

YOUR REF: 20150574
OUR REF: MCUC 713/2015 (450946)

20 March 2015

C J Dunne & E R Riley
C/- GMA Certification Group Pty Ltd
PO Box 831
PORT DOUGLAS QLD 4877

Dear Sir

**DECISION NOTICE UNDER S 335 SUSTAINABLE PLANNING ACT 2009:
DEVELOPMENT APPLICATION FOR BAMBOO CREEK ROAD, BAMBOO**

With reference to the abovementioned Development Application, which was determined under Instrument of Delegation on 19 March 2015, please find attached the relevant Decision Notice.

The Notice includes extracts from the Act with respect to making representations about conditions, negotiated decisions, suspension of the appeal period, and lodging an Appeal.

Should you have any enquiries in relation to this Decision Notice, please contact Neil Beck of Development and Environment on telephone number 07 4099 9451.

Yours faithfully

Donna Graham
Manager Development & Environment

Att

APPLICANT DETAILS

C J Dunne & E R Riley
C/- GMA Certification Group Pty Ltd
PO Box 831
PORT DOUGLAS QLD 4877

ADDRESS

Bamboo Creek Road, BAMBOO

REAL PROPERTY DESCRIPTION

Lot 13 on SP204463

PROPOSAL

House (Rural Settlement)

DECISION

Approved subject to conditions (refer to approval package below).

DECISION DATE

19 March 2015

TYPE

Material Change of Use (Development Permit)

REFERRAL AGENCIES

None Applicable

SUBMISSIONS

N/A

FURTHER DEVELOPMENT PERMITS REQUIRED

Development Permit for Building Works

CODES TO COMPLY WITH FOR SELF-ASSESSABLE DEVELOPMENT

None

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DOES THE ASSESSMENT MANAGER CONSIDER THE APPLICATION TO BE IN CONFLICT WITH APPLICABLE CODES, PLANNING SCHEME, STATE PLANNING POLICIES OR PRIORITY INFRASTRUCTURE PLAN (IF YES, INCLUDE STATEMENT OF REASONS)

Not in conflict

APPROVED DRAWING(S) AND/OR DOCUMENT(S)

The term 'approved drawing(s) and/or document(s)' or other similar expression means:

Drawing or Document	Reference	Date
3D Views	102-15 Rev A (1 of 5)	Undated
Site Plan	102-15 Rev A (2 of 5)	Undated
Floor Plan	102-15 Rev A (3 of 5)	Undated
Elevations	102-15 Rev A (4 of 5)	Undated

ASSESSMENT MANAGER CONDITIONS:

1. Carry out the approved development generally in accordance with the approved drawing(s) and/or document(s), and in accordance with:-
 - a. The specifications, facts and circumstances as set out in the application submitted to Council;
 - b. To ensure that the development complies in all respects with the following conditions of approval and the requirements of Council's Planning Scheme and the FNQROC Development Manual; and

Except where modified by these conditions of approval

Timing of Effect

2. The conditions of the Development Permit must be effected prior to Commencement of Use, except where specified otherwise in these conditions of approval.

Water Supply

3. Water storage tank(s) with a minimum capacity not less than 30,000 litres, and must be installed prior to occupation of the premises. Details of the water tank(s) must be shown on plans submitted with the building application. Such water tanks must be provided with:
 - a. Mosquito-proof screens of brass, copper, aluminium or stainless steel gauze not coarser than 1mm aperture mesh of substantial construction and installed in such manner as not to cause or accelerate corrosion; or
 - b. Flap valve at every opening of the tank or other receptacle; or

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- c. Other approved means for preventing the ingress or egress of mosquitoes; and
- d. Where a tank or other receptacle is provided with a manhole, the manhole must have a diameter of no more than 40cm; and
- e. The water tank(s) shall be fitted with a 50mm ball valve with a camlock fitting.

Water Saving

- 4. All toilet devices in the development must be fitted with dual flush cisterns and showers and hand basins in the development must be fitted with flow control valves or similar water control devices to generally restrict flow to nine (9) litres of water per minute.

Lawful Point of Discharge

- 5. The flow of all external stormwater from the property must be directed to a lawful point of discharge such that it does not adversely affect surrounding properties or properties downstream from the development.

