

12 May 2026

**Enquiries:** Jenny Elphinstone  
**Our Ref:** MCUC 2026\_5890/1 (Doc ID 1365618)  
**Your Ref:** 25025

Administration Office  
64 - 66 Front St Mossman  
P 07 4099 9444  
F 07 4098 2902

Rodrick NQ Sarmardin  
C/- Scope Town Planning  
183 Summerfields Drive  
**CABOOLTURE QLD 4510**

Email: [jburns@scopetownplanning.com.au](mailto:jburns@scopetownplanning.com.au)

Attention Mr Johnathan Burns

Dear Sir

**Development Application for Material Change of Use for a Dwelling-house (Code)  
At Cedar Road Cow Bay  
On Land Described as Lot 192 on RP738148**

Please find attached the Decision Notice for the above-mentioned development application.

Please quote Council's application number: MCUC 2026\_5890/1 in all subsequent correspondence relating to this development application.

Should you require any clarification regarding this, please contact Jenny Elphinstone on telephone 07 4099 9444.

Yours faithfully



**For**  
**Leonard Vogel**  
**Manager Environment & Planning**

encl.

- Decision Notice
  - Approved Drawing(s) and/or Document(s)
  - Reasons for Decision
- Advice For Making Representations and Appeals (Decision Notice)



# Decision Notice

## Approval (with conditions)

*Given under s 63 of the Planning Act 2016*

### Applicant Details

Name: Rodrick NQ Sarmardin

Postal Address: C/- Scope Town Planning  
183 Summerfields Drive  
**CABOOLTURE QLD 4510**

Email: Attention Johnathan Burns  
[jburns@scopetownplanning.com.au](mailto:jburns@scopetownplanning.com.au)

### Property Details

Street Address: Cedar Road Cow Bay

Real Property Description: Lot 192 on RP738148

Local Government Area: Douglas Shire Council

### Details of Proposed Development

Development Permit for Material Change of Use for a Dwelling House (Code)

### Decision

Date of Decision: 12 May 2026

Decision Details: Approved (subject to conditions)

### Approved Drawing(s) and/or Document(s)

Copies of the following plans, specifications and/or drawings are enclosed.

The term 'approved drawing(s) and/or document(s) or other similar expressions means:

Drawing or Document	Reference	Date
Cover Sheet	Speedy Gomez Building Design, Proposed Residence, 192 Cedar Road Cow Bay, Reference GGF - 131, Drawing No. A000.	23 January 2026

<b>Drawing or Document</b>	<b>Reference</b>	<b>Date</b>
Proposed 3D	Speedy Gomez Building Design, Proposed Residence, 192 Cedar Road Cow Bay, Reference GGF - 131, Drawing No. A001.	23 January 2026
Site Plan	Speedy Gomez Building Design, Proposed Residence, 192 Cedar Road Cow Bay, Reference GGF - 131, Drawing No. A004.	23 January 2026
Site Drainage	Speedy Gomez Building Design, Proposed Residence, 192 Cedar Road Cow Bay, Reference GGF - 131, Drawing No. A005.	23 January 2026
Site Vegetation	Speedy Gomez Building Design, Proposed Residence, 192 Cedar Road Cow Bay, Reference GGF - 131, Drawing No. A006.	23 January 2026
Pr. Grnd Flr.	Speedy Gomez Building Design, Proposed Residence, 192 Cedar Road Cow Bay, Reference GGF - 131, Drawing No. A007.	23 January 2026
Pr Pool	Speedy Gomez Building Design, Proposed Residence, 192 Cedar Road Cow Bay, Reference GGF - 131, Drawing No. A008.	23 January 2026
Elevations -1	Speedy Gomez Building Design, Proposed Residence, 192 Cedar Road Cow Bay, Reference GGF - 131, Drawing No. A009.	23 January 2026
Elevations -2	Speedy Gomez Building Design, Proposed Residence, 192 Cedar Road Cow Bay, Reference GGF - 131, Drawing No. A010.	23 January 2026
Soil Test and Effluent System Report	Dirt Professionals, Job No, 28759.	1 May 2026
General Notes - 1	Speedy Gomez Building Design, Proposed Residence, 192 Cedar Road Cow Bay, Reference GGF - 131, Drawing No. A014.	23 January 2026
General Notes - 2	Speedy Gomez Building Design, Proposed Residence, 192 Cedar Road Cow Bay, Reference GGF - 131, Drawing No. A015.	23 January 2026

Drawing or Document	Reference	Date
<b>FNQROC Regional Development Manual Standard Drawing/s for Vehicle Access</b>		
Rural Allotment Access	Standard Drawing S1105 Issue F	27 August 2020

### **Assessment Manager Conditions & Advices**

1. Carry out the approved development generally in accordance with the approved drawing(s) and/or document(s), and in accordance with:
  - a. The specifications, facts and circumstances as set out in the application submitted to Council; and
  - b. The following conditions of approval and the requirements of Council's Planning Scheme and the FNQROC Development Manual.

Except where modified by these conditions of approval.

### **Timing of Effect**

2. The conditions of the Development Permit must be effected prior to endorsement of the Survey Plan except otherwise nominated in these conditions of approval.

### **Treatment of Onsite Waste**

3. The proposed design must be in accordance with the Queensland Plumbing and Drainage Act 2002 and Section 33 of the Environmental Protection Policy (Water) 1997

### **Vegetation Clearing**

4. Existing vegetation on the subject land is to be retained, except where removal is permitted for this development in accordance with the site plan nominated clearing, the Planning Scheme or otherwise approved under a separate development permit.

### **Bushfire**

5. The house must be developed in accordance with AS3959- 2009. Vegetation clearance areas are to be maintained as per the design approved in accordance with AS3959- 2009.

### **Vehicle Access**

6. The vehicle access point is to be generally as per the Site Plan prepared by Speedy Gomez Building Design, Proposed Residence, 192 Cedar Road Cow Bay, Reference GGF -131, Drawing No. A004 dated 23 January 2026, or as otherwise approved by the Chief Executive Officer.
7. Undertake the following works external to the land at no cost to Council:
  - a. Provision of an access crossover and apron in accordance with FNQROC Development Manual Standard Drawing S1105;

Where the vehicle crossing is constructed in accordance with the FNQROC Regional Development Manual the works do not constitute Operational Works. Such work must be constructed to the satisfaction of the Chief Executive Officer prior to commencement of use.

## Building Colours

8. The exterior finishes and colours of Buildings must be non-reflective and must blend with the natural colours of the surrounding environment. Roofs and structures (including water tanks) must be of moderately dark to darker shades of green, grey, blue and brown. The colours must be nominated prior to the issue of a Development Permit for Building Work to the satisfaction of the Chief Executive Officer.

## Water Supply

9. Water storage tank(s) with a minimum capacity not less than 10,000 litres must be installed prior to occupation of the premises. Details of the water tank(s) must be shown on plans submitted with the building application. Such water tanks must be provided with:
  - a. Mosquito-proof screening; or
  - b. Flap valve at every opening of the tank or other receptacle; or
  - c. Other approved means for preventing the ingress or egress of mosquitoes; and
  - e. The water tank(s) shall be fitted with a 50 mm ball valve with a camlock fitting.

## Generators

10. Noise from generators or other mechanical equipment must not emanate from the subject land to a degree that would, in the opinion of the Chief Executive Officer, create an environmental nuisance having regard to the provisions of Chapter 8, Part 3B of the *Environmental Protection Act 1994*.

## Fuel Storage

11. All fuels must be stored in an undercover and secure location at all times.

## Lawful Point of Discharge

12. The flow of all external stormwater from the property must be directed to a lawful point of discharge such that it does not adversely affect surrounding properties or properties downstream from the development.

## Advice

1. All building site managers must take all action necessary to ensure building materials and / or machinery on construction sites are secured immediately following the first cyclone watch and that relevant emergency telephone contacts are provided to Council officers, prior to commencement of works.
2. This approval does not negate the requirement for compliance with all other relevant Council Local Laws and other statutory requirements.
3. For information relating to the *Planning Act 2016* log on to <https://planning.dsdmip.qld.gov.au/>. To access the *FNQROC Regional Development Manual*, Local Laws, the Douglas Shire Planning Scheme and other applicable Policies log on to [www.douglas.qld.gov.au](http://www.douglas.qld.gov.au).
4. The proposed colour finishes of Light Sandy colour for the roof and Shale Grey walls are considered to suitably meet the requirements of condition 8.
5. The submitted onsite wastewater treatment infrastructure, per the Design Professionals, Job No, 28759, Effluent System Report, dated 1 May 2026 satisfactorily meets Condition 3.

## Further Development Permits

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Please be advised that the following development permits are required to be obtained before the development can be carried out:

- All Building Work

All Plumbing and Drainage Work must only be carried in compliance with the Queensland *Plumbing and Drainage Act 2018*.

### **Currency Period for the Approval**

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This approval, granted under the provisions of the *Planning Act 2016*, shall lapse six (6) years from the day the approval takes effect in accordance with the provisions of Section 85 of the *Planning Act 2016*.

### **Rights to make Representations & Rights of Appeal**

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The rights of applicants to make representations and rights to appeal to a Tribunal or the Planning and Environment Court against decisions about a development application are set out in Chapter 6, Part 1 of the *Planning Act 2016*.

A copy of the relevant appeal provisions is attached.

# Approved Drawing(s) and/or Document(s)

Drawing List	
Sheet Number	Sheet Name
A000	Cover Sheet
A001	Proposed 3D (Barn)
A002	Pr. Internal 3D - 1
A003	Pr. Internal 3D - 2
A004	Site Plan
A005	Site Drainage
A006	Site Vegetation
A007	Pr. Grnd Flr.
A008	Pr. Pool
A009	Elevations - 1
A010	Elevations - 2
A011	Int. Elevations - 1
A012	Int. Elevations - 2
A013	Gen. Details Sheet
A014	General Notes - 1
A015	General Notes - 2

Area Schedule		
Name	Area	Sqrs
Pr. Structure	144.1 m <sup>2</sup>	15.5
Pr. Deck	119.9 m <sup>2</sup>	12.9
Pr. Garage	92.2 m <sup>2</sup>	9.9
Pr. Porch	73.2 m <sup>2</sup>	7.9
Pr. Pool	60.8 m <sup>2</sup>	6.5
Pr. Solar Battery Storage	19.6 m <sup>2</sup>	2.1
	509.8 m <sup>2</sup>	54.9

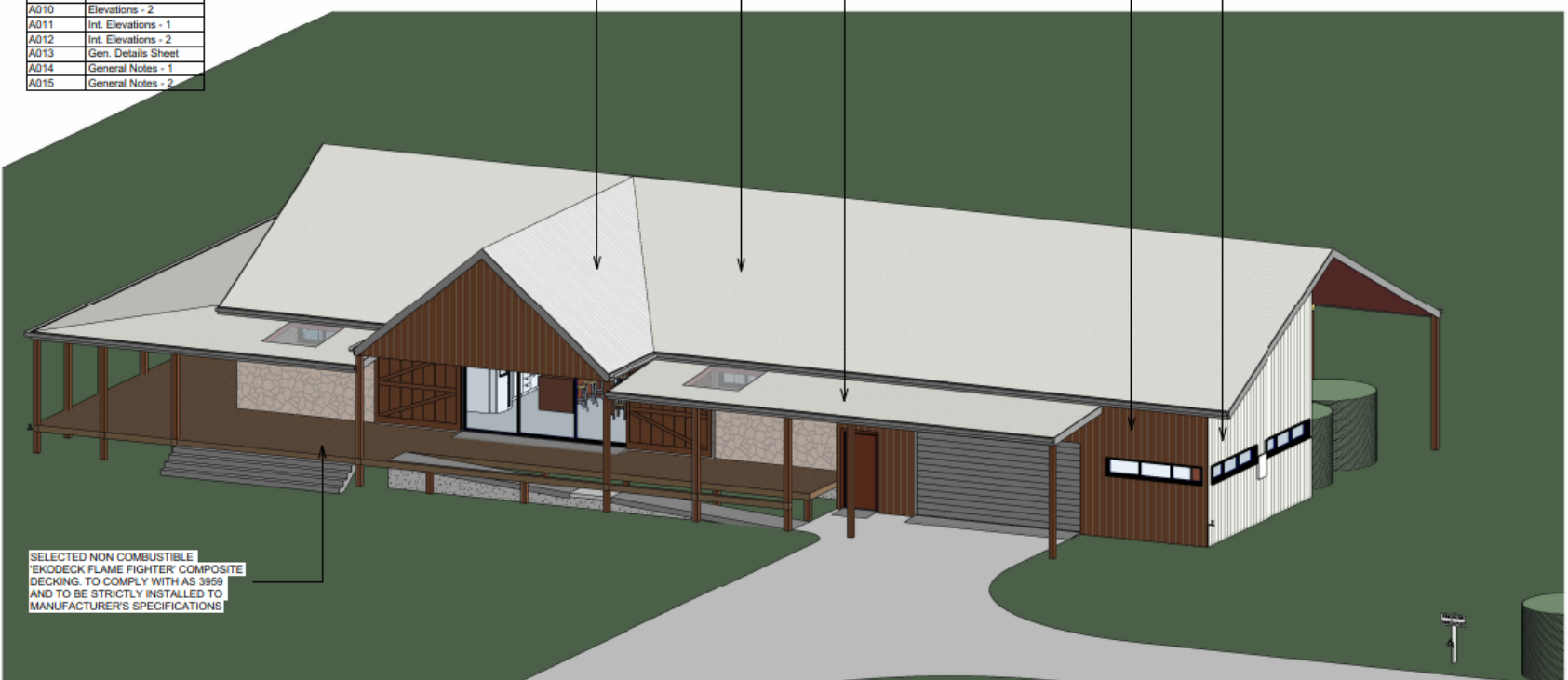
40° PITCH  
SELECTED 'SOUTHERLEY' NON-REFLECTIVE COLOURBOND ROOF, INSTALLED STRICTLY TO MANUFACTURER'S SPECIFICATIONS

25° PITCH  
SELECTED 'SOUTHERLEY' NON-REFLECTIVE COLOURBOND ROOF, INSTALLED STRICTLY TO MANUFACTURER'S SPECIFICATIONS

5° PITCH  
SELECTED 'SOUTHERLEY' NON-REFLECTIVE TRIMDECK ROOF, INSTALLED STRICTLY TO MANUFACTURER'S SPECIFICATIONS

SELECTED NON-REFLECTIVE AND NON-COMBUSTIBLE STONE CLADDING, TO COMPLY WITH THE LATEST AS 3959 AND TO BE STRICTLY INSTALLED TO MANUFACTURER'S SPECIFICATIONS

