, Senior Planning Officer, SARA Far North QLD on 4037 3228, or email joanne.manson@dsdip.qld.gov.au who will be pleased to assist.

Yours sincerely



Robin Clark
Manager (Planning)

cc: Reef Marina Pty Ltd, c/- RECS Consulting Engineers, email: peter@recs.net.au
enc: Attachment 1—Conditions to be imposed
Attachment 2—Reasons for decision to impose conditions
Attachment 3—Further advice
Attachment 4—Approved Plans and Specifications

DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009

SDA-1014-015258

Our reference: SDA-1014-015258
Your reference: 42-2014/DSC/MCU 29092014

Attachment 1—Conditions to be imposed

No.	Conditions	Condition timing
Development Permit for a material change of use (marina) involving operational works (prescribed tidal works)		
Schedule 7, Table 2, Item 13 and Schedule 7, Table 2, Item 15: Tidal works, or development in a coastal management district —Pursuant to section 255D of the <i>Sustainable Planning Act 2009</i>, the chief executive administering the Act nominates the Director-General of Department of Environment and Heritage Protection and Director-General of Department of Transport and Main Roads (Maritime Safety Queensland) to be the assessing authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following condition(s):		
1.	<p>The development must be carried out generally in accordance with the following plans:</p> <ul style="list-style-type: none"> a) Demolition Plan – prepared by International Marina Consultants, REPQ 2938, drawing number 4577-101-A, dated 25 June 2014, Revision A. b) General Arrangement - prepared by International Marina Consultants, RPEQ 2938, drawing number 4577-102/D, dated 18 September 2014, Revision D c) Marina Setout - prepared by International Marina Consultants, RPEQ 2938, drawing number 4577-103/C, dated 18 September 2014, Revision C. d) Elevation - prepared by International Marina Consultants, RPEQ 2938, drawing number 4577-104/A, dated 12 August 2014, Revision A. e) Standard Pontoon Details - prepared by International Marina Consultants, RPEQ 2938, drawing number 4577-112, dated 29 July 2014. 	At all times
2.	<p>Provide written notice to:</p> <ul style="list-style-type: none"> • Regional Harbour Master (Cairns) PO Box 1787 Cairns QLD 4870; and • Department of Environment and Heritage Protection, Permit and Licence Management, Implementation and Support Unit, GPO Box 2464, Brisbane QLD 4001 <p>when the development authorised under this approval has:</p> <ul style="list-style-type: none"> (a) commenced; and (b) when it has been completed. <p>These notices must state this permit number, the location and name of registered place and the condition number under which the notice is being given.</p>	<p>(a) At least two weeks prior to the commencement of the works</p> <p>(b) Within two weeks after the completion of works</p>
Development Permit for a material change of use (marina) involving operational works (prescribed tidal works)		
Schedule 7, Table 2, Item 13: Tidal works, or development in a coastal management district —Pursuant to section 255D of the <i>Sustainable Planning Act 2009</i>, the chief executive administering		

DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009

SDA-1014-015258

No.	Conditions	Condition timing
the Act nominates the Director-General of Department of Environment and Heritage Protection to be the assessing authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following condition(s):		
3.	During the construction phase of the works: (a) install and maintain all measures, plant and equipment necessary to ensure compliance with these conditions; (b) only use materials which are: i. clean and free of silt; ii. free from pests, chemicals and other contaminants as defined under section 11 of the Environmental Protection Act 1994; and iii. suitable for the purpose; and (c) promptly remove any material or debris which has been deposited within the coastal management district or tidal waters, other than in accordance with this approval.	For the duration of the works subject of this approval
4.	Erosion and sediment control measures are to be installed and maintained to prevent the release of sediment to tidal waters.	Prior to commencement of the works and maintained until their completion
5.	Any disturbed or oxidised acid sulphate soil must be treated and managed in accordance with the current Queensland Acid Sulfate Soil Technical Manual: Soil management guidelines, prepared by the Department of Natural Resources and Mines.	For the duration of the works the subject of this approval
Development Permit for a material change of use (marina) involving operational works (prescribed tidal works)		
Schedule 7, Table 2, Item 15: Tidal works, or development in a coastal management district —Pursuant to section 255D of the <i>Sustainable Planning Act 2009</i> , the chief executive administering the Act nominates the Director-General of Department of Transport and Main Roads (Maritime Safety Queensland) to be the assessing authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following condition(s):		
Maintenance of safe navigation		
6.	"As Constructed" drawings must be provided to the Regional Harbour Master (Cairns) PO Box 1787, Cairns, QLD 4870	Within two weeks of the completion of the works
Protection of navigable waterways		
7.	The construction, operation or maintenance of the structure, and any ship moored at this structure, must not impede the safe navigation of other ships or restrict safe access to or from neighbouring structures.	At all times
8.	Any ship, dry berth or device (including Air Lifting pontoons) berthed, moored or attached to the pontoon/structure must not exceed the following sizes: <ul style="list-style-type: none"> • Maximum size as detailed on drawing General arrangement, prepared by International Marina Consultants, dated 18/09/14, drawing number 4577-102/D, Revision D 	At all times

DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009

SDA-1014-015258

No.	Conditions	Condition timing
9.	The pontoons must be constructed totally within the approved quayline.	At all times
Aids to navigation		
10.	Any navigational aid that is damaged due to the construction, operation or maintenance of the approved development must be promptly repaired or replaced at the applicant's cost. In the event that any damage is caused to any aid to navigation, the Harbour Master must be immediately contacted on telephone 4052 7412.	At all times
Lighting		
11.	All structures associated with the development must be lit/marked in accordance with the following specifications, such that they are clearly visible to approaching ships and does not cause a risk to the safe navigation of other ships: <ul style="list-style-type: none">• freestanding piles must have retro-reflective tape fitted.• lighting must be provided in accordance with section 3 of AS 4282-1997 'Control of the obtrusive effects of outdoor lighting'	At all times

DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009

SDA-1014-015258

Our reference: SDA-1014-015258
Your reference: 42-2014/DSC/MCU 29082014

Attachment 2—Reasons for decision to impose conditions

The reasons for this decision are:

- to ensure the proposed development is carried out generally in accordance with the plans of development submitted with the development application
- to facilitate the monitoring of the development works for compliance purposes
- to ensure the development avoids or minimises adverse impacts on coastal resources and their values
- to ensure the treatment of acid sulphate soils is undertaken in accordance with the relevant guidelines
- to ensure the development does not encroach on the navigable waterway in a way that impedes the safe passage of vessels
- to ensure that the development does not interfere with any existing aids to navigation
- to ensure that at all times, all lights on or above the development site do not interfere with safe navigation in surrounding waterways

DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009

Our reference: SDA-1014-015258
Your reference: MCU449/2014

Attachment 3—Further advice

General advice	
State Planning Policy 2014 interim development assessment provisions	
1.	Douglas Shire Council, in its role as assessment manager, must assess the development application against the State Planning Policy July 2014, and in particular the interim development assessment provisions, such as Biodiversity, Coastal environment and Natural hazards, risk and resilience, and to the extent it is relevant to the proposed development.