On-Site Effluent Disposal

- 6. The method of on-site effluent disposal must be in accordance with the Queensland Plumbing & Wastewater Code. Details of the wastewater treatment system to be installed must be approved by the Chief Executive Officer prior to the issue of a Development Permit for Building Work.

The recommendations contained in the On-Site Sewage Disposal Assessment Report prepared by Earth Test dated 11 February 2015 (Doc#450235) is satisfactory and complies with the code.

Building Colours

- 7. The exterior finishes and colours of Buildings are non-reflective and blend with the natural colours of the surrounding environment. Roofs and structures (including water tanks) must be of moderately dark to darker shades of green, grey, blue and brown.

The following proposed building colours are approved for use:

Exterior Walls –	Colorbond Dune
Water Tank –	Colorbond Dune
Roof –	Woodland Grey

The above requirements must be made known in writing to all prospective purchasers.

Sediment and Erosion Control

8. Soil and water management measures must be installed/implemented prior to discharge of water from the site, such that no external stormwater flow from the site adversely affects surrounding or downstream properties (in accordance with the requirements of the *Environmental Protection Act 1994*, and the *FNQROC Development Manual*).

Landscaping

9. A ten (10) metre wide landscape buffer must be provided along the road frontage of the site and must be landscaped with Dense Planting to the satisfaction of the Chief Executive Officer prior to Commencement of Use.

ADVICE

1. This approval, granted under the provisions of the *Sustainable Planning Act 2009*, shall lapse four (4) years from the day the approval takes effect in accordance with the provisions of section 339 and section 341 of the *Sustainable Planning Act 2009*.
2. The applicant/owner is advised that this approval does not approve the construction of the building works. The applicant will be required to obtain a Development Permit for Building Work in order for construction to commence.
3. All building site managers must take all action necessary to ensure building materials and / or machinery on construction sites are secured immediately following the first cyclone watch and that relevant emergency telephone contacts are provided to Council Officers, prior to commencement of works.
4. This approval does not negate the requirement for compliance with all other relevant Local Laws and other statutory requirements.
5. For information relating to the *Integrated Planning Act 1997* log on to www.ipa.qld.gov.au. To access Council's Development Manual, Local Laws and other applicable Policies log on to www.cairns.qld.gov.au.

LAND USE DEFINITIONS*

In accordance with the 2008 Douglas Shire Planning Scheme the approved land use of House is defined as:

The use of premises comprising one (1) Dwelling Unit, located on one (1) lot for the exclusive residential use of one (1) Household. The use includes:

- Outbuildings/structures incidental to and necessarily associated with the residential use;*

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- the care of children in accordance with the Child Care (Family Day Care) Regulation 1991;*
- accommodation for a member or members of the extended family of the Household occupying the House and for personal staff;*
- a display house which displays to the general public the type of construction or design offered by a builder/developer, for a maximum period of twelve (12) months and which then converts to a House for the exclusive use of one Household; and*
- The short term letting of a house for the purpose of holiday rental accommodation.*

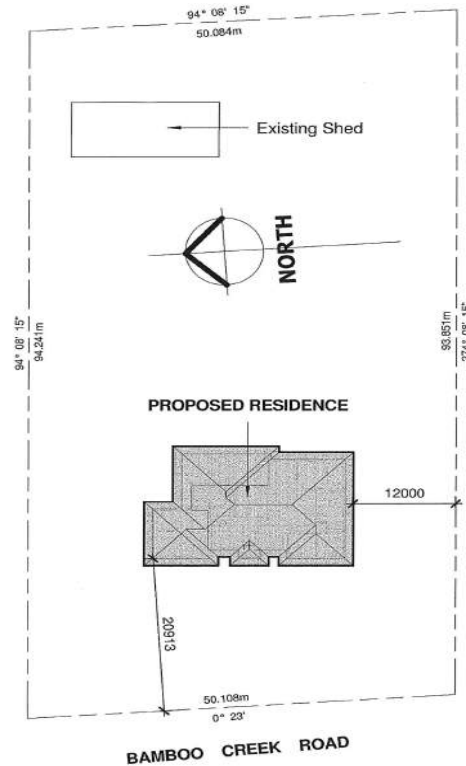
*This definition is provided for convenience only. This Development Permit is limited to the specifications, facts and circumstances as set out in the application submitted to Council and is subject to the abovementioned conditions of approval and the requirements of Council's Planning Scheme and the *FNQROC Development Manual*.

