

YOUR REF:

OUR REF: MCUC1694/2016 (792267)

17 October 2016

B Henschke & P M Henschke
PO Box 236
Port Douglas QLD 4873

Dear Sir/Madam

**DECISION NOTICE UNDER S 335 SUSTAINABLE PLANNING ACT 2009:
DEVELOPMENT APPLICATION FOR MOWBRAY RIVER ROAD MOWBRAY**

With reference to the abovementioned Development Application, which was determined under Instrument of Delegation on 17 October 2016, please find attached the relevant Decision Notice.

The Notice includes extracts from the Act with respect to making representations about conditions, negotiated decisions, suspension of the appeal period, and lodging an Appeal.

Should you have any enquiries in relation to this Decision Notice, please contact Simon Clarke of Development Assessment and Coordination on telephone number 07 4099 9480.

Yours faithfully

Paul Hoye | Manager Sustainable Communities
Douglas Shire Council
Att

APPLICANT DETAILS

B Henschke & P M Henschke
PO Box 236
Port Douglas QLD 4873

ADDRESS

Mowbray River Road, Mowbray

REAL PROPERTY DESCRIPTION

Lot 29 on C157161

PROPOSAL

House

DECISION

Approved subject to conditions (refer to approval package below).

DECISION DATE

17 October 2016

TYPE

Material Change of Use (Development Permit)

REFERRAL AGENCIES

None Applicable

SUBMISSIONS

There were no submissions for this application.

FURTHER DEVELOPMENT PERMITS REQUIRED

Development Permit for Building Works

CODES TO COMPLY WITH FOR SELF-ASSESSABLE DEVELOPMENT

None

DOES THE ASSESSMENT MANAGER CONSIDER THE APPLICATION TO BE IN CONFLICT WITH APPLICABLE CODES, PLANNING SCHEME, STATE PLANNING POLICIES OR PRIORITY INFRASTRUCTURE PLAN (IF YES, INCLUDE STATEMENT OF REASONS)

Not in conflict

APPROVED DRAWING(S) AND/OR DOCUMENT(S)

The term 'approved drawing(s) and/or document(s)' or other similar expression means:

Drawing or Document	Reference	Date
Overall Site Plan	PROJ.No: Ch 464 Drawing No 2 of 13	October 2016
Floor Plan	PROJ.No: Ch 464 Drawing No 4 of 13	October 2016
Elevations	PROJ.No: Ch 464 Drawing No 6 of 13	October 2016

ASSESSMENT MANAGER CONDITIONS

1. Carry out the approved development generally in accordance with the approved drawing(s) and/or document(s), and in accordance with:
 - a. The specifications, facts and circumstances as set out in the application submitted to Council, including recommendations and findings confirmed within technical reports; and
 - b. The following conditions of approval and the requirements of Council's Planning Scheme and the *FNQROC Development Manual*.

Except where modified by these conditions of approval.

Timing of Effect

2. The conditions of the Development Permit must be satisfied prior to Commencement of Use, except where specified otherwise in these conditions of approval.

Lawful Point of Discharge

3. The flow of all external stormwater from the property must be directed to a lawful point of discharge such that it does not adversely affect surrounding properties or properties downstream from the development.

On-Site Effluent Disposal

4. The method of on-site effluent disposal must be in accordance with the Queensland Plumbing & Wastewater Code. Details of the wastewater treatment system to be installed must be approved by the Chief Executive Officer prior to the issue of a Development Permit for Building Work. The recommendations contained in the On-Site Sewage Disposal Assessment Report dated May 2016 prepared by Earth Test are considered to satisfy this condition requirement.

Damage to Council Infrastructure

5. In the event that any part of Council's existing water or road infrastructure is damaged as a result of construction activities occurring on the site, including, but not limited to, mobilisation of heavy construction equipment, stripping and grubbing, the applicant/owner must notify Council immediately of the affected infrastructure and have it repaired or replaced at the developer's/owner's/builder's cost, prior to the Commencement of Use.

