

YOUR REF:

OUR REF: ROL1642/2016 (788277)

15 September 2016

V J Reynolds & C J Reynolds
MS 1880
2247 Mossman Daintree Road
LOWER DAINTREE QLD 4873

Attention:

Dear Sir/Madam

**DECISION NOTICE UNDER S 335 SUSTAINABLE PLANNING ACT 2009:
DEVELOPMENT APPLICATION FOR LOT RECONFIGURATION (BOUNDARY
REALIGNMENT) 2247R & 2249R MOSSMAN-DAINTREE ROAD
LOWER DAINTREE**

With reference to the abovementioned Development Application, which was determined under Instrument of Delegation on 15 September 2016, please find attached the relevant Decision Notice.

The Notice includes extracts from the Act with respect to making representations about conditions, negotiated decisions, suspension of the appeal period, and lodging an Appeal.

Should you have any enquiries in relation to this Decision Notice, please contact Simon Clarke of Development Assessment and Coordination on telephone number 07 4099 9444.

Yours faithfully

Paul Hoye | Manager
Sustainable Communities | Douglas Shire Council
Att

APPLICANT DETAILS

V J Reynolds & C J Reynolds
MS 1880
2247 Mossman Daintree Road
Lower Daintree

ADDRESS

2247R & 2249R Mossman-Daintree Road, Lower Daintree

REAL PROPERTY DESCRIPTION

Lot 250 & 249 on SP138588

PROPOSAL

Lot Reconfiguration (Boundary realignment)

DECISION

Approved subject to conditions (refer to approval package below).

DECISION DATE

15 September 2016

TYPE

Reconfiguration of a Lot (Development Permit)

REFERRAL AGENCIES

None Applicable

SUBMISSIONS

There were no submissions for this application.

FURTHER DEVELOPMENT PERMITS REQUIRED

Compliance Assessment (Certificate for Plan of Subdivision)

CODES TO COMPLY WITH FOR SELF-ASSESSABLE DEVELOPMENT

None

DOES THE ASSESSMENT MANAGER CONSIDER THE APPLICATION TO BE IN CONFLICT WITH APPLICABLE CODES, PLANNING SCHEME, STATE PLANNING POLICIES OR PRIORITY INFRASTRUCTURE PLAN (IF YES, INCLUDE STATEMENT OF REASONS)

Not in conflict

APPROVED DRAWING(S) AND/OR DOCUMENT(S)

| Drawing or Document | Reference | Date |
|--|----------------|-------------------------|
| Boundary Realignment Application between Lots 249 and lot 250 (GPS Points) | C & V Reynolds | Received 24 August 2016 |

Assessment Manager Conditions

1. Carry out the approved development generally in accordance with the approved drawing(s) and/or document(s), and in accordance with:-
 - a. The specifications, facts and circumstances as set out in the application submitted to Council;
 - b. The following conditions of approval and the requirements of Council's Planning Scheme and the FNQROC Development Manual.

Except where modified by these conditions of approval.

Timing of Effect

2. The conditions of the Development Permit must be effected prior to the issue of a Compliance Certificate for the Plan of Survey, except where specified otherwise in these conditions of approval.

FURTHER ADVICE

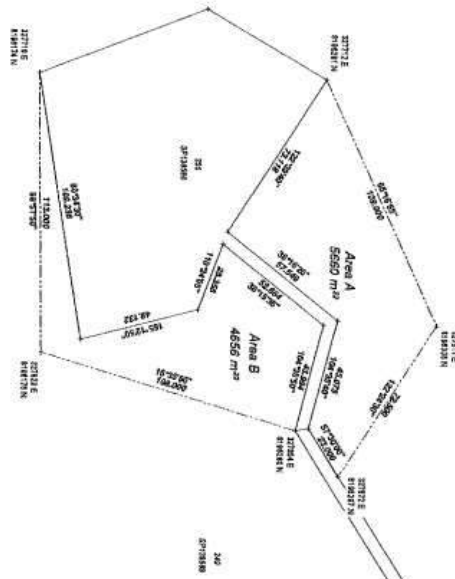
1. This approval, granted under the provisions of the *Sustainable Planning Act 2009*, shall lapse two (2) years from the day the approval takes effect in accordance with the provisions of section 339 and section 341 of the *Sustainable Planning Act 2009*.
2. All building site managers must take all action necessary to ensure building materials and / or machinery on construction sites are secured immediately following the first cyclone watch and that relevant emergency telephone contacts are provided to Council officers, prior to commencement of works.
3. This approval does not negate the requirement for compliance with all other relevant Local Laws and other statutory requirements.
4. For information relating to the *Sustainable Planning Act 2009* log on to www.dilgp.qld.gov.au . To access the *FNQROC Development Manual*, Local Laws and other applicable Policies log on to www.douglas.qld.gov.au .

RIGHTS OF APPEAL - Attached

End of Decision Notice

APPENDIX 1: APPROVED DRAWING(S) & DOCUMENT(S)

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GPS Points