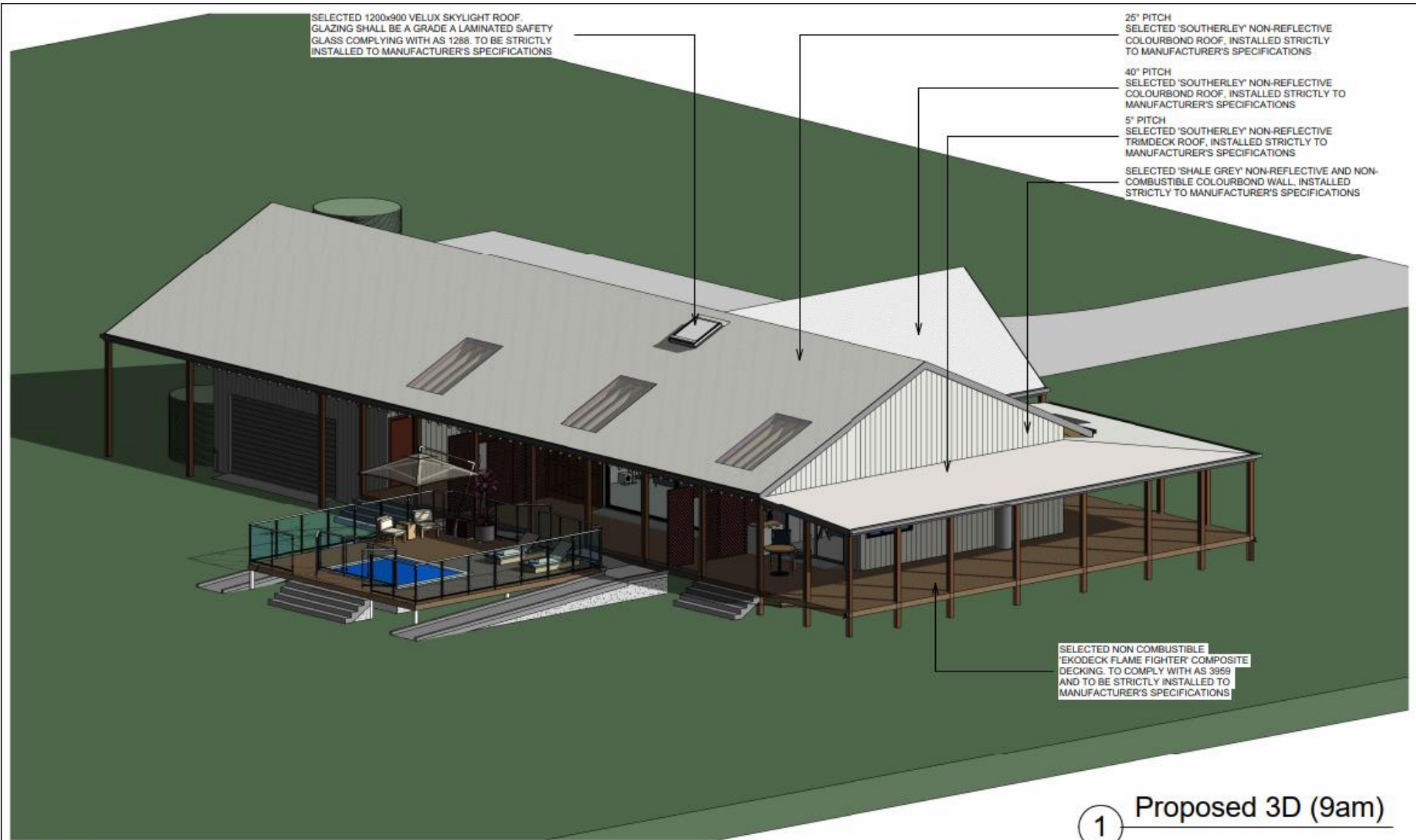
SELECTED 'SHALE GREY' NON-REFLECTIVE AND NON-COMBUSTIBLE COLOURBOND WALL, INSTALLED STRICTLY TO MANUFACTURER'S SPECIFICATIONS



SELECTED NON-COMBUSTIBLE 'EKODECK FLAME FIGHTER' COMPOSITE DECKING, TO COMPLY WITH AS 3959 AND TO BE STRICTLY INSTALLED TO MANUFACTURER'S SPECIFICATIONS

Notes: BUILDER TO CONFIRM ALL MEASUREMENTS ON SITE BEFORE COMMENCING WORKS OR ORDERING PRODUCTS  
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<b>Proposed Residence</b> 192 Cedar Road, Cow Bay, QLD	Revision:	Cover Sheet	Sheet: A000 of 15	Speedy Gomez Building Design M:0415 170 642 E:cinda@speedygomez.com.au
		Drawing No. A000	Status: Concept	
		Drawn: Cinda Gomez-Franklin QBCC 15153859 DP-AD 39400	Date: 23/01/26	
			Ref: GGF-131	
			Size: A3	



1 Proposed 3D (9am)

Notes: BUILDER TO CONFIRM ALL MEASUREMENTS ON SITE BEFORE COMMENCING WORKS OR ORDERING PRODUCTS

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**Proposed Residence**  
192 Cedar Road, Cow Bay, QLD

Revision:


Proposed 3D (9am)

Drawing No.  
A001

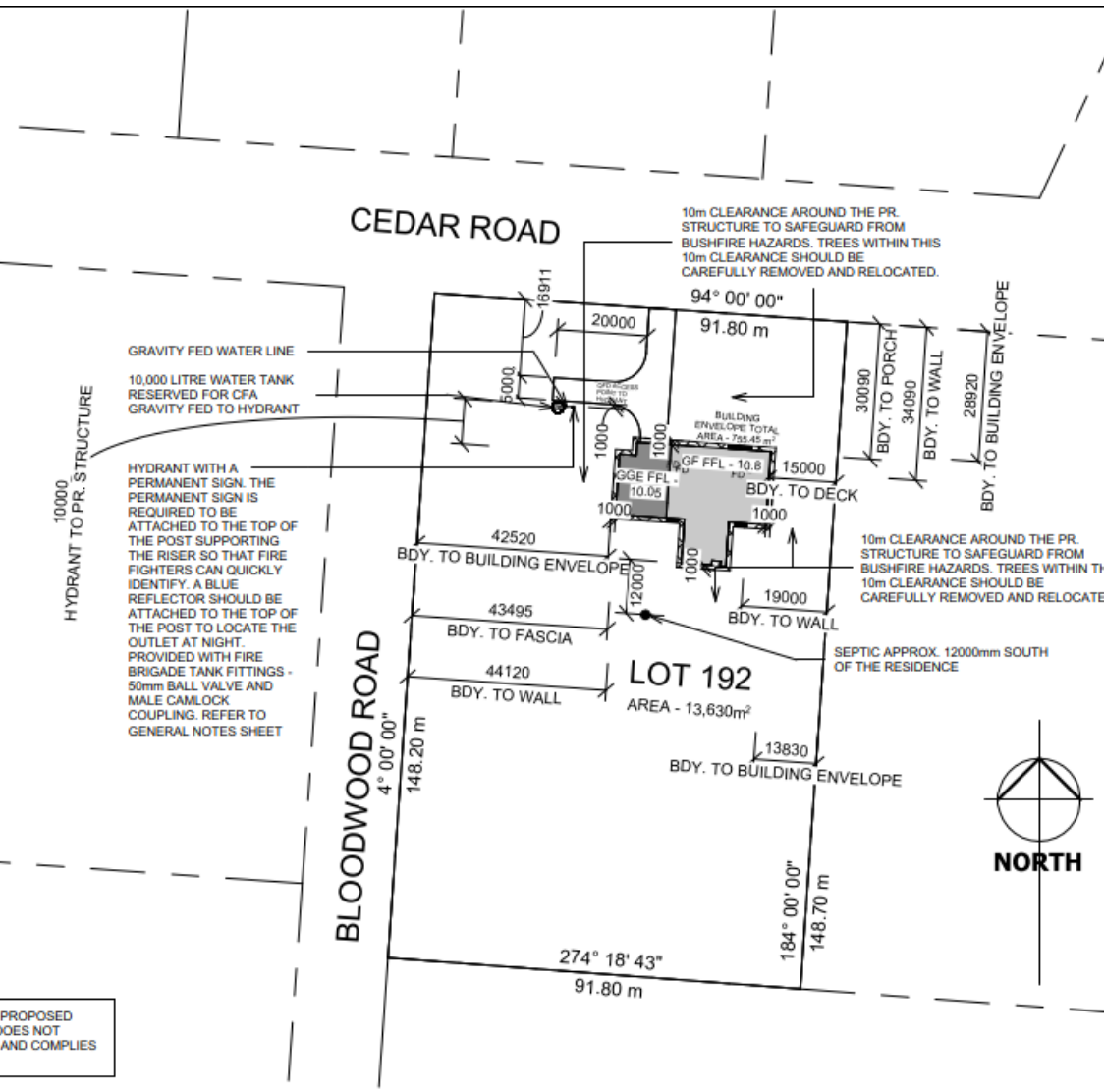
Drawn: Cinda Gomez-Franklin  
QBCC 15153859  
DP-AD 39400

Sheet:	A001 of 15
Status:	Concept
Date:	23/01/28
Ref:	GGF-131
Size:	A3

Speedy Gomez  
Building Design  
M:0415 170 642  
E:cinda@speedygomez.com.au

LEGEND	
	- PROPOSED GGE
	- PROPOSED STRUCTURE
	- BUILDING ENVELOPE
TBC	- TO BE CONFIRMED
C.O.S	- CONFIRM ON SITE
EX	- EXISTING
PR	- PROPOSED
INT.	- INTERNAL
EXT.	- EXTERNAL
N.G.L.	- NATURAL GROUND LEVEL
E.G.L.	- EXISTING GROUND LEVEL
FFL	- FINISHED FLOOR LEVEL
FL	- FLOOR
CL	- CEILING
-	- APPROXIMATE
M	- METER/S
SQM/m <sup>2</sup>	- SQUARE METRES
mm	- MILLIMETRES
MIN.	- MINIMUM
O.H	- OVERHANG
O.H	- OVERHEAD
MAX.	- MAXIMUM
HT.	- HEIGHT
UIS	- UNDERSIDE
SPEC.	- SPECIFICATIONS
MANF.	- MANUFACTURERS
ENGR.	- ENGINEERS
REQ'S	- REQUIRES
B.C.A	- BUILDING CODE OF AUSTRALIA
N.C.C	- NATIONAL CONSTRUCTION CODE
A.S.	- AUSTRALIAN STANDARDS
Q.D.C.	- QUEENSLAND DEVELOPMENT CODE
RP	- REGISTERED PLAN
BDY.	- BOUNDARY
S.P.O.S	- SECLUDED PRIVATE OPEN SPACE
DN	- DOWN
SHW	- SHOWER
W.C	- WATER CLOSET
V.B	- VANITY BASIN
D.W	- DISHWASHER
W.M	- WASHING MACHINE
TR.	- TROUGH
DR.	- DRYER
R.H	- RANGEHOOD
M.W	- MICROWAVE
W.O	- WALL OVEN
U.B.O	- UNDER BENCH OVEN
C.T	- COOKTOP
W.I.R	- WALK IN ROBE
CAB.	- CABINET
WIN	- WINDOW
SL.	- SLIDING WINDOW
CAS.	- CASEMENT WINDOW
B.F.W	- BI-FOLD WINDOW
AW	- AWNING WINDOW
F	- FIXED WINDOW
FOF	- FIXED / OPEN / FIXED WINDOW
OFO	- OPEN / FIXED / OPEN WINDOW
DR.	- DOORS
SLD	- SLIDING DOOR
STDR	- STACKER DOOR
B.F.D	- BI-FOLD DOOR
C.S.D	- CAVITY SLIDING DOOR

IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE PROPOSED DEVELOPMENT IS LOCATED IN A POSITION THAT DOES NOT INTERFERE WITH THE INFRASTRUCTURE ON SITE AND COMPLIES WITH THE QDC MP1.4.



**R.P.D.**

LOT 192  
192RP738148  
LOT AREA 13,630m<sup>2</sup>  
LOCAL AUTHORITY- DOUGLAS SHIRE COUNCIL

**DRAINAGE**

NEW SOIL & SULLAGE DRAINAGE TO COUNCIL SEWER IN ACCORDANCE WITH WATER SUPPLY & SEWERAGE ACT & AMENDMENTS. NEW STORMWATER DRAINAGE TO BE IN ACCORDANCE WITH A.S. 3500 & LOCAL AUTHORITY GUIDELINES & B.C.A. SPECIFICATIONS

**NOTES:**

- ALL DRAINAGE TO COMPLY WITH B.C.A PART 3.1.2 DRAINAGE.
- FALL FINISHED GROUND @ 1:20 FOR MIN. 1M AROUND PERIMETER OF FOUNDATIONS.
- ALTERNATIVE METHODS OF SURFACE WATER CONTROL TO BE APPROVED BY PRIVATE CERTIFIER PRIOR TO INSTALLATION.
- ALL EARTHWORKS TO BE IN ACCORDANCE WITH B.C.A. PART 3.1.1 OR ENGINEERS SPECIFICATION.

ALL LEVELS, HEIGHTS AND DIMENSIONS TO BE CONFIRMED PRIOR TO START OF ANY WORKS. DRIVEWAYS TO BE CONSTRUCTED IN ACCORDANCE WITH QDC NMP1.1. A.S. 2890 AND LOCAL AUTHORITY REQUIREMENTS.

**SURVEY & EXISTING SERVICES**

LEVELS SHOWN ARE TO ASSUME DATUM ORIGIN - TBM ON FOOTPATH RL 50.000  
THE CONTRACTOR IS TO LOCATE ALL EXISTING SERVICES PRIOR TO ANY EXCAVATION PARTICULARLY ON THE FOOTPATH  
ALL DAMAGE TO EXISTING SERVICES SHALL BE MADE GOOD TO THE SATISFACTION OF THE SUPERINTENDENT AND THE RELEVANT AUTHORITY AT THE CONTRACTORS EXPENSE  
THE CONTRACTOR SHALL NOTIFY THE RELEVANT AUTHORITY IMMEDIATELY WHEN ANY DAMAGE OCCURS.

**ENVIRONMENTAL PROTECTION AND SEDIMENT EROSION CONTROL**

THE CONTRACTOR IS RESPONSIBLE WITHIN THE LIMITS IMPOSED BY THE WORKS, TO PROTECT AND PRESERVE THE NATURAL ENVIRONMENT AND AVOID POLLUTION  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INCORPORATION OF APPROPRIATE CONTROL MEASURES CONFORMING WITH THE REQUIREMENTS OF THE CARNS CITY COUNCIL INCLUDING HYDROMULCHING BARE EARTH AREAS AS SOON AS POSSIBLE ( IF DIRECTED)

Notes: BUILDER TO CONFIRM ALL MEASUREMENTS ON SITE BEFORE COMMENCING WORKS OR ORDERING PRODUCTS

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<h3>Proposed Residence</h3> <p>192 Cedar Road, Cow Bay, QLD</p>	Revision:	Site Plan	Sheet: A004 of 15	<p>Speedy Gomez Building Design M:0415 170 642 E:cinda@speedygomez.com.au</p>
		Drawing No. A004	Status: Concept	
		Drawn: Cinda Gomes-Franklin QBCC 15153859 DP-AD 39400	Date: 23/01/28	
			Ref: GGF-131	
			Size: A3	

1
Site Proposed  
1 : 1000

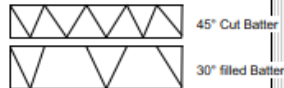


**DRAINAGE NOTES:**

1. The drainage layout shown is indicative only. all work shall be carried out by a licensed plumber.
2. Plumber to confirm existing plumbing & venting on site.
3. all new work to be constructed in accordance with the current Plumbing and Drainage ACT 2002, Cairns Regional Council regulations and other relevant and current Australian Standards.
4. The contractor shall verify all existing surface and invert levels prior to construction.
5. All Drainage shall be 100mmØ UPVC run at min. Grade of 1:80.
6. Terminate vent pipes if required in accordance with the current AS 3500