Landscaping

6. Landscaping utilises predominantly native species and complies with the requirements of Planning Scheme Policy No 7 – Landscaping with particular emphasis on appropriate species for this locality. A minimum of 60% of the total proposed species are endemic or native species.

Building Colours

7. The exterior finishes and colours of Buildings are non-reflective and blend with the natural colours of the surrounding environment. Roofs and structures (including water tanks) must be of moderately dark to darker shades of green, grey, blue and brown.

The above requirements must be made known in writing to all prospective purchasers.

Sediment and Erosion Control

8. Soil and water management measures must be installed/implemented prior to discharge of water from the site, such that no external stormwater flow from the site adversely affects surrounding or downstream properties (in accordance with the requirements of the *Environmental Protection Act 1994*, and the *FNQROC Development Manual*).

Weed Management

9. The site is known to contain invasive and / or declared weed species. All works must be undertaken in a manner which does not spread these species off site. Vehicles and machinery are to be washed down effectively before leaving the site. Identified weed species must be eradicated from the site over time. For assistance with eradication methods visit the Queensland Biosecurity website on www.daf.qld.gov.au.

External Works

10. Any proposed concrete crossover and apron are to be designed and constructed in accordance with *FNQROC Development Manual Standard Drawing S1105*. A copy is attached at Appendix 2.

The crossover must not impact on stormwater flows in minor and major flow events.

DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009

ADVICE

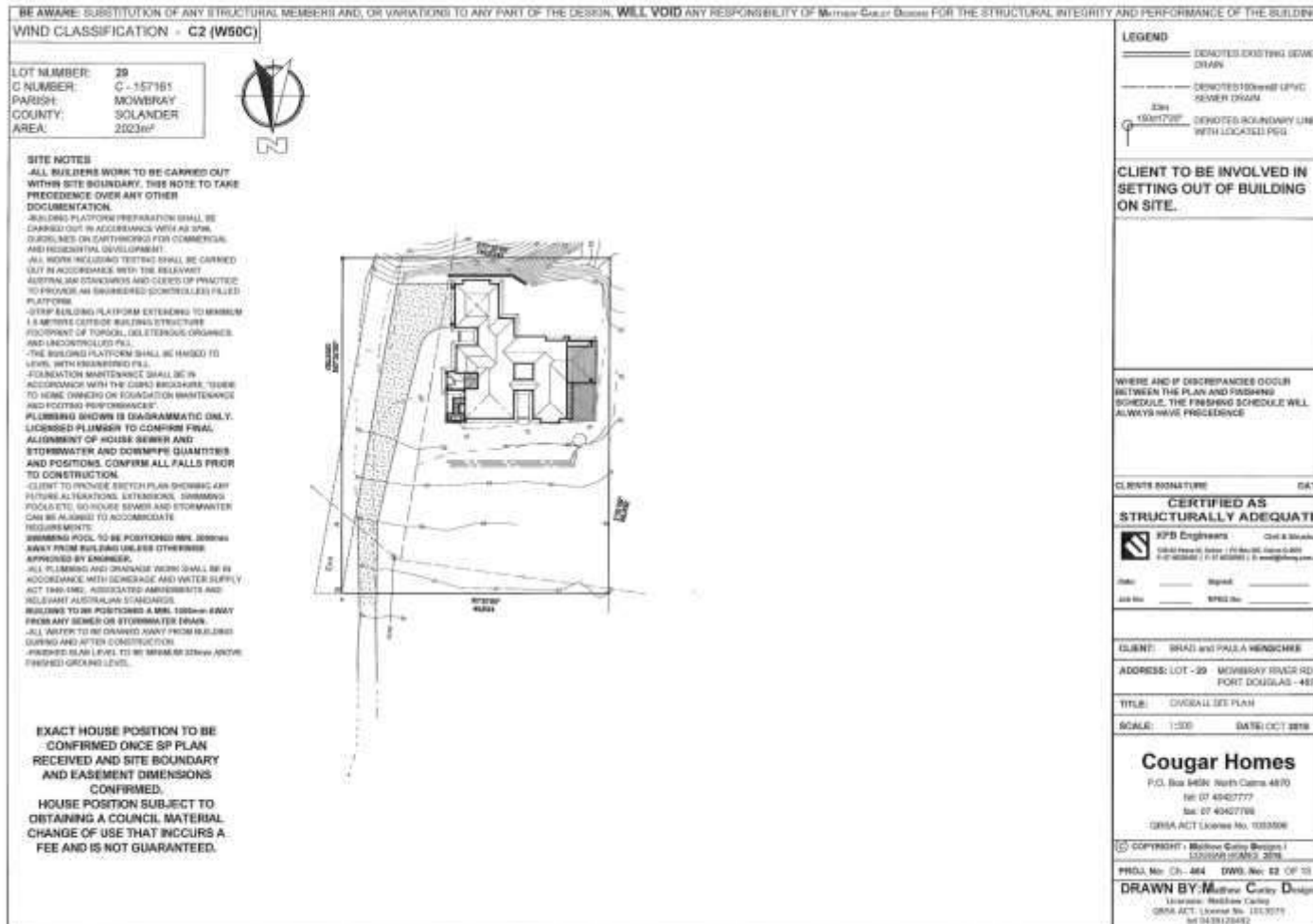
1. This approval, granted under the provisions of the *Sustainable Planning Act 2009*, shall lapse four (4) years from the day the approval takes effect in accordance with the provisions of the *Sustainable Planning Act 2009*.
2. The applicant/owner is advised that this approval does not approve the construction of the building work. A Development Permit for Building Work must be obtained in order for construction to commence.
3. All building site managers must take all action necessary to ensure building materials and / or machinery on construction sites are secured immediately following the first cyclone watch and that relevant emergency telephone contacts are provided to Council officers, prior to commencement of works.
4. This approval does not negate the requirement for compliance with all other relevant Local Laws and other statutory requirements.
5. For information relating to the *Sustainable Planning Act 2009* log on to www.dilgp.qld.gov.au . To access the *FNQROC Development Manual*, Local Laws and other applicable Policies log on to www.douglas.qld.gov.au .