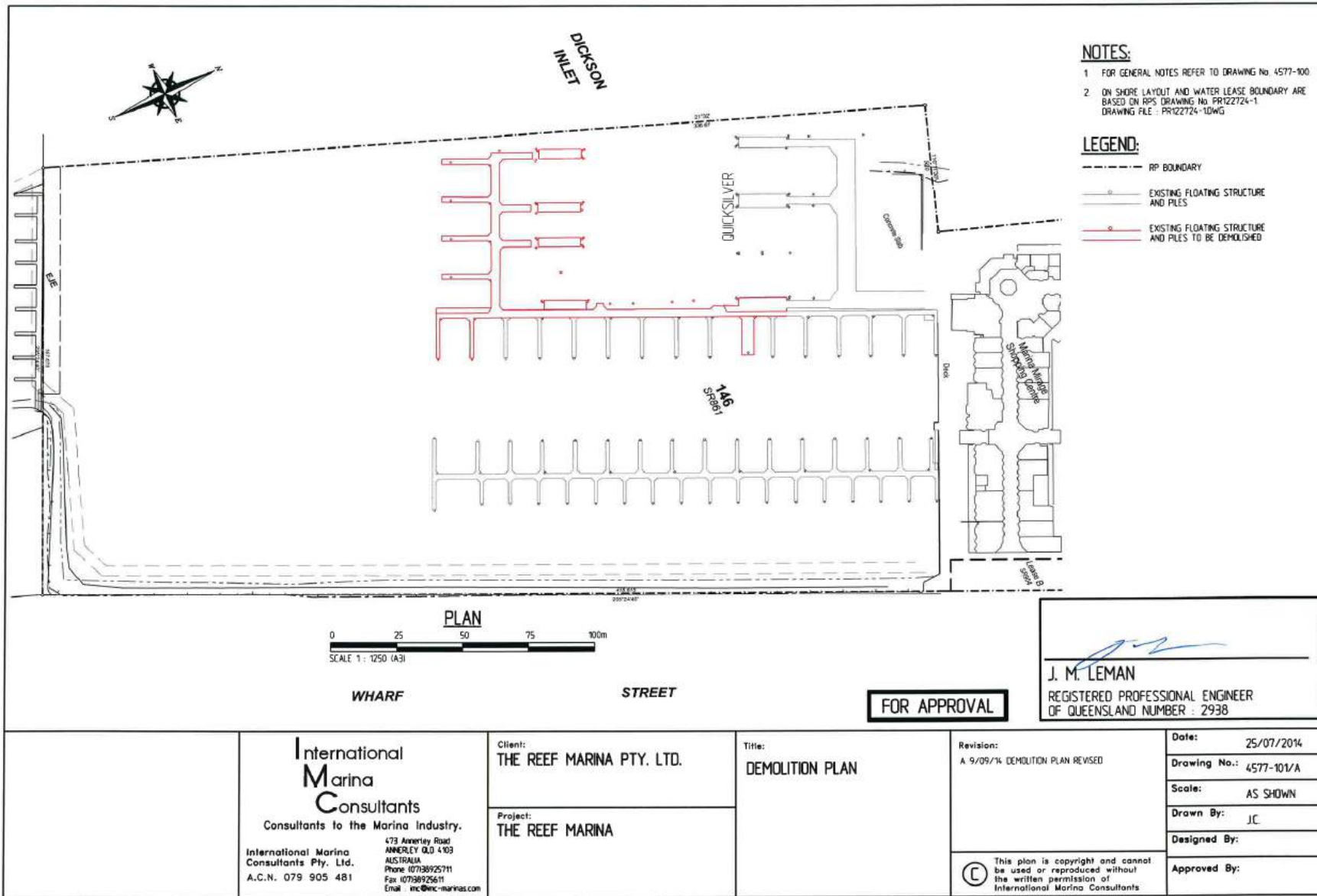
DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009

SDA-1014-015258

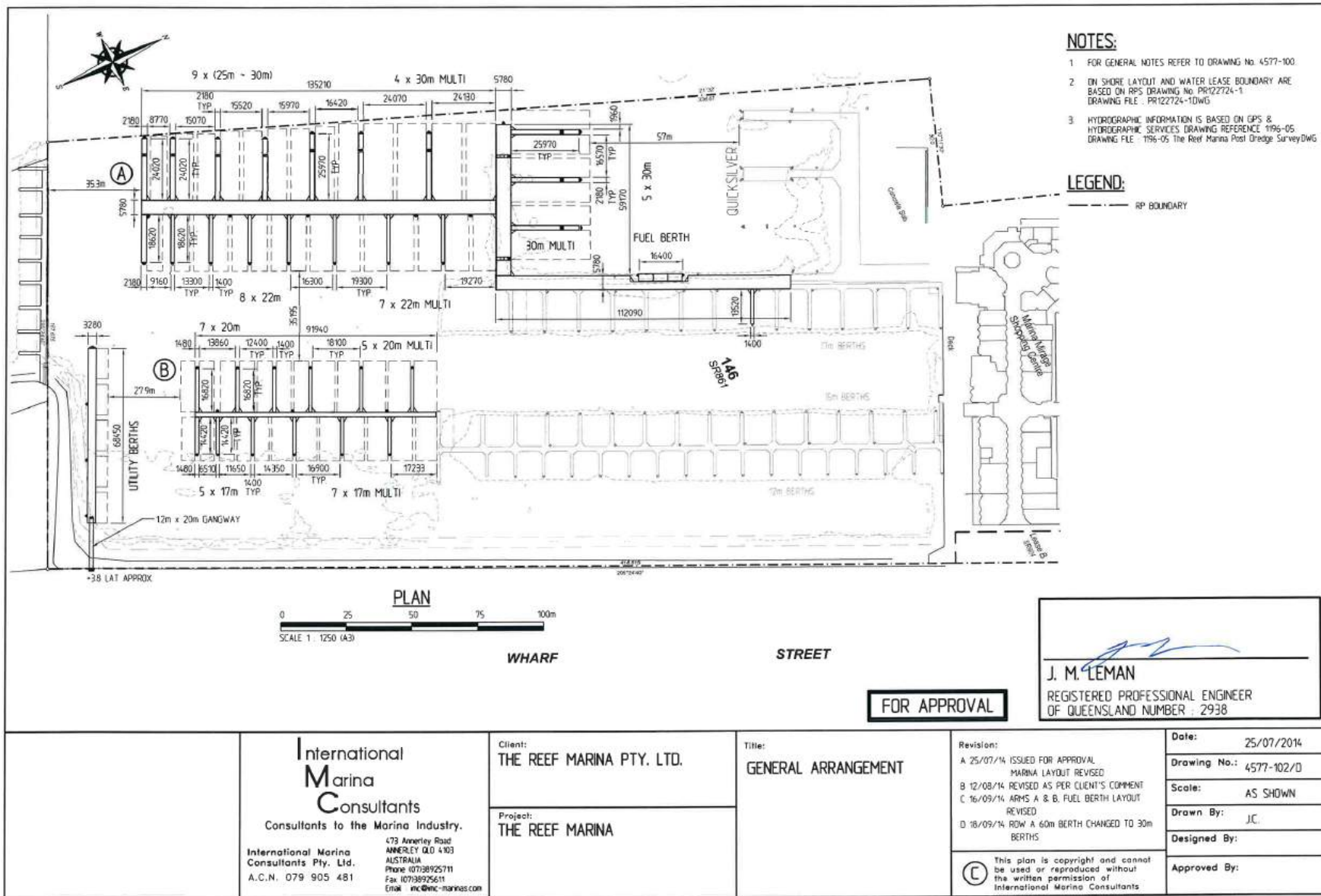
Our reference: SDA-1014-015258
Your reference: 42-2014/DSC/MCU 29082014