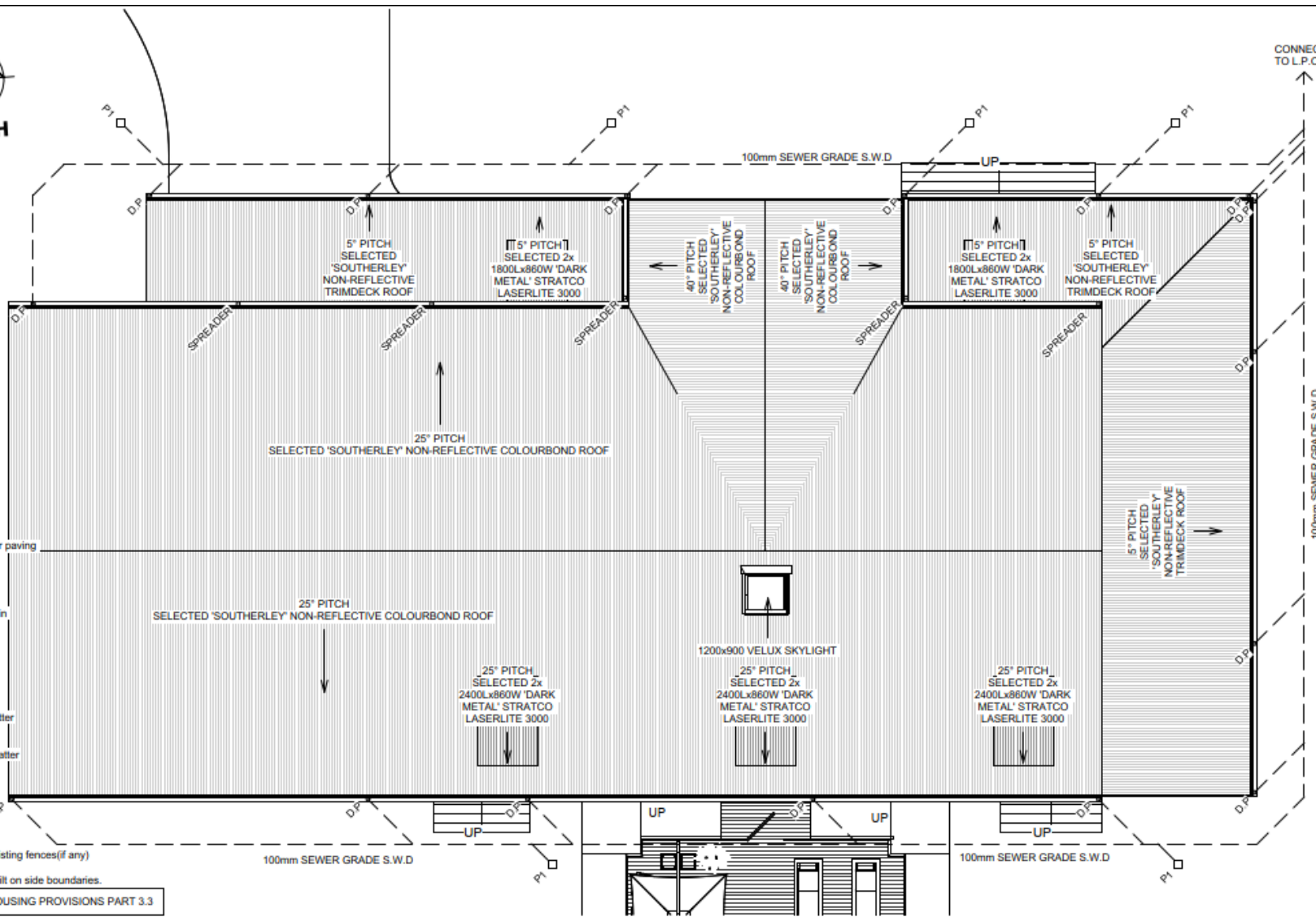
**Legend :**

- F.F.L. - Finished Floor Level
- E.G.L. - Excavated Ground Level ready for paving
- P1 - unipit 200 (225x225x89 grated pit)
- L.P.O.D. - Legal Point Of Discharge
- S.W.D. - 90Ømm P.V.C. Storm Water Drain
- D.P. - Down Pipe
- R.H. - Rain head
- B.G. - 300mm wide box gutter



100Ømm Sewer Grade S.W.D. shall be used under all driveways, paths and house and garage slabs.  
 All levels shall be checked on site before commencement of any works  
 owners are responsible for removal of any existing fences(if any) and future reinstatement if required where garage walls and dwelling walls are built on side boundaries.

SURFACE WATER DRAINAGE TO NCC HOUSING PROVISIONS PART 3.3



Notes: BUILDER TO CONFIRM ALL MEASUREMENTS ON SITE BEFORE COMMENCING WORKS OR ORDERING PRODUCTS

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**Proposed Residence**  
 192 Cedar Road, Cow Bay, QLD

Revision:	

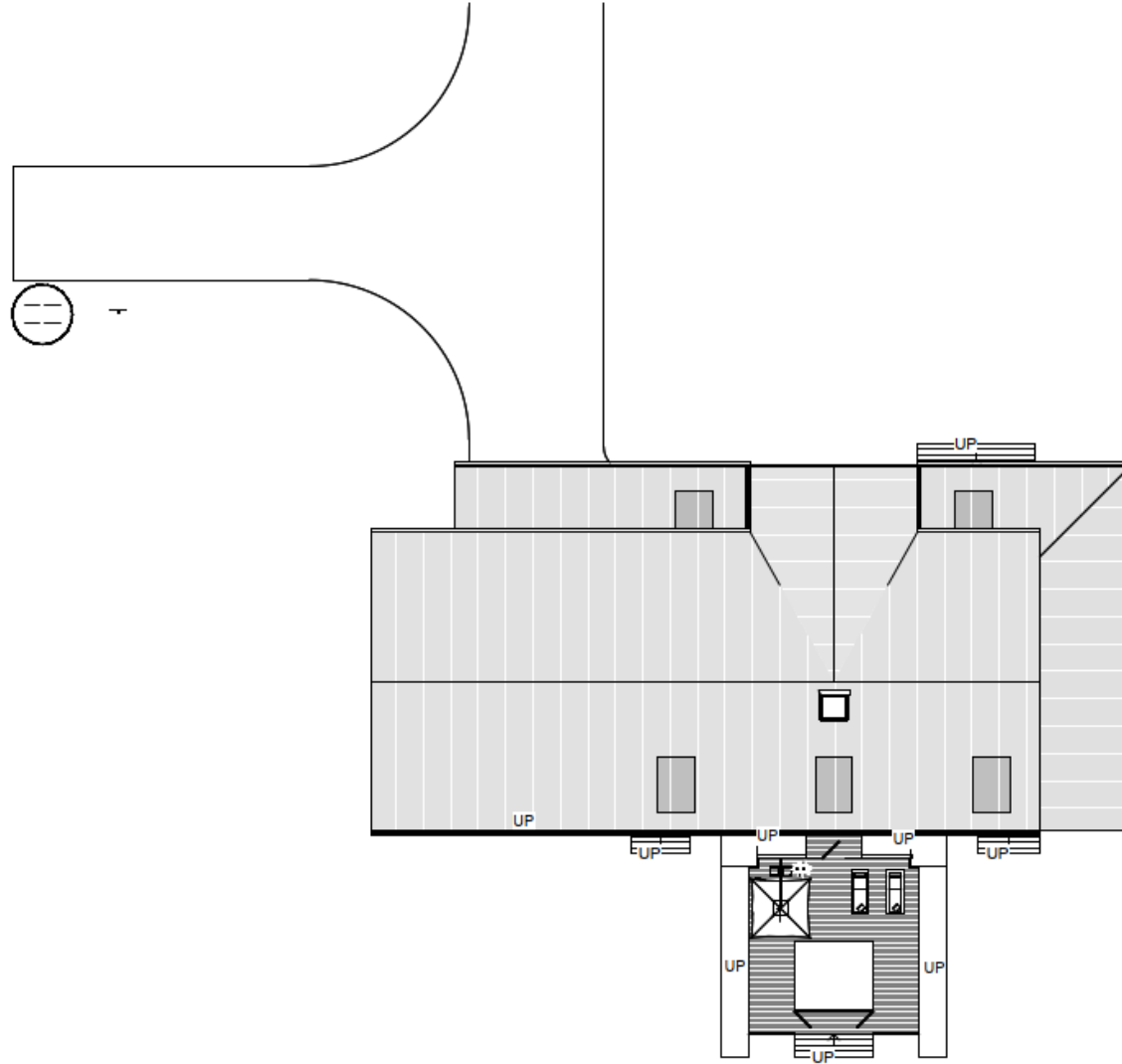
**Site Drainage**  
 Drawing No. A005  
 Drawn: Cinda Gomes-Franklin  
 QBCC 15153859  
 DP-AD 39400

Sheet:	A005 of 15
Status:	Concept
Date:	23/01/28
Ref:	GGF-131
Size:	A3

**Speedy Gomez Building Design**  
 M:0415 170 642  
 E:cinda@speedygomez.com.au

**1 Site Drainage**  
 1 : 100

PROPERTY LINE



PROPERTY LINE

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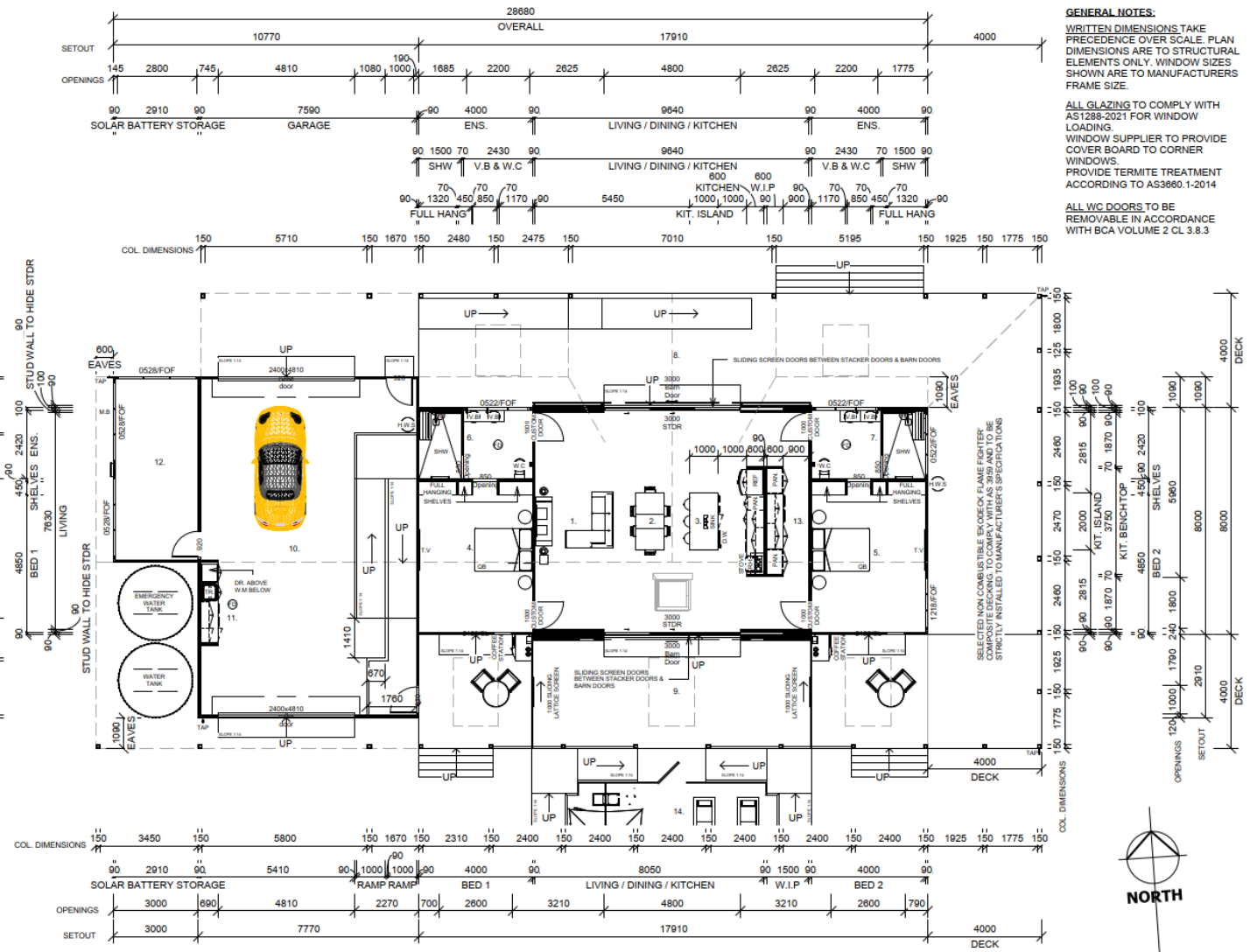
<b>Proposed Residence</b> 192 Cedar Road, Cow Bay, QLD	Revision:	Site Vegetation	Sheet: A006 of 15	Speedy Gomez Building Design M:0415 170 642 E:cinda@speedygomez.com.au
		Drawing No. A006	Status: Concept	
		Drawn: Cinda Gomes-Franklin QBCC 15153859 DP-AD 39400	Date: 23/01/28	
			Ref: GGF-131	
			Size: A3	

**1** Site Vegetation  
 1 : 200

- ROOM LEGEND:**
- LIVING
  - DINING
  - KITCHEN
  - BED 1
  - BED 2
  - ENSUITE 1
  - ENSUITE 2
  - PORCH
  - DECK
  - GARAGE
  - LDRY
  - SOLAR BATTERY STORAGE
  - W.I.P
  - POOL

- LEGEND:**
- Shower Door**  
No Shower Doors  
FL to CL Tiles
  - Raked Ceiling**  
Living, Dining, Kitchen, Garage, Laundry, Bed 1, Bed 2
  - Flat Ceiling**  
Other Areas
  - Bathroom**  
3000h x 1000w  
Tiled Shw Niche
  - on Suite**  
600h x 300w  
Tiled Shw Niche  
1 x glass insert  
shelf central

- 2500H CEILING HEIGHT TYPICAL THROUGHOUT UNLESS NOTED OTHERWISE
- SQUARE SET WALL/CEILING JUNCTION TYPICAL UNLESS NOTED OTHERWISE
- 67mm x 18mm NOM ARCHITRAVE TYPICAL THROUGHOUT. PROFILE: 'SINGLE BEVEL'
- 140mm x 18mm NOM SKIRTING TYPICAL THROUGHOUT. PROFILE: 'SINGLE BEVEL'
- PROVIDE REBATE IN FLOOR FOR A FLUSH THRESHOLD TO ALL EXTERNAL DOORS. EXACT DEPTHS OF REBATE TO BE CONFIRMED ON SITE UPON DOOR SELECTION
- EXTENT TO JOINERY SHOWN IS INDICATIVE ONLY. ALL JOINERY DETAILS INCLUDING DESIGN, DIMENSIONS, MATERIALS, FITTINGS & FIXTURES TO BE CONFIRMED WITH OWNER PRIOR TO FABRICATION & INSTALLATION
- STAIRWAY, BARRIER AND HANDRAIL CONSTRUCTION TO BE IN ACCORDANCE WITH THE NCC VOL. 2 HOUSING PROVISIONS PARTS 11.2 AND 11.3



**GENERAL NOTES:**

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. PLAN DIMENSIONS ARE TO STRUCTURAL ELEMENTS ONLY. WINDOW SIZES SHOWN ARE TO MANUFACTURERS FRAME SIZE.