RIGHTS OF APPEAL

Attached

End of Decision Notice

APPENDIX 1: APPROVED DRAWING(S) & DOCUMENT(S)



1 Site Plan
1 : 500

GENERAL

All construction is to comply with C2 building standards, Building Code of Australia, all relevant legislation, and Council By-Laws. Builders are to ensure that all materials nominated on this plan are used and fixed strictly in accordance with the manufacturers specifications, also taking into consideration all site conditions applicable to the materials allowable and recommended use. Substitution of any structural members, or variation to any part of the design without seeking approval prior to changing will void any responsibility of the Designer and Engineer for the structural integrity and performance of the building. Only Australian Standards compliant steel members are to be used in this building. All nominated fixings, reinforcing, timber sizes and grades etc are the minimum requirements. All dimensions must be checked by the Builder prior to commencing any work – written dimensions take precedence over scaled. Any alterations or discrepancies are to be clarified with the plan Author or Engineer prior to carrying out the work. This plan has been prepared for building approval only and is not intended to be read as a complete specification of the work and finishes to be carried out on this project.

TERMITE PROTECTION

This structure as detailed complies with the provisions of AS3660.1 for the protection of new buildings from subterranean termites. Owners are reminded that to maintain compliance with AS3660.1 they are advised to have inspections carried out by a qualified person every 12 months generally, and every 3 months if in an area where termite risk is high.

Sheet List	
Sheet Number	Sheet Name
1 of 5	3D Views
2 of 5	Site Plan, Sheet List, Notes
3 of 5	Floor Plan
4 of 5	Elevations - Sheet 1
5 of 5	Elevations - Sheet 2

FIXINGS

All bolts, screws, nails, brackets, framing anchors and other hardware in contact with preservative treated timber, should be hot dipped galvanised, monel, silicon bronze, or stainless steel. Unless noted otherwise, all bolts are to be hex-head.

TRUSS NAIL PLATES

All bolt fixings nominated as through truss nail plates, the bolt must pass through the nail plate within 20 mm clear of plate sides and top, and 40 mm of plate bottom. Use of cup-head bolts is not allowed. If these clearances are not achieved, a 65 x 3 mm galv strap is to be fitted, tight over truss and fixing bracket (wedge if reqd.)

INTERNAL BRACING WALLS

WALL FIXING

- Fix top plate to floor frame with 1/M12 at bracing section ends and at 1200 max.crs.
- Fix top plate to crossing or parallel truss framing at M12 wall reinf. locations to comply with AS1684.3 Table 8.23 to achieve 7.6 kn - see Detail
- Fix end studs to external walls with 1/12Ø dynabolt or No 14-10 Type 17 screw at top, bottom, and at 1200 crs.

SHEETING

- Line one side with 6mm F11 structural ply, nail fixed to manufacturers specifications to achieve minimum 6.4 kn/m nominal bracing (2.7m high walls).