Attachment 4—Approved plans and specifications

**DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009**



DECISION NOTICE DETAILS SUSTAINABLE PLANNING ACT 2009



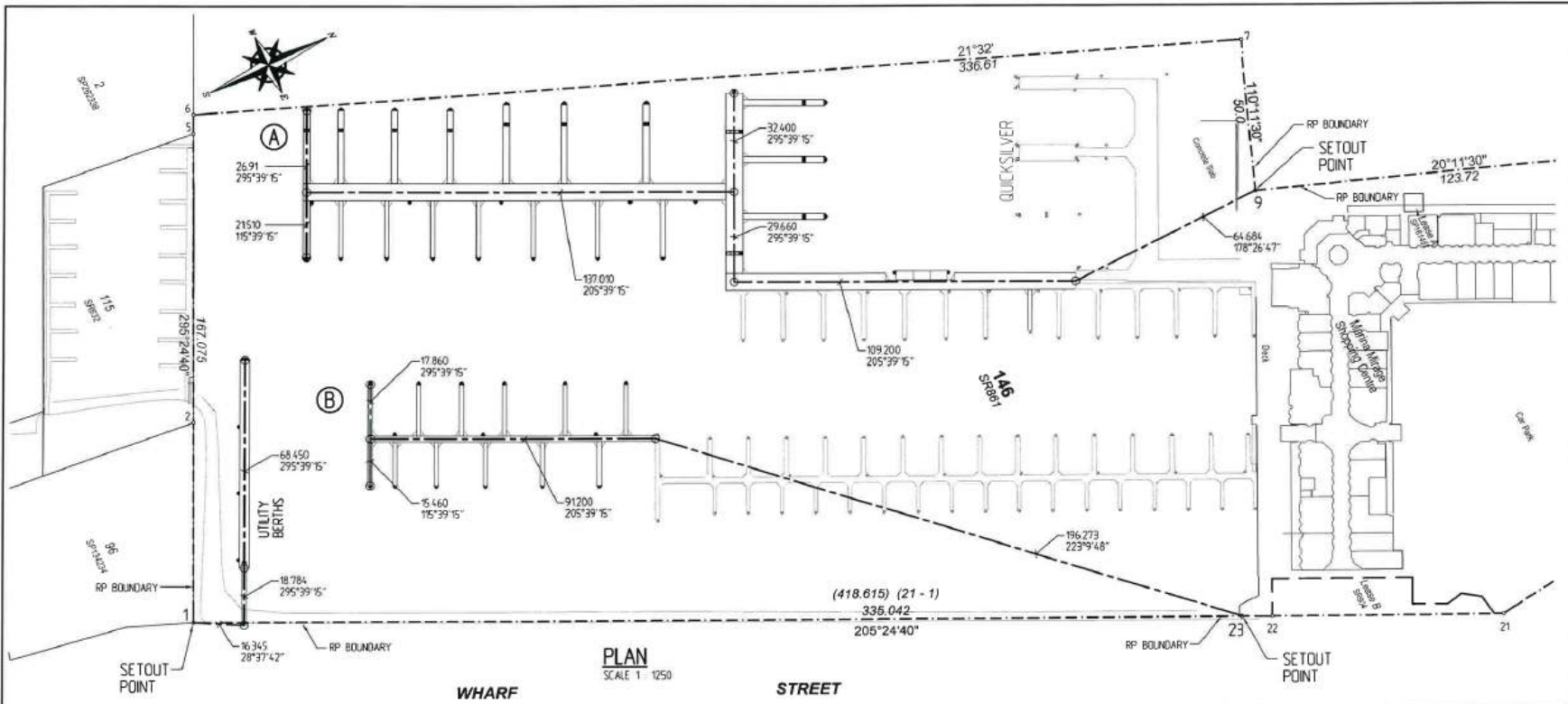
NOTES:

- 1 FOR GENERAL NOTES REFER TO DRAWING No. 4577-100.
- 2 ON SHORE LAYOUT AND WATER LEASE BOUNDARY ARE BASED ON RPS DRAWING No. PR122724-1 DRAWING FILE : PR122724-1DWG
- 3 HYDROGRAPHIC INFORMATION IS BASED ON GPS & HYDROGRAPHIC SERVICES DRAWING REFERENCE 1196-05 DRAWING FILE : 1196-05 The Reef Marina Post Dredge SurveyDWG

LEGEND:

--- RP BOUNDARY

**DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009**



NOTES:

1. FOR GENERAL NOTES REFER TO DRAWING NO. 4577-100

LEGEND:

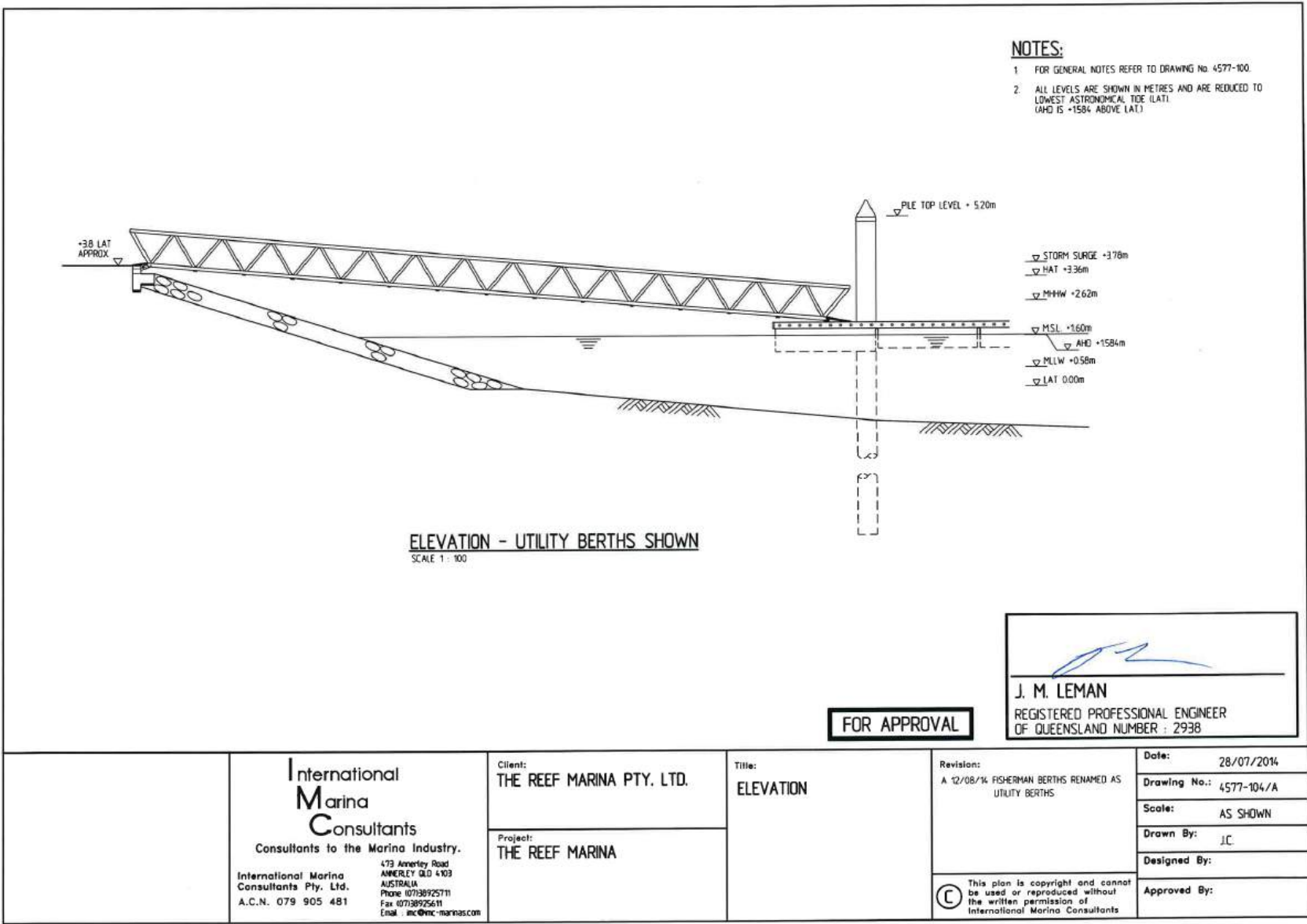
--- RP BOUNDARY

FOR APPROVAL

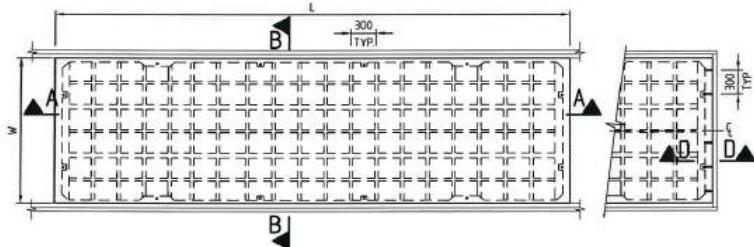
J. M. LEMAN
J. M. LEMAN
REGISTERED PROFESSIONAL ENGINEER
OF QUEENSLAND NUMBER : 2938

<p align="center">International Marina Consultants Consultants to the Marina Industry.</p> <p>International Marina Consultants Pty. Ltd. A.C.N. 079 905 481</p> <p>473 Annerley Road ANNERLEY QLD 4103 AUSTRALIA Phone 0713892511 Fax 07138925611 Email inc@imc-marinas.com</p>	<p>Client: THE REEF MARINA PTY. LTD.