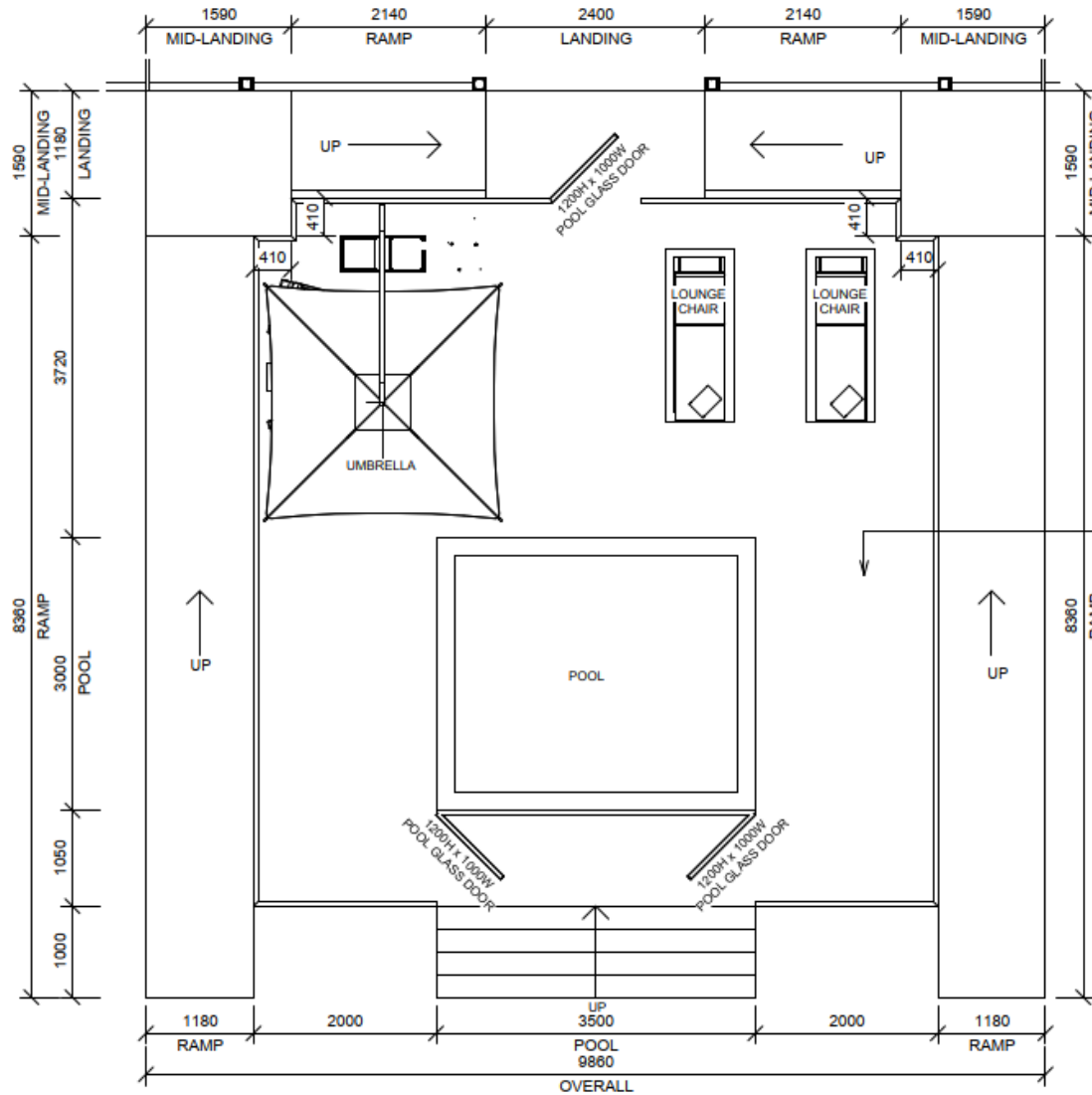
ALL GLAZING TO COMPLY WITH AS1288-2021 FOR WINDOW LOADING.  
WINDOW SUPPLIER TO PROVIDE COVER BOARD TO CORNER WINDOWS.  
PROVIDE TERMITE TREATMENT ACCORDING TO AS3660.1-2014

ALL WC DOORS TO BE REMOVABLE IN ACCORDANCE WITH BCA VOLUME 2 CL 3.8.3

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Notes: BUILDER TO CONFIRM ALL MEASUREMENTS ON SITE BEFORE COMMENCING WORKS OR ORDERING PRODUCTS

<b>Proposed Residence</b> 192 Cedar Road, Cow Bay, QLD	Revision:	Pr. Grnd Flr.	Sheet: A007 of 15
		Drawing No. A007	Status: Concept
		Drawn: Cinda Gomez-Franklin QBCC 15153659 DPAD 29400	Date: 23/01/26
			Ref: GGF-131
			Size: A2
			Speedy Gomez Building Design M:0415 170 642 E:cinda@speedygomez.com.au

1 Grnd. Flr. Proposed  
1 : 100



**GENERAL NOTES:**

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. PLAN DIMENSIONS ARE TO STRUCTURAL ELEMENTS ONLY. WINDOW SIZES SHOWN ARE TO MANUFACTURERS FRAME SIZE.

ALL GLAZING TO COMPLY WITH AS1288-2021 FOR WINDOW LOADING.  
WINDOW SUPPLIER TO PROVIDE COVER BOARD TO CORNER WINDOWS.  
PROVIDE TERMITE TREATMENT ACCORDING TO AS3680.1-2014

ALL WC DOORS TO BE REMOVABLE IN ACCORDANCE WITH BCA VOLUME 2 CL 3.8.3

SELECTED NON COMBUSTIBLE 'EKODECK FLAME FIGHTER' COMPOSITE DECKING TO COMPLY WITH AS 3959 AND TO BE STRICTLY INSTALLED TO MANUFACTURER'S SPECIFICATIONS

Notes: BUILDER TO CONFIRM ALL MEASUREMENTS ON SITE BEFORE COMMENCING WORKS OR ORDERING PRODUCTS

**Proposed Residence**  
192 Cedar Road, Cow Bay, QLD

Revision:


Pr. Pool

Drawing No.  
A008

Drawn: Cinda Gomes-Franklin  
QBCC 15153859  
DP-AD 39400

Sheet: A008 of 15

Status: Concept

Date: 23/01/28

Ref: GGF-131

Size: A3

Speedy Gomez  
Building Design  
M:0415 170 642  
E:cinda@speedygomez.com.au

1 Pr. Pool  
1 : 50

NOTE: REFER TO SHEET **AS13** FOR EXTERNAL WALLS, WINDOWS, DOORS, ROOF, SKYLIGHT, EAVES LININGS, FASCIAS AND GABLES CONSTRUCTION NOTES TO COMPLY WITH BUSHFIRE ATTACK LEVEL 19 (BAL-19) AS PER AS 3959:2018

**GENERAL NOTES:**

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. PLAN DIMENSIONS ARE TO STRUCTURAL ELEMENTS ONLY. WINDOW SIZES SHOWN ARE TO MANUFACTURERS FRAME SIZE.

ALL GLAZING TO COMPLY WITH AS1288-2021 FOR WINDOW LOADING. WINDOW SUPPLIER TO PROVIDE COVER BOARD TO CORNER WINDOWS. PROVIDE TERMITE TREATMENT ACCORDING TO AS3660.1-2014

ALL WC DOORS TO BE REMOVABLE IN ACCORDANCE WITH BCA VOLUME 2 CL 3.8.3

**REQUIREMENTS FOR SUSTAINABLE BUILDINGS**

**ACCEPTABLE SOLUTIONS:**

**TAPWARE:**

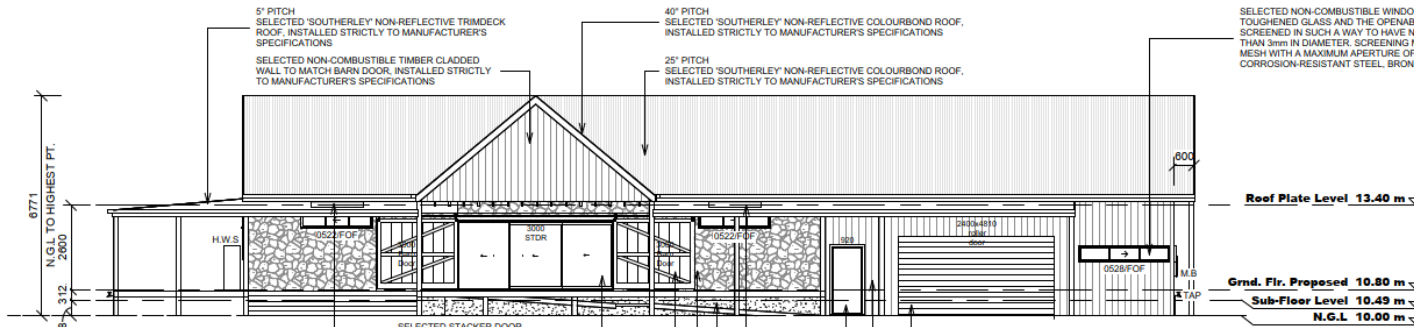
SHOWER ROSES TO BE AAA RATING WHEN ASSESSED AGAINST AS/NZ 8400-2018 OR A 3 STAR RATING UNDER THE WATER EFFICIENCY LABELLING AND STANDARDS RATING FOR TAPS SERVING:  
LAUNDRY TUBS  
KITCHEN SINKS  
BASINS

**WATER SUPPLY:**

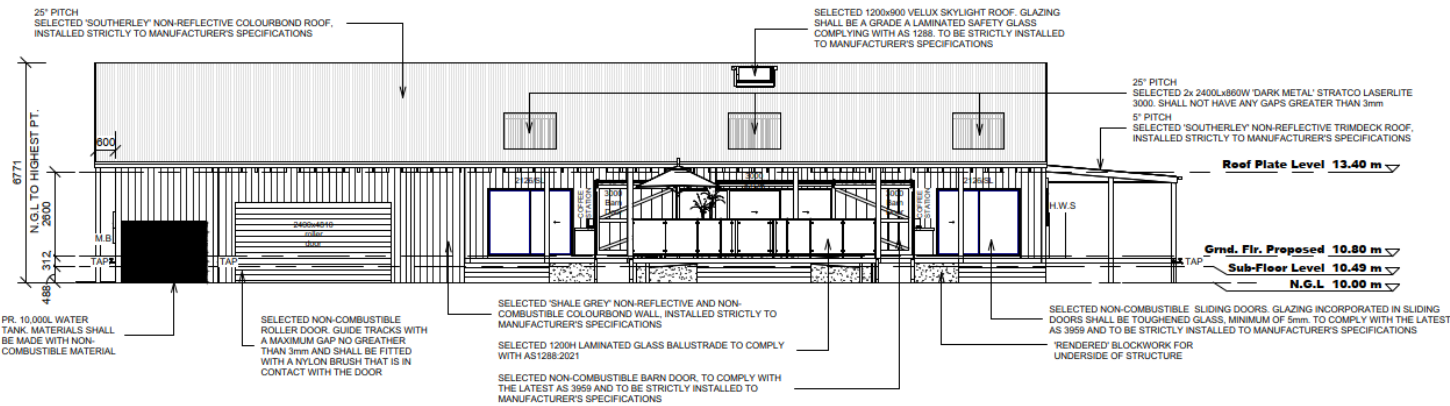
IN A SERVICE AREA FOR RETAIL WATER SERVICE UNDER THE WATER ACT 2000, THE WATER SUPPLIED TO ANEW CLASS 1 BUILDING DOES NOT EXCEED PRESSURE LEVELS SE OUT IN AS/NZ3550.1-2003 AND IF THE MAIN WATER PRESSURE EXCEEDS OR COULD EXCEED 500 Kpa, A WATER PRESSURE LIMITING DEVICE IS INSTALLED TO ENSURE THAT THE MAXIMUM OPERATING PRESSURE AT THE OUTLET WITHIN THE BOUNDARIES OF THE PROPERTY DOES NOT EXCEED 500Kpa.

**VOLUME OF WATER USED IN TOILET:**  
TOILET CISTERNS TO HAVE DUAL FLUSH CAPABILITY AND HAVE A MINIMUM 4 STAR WATER LABELLING AND STANDARDS RATING.

**ENERGY EFFICIENT LIGHTING:**  
A MINIMUM OF 80% OF ALL INTERNAL FIXED LIGHTING MUST BE ENERGY EFFICIENT LIGHTING.



**1 North**  
1:100




**2 South**  
1:100

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Notes: BUILDER TO CONFIRM ALL MEASUREMENTS ON SITE BEFORE COMMENCING WORKS OR ORDERING PRODUCTS

**Proposed Residence**  
192 Cedar Road, Cow Bay, QLD

Revision:	Elevations - 1	Sheet: A009 of 15	Status: Concept	Speedy Gomez Building Design
	Drawing No. A009	Date: 23/01/26	Ref: GGF-131	M:0415 170 642
	Drawn: Cinda Gomez-Franklin QCDC 15153659 DPAD 29400	Size: A2		E:cinda@speedygomez.com.au

**NOTE:**  
REFER TO SHEET  FOR EXTERNAL WALLS, WINDOWS, DOORS, ROOF, SKYLIGHT, EAVES LININGS, FASCIAS AND GABLES CONSTRUCTION NOTES TO COMPLY WITH BUSHFIRE ATTACK LEVEL 19 (BAL-19) AS PER AS 3959:2018

SELECTED 1200H LAMINATED GLASS BALUSTRADE TO COMPLY WITH AS1288:2021

SELECTED 1200x900 VELUX SKYLIGHT ROOF. GLAZING SHALL BE A GRADE A LAMINATED SAFETY GLASS COMPLYING WITH AS 1288. TO BE STRICTLY INSTALLED TO MANUFACTURER'S SPECIFICATIONS

5° PITCH SELECTED 'SOUTHERLEY' NON-REFLECTIVE TRIMDECK ROOF. INSTALLED STRICTLY TO MANUFACTURER'S SPECIFICATIONS

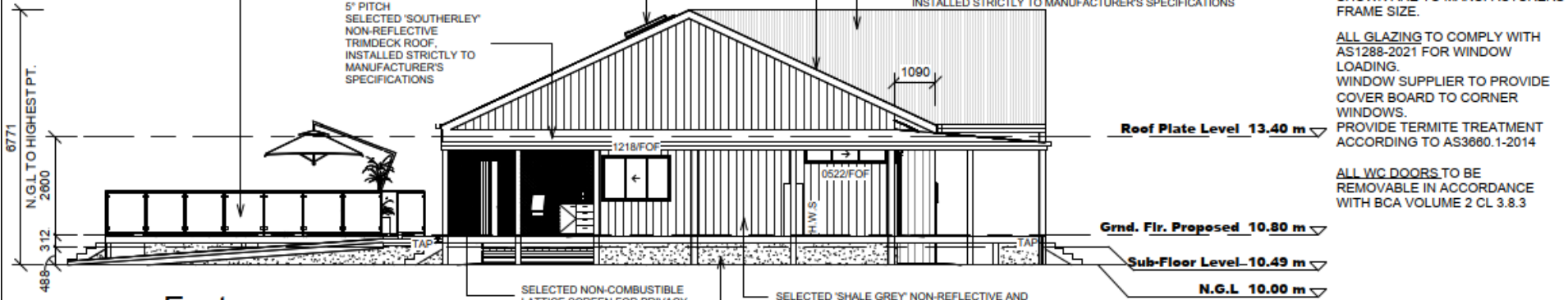
25° PITCH SELECTED 'SOUTHERLEY' NON-REFLECTIVE COLOURBOND ROOF, INSTALLED STRICTLY TO MANUFACTURER'S SPECIFICATIONS  
40° PITCH SELECTED 'SOUTHERLEY' NON-REFLECTIVE COLOURBOND ROOF, INSTALLED STRICTLY TO MANUFACTURER'S SPECIFICATIONS

**GENERAL NOTES:**

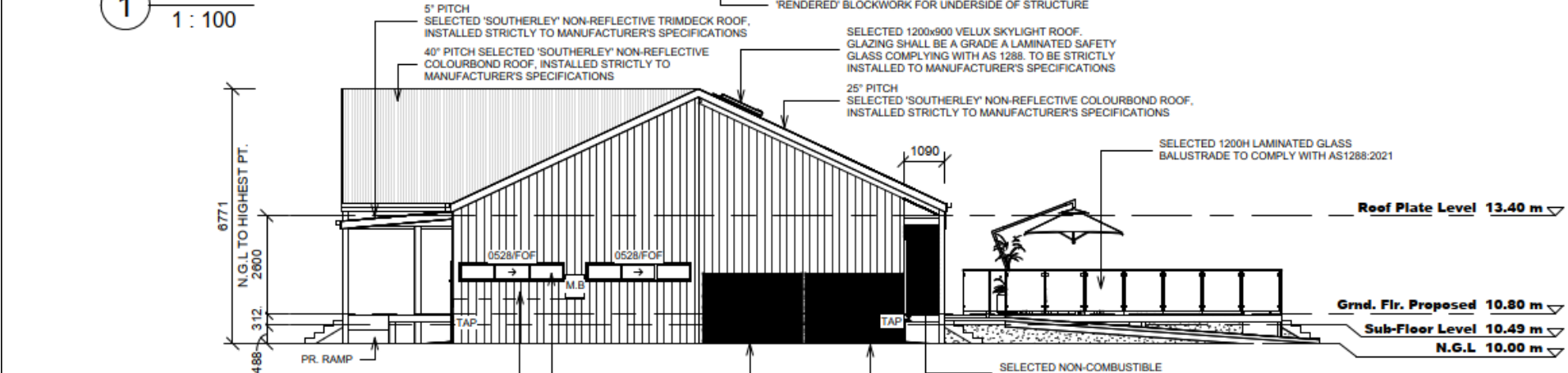
WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. PLAN DIMENSIONS ARE TO STRUCTURAL ELEMENTS ONLY. WINDOW SIZES SHOWN ARE TO MANUFACTURERS FRAME SIZE.