DOCUMENTS

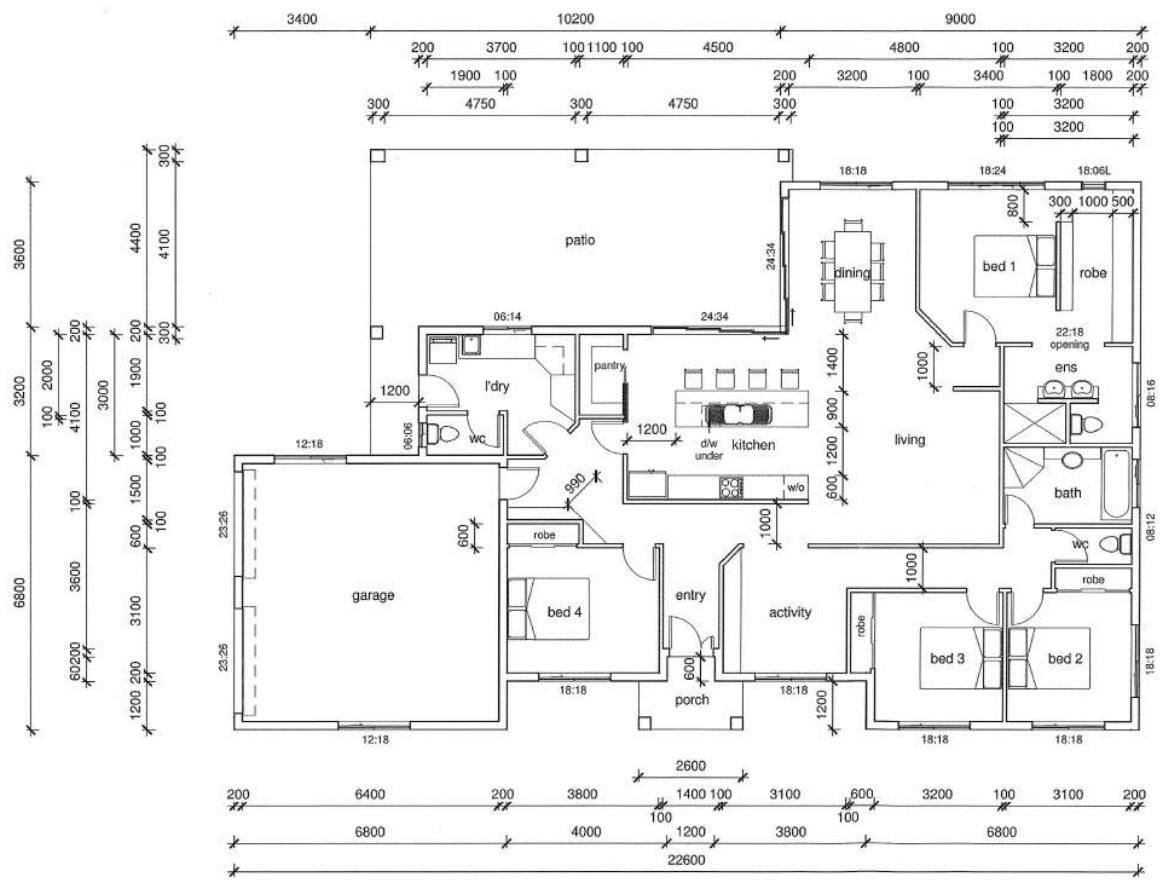
The following documents have been referenced to produce these plans and form part of these plans:

- AS 1684.3 – residential timber-framed construction
- AS 1720.1 – timber structures, design methods
- AS 2870 – residential slabs and footings, construction
- Australian Domestic Construction Manual
- Lysaght cyclonic area design manual
- Stramit cyclonic area technical supplement
- Timber Solutions design program
- CMAA – single leaf masonry design manual
- FAA structural plywood wall bracing design manual
- James Hardie technical manuals
- CSR technical manuals











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PROJECT
Proposed Residence,
L13 SP204463,
Bamboo Creek Road,
BAMBOO

CLIENT	C. & E. Dunne	WIND CLASS	C2	PLAN NUMBER	102-15	SHEET	2 of 5
SCALES	1 : 500	PLAN TITLE	Site Plan, Sheet List, Notes		DATE OF ISSUE	REV	prelim A



LEGEND

-  200 Concrete Masonry external walls, render finished to external, gyprock to internal generally, villaboard to wet areas.
-  Stud framed internal walls, gyprock lining to internal generally, villaboard to wet areas, sound insulation to Owners specs.
-  As above with 6mm F14 structural ply lining or equivalent sheeting extra to one face, nail fixed for bracing (see bracing notes).
-  **FW** ● Floor Waste (optional)
-  ● Waterproof wet area to AS3740.
-  ● Smoke alarms to AS3786.
-  ● Lift-off hinges to wc door
-  □ 100 x 3 SHS patio posts
-  □ 300 x 300 conc mas piers to porch, render finished
-  WCJ wall control joint, refer to Notes