RIGHTS OF APPEAL

Attached

End of Decision Notice

Appendix 1 : Approved Drawing(s) and Document(s)



BE AWARE SUBSTITUTION OF ANY STRUCTURAL MEMBERS AND/OR VARIATIONS TO ANY PART OF THE DESIGN, WILL VOID ANY RESPONSIBILITY OF Matthew Carley Designs FOR THE STRUCTURAL INTEGRITY AND PERFORMANCE OF THE BUILDING

WIND CLASSIFICATION - C2 (W50C)

- KEY**
- DENOTES 200 SERIES CMU WALL EXTERNALLY
 - DENOTES 100 SERIES CMU WALL INTERNALLY
 - DENOTES 100mm THICK STAIR INTERNAL WALL FULL HEIGHT
 - Ⓢ DENOTES SMOKE DETECTOR
 - HW DENOTES HOT WATER SYSTEM
 - LD DENOTES LOADBEP. POSITION
 - EXT DENOTES EXTERNAL TAP POSITION
 - TR DENOTES TONGUE AND GROOVE
 - TS DENOTES TOILET ROLL HOLDER
 - DO DENOTES DOOR TO OPEN FIRST
 - DO DENOTES DOOR TO OPEN FIRST
 - DO DENOTES MATR. BOX POSITION
 - DO DENOTES TOP ROSE/ROSE
 - DO DENOTES SHOWER ROSE/ROSE POSITION
 - DO DENOTES SHOWER MIXER POSITION
 - CM DENOTES CEILING MOUNTED SHOWER ROSE
 - CM DENOTES CEILING MOUNTED SHOWER ROSE
 - ST DENOTES SMART TILE FLOOR WHITE
 - FR DENOTES FRIDGE SPACE
 - P DENOTES PANTRY
 - WM DENOTES WASHING MACHINE SPACE
 - MW DENOTES MICROWAVE SPACE
 - DW DENOTES DISH WASHER SPACE