ALL GLAZING TO COMPLY WITH AS1288-2021 FOR WINDOW LOADING.  
WINDOW SUPPLIER TO PROVIDE COVER BOARD TO CORNER WINDOWS.  
PROVIDE TERMITE TREATMENT ACCORDING TO AS3680.1-2014

ALL WC DOORS TO BE REMOVABLE IN ACCORDANCE WITH BCA VOLUME 2 CL 3.8.3



**1 East**  
1 : 100



**2 West**  
1 : 100

STAIRWAY, BARRIER AND HANDRAIL CONSTRUCTION TO BE IN ACCORDANCE WITH THE NCC VOL. 2 HOUSING PROVISIONS PARTS 11.2 AND 11.3

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Notes: BUILDER TO CONFIRM ALL MEASUREMENTS ON SITE BEFORE COMMENCING WORKS OR ORDERING PRODUCTS

<p><b>Proposed Residence</b> 192 Cedar Road, Cow Bay, QLD</p>	Revision:	Elevations - 2	Sheet:	A010 of 15	<p>Speedy Gomez Building Design M:0415 170 642 E:cinda@speedygomez.com.au</p>
		Drawing No. A010	Status:	Concept	
		Drawn: Cinda Gomes-Franklin QBCC 15153859 DP-AD 39400	Date:	23/01/28	
			Ref:	GGF-131	
			Size:	A3	

**GUIDELINES FOR REMOTE OUTLETS ON WATER TANKS**

**IDENTIFICATION INSTALLATION REQUIREMENTS**

THE FOLLOWING DETAILS RELATING TO HYDRANTS ARE DIVIDED INTO THREE SECTIONS: GENERAL - REQUIREMENTS THAT RELATE TO ALL HYDRANT TYPES; ABOVE GROUND HYDRANTS - IDENTIFICATION INSTALLATION REQUIREMENTS RELATIVE TO ABOVE GROUND HYDRANTS ONLY (IE: L TYPE HYDRANT, PILLAR HYDRANTS, MILLCOCKS AND DRY RISER); AND BELOW GROUND HYDRANTS - IDENTIFICATION INSTALLATION REQUIREMENTS RELATIVE TO BELOW GROUND HYDRANTS ONLY (IE: GROUND BALL, SPRING LOADED HYDRANTS [FIRE PLUG] AND VALVE CONTROLLED HYDRANTS). 5.1 GENERAL TOTAL COMPLIANCE WITH THE APPLICABLE IDENTIFICATION INSTALLATION CRITERIA OF THIS SECTION IS DEEMED TO SATISFY THE REQUIREMENTS OF THE RELEVANT FIRE SERVICE, AND AS SUCH NO APPROVAL OF THE DEFINED IDENTIFICATION SYSTEM IS NECESSARY. HOWEVER, THIS DOES NOT LIMIT IN ANY WAY OTHER APPROVAL REQUIREMENTS WHICH MAY BE IMPOSED FROM TIME TO TIME, BY THE RELEVANT FIRE SERVICE IN RELATION TO OTHER MATTERS ASSOCIATED WITH THE IDENTIFICATION OF STREET HYDRANTS FOR FIRE FIGHTING PURPOSES

**HYDRANT MARKINGS**

**GENERAL**

- (i) ALL HYDRANTS ARE TO BE IDENTIFIED BY BLUE REFLECTIVE MARKERS EACH WITH A SURFACE AREA OF AT LEAST 50cm<sup>2</sup> AND MANUFACTURED EITHER GENERALLY OR IN ACCORDANCE WITH THE SPECIFIC PROVISIONS OF:
  - FOR REFLECTIVE TAPE - OF ASINZS 1906.1 - 2007 - RETROREFLECTIVE MATERIALS AND DEVICES FOR ROAD TRAFFIC CONTROL PURPOSES - CLASS 1 RETROREFLECTIVE MATERIALS
  - FOR POST MOUNTED DISCS - AS 1906.2 - 2007 - RETROREFLECTIVE MATERIALS FOR ROAD TRAFFIC CONTROL PURPOSES - RETROREFLECTIVE DEVICES (NON-PAVEMENT APPLICATION); AND
  - FOR RAISED REFLECTIVE ROAD MARKERS - AS 1906.3 - 1992 - RETROREFLECTIVE MATERIALS AND DEVICES FOR ROAD TRAFFIC CONTROL PURPOSES - RAISED PAVEMENT MARKERS (RETROREFLECTIVE AND NONRETROREFLECTIVE). THE NUMBER AND THEIR LOCATION ARE AS CONTAINED IN THESE GUIDELINES.
- (ii) ALL POST TYPE MARKERS AND ABOVE GROUND HYDRANTS ARE TO HAVE A RED (PMS 185) NON-REFLECTIVE MARKING OF AT LEAST 200mm AROUND THE TOP OF THE POST, OR THE DEFINED HEAD OF THE ABOVE GROUND HYDRANT BODY OR COVER, (THE PANTONE MANAGEMENT SYSTEM, PMS, IS AN INTERNATIONALLY ACCEPTED SYSTEM FOR MATCHING COLOUR)

- (iii) ALL HYDRANTS MUST HAVE A WHITE TRIANGULAR ROAD MARKING BEING 450mm ± 50mm LONG AND 250mm ± 50mm WIDE MEETING THE REQUIREMENTS OF AS 4049.2 - 2005 - PAINTS AND RELATED MATERIALS - PAVEMENT MARKING MATERIALS - THERMOPLASTIC PAVEMENT MARKING MATERIALS - FOR USE WITH SURFACE APPLIED GLASS BEADS.

**PROTECTION OF PIPEWORK**

THE PIPELINE BETWEEN THE TANK AND THE REMOTE OUTLET MUST BE INSTALLED SO THAT IT IS NOT EASILY DAMAGED. FOR THE BELOW-GROUND PIPEWORK, THIS CAN BE ACHIEVED BY ENSURING THAT THERE IS ADEQUATE COVER OVER THE PIPELINE. TO ACHIEVE ADEQUATE COVER, ALL BELOW-GROUND WATER PIPES MUST BE INSTALLED TO BE AT LEAST THE FOLLOWING DEPTH BELOW THE FINISHED SURFACE:

- 300mm FOR PIPES SUBJECT TO VEHICLE TRAFFIC
- 75mm FOR PIPES UNDER DWELLINGS OR CONCRETE SLABS
- 225mm FOR ALL OTHER LOCATIONS

THE ABOVE GROUND PIPEWORK (E.G. THE RISER) AND FIXINGS AND FITTINGS MUST BE MADE WITH CORROSIVE RESISTANT METAL.



CFA Outlet Only                      CFA & Occupant Outlet

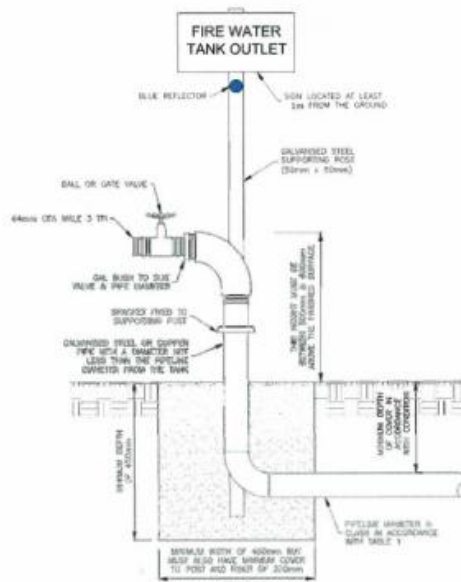


FIGURE 3  
REMOTE OUTLET ARRANGEMENT

**IDENTIFICATION**

A PERMANENT SIGN IS REQUIRED TO BE ATTACHED TO THE TOP OF THE POST SUPPORTING THE RISER SO THAT FIRE FIGHTERS CAN QUICKLY IDENTIFY THAT THE OUTLET IS CONNECTED TO A STATIC WATER SUPPLY FOR FIRE FIGHTING. A BLUE REFLECTOR IS ALSO REQUIRED TO BE ATTACHED TO THIS POST TO AID IN LOCATING THE OUTLET AT NIGHT. THE SPECIFICATIONS FOR THIS REFLECTOR SHOULD BE IN ACCORDANCE WITH THE DETAILS GIVEN UNDER ITEM 5.1.1 OF THE "IDENTIFICATION OF STREET HYDRANTS FOR FIRE FIGHTING PURPOSES".

THE REMOTE OUTLET SHOULD BE READILY IDENTIFIABLE FROM THE ENTRANCE TO THE PROPERTY OR THE DWELLING / BUILDING. THIS IS SO THAT FIRE FIGHTERS DON'T WASTE VALUABLE TIME IN SEARCHING FOR IT. IF THE OUTLET IS NOT READILY IDENTIFIABLE, STANDARD SIGNAGE MUST BE INSTALLED TO DIRECT FIRE FIGHTERS TO THE OUTLET.

**CONSTRUCTION NOTES FOR BUSHFIRE ATTACK LEVEL 19 (BAL-19):**

**WALLS**

- EXTERNAL WALL SURFACE SHALL BE MADE FROM NON-COMBUSTIBLE MATERIAL

**JOINTS**

- ALL JOINTS IN THE EXTERNAL SURFACE MATERIAL OF WALLS SHALL BE COVERED, SEALED, OVERLAPPED, BACKED OR BUTT-JOINTED TO PREVENT GAPS GREATER THAN 3mm

**WINDOWS**

- WINDOW ASSEMBLIES SHALL BE METAL-REINFORCED PVC-U. THE REINFORCING MEMBERS SHALL BE MADE FROM ALUMINIUM, STAINLESS STEEL, OR CORROSION-RESISTANT STEEL AND THE FRAME AND THE SASH SHALL SATISFY THE DESIGN LOAD, PERFORMANCE AND STRUCTURAL STRENGTH OF THE MEMBER
- GLAZED ELEMENTS THAT ARE DESIGN TO TAKE INTERNAL SCREENS SHALL USE TOUGHENED GLASS AND THE OPENABLE PORTION SHALL BE SCREENED IN SUCH A WAY TO HAVE NO GAPS GREATER THAN 3mm IN DIAMETER. SCREENING MATERIAL SHALL BE A MESH WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM

**SIDE-HUNG DOORS**

- MADE FROM NON-COMBUSTIBLE MATERIAL OR A SOLID TIMBER DOOR, HAVING A MINIMUM THICKNESS OF 35mm FOR THE FIRST 400mm ABOVE THE THRESHOLD
- DOORS SHALL BE TIGHT-FITTING TO THE DOORFRAME AND TO AN ABUTTING DOOR, IF APPLICABLE.

**STACKER DOOR**

- GLAZING INCORPORATED IN SLIDING DOORS SHALL BE TOUGHENED GLASS, MINIMUM OF 5mm
- SLIDING SCREEN DOOR MADE WITH A CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM MESH AND SHALL HAVE A MAXIMUM APERTURE OF 2mm

**SLIDING DOORS**

- GLAZING INCORPORATED IN SLIDING DOORS SHALL BE TOUGHENED GLASS, MINIMUM OF 5mm

**ROLLER DOOR (VEHICLE ACCESS)**

- THE LOWER PORTION OF A VEHICLE ACCESS DOOR THAT IS WITHIN 400mm OF THE GROUND WHEN THE DOOR IS CLOSED SHALL BE MADE FROM NON-COMBUSTIBLE MATERIAL
- SHALL HAVE GUIDE TRACKS WITH A MAXIMUM GAP NO GREATER THAN 3mm AND SHALL BE FITTED WITH A NYLON BRUSH THAT IS IN CONTACT WITH THE DOOR
- VEHICLE ACCESS DOORS SHALL NOT INCLUDE VENTILATION SLOTS

**SHEET ROOFS**

- SARKING SHALL HAVE A FLAMMABILITY INDEX OF NOT MORE THAN 5, WHEN TESTED TO AS 1530.2. BE LOCATED DIRECTLY BELOW THE ROOF BATTENS; COVER THE ENTIRE ROOF AREA INCLUDING THE RIDGE; AND BE INSTALLED SO THAT THERE ARE NO GAPS THAT WOULD ALLOW THE ENTRY OF EMBERS WHERE THE SARKING MEETS FASCIA, GUTTERS, VALLEYS AND THE LIKE.
- SHALL NOT HAVE ANY GAPS GREATER THAN 3mm UNDER CORRUGATIONS OR RIBS OF SHEET ROOFING AND BETWEEN ROOF COMPONENTS SEALED AT THE FASCIA OR WALL LINE AND AT VALLEYS, HIPS AND RIDGES BY A MINERAL WOOL

**SKYLIGHT**

- ALL OVERHEAD GLAZING SHALL BE GRADE A LAINATED SAFETY GLASS COMPLYING WITH AS 1288.
- GLAZED ELEMENTS IN SKYLIGHTS MAY BE OF POLYMER PROVIDED A GRADE A SAFETY GLASS DIFFUSER, COMPLYING WITH AS 1288, IS INSTALLED UNDER THE GLAZING. WHERE GLAZING IS AN INSULATING GLAZING UNIT (IGU), GRADE A TOUGHENED SAFETY GLASS OF MINIMUM 4mm SHALL BE USED IN THE OUTER PANE OF THE IGU.

**EAVES LININGS, FASCIAS AND GABLES**

- EAVES VENTILATION OPENINGS GREATER THAN 3mm SHALL BE FITTED WITH EMBER GUARDS MADE OF NON-COMBUSTIBLE MATERIAL OR A MESH OR PERFORATED SHEET WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM.
- JOINTS IN EAVES LININGS, FASCIAS AND GABLES MAY BE SEALED WITH PASTIC JOINING STRIPS OR TIMBER STORM MOULDS.