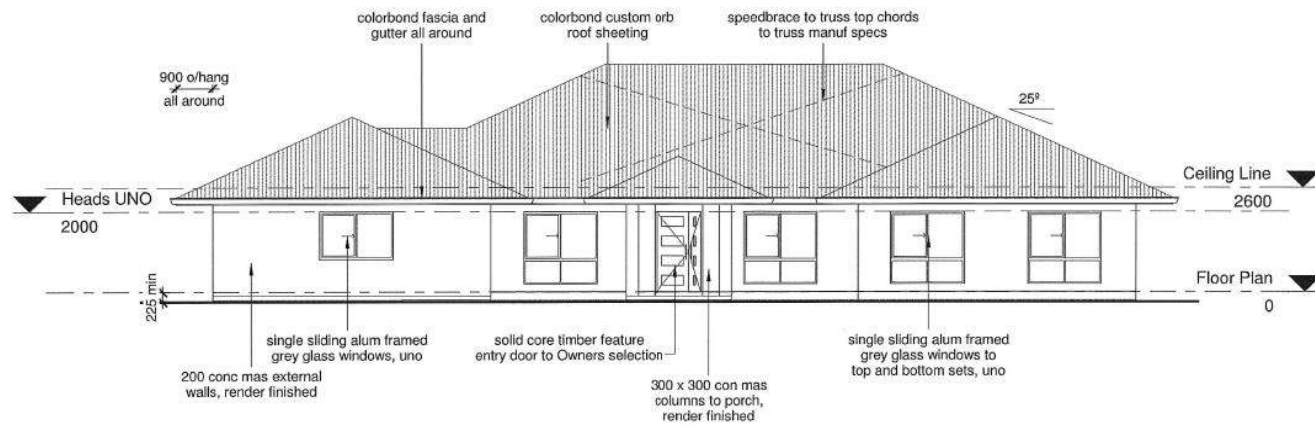
TOTAL FLOOR AREA = 285m²

1 Floor Plan
1 : 100

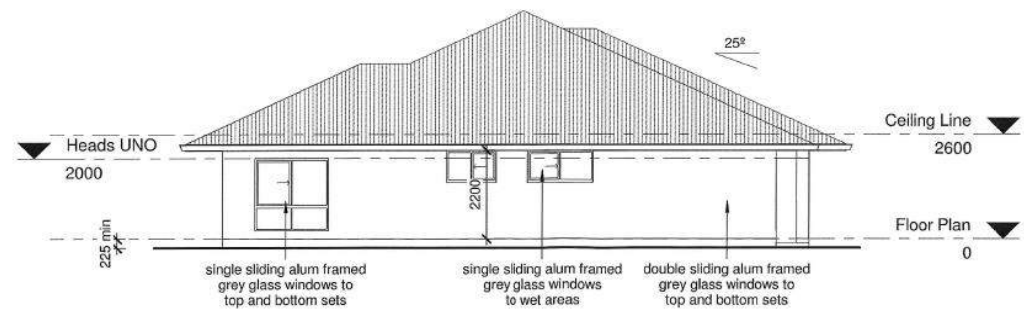
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PROJECT
Proposed Residence,
L13 SP204463,
Bamboo Creek Road,
BAMBOO

CLIENT C. & E. Dunne	WIND CLASS C2	PLAN NUMBER 102-15	SHEET 3 of 5
SCALES 1 : 100	PLAN TITLE Floor Plan	DATE OF ISSUE prelim	REV A