- ENERGY EFFICIENCY**
- COMPLY WITH THE CURRENT MANDATORY SUSTAINABLE HOUSING MEASURES UNDER THE GUYANAN DEVELOPMENT CODE MP 4.1 INCLUDING:-
- 3 STAR RATED SHOWER ROSES AND TAPWARE TO KITCHEN SINKS, BATHROOM BASINS AND LAUNDRY TUBS.
 - 4 STAR RATED DUAL FLUSH TOILETS
 - ANY IRRIGATION SYSTEM USED MUST BE WATER EFFICIENT IN RELATION TO THE CODE.
 - ENERGY EFFICIENT LIGHTING TO BE UTILISED FOR 80% OF ALL LIGHT FITTINGS TO ILLUMINATE THE INTERNAL FLOOR SPACE.
 - INSTALLATION OF MIN. EER 2.9 FOR FAN COOLED AIR-CONDITIONERS.
 - ALL AIR-CONDITIONERS 3 STAR RATED.

CARPENTER NOTE

ALL DOORS TO HAVE FULL ARCHITRAVE BORDERS.

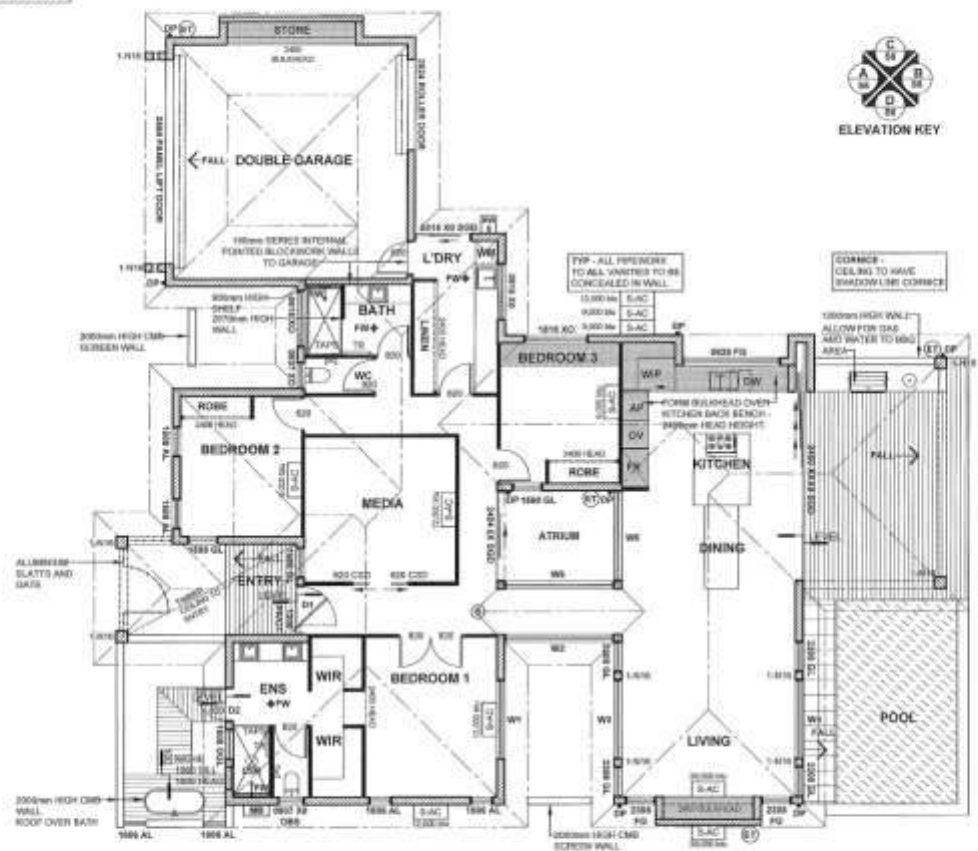
ALL INTERNAL DOORS TO BE 2000mm HIGH

FLOOR AREAS

GARAGE:	45.35m ²
PATIO:	26.12m ²
ENTRY:	13.07m ²
LIVING:	179.17m ²
TOTAL:	263.71m²

ADDITIONAL AREAS:

TIMBER DECKING UNROOFED:	2.89m ²
TIMBER DECKING TO ROOFED BATH AREA:	4.59m ²
ATRIUM:	0.90m ²



ELEVATION KEY

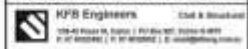
GENERAL NOTES

- DO NOT SCALE FROM THIS DRAWING - FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALED WORK.
- ANY DISCREPANCIES WHICH THE CONTRACTOR MAY FIND IN THIS DRAWING MUST BE BROUGHT TO THE ATTENTION OF MATTHEW CARLEY DESIGNS PRIOR TO COMMENCEMENT OF WORK.
- READ IN CONJUNCTION WITH DRAWING SHEET 04 FOR CONSTRUCTION NOTES.
- READ IN CONJUNCTION WITH DRAWING SHEET 05 FOR DETAILS OF UNTELS.

WHERE AND IF DISCREPANCIES OCCUR BETWEEN THE PLANS AND FINISHING SCHEDULE, THE FINISHING SCHEDULE WILL ALWAYS HAVE PRECEDENCE

CLIENT SIGNATURE DATE