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**Proposed Residence**  
192 Cedar Road, Cow Bay, QLD

Revision:	General Notes - 2
	Drawing No. A015
	Drawn: Cinda Gomes-Franklin QBCC 15153859 DP-AD 39400

Sheet:	A015 of 15
Status:	Concept
Date:	23/01/28
Ref:	GGF-131
Size:	A3

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M:0415 170 642  
E:cinda@speedygomez.com.au

**LEGEND:**

-  - SITE VEGETATION
-  - PR. SITE CLEARING
-  - FOOTPRINT

**NOTE:**  
 GENERAL TREE SPECIES THAT ARE PRESENT IN THE AREA

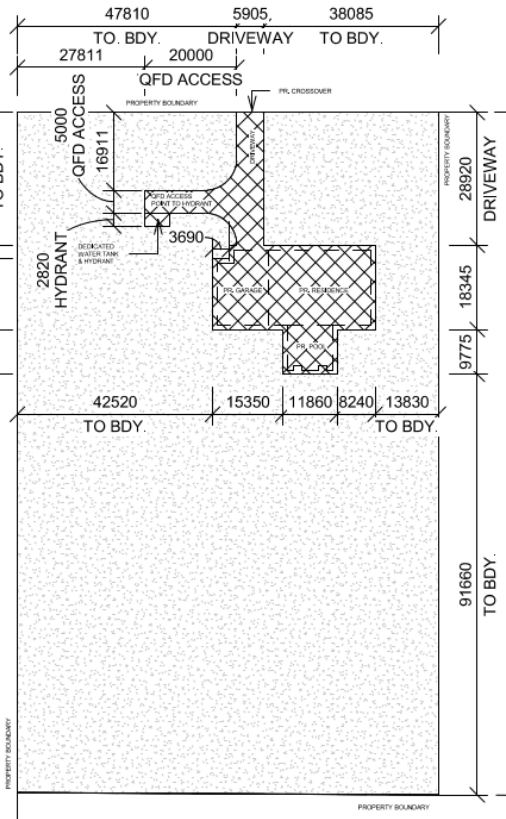
- A. GRAY'S WALNUT (ENDIANDRA GRAYI)
  - GENERAL HEIGHT: 28m
- B. NOAH'S WALNUT (ENDIANDRA MICRONEURA)
  - GENERAL HEIGHT: 30m
- C. DAINTREE GARDENIA (RANDIA AUDASSII)
  - GENERAL HEIGHT: 5m
- D. LARGE-FRUITED RED MAHOGANY (EUCALYPTUS PELLITA)
  - GENERAL HEIGHT: 30m-40m

**PR. SITE CLEARING TOTAL SQM: 1,062.69 m<sup>2</sup>**



**CEDAR ROAD**

**BLOODWOOD ROAD**



**1 Vegetation Clearing**  
 1 : 1000

Notes: BUILDER TO CONFIRM ALL MEASUREMENTS ON SITE BEFORE COMMENCING WORKS OR ORDERING PRODUCTS  
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<b>Proposed Residence</b> 192 Cedar Road, Cow Bay, QLD	Revision:	Vegetation Clearing	Sheet:	A006 of 15	Speedy Gomez Building Design M:0415 170 642 E:cinda@speedygomez.com.au
		Drawing No. A006	Status:	Concept	
		Drawn: Cinda Gomes-Franklin QBCC 15153859 DP-AD 39400	Date:	26/02/26	
			Ref:	GGF-131	
			Size:	A3	

# **DIRT PROFESSIONALS**

Email: [dirtprofessionals@bigpond.com](mailto:dirtprofessionals@bigpond.com)  
MOBILE 0417 647 477

Speedy Gomez Building Design and Interiors  
[speedygomezdesignanddraw@gmail.com](mailto:speedygomezdesignanddraw@gmail.com)

Tandel Investments Pty Ltd  
QBCC No. 1173606

01 May 2026

Site Classification  
Lot 192 Cedar Road  
Cow Bay QLD

**Job No 28759**

## **INTRODUCTION**

This report presents the results of a site investigation performed at Lot 192 Cedar Road, Cow Bay. The investigation is required in connection with a proposed dwelling to be constructed on the allotment.

## **EXISTING CONDITIONS**

At the time of the investigation the allotment was located in a rain forest subdivision. The allotment was heavily treed and grassed with a slope descending to the Northeast. The proposed dwelling is to be located approximately 30m from the North boundary and 15m from the East boundary. The location of the proposed building area was approximately shown.

## **FIELD WORK**

To investigate subsurface conditions bore holes were excavated to depths of 1.2m. The location of these holes were at approximately diagonal corners of the building area. Dynamic Cone Penetrometer Tests were carried out at the area of the proposed building area. A disturbed sample was taken for laboratory testing. The test results are attached.

## **SOIL PROFILE**

There is a layer of sandy silt clay to the depth of holes. A Plasticity Indices Test was carried out on a sample of sandy silt clay from the area. The test results are as follows:  
Liquid Limit 46%, Plastic Limit 23%, Plasticity Index 23% and Linear Shrinkage 9.5%.

### **SITE CLASSIFICATION**

The materials in the area are regarded as having a moderate shrink/swell potential with less than 400 mm of fill. The estimated predicted ground surface movement with changes to moisture is between 20-40 mm.

The site classification in accordance with the AS 2870 residential slabs and footings, visual inspection of the soils, Dynamic Cone Penetrometer Tests and a Plasticity Indices Test is found to be **CLASS M.**

### **FOUNDATION RECOMMENDATIONS**

The building area should be stripped of all topsoil and trees. Any holes resulting from there removal should be recompactd as stated below.

If any fill material to be used as part of the foundation building platform, it should be engineered in accordance with the requirements of AS 3798 level 1, Guidelines on Earthworks for Commercial and Residential Developments. That is, the fill should be placed in no greater than 200 mm layers within 2% of optimum moisture content and at a density of not less than 95% of maximum standard dry density as per AS 1289. The filling used should be of a low plastic nature and free from any organic and deleterious materials.

**This report should be read in conjunction with the attached CSIRO information leaflet.**

### **VALIDITY**

The excavation of a limited number of holes does not preclude the possibility of some conditions on the site being different from those encountered in the holes. Should conditions be found which differ from those described in this report, then the recommendations are not valid and this organisation should be contacted.

Yours faithfully



Angelo Tudini  
Director

Tandel Investments Pty Ltd T/as **DIRT PROFESSIONALS**

Attached

- CSIRO SHEET NO 10-91
- Site plan of building area
- Plan of allotment
- Photo of building area

## **BORE HOLE LOG**

### **HOLE 1** Location: Front left corner

0.0 - 0.4m      Sandy Silt Clay - Dark Brown  
0.4 - 0.9m      Sandy Silt Clay - Brown  
0.9 - 1.2m      Sandy Silt Clay - Brown mottled Orange

### **HOLE 2** Location: Rear right corner

0.0 - 0.3m      Sandy Silt Clay - Dark Brown  
0.3 - 1.1m      Sandy Silt Clay - Brown  
1.1 - 1.2m      Sandy Silt Clay - Brown mottled Orange





16°13'41"S 145°27'28"E

16°13'41"S 145°27'43"E



16°13'55"S 145°27'28"E

16°13'55"S 145°27'43"E

A product of

Legend located on next page

N

Lot 192 Cedar Road



# **DIRT PROFESSIONALS**

Email: [dirtprofessionals@bigpond.com](mailto:dirtprofessionals@bigpond.com)

Mobile: 0417 647 477

Speedy Gomez Building Design and Interiors  
[speedygomezdesignanddraw@gmail.com](mailto:speedygomezdesignanddraw@gmail.com)

Tandel Investments Pty Ltd  
QBCC No. 1173606

01 May 2026

Site Assessment and Design  
Lot 192 Cedar Road  
Cow Bay QLD

**Job No 28760**

## **INTRODUCTION**

This report presents the results of a site assessment performed at Lot 192 Cedar Road, Cow Bay. The assessment is required to determine the proposed method of effluent treatment to be used, as per AS/NZS 1547:2012 and the current Queensland Plumbing and Wastewater Code for On-Site Sewerage Facilities.

## **EXISTING CONDITIONS**

At the time of the assessment the allotment was located in a rural residential subdivision. The proposed 2 bedroom dwelling, accommodating the equivalent of 3 persons, is to be located approximately 30m from the North boundary and 15m from the East boundary. The location of the building area was shown.

The proposed wastewater area will be located to the South of the building area. The area was grassed and heavily treed and sloped to the Northeast.

## **FIELD WORK**

To investigate subsurface conditions bore holes were excavated to depths of 1.5m. The location of these holes were at the area of the wastewater area. A disturbed sample was taken from the site for laboratory testing.

## **SOIL PROFILE**

It is proposed that an Advanced Secondary Treatment System is to be used for the treatment of wastewater. There were no gullies or bores located within the disposal area. There was no water encountered at the depth of holes at the time of the investigation. There was a drain located parallel to the West and North boundaries which will require separation distances to be maintained.

A Design Irrigation Rate of 3.0 mm/day should be used for the design of the wastewater area as per the requirements of AS/NZS 1547:2012 and the soil assessment data in this report. This will need to be designed by a qualified designer.

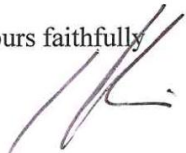
### **RECOMMENDATIONS**

- The wastewater disposal area will consist of either spray irrigation, with a minimum of 3 wobblers each covering 50-75 m<sup>2</sup>, or under mulch irrigation. This is necessary due to the heavily treed allotment and the need to minimise tree clearing.
- This company is not responsible for the building levels and falls to the wastewater treatment system. These will need to be calculated prior to construction, to determine the building platform heights, allowing for sufficient fall to treatment system.
- There will be no ponding of water during seasonal rains around the treatment system, and the wastewater area. Diversion drains will need to be put in place.
- All works shall be carried out by suitably qualified and licenced persons.

### **VALIDITY**

The excavation of a limited number of holes does not preclude the possibility of some conditions on the site being different from those encountered in the holes. Should conditions be found which differ from those described in this report, then the recommendations are not valid and this organisation should be contacted.

Yours faithfully



Angelo Tudini  
Director

Tandel Investments Pty Ltd T/as **DIRT PROFESSIONALS**

Attached:

-Site plan of building area

## BORE HOLE LOG

### HOLE 1

0.0 - 1.5 m    Clay Loams - Brown

### HOLE 2

0.0 - 1.2m    Clay Loams - Brown

### HOLE 3

0.0 - 0.8 m    Clay Loams - Brown

**DIRT PROFESSIONALS**  
**EMAIL: dirtprofessionals@bigpond.com**  
**Mobile: 0417 647 477**

DESIGN OF LAND APPLICATION SYSTEM

LOT 192 CEDAR ROAD, COW BAY

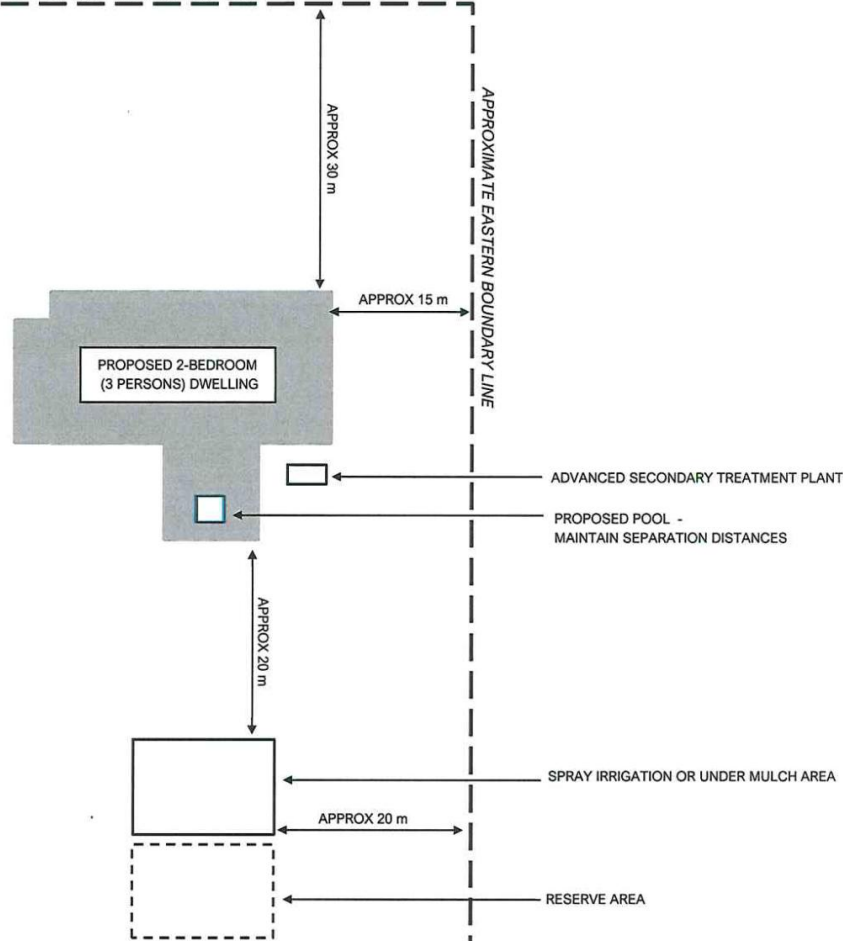
- DAILY LOAD All waste – 150 litres/day x 3 persons = 450 litres/day
- FLOW MODIFICATION Install dual flush 6/3 toilet cistern, shower flow restrictors, tap aerators and water economic washing machines.  
Garbage grinders are not permitted.
- AVAILABLE AREA FOR EFFLUENT DISPOSAL 150m<sup>2</sup>
- SITE AND SOIL CONSTRAINTS Allotment with dense tree coverage
- SYSTEM ADOPTED Advanced Secondary Treatment Plant with Spray Irrigation
- EFFLUENT QUALITY Advanced Secondary
- DLR (DESIGN IRRIGATION RATE) 3.0 mm/day
- DISPOSAL AREA PROTECTION Yes - as per recommendations
- DISPOSAL AREA DESIGN 450 ÷ 3 = 150  
Provide 150 m<sup>2</sup> of Spray Irrigation Area – 10 m x 15 m  
A minimum of 3 wobblers – each wobbler covering 50m<sup>2</sup> – 75m<sup>2</sup>

DRAWINGS NOT TO SCALE

# SITE LOCALITY PLAN

LOT 192 CEDAR ROAD, COW BAY

APPROXIMATE NORTHERN BOUNDARY LINE / CEDAR ROAD



ADVANCED SECONDARY TREATMENT PLANT

PROPOSED POOL -  
MAINTAIN SEPARATION DISTANCES

SPRAY IRRIGATION OR UNDER MULCH AREA

RESERVE AREA

### LAND APPLICATION AREA

10 m X 15 m = 150 m<sup>2</sup>

### METHOD

SPRAY IRRIGATION  
MINIMUM OF 3 x WOBBLERS

**DIRT PROFESSIONALS**  
**EMAIL: dirtprofessionals@bigpond.com**  
**Mobile: 0417 647 477**

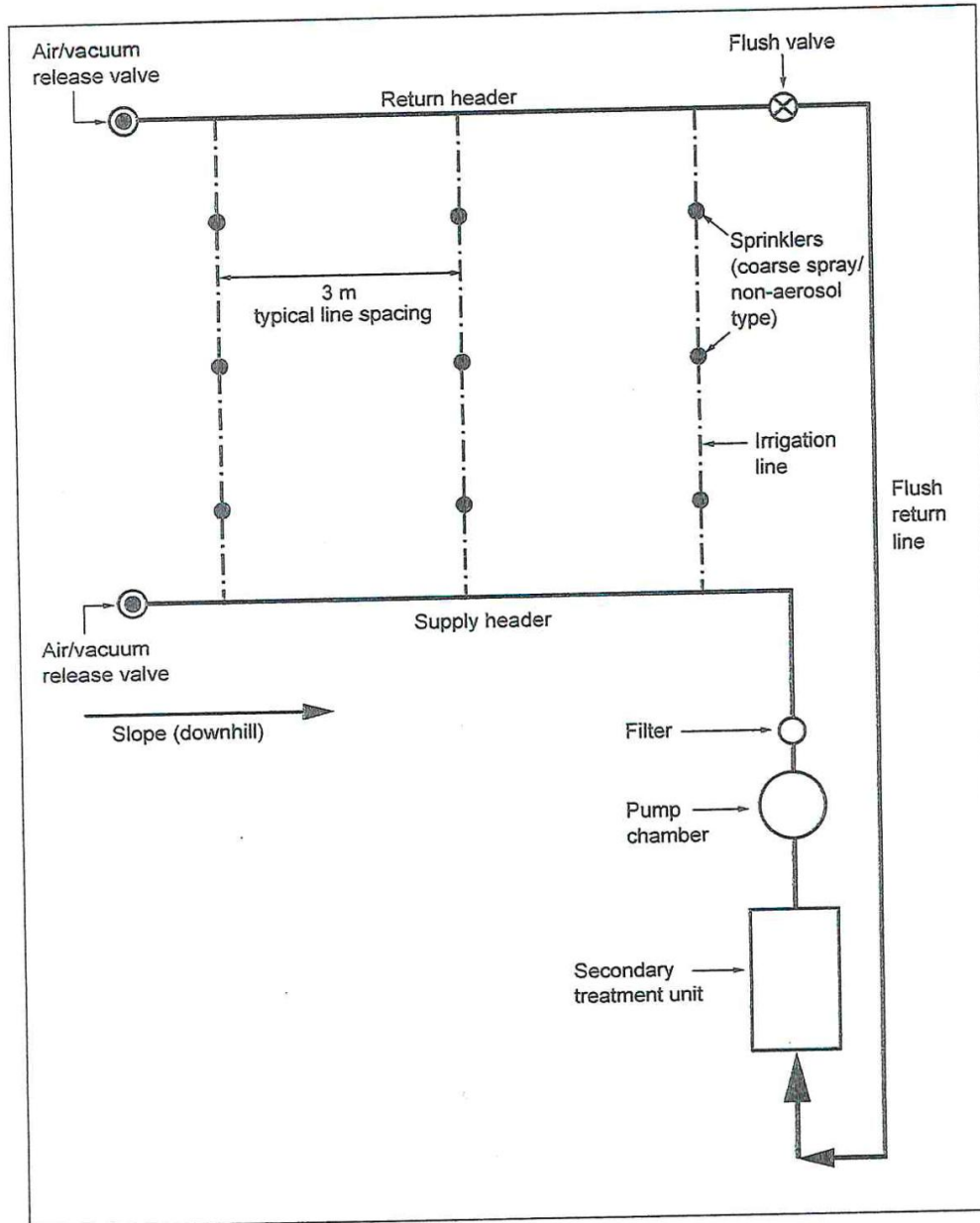
LOT 192 CDEAR ROAD, COW BAY

RECOMMENDATIONS

- Building levels and falls to the wastewater system will need to be calculated prior to construction.
- The homeowner will be responsible for maintaining the wastewater disposal area
- The designated wastewater disposal area shall not be used for purposes that compromise the effectiveness of the system or access for future maintenance purposes.
- The designated wastewater disposal area shall be used only for effluent application.
- The designated wastewater disposal area shall have boundaries clearly delineated by appropriate vegetation or other type of border.
- The wastewater disposal area shall have no run-off seepage of effluent beyond the designated area.
- There will be no ponding of water during seasonal rains around the advanced secondary treatment plant and wastewater disposal area. Diversion drains must be installed to divert runoff away from the system.
- All works shall be carried out by suitably qualified and licenced persons.