1 Front Elevation
1 : 100

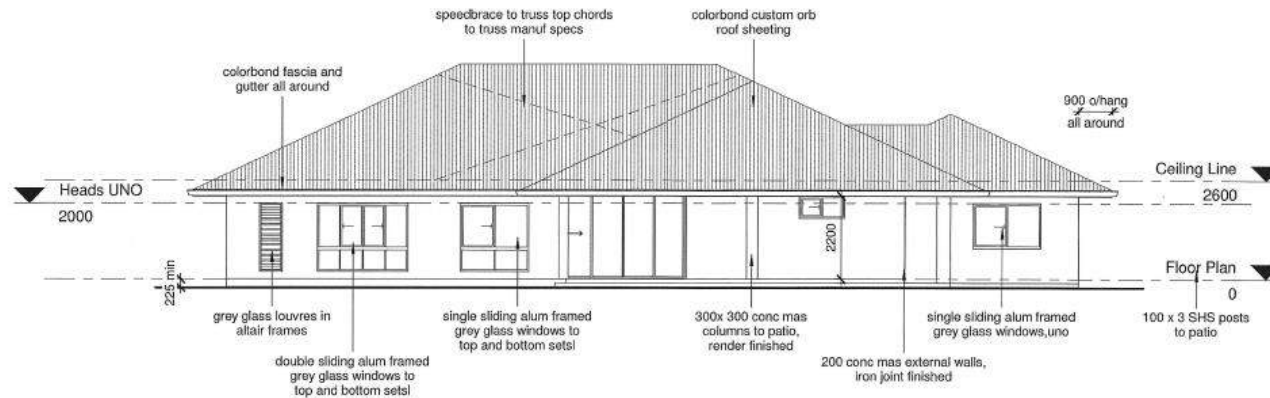


2 Right Elevation
1 : 100

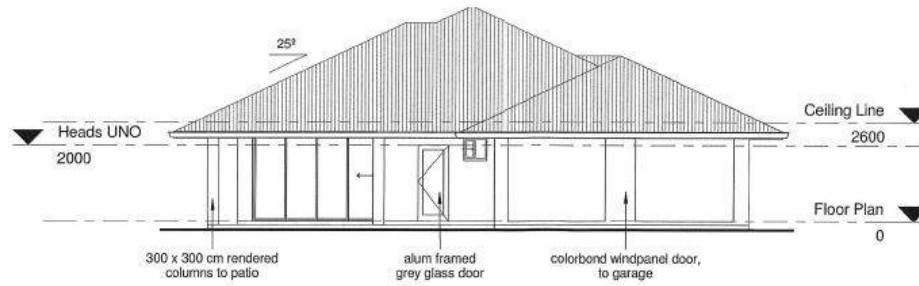
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PROJECT
Proposed Residence,
L13 SP204463,
Bamboo Creek Road,
BAMBOO

CLIENT	C. & E. Dunne	WIND CLASS	C2	PLAN NUMBER	102-15	SHEET	4 of 5	
SCALES	1 : 100	PLAN TITLE	Elevations - Sheet 1		DATE OF ISSUE	prelim	REV	A

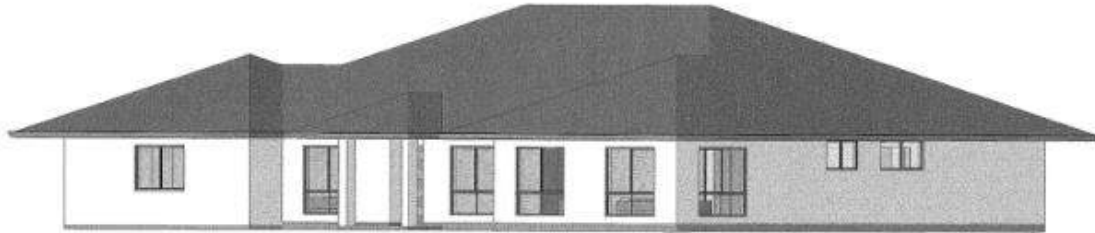


1 Rear Elevation
1 : 100

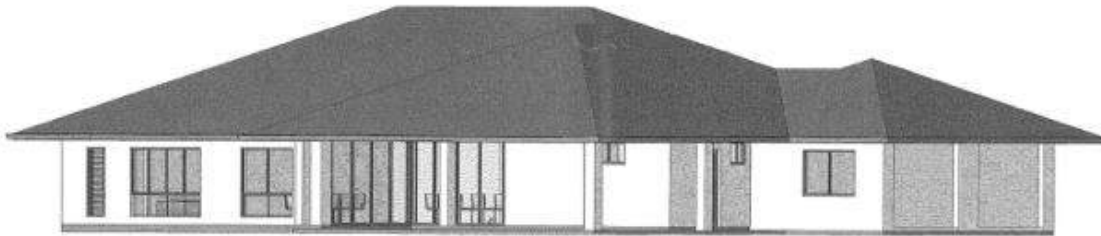


2 Left Elevation
1 : 100

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		SCALES 1 : 100	PLAN TITLE Elevations - Sheet 2	DATE OF ISSUE prelim	REV A



1 3D - front right



2 3D - rear right

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		SCALES	PLAN TITLE 3D Views		DATE OF ISSUE prelim	REV A