CERTIFIED AS STRUCTURALLY ADEQUATE



Date: _____ Signed: _____
Job No: _____ PPS No: _____

CLIENT: BRAD and PAULA MENSCHKE

ADDRESS: LOT - 29 MCWARRAY NORTH RD
PORT DOUGLAS - 4637

TITLE: FLOOR PLAN

SCALE: 1:100 DATE: OCT 2016

Cougar Homes
P.O. Box 9459 North Cairns 4870
NE QT 48427777
Fax: QT 48427759
QBSA ACT License No: 1033048

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PROJ. No: Ch - 464 DWG. No: 06 OF 13

DRAWN BY: Matthew Carley
Licence: Matthew Carley
QBSA ACT - License No. 1012674
Tel: 0426512493

BE AWARE: SUBSTITUTION OF ANY STRUCTURAL MEMBERS AND/OR VARIATIONS TO ANY PART OF THE DESIGN, WILL VOID ANY RESPONSIBILITY OF Matthew Cobby Design FOR THE STRUCTURAL INTEGRITY AND PERFORMANCE OF THE BUILDING.
WIND CLASSIFICATION - C2 (W50C) | ROOF PITCH - 25° | ROOF OVERHANG - 600 U.N.O.



FRONT ELEVATION A SCALE 1:100

DOOR SCHEDULE
EXTERNAL
 01 2000x1000mm WIRE FEATURE PIVOT DOOR IN 2400mm HIGH x 1200mm WIDE FRAME
 02 2000x1000mm GLASS ALUMINIUM FRAMED DOOR IN 2400 STEEL FRAME

INTERNAL
 - INTERNAL DOORS TO BE 2000mm HIGH x 1000mm WIDE
 - ALL DOORS TO HAVE 18MM DOOR FRAMES
 - INC DOOR TO BE FITTED WITH LIFT-OFF HINGES

ELEVATION KEY
ROOF
 COLOURBOND ROOF IRON PINK IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
 COLOURBOND GUTTERS AND FASCIAE
WALLS
 RENDERED FINISHED WALLS
WINDOWS
 POWDERCOATED ALUMINIUM FRAMED SLIDING WINDOWS
DOORS
 POWDERCOATED ALUMINIUM FRAMED SLIDING DOORS
S-AC DENOTES SPLIT SYSTEM AIR CONDITIONING UNIT COMPRESSION POSITIONS
M0 DENOTES METER BOX POSITION