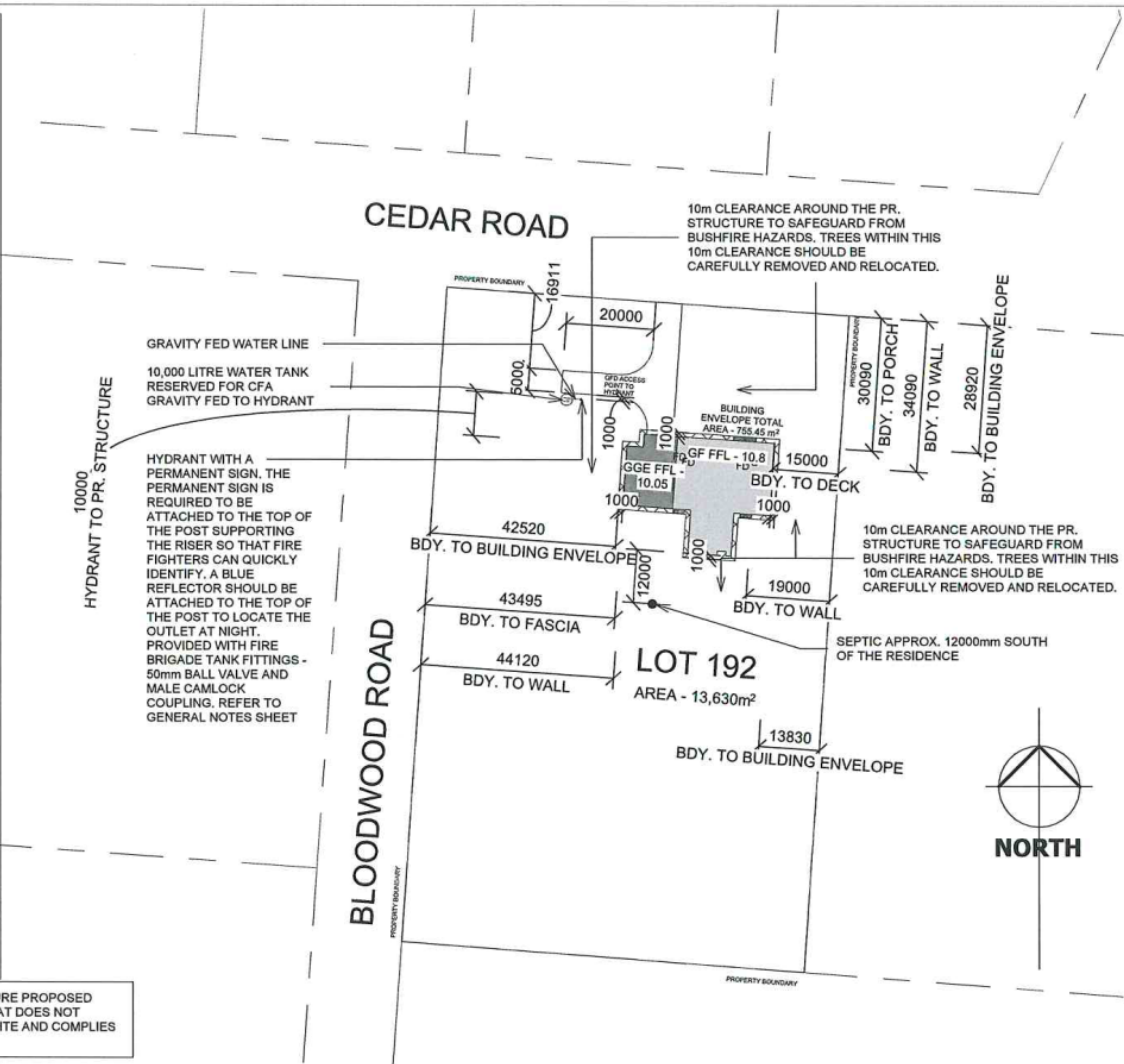
MINIMUM SETBACK DISTANCES FOR AN ADVANCED SECONDARY TREATMENT SYSTEM

SITE FEATURE	UP SLOPE	DOWN SLOPE	LEVEL
BORE, WELL, DAM, PERMANENT OR INTERMITTENT WATERCOURSE, LAKE, BAY, ESTUARY, OPEN STORMWATER DRAINAGE CHANNEL OR DRAIN	10m	10 m	10 m
PROPERTY BOUNDARIES, PEDESTRIAN PATHS, WALKWAYS, RECREATION AREAS, RETAINING WALL AND FOOTINGS FOR BUILDINGS AND OTHER STRUCTURES	2 m	4 m	2 m
INGROUND SWIMMING POOLS INGROUND POTABLE WATER TANKS	6 m	6 m	6 m



- LEGEND**
- PROPOSED GGE
  - PROPOSED STRUCTURE
  - BUILDING ENVELOPE
- TBC - TO BE CONFIRMED  
 C.O.S - CONFIRM ON SITE  
 EX - EXISTING  
 PR - PROPOSED  
 INT. - INTERNAL  
 EXT. - EXTERNAL  
 N.G.L. - NATURAL GROUND LEVEL  
 E.G.L. - EXISTING GROUND LEVEL  
 F.F.L. - FINISHED FLOOR LEVEL  
 FL - FLOOR  
 CL - CEILING  
 - APPROXIMATE  
 M - METERS  
 SQM/m<sup>2</sup> - SQUARE METRES  
 mm - MILLIMETRES  
 MIN. - MINIMUM  
 O-H - OVERHANG  
 O/H - OVERHEAD  
 MAX. - MAXIMUM  
 HT. - HEIGHT  
 U/S - UNDERSIDE  
 SPEC. - SPECIFICATIONS  
 MANF. - MANUFACTURERS  
 ENGR. - ENGINEERS  
 REQ'S - REQUIRES  
 B.C.A - BUILDING CODE OF AUSTRALIA  
 N.C.C - NATIONAL CONSTRUCTION CODE  
 A.S. - AUSTRALIAN STANDARDS  
 Q.D.C. - QUEENSLAND DEVELOPMENT CODE  
 RP - REGISTERED PLAN  
 BDY. - BOUNDARY  
 S.P.O.S - SECLUDED PRIVATE OPEN SPACE  
 DN - DOWN  
 SHW - SHOWER  
 W.C - WATER CLOSET  
 V.B - VANITY BASIN  
 D.W - DISHWASHER  
 W.M - WASHING MACHINE  
 TR. - TROUGH  
 DR. - DRYER  
 R.H - RANGEHOOD  
 M.W - MICROWAVE  
 W.O - WALL OVEN  
 U.B.O - UNDER BENCH OVEN  
 C.T - COOKTOP  
 W.I.R - WALK IN ROBE  
 CAB. - CABINET  
 WIN - WINDOW  
 SL - SLIDING WINDOW  
 CAS - CASEMENT WINDOW  
 B.F.W - BI-FOLD WINDOW  
 AW - AWNING WINDOW  
 F - FIXED WINDOW  
 FOF - FIXED / OPEN / FIXED WINDOW  
 OFO - OPEN / FIXED / OPEN WINDOW  
 DR. - DOORS  
 SLD - SLIDING DOOR  
 STRD - STACKER DOOR  
 B.F.D - BI-FOLD DOOR  
 C.S.D. - CAVITY SLIDING DOOR

IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE PROPOSED DEVELOPMENT IS LOCATED IN A POSITION THAT DOES NOT INTERFERE WITH THE INFRASTRUCTURE ON SITE AND COMPLIES WITH THE QDC MP1.4.



**R.P.D.**  
 LOT 192  
 192RP738148  
 LOT AREA 13,630m<sup>2</sup>  
 LOCAL AUTHORITY- DOUGLAS SHIRE COUNCIL

**DRAINAGE**  
 NEW SOIL & SULLAGE DRAINAGE TO COUNCIL SEWER IN ACCORDANCE WITH WATER SUPPLY & SEWERAGE ACT & AMENDMENTS. NEW STORMWATER DRAINAGE TO BE IN ACCORDANCE WITH A.S. 3500 & LOCAL AUTHORITY GUIDELINES & B.C.A. SPECIFICATIONS

**NOTES:**  
 ALL DRAINAGE TO COMPLY WITH B.C.A PART 3.1.2 DRAINAGE.  
 FALL FINISHED GROUND @1.20 FOR MIN. 1M AROUND PERIMETER OF FOUNDATIONS.

ALTERNATIVE METHODS OF SURFACE WATER CONTROL TO BE APPROVED BY PRIVATE CERTIFIER PRIOR TO INSTALLATION.

ALL EARTHWORKS TO BE IN ACCORDANCE WITH B.C.A. PART 3.1.1 OR ENGINEERS SPECIFICATION.

ALL LEVELS, HEIGHTS AND DIMENSIONS TO BE CONFIRMED PRIOR TO START OF ANY WORKS. DRIVEWAYS TO BE CONSTRUCTED IN ACCORDANCE WITH QDC NMP1.1, A.S. 2890 AND LOCAL AUTHORITY REQUIREMENTS.

**SURVEY & EXISTING SERVICES**  
 LEVELS SHOWN ARE TO ASSUME DATUM ORIGIN - TBM ON FOOTPATH RL 50.000  
 THE CONTRACTOR IS TO LOCATE ALL EXISTING SERVICES PRIOR TO ANY EXCAVATION PARTICULARLY ON THE FOOTPATH  
 ALL DAMAGE TO EXISTING SERVICES SHALL BE MADE GOOD TO THE SATISFACTION OF THE SUPERINTENDENT AND THE RELEVANT AUTHORITY AT THE CONTRACTORS EXPENSE  
 THE CONTRACTOR SHALL NOTIFY THE RELEVANT AUTHORITY IMMEDIATELY WHEN ANY DAMAGE OCCURS.

**ENVIRONMENTAL PROTECTION AND SEDIMENT EROSION CONTROL**  
 THE CONTRACTOR IS RESPONSIBLE WITHIN THE LIMITS IMPOSED BY THE WORKS, TO PROTECT AND PRESERVE THE NATURAL ENVIRONMENT AND AVOID POLLUTION  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INCORPORATION OF APPROPRIATE CONTROL MEASURES CONFORMING WITH THE REQUIREMENTS OF THE CARNS CITY COUNCIL INCLUDING HYDROMULCHING BARE EARTH AREAS AS SOON AS POSSIBLE ( IF DIRECTED)

Notes: BUILDER TO CONFIRM ALL MEASUREMENTS ON SITE BEFORE COMMENCING WORKS OR ORDERING PRODUCTS  
 Copy Right - THESE DRAWINGS AND THE INFORMATION CONTAINED HEREIN REMAIN THE PROPERTY OF "SPEEDY GOMEZ DESIGN". ARE NOT TO BE COPIED OR REPRODUCED IN PART OR FULL WITHOUT WRITTEN CONSENT

**Proposed Residence**  
 192 Cedar Road, Cow Bay, QLD

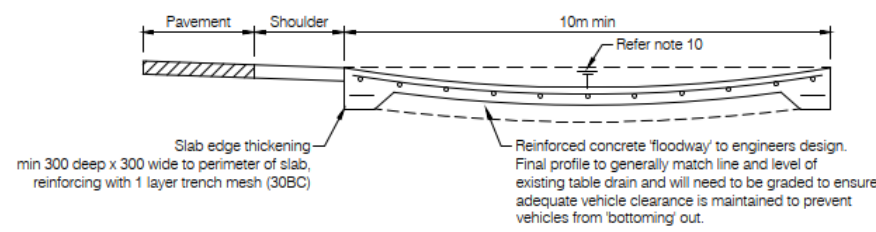
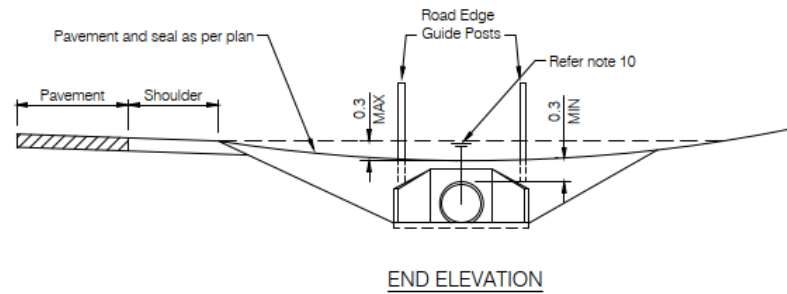
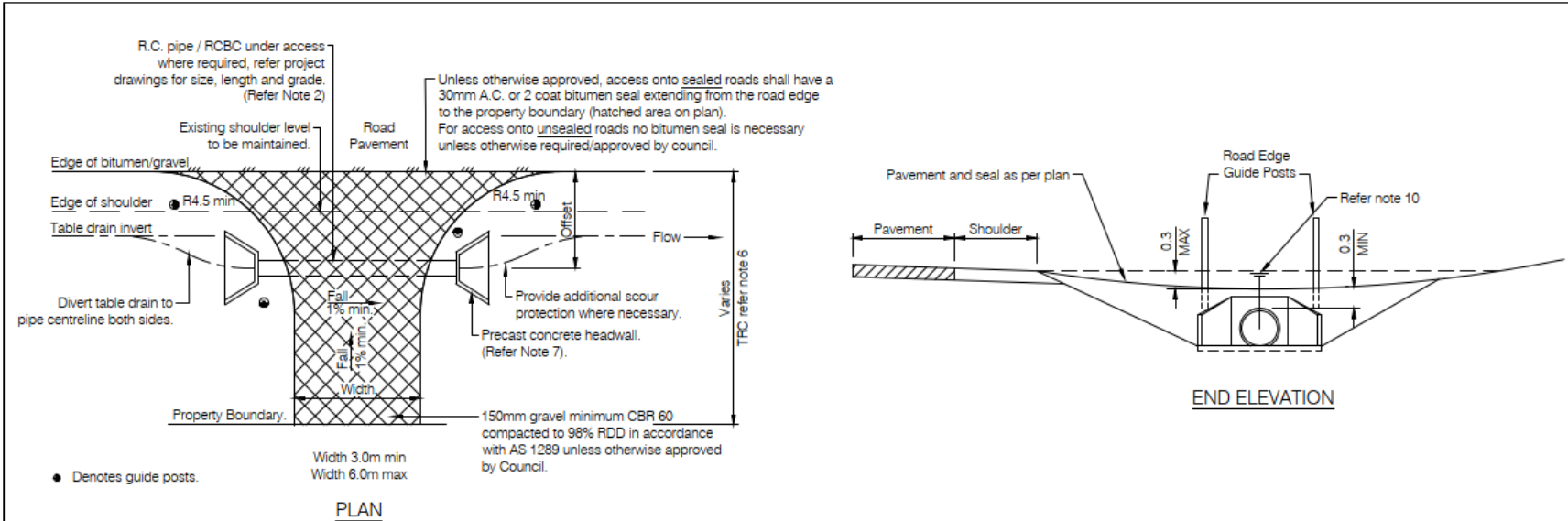
Revision:	Site Plan	Sheet: A004 of 15
	Drawing No. A004	Status: Concept
	Drawn: Cinda Gomez-Franklin QBCC 15152829 DP-AD 31450	Date: 28/02/26
		Ref: GGF-131
		Size: A3