</p>	<p>Title: MARINA SETOUT</p>	<p>Revision:</p> <p>A 12/08/14 MARINA LAYOUT UPDATED, ARM A T-HEAD SETOUT REVISED</p> <p>B 16/09/14 MARINA LAYOUT UPDATED, ARMS A & B SETOUT REVISED</p> <p>C 18/09/14 ARM A LAYOUT UPDATED AND SETOUT REVISED</p>	<p>Date: 28/07/2014</p> <p>Drawing No.: 4577-103/C</p> <p>Scale: AS SHOWN</p> <p>Drawn By: J.C.</p> <p>Designed By:</p> <p>Approved By:</p>
	<p>Project: THE REEF MARINA</p>	<p>© This plan is copyright and cannot be used or reproduced without the written permission of International Marina Consultants</p>		

**DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009**



DECISION NOTICE DETAILS SUSTAINABLE PLANNING ACT 2009



**PLAN - TYPICAL WALKWAY PONTOON
(1800 WIDE SHOWN)**
SCALE 1 : 50

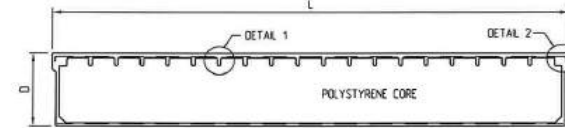
**PART PLAN SHOWING
INSERT AT ONE END**
SCALE 1 : 50

NOTES:

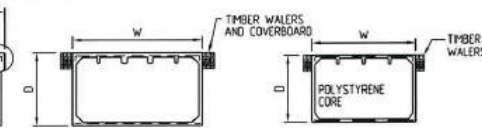
1. ALL DIMENSIONS ARE IN MILLIMETRES UNDO.
2. PROVIDE STAINLESS STEEL INSERTS AS REQUIRED TO END OF LAST PONTOON ONLY TO WALKWAYS AND FINGERS.
3. CONCRETE STRENGTH $f_c = 50MPa$
4. ALL REINFORCEMENT TO BE HOT DIP GALVANIZED.
5. MATERIAL SIZES MAY BE VARIED BY THE MANUFACTURER WITHOUT NOTICE TO COMPLY WITH SPECIFIC APPLICATIONS.
6. DIMENSION 'D' VARIES TO SUIT FREEBOARD REQUIREMENTS.