Speedy Gomez  
 Building Design  
 M:0415 170 642  
 E:cinda@speedygomez.com.au

1 Site Proposed  
 1 : 1000



# FNQROC Regional Development Manual Standard Drawing/s for Vehicle Access



## NOTES

1. Minimum length of culvert shall be 4.8m for single access, 7.2m for double access.
2. Minimum pipe size shall be Ø375. Minimum RCBC to be 300mm high.
3. Minimum RC pipe / RCBC gradient shall be 1:100.
4. Where cover to RC pipes is less than 260mm pipe shall have 100mm concrete encasement or bridging slab per S1015.
5. Drainage from access must not flow over the through road. All stormwater runoff shall be directed to the table drain.
6. Maximum 10 metres from edge of bitumen seal or where grade is steeper than 6% the bitumen seal shall extend from the road edge to the property boundary unless otherwise approved.
7. Precast sloping headwalls shall be used when :
  - a) the through road has a signposted speed of 80km/hr or greater.
  - b) the through road has a signposted speed of 60km/hr and the offset distance from the traffic lane to the culvert is less than 4.5m.
8. Concrete shall be grade N32 minimum in accordance with AS 1379 and AS 3600.
9. All dimensions are in millimetres.
10. Hydraulic capacity of pipe and access to match the capacity of the table drain. This may require the use of multiple pipes.
11. Minimum sight distances at accesses should comply with "Sight Distance at Property Entrances" Austroads Guide to Road Design Part 4A: Unsignalised and Signalised Intersections.
12. In instances where the detail/s shown on this drawing cannot be achieved due to existing constraints, Council shall be contacted to achieve an acceptable alternative.

REVISIONS	DATE
G MINOR AMENDMENT TO NOTES	05/12/23
F MINOR AMENDMENTS	27/08/20

**DISCLAIMER**

The authors and sponsoring organizations shall have no liability or responsibility to the user or any other person or entity with respect to any liability, loss or damage caused or alleged to be caused, directly or indirectly, by the adoption and use of these Standard Drawings including, but not limited to, any interruption of service, loss of business or anticipatory profits, or consequential damages resulting from the use of these Standard Drawings. Persons must not rely on these Standard Drawings as the equivalent of, or a substitute for, project-specific design and assessment by an appropriately qualified professional.



RURAL ALLOTMENT ACCESSSES

Standard Drawing  
S1105

F	G		
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## Reasons for Decision

1. The reasons for this decision are:
  - a. Sections 60, 62 and 63 of the *Planning Act 2016*;
  - b. to ensure the development satisfies the benchmarks of the 2018 Douglas Shire Planning Scheme Version 1.0; and
  - c. to ensure compliance with the *Planning Act 2016*.
2. Findings on material questions of fact:
  - a. the development application was properly lodged to the Douglas Shire Council 29 January 2026 under section 51 of the *Planning Act 2016* and Part 1 of the *Development Assessment Rules*;
  - b. the development application contained information from the applicant which Council reviewed together with Council's own assessment against the 2017 State Planning Policy and the 2018 Douglas Shire Planning Scheme Version 1.0 in making its assessment manager decision.
3. Evidence or other material on which findings were based:
  - a. the development triggered assessable development under the Assessment Table associated with the Conservation Zone Code;
  - b. Council undertook an assessment in accordance with the provisions of sections 60, 62 and 63 of the *Planning Act 2016*; and
  - c. the applicant's reasons have been considered and the following findings are made:
    - i. Subject to conditions, the development satisfactorily meets the Planning Scheme benchmarks.

## Non-Compliance with Assessment Benchmarks

None. Through the conditions of the approval the development complies with the planning scheme and no concerns are raised.

## Extracts from the Planning Act 2016 - Making Representations During Applicant's Appeal Period

Planning Act 2016  
Chapter 3 Development assessment

[s 74]

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*relevant preliminary approval* means a preliminary approval given under the old Act by an entity other than a private certifier.

### Division 2 Changing development approvals

#### Subdivision 1 Changes during appeal period

##### 74 What this subdivision is about

- (1) This subdivision is about changing a development approval before the applicant's appeal period for the approval ends.
- (2) This subdivision also applies to an approval of a change application, other than a change application for a minor change to a development approval.
- (3) For subsection (2), sections 75 and 76 apply—
  - (a) as if a reference in section 75 to a development approval were a reference to an approval of a change application; and
  - (b) as if a reference in the sections to the assessment manager were a reference to the responsible entity; and
  - (c) as if a reference in section 76 to a development application were a reference to a change application; and
  - (d) as if the reference in section 76(3)(b) to section 63(2) and (3) were a reference to section 83(4); and
  - (e) with any other necessary changes.

##### 75 Making change representations

- (1) The applicant may make representations (*change representations*) to the assessment manager, during the applicant's appeal period for the development approval, about changing—

- 
- (a) a matter in the development approval, other than—
    - (i) a matter stated because of a referral agency's response; or
    - (ii) a development condition imposed under a direction given by the Minister under part 6, division 2; or
    - (iii) a development condition imposed under a direction given by the chief executive under section 106ZF(2); or
  - (b) if the development approval is a deemed approval—the standard conditions taken to be included in the deemed approval under section 64(8)(d).
- (2) If the applicant needs more time to make the change representations, the applicant may, during the applicant's appeal period for the approval, suspend the appeal period by a notice given to the assessment manager.
  - (3) Only 1 notice may be given.
  - (4) If a notice is given, the appeal period is suspended—
    - (a) if the change representations are not made within a period of 20 business days after the notice is given to the assessment manager—until the end of that period; or
    - (b) if the change representations are made within 20 business days after the notice is given to the assessment manager, until—
      - (i) the applicant withdraws the notice, by giving another notice to the assessment manager; or
      - (ii) the assessment manager gives the applicant the decision notice for the change representations; or
      - (iii) the end of 20 business days after the change representations are made, or a longer period agreed in writing between the applicant and the assessment manager.
  - (5) If the applicant makes the change representations during the appeal period without giving a notice under subsection (2),

the appeal period is suspended from the day the representations are made until—

- (a) the applicant withdraws the change representations by notice given to the assessment manager; or
  - (b) the assessment manager gives the applicant the decision notice for the change representations; or
  - (c) the end of 20 business days after the change representations are made, or a longer period agreed in writing between the applicant and the assessment manager.
- (6) Despite subsections (4) and (5), if the decision notice mentioned in subsection (4)(b)(ii) or (5)(b) is a negotiated decision notice, the appeal period starts again on the day after the negotiated decision notice is given.

## **76 Deciding change representations**

- (1) The assessment manager must assess the change representations against and having regard to the matters that must be considered when assessing a development application, to the extent those matters are relevant.

*Note—*

For change representations for a development approval for development requiring social impact assessment, see also section 106ZI.

- (2) The assessment manager must, within 5 business days after deciding the change representations, give a decision notice to—
- (a) the applicant; and
  - (b) if the assessment manager agrees with any of the change representations—
    - (i) each principal submitter; and
    - (ii) each referral agency; and
    - (iii) if the assessment manager is not a local government and the development is in a local

- 
- government area—the relevant local government;  
and
- (iv) if the assessment manager is a chosen assessment manager—the prescribed assessment manager; and
  - (v) another person prescribed by regulation.
- (3) A decision notice (a *negotiated decision notice*) that states the assessment manager agrees with a change representation must—
- (a) state the nature of the change agreed to; and
  - (b) comply with section 63(2) and (3).
- (4) A negotiated decision notice replaces the decision notice for the development application.
- (5) Only 1 negotiated decision notice may be given.
- (6) If a negotiated decision notice is given to an applicant, a local government may give a replacement infrastructure charges notice to the applicant.

## Subdivision 2 Changes after appeal period

### 77 What this subdivision is about

This subdivision is about changing a development approval, other than the currency period, after all appeal periods in relation to the approval end.

### 78 Making change application

- (1) A person may make an application (a *change application*) to change a development approval.

*Note—*

For the making of a change application for a development approval that was a PDA development approval, see also the *Economic Development Act 2012*, sections 51AM, 51AN and 51AO.

## Extracts from the Planning Act 2016 – Appeal Rights

Planning Act 2016  
Chapter 6 Dispute resolution

[s 229]

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(2) The person is taken to have engaged in the representative's conduct, unless the person proves the person could not have prevented the conduct by exercising reasonable diligence.

(3) In this section—

*conduct* means an act or omission.

*representative* means—

- (a) of a corporation—an executive officer, employee or agent of the corporation; or
- (b) of an individual—an employee or agent of the individual.

*state of mind*, of a person, includes the person's—

- (a) knowledge, intention, opinion, belief or purpose; and
- (b) reasons for the intention, opinion, belief or purpose.

## Chapter 6 Dispute resolution

### Part 1 Appeal rights

#### 229 Appeals to tribunal or P&E Court

(1) Schedule 1 states—

(a) matters that may be appealed to—

- (i) either a tribunal or the P&E Court; or
- (ii) only a tribunal; or
- (iii) only the P&E Court; and

(b) the person—

- (i) who may appeal a matter (the *appellant*); and
- (ii) who is a respondent in an appeal of the matter; and

- (iii) who is a co-respondent in an appeal of the matter;  
and
- (iv) who may elect to be a co-respondent in an appeal  
of the matter.

*Note—*

For limitations on appeal rights in relation to a development approval  
for development requiring social impact assessment, see section 106ZJ.

- (2) An appellant may start an appeal within the appeal period.
- (3) The ***appeal period*** is—
  - (a) for an appeal by a building advisory agency—10  
business days after a decision notice for the decision is  
given to the agency; or
  - (b) for an appeal against a deemed refusal—at any time  
after the deemed refusal happens; or
  - (c) for an appeal against a decision of the Minister, under  
chapter 7, part 4, to register premises or to renew the  
registration of premises—20 business days after a notice  
is published under section 269(3)(a) or (4); or
  - (d) for an appeal against a decision of the Minister, under  
chapter 7, part 4, to amend the registration of premises  
to include additional land in the affected area for the  
premises—20 business days after the day a notice is  
published under section 269A(2)(a); or
  - (e) for an appeal against an infrastructure charges  
notice—20 business days after the infrastructure charges  
notice is given to the person; or
  - (f) for an appeal about a deemed approval of a development  
application for which a decision notice has not been  
given—30 business days after the applicant gives the  
deemed approval notice to the assessment manager; or
  - (g) for an appeal relating to the *Plumbing and Drainage Act  
2018*—
    - (i) for an appeal against an enforcement notice given  
because of a belief mentioned in the *Plumbing and*

*Drainage Act 2018*, section 143(2)(a)(i), (b) or (c)—5 business days after the day the notice is given; or

- (ii) for an appeal against a decision of a local government or an inspector to give an action notice under the *Plumbing and Drainage Act 2018*—5 business days after the notice is given; or
  - (iii) for an appeal against a failure to make a decision about an application or other matter under the *Plumbing and Drainage Act 2018*—at anytime after the period within which the application or matter was required to be decided ends; or
  - (iv) otherwise—20 business days after the day the notice is given; or
- (h) for any other appeal—20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.

*Note—*

See the P&E Court Act for the court's power to extend the appeal period.

- (4) Each respondent and co-respondent for an appeal may be heard in the appeal.
- (5) If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.
- (6) To remove any doubt, it is declared that an appeal against an infrastructure charges notice must not be about—
  - (a) the adopted charge itself; or
  - (b) for a decision about an offset or refund—
    - (i) the establishment cost of trunk infrastructure identified in a LGIP; or
    - (ii) the cost of infrastructure decided using the method included in the local government's charges resolution.

## 230 Notice of appeal

- (1) An appellant starts an appeal by lodging, with the registrar of the tribunal or P&E Court, a notice of appeal that—
  - (a) is in the approved form; and
  - (b) succinctly states the grounds of the appeal.
- (2) The notice of appeal must be accompanied by the required fee.
- (3) The appellant or, for an appeal to a tribunal, the registrar, must, within the service period, give a copy of the notice of appeal to—
  - (a) the respondent for the appeal; and
  - (b) each co-respondent for the appeal; and
  - (c) for an appeal about a development application under schedule 1, section 1, table 1, item 1—each principal submitter for the application whose submission has not been withdrawn; and
  - (d) for an appeal about a change application under schedule 1, section 1, table 1, item 2—each principal submitter for the application whose submission has not been withdrawn; and
  - (e) each person who may elect to be a co-respondent for the appeal other than an eligible submitter for a development application or change application the subject of the appeal; and
  - (f) for an appeal to the P&E Court—the chief executive; and
  - (g) for an appeal to a tribunal under another Act—any other person who the registrar considers appropriate.
- (4) The *service period* is—
  - (a) if a submitter or advice agency started the appeal in the P&E Court—2 business days after the appeal is started; or
  - (b) otherwise—10 business days after the appeal is started.

- (5) A notice of appeal given to a person who may elect to be a co-respondent must state the effect of subsection (6).
- (6) A person elects to be a co-respondent to an appeal by filing a notice of election in the approved form—
  - (a) if a copy of the notice of appeal is given to the person—within 10 business days after the copy is given to the person; or
  - (b) otherwise—within 15 business days after the notice of appeal is lodged with the registrar of the tribunal or the P&E Court.
- (7) Despite any other Act or rules of court to the contrary, a copy of a notice of appeal may be given to the chief executive by emailing the copy to the chief executive at the email address stated on the department’s website for this purpose.

## 231 Non-appealable decisions and matters

- (1) Subject to this chapter, section 316(2), schedule 1 and the P&E Court Act, unless the Supreme Court decides a decision or other matter under this Act is affected by jurisdictional error, the decision or matter is non-appealable.
- (2) The *Judicial Review Act 1991*, part 5 applies to the decision or matter to the extent it is affected by jurisdictional error.
- (3) A person who, but for subsection (1) could have made an application under the *Judicial Review Act 1991* in relation to the decision or matter, may apply under part 4 of that Act for a statement of reasons in relation to the decision or matter.
- (4) In this section—

**decision** includes—

  - (a) conduct engaged in for the purpose of making a decision; and
  - (b) other conduct that relates to the making of a decision; and

- 
- (c) the making of a decision or the failure to make a decision; and
  - (d) a purported decision; and
  - (e) a deemed refusal.

**non-appealable**, for a decision or matter, means the decision or matter—

- (a) is final and conclusive; and
- (b) may not be challenged, appealed against, reviewed, quashed, set aside or called into question in any other way under the *Judicial Review Act 1991* or otherwise, whether by the Supreme Court, another court, any tribunal or another entity; and
- (c) is not subject to any declaratory, injunctive or other order of the Supreme Court, another court, any tribunal or another entity on any ground.

## 232 Rules of the P&E Court

- (1) A person who is appealing to the P&E Court must comply with the rules of the court that apply to the appeal.
- (2) However, the P&E Court may hear and decide an appeal even if the person has not complied with rules of the P&E Court.

## Part 2 Development tribunal

### Division 1 General

#### 233 Appointment of referees

- (1) The Minister, or chief executive, (the **appointer**) may appoint a person to be a referee, by an appointment notice, if the appointer considers the person—