DIMENSIONS SCHEDULE

TYPE	L	W
12/4.5	4490	1200
12/6.0	5990	1200
18/4.8	4790	1800
18/5.1	5090	1800
18/6.0	5990	1800
30/3.0	2990	3000
30/2.4	2390	3000
54/3.0	2990	5400

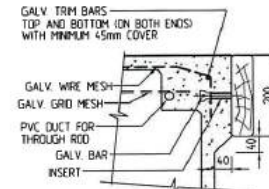


SECTION A - A
SCALE 1 : 50

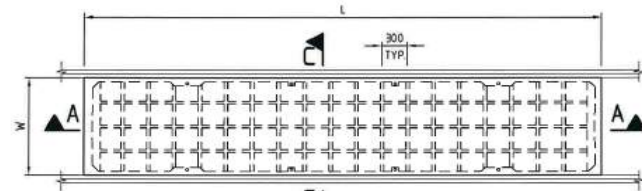


SECTION B - B
SCALE 1 : 50

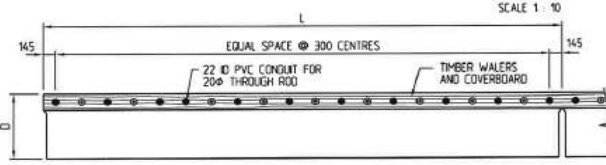
SECTION C - C
SCALE 1 : 50



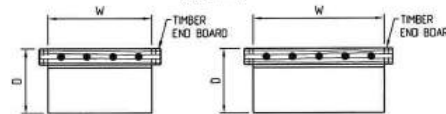
SECTION D - D
SCALE 1 : 10



**PLAN - TYPICAL FINGER PONTOON
(1200 WIDE SHOWN)**
SCALE 1 : 50

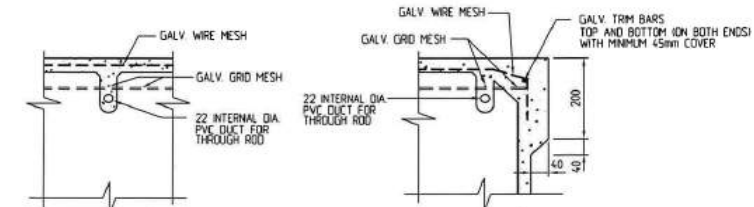


ELEVATION
SCALE 1 : 50



END ELEVATION
SCALE 1 : 50

END ELEVATION
SCALE 1 : 50

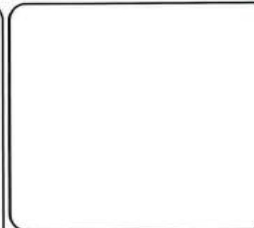


DETAIL 1
SCALE 1 : 10

DETAIL 2
SCALE 1 : 10

FOR APPROVAL


J. M. LEMAN
 REGISTERED PROFESSIONAL ENGINEER
 OF QUEENSLAND NUMBER : 2938



Revisions

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**International
Marina
Consultants**
 Consultants to the Marina Industry.
**International Marina
Consultants Pty. Ltd.**
 A.C.N. 079 905 481
 473 Annerley Road
 Annerley QLD 4103
 Australia
 Phone (07)3892 5711 Fax (07)3892 5611
 Email inc@imc-marinas.com


CLIENT:
THE REEF MARINA PTY. LTD.

PROJECT:
THE REEF MARINA

TITLE:
STANDARD PONTOON
DETAILS

Date: 29/07/2014
Drawing No.: 4577-112
Scale: AS SHOWN
Drawn By: JC **Designed By:**
Approved By:

APPENDIX 3: INFRASTRUCTURE CHARGES NOTICE

		2006 & 2008 Douglas Shire Planning Schemes Applications																																																																																																									
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The Reef Marina Pty Ltd		N/A																																																																																																									
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0		Port Douglas																																																																																																									
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MCU		30-Sep-14																																																																																																									
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1		This logsheet is indexed appropriately only for payments made within the quarter noted above.																																																																																																									
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<table border="1"> <thead> <tr> <th></th> <th>DIST</th> <th>\$/ EDC</th> <th>NET EDC</th> <th>ADJUSTMENT</th> <th>AMOUNT DUE</th> <th>AMOUNT PAID</th> <th>Receipt Code & GL Code</th> </tr> </thead> <tbody> <tr> <td colspan="8">WATER</td> </tr> <tr> <td>Existing</td> <td>11</td> <td>6,704.00</td> <td>X 7.40</td> <td>0.00</td> <td>\$49,609.60</td> <td></td> <td>866L 07470.0135.0823</td> </tr> <tr> <td>Proposed</td> <td>11</td> <td>663.04</td> <td>X 7.40</td> <td>0.00</td> <td>\$4,906.51</td> <td></td> <td>875GL 07470.0135.0824</td> </tr> <tr> <td colspan="5">Port Douglas Water sub - total</td> <td>\$54,516.11</td> <td></td> <td></td> </tr> <tr> <td colspan="8">SEWERAGE</td> </tr> <tr> <td>Existing</td> <td>2</td> <td>3,590.59</td> <td>X 7.40</td> <td>0.00</td> <td>\$26,570.39</td> <td></td> <td>882 GL 07480.0135.0823</td> </tr> <tr> <td>Proposed</td> <td>2</td> <td>537.47</td> <td>X 7.40</td> <td>0.00</td> <td>\$3,977.31</td> <td></td> <td>888 GL 07480.0135.0824</td> </tr> <tr> <td colspan="5">Pt D Town Area Sewerage sub - total</td> <td>\$30,547.70</td> <td></td> <td></td> </tr> <tr> <td colspan="8">OPEN SPACE</td> </tr> <tr> <td colspan="5">DSC Area</td> <td>\$0.00</td> <td></td> <td>894 GL 07230.0135.0825</td> </tr> <tr> <td colspan="5">Off-Site Car Parking</td> <td>\$0.00</td> <td></td> <td></td> </tr> <tr> <td colspan="5" style="text-align: center;">TOTAL</td> <td>\$85,063.82</td> <td></td> <td></td> </tr> </tbody> </table>					DIST	\$/ EDC	NET EDC	ADJUSTMENT	AMOUNT DUE	AMOUNT PAID	Receipt Code & GL Code	WATER								Existing	11	6,704.00	X 7.40	0.00	\$49,609.60		866L 07470.0135.0823	Proposed	11	663.04	X 7.40	0.00	\$4,906.51		875GL 07470.0135.0824	Port Douglas Water sub - total					\$54,516.11			SEWERAGE								Existing	2	3,590.59	X 7.40	0.00	\$26,570.39		882 GL 07480.0135.0823	Proposed	2	537.47	X 7.40	0.00	\$3,977.31		888 GL 07480.0135.0824	Pt D Town Area Sewerage sub - total					\$30,547.70			OPEN SPACE								DSC Area					\$0.00		894 GL 07230.0135.0825	Off-Site Car Parking					\$0.00			TOTAL					\$85,063.82		
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Note:

The Infrastructure Charges in this Notice are payable in accordance with Section 629 of the Sustainable Planning Act 2009 (SPA).

Charge rates are subject to index adjustments (QLD Road & Bridge Index, ABS data as per SPA). The total charge amount indicated on this notice is current at the date of issue. The total charge due at the date of payment must reflect the current indexed value. Please contact the Development & Environment Douglas Shire Council prior to payment for review.

Charges are payable to: Douglas Shire Council. You can make payment at any of Council's Business Offices or by mail with your cheque or money order to Douglas Shire Council, PO Box 723, Mossman QLD 4873. Cheques must be made payable to Douglas Shire Council and marked 'Not Negotiable.' Acceptance of a cheque is subject to collection of the proceeds. Post dated cheques will not be accepted

Any enquiries regarding Infrastructure Charges can be directed to the Development & Environment, Douglas Shire Council on 07 4099 9444 or by email on enquiries@douglas.qld.gov.au

YOUR REF: 45-2014/DSC/MCU 29092014
OUR REF: MCUC 449/2014 (438235)

22 January 2015

Reef Marina Pty Ltd
C/- RECS Consulting Engineers & Building Design
PO Box 894
PORT DOUGLAS QLD 4877

Dear Sir/Madam

**ADOPTED INFRASTRUCTURE CHARGES NOTICE FOR
WHARF STREET, PORT DOUGLAS**

Please find attached an Adopted Infrastructure Charges Notice issued in accordance with section 648F of the *Sustainable Planning Act 2009* (the Act).

The amount in the Adopted Infrastructure Charges Notice has been calculated according to Council's Adopted Infrastructure Charges Resolution.

The amount in the Adopted Infrastructure Charges Notice is subject to index adjustments and may be different at the time of payment. Please contact Development and Environment at Council for review of the charge amount prior to payment.

These charges are payable prior to the change of use occurring in accordance with section 648H of the Act.

Please also find attached extracts from the Act regarding the following:

- your right to make representations to Council about the Adopted Infrastructure Charges Notice; and
- your Appeal rights with respect to the Adopted Infrastructure Charges Notice.

Should you have any enquiries in relation to this Adopted Infrastructure Charges Notice, please contact Neil Beck of Development and Environment on telephone number 07 4099 9451.

Yours faithfully

Donna Graham
Manager Development & Environment

Att