ELEVATION B SCALE 1:100

WINDOW SCHEDULE
 UNLESS OTHERWISE NOTED:
 - ALL DIMENSIONS TO BE 3/4 ROUND ON SITE PRIOR TO MANUFACTURE
 - ALL WINDOWS ARE LINED FROM THE OUTSIDE
 - GLAZING TO AS 1588-1984 CERTIFICATE TO BE SUPPLIED
 - ALL GLASS TO BE CLEAR GLASS UNLESS OTHERWISE NOTED
 - FRAMES POWDERCOATED ALUMINIUM
 - SAFETY GLASS TO ALL SLIDING GLASS WINDOWS AND DOORS

WHERE AND IF DISCREPANCIES OCCUR BETWEEN THE PLAN AND FINISHING SCHEDULE, THE FINISHING SCHEDULE WILL ALWAYS HAVE PRECEDENCE



ELEVATION C SCALE 1:100



ELEVATION D SCALE 1:100

CLIENT'S SIGNATURE _____ DATE _____
CERTIFIED AS STRUCTURALLY ADEQUATE
 **KFB Engineers** Civil & Structural
 128-82 Pines St, Cairns | P.O. Box 101, Cairns QLD 4870
 P: 07 40427777 | F: 07 40427777 | E: info@kfbengineers.com.au
 Date: _____ Sign-off: _____
 Job No: _____ Project No: _____

CLIENT: BRAD and PAULA HENSCHKE
ADDRESS: LOT - 29 MCOWBRAY RIVER RD PORT DOUGLAS - 4877
TITLE: ELEVATIONS
SCALE: 1:100 **DATE:** OCT 2016

Cougar Homes
 P.O. Box 9439 North Cairns 4870
 MC 07 40427777
 MC 07 40427708
 QBSA ACT License No. 1830396

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PROJ No: CH-404 **DRG No:** 05 OF 13
DRAWN BY: Matthew Cobby Design
 12000000, Mackay, QLD
 QBSA ACT License No. 1013175
 MC 0438120492

Appendix 2 : Standard Crossovers

**ALLOTMENT ACCESS
OFF SEALED ROAD**

**ALLOTMENT ACCESS
OFF UNSEALED ROAD**

NOTES

1. Minimum length of driveway shall be 4.5m for single access, 7.2m for double access.
2. Minimum drive slab shall be 150mm, minimum R20M to be 300mm R20M.
3. Minimum HC floor / FCBC gravel shall be 150mm.
4. Where drive to FCBC floor is less than 500mm slab shall have 100mm concrete surround.
5. Driveway from access must not flow over the through road. All accesses must be directed to the table drive.
6. Where grade is steeper than the minimum seal shall extend from the foot edge to the property boundary unless otherwise approved.
7. Precast concrete nosing shall be used when:
 - a. the through road has a dip posted speed of 60km/h or greater;
 - b. the through road has a dip posted speed of 40km/h and the other distance from the table curb to the curb is less than 4.5m;
 - c. concrete shall be grade NCB in accordance with AS 3179 and AS 3600.
 - d. All dimensions are in millimetres.

DISCLAIMER

The advice and drawings, specifications and drawings are made in good faith and are not intended to be a contract. It is the responsibility of the client to ensure that the drawings and specifications are suitable for the intended use and that they are in accordance with the relevant standards and codes of practice. The client shall be responsible for obtaining all necessary approvals and permits from the relevant authorities. The client shall be responsible for ensuring that the drawings and specifications are in accordance with the relevant standards and codes of practice. The client shall be responsible for ensuring that the drawings and specifications are in accordance with the relevant standards and codes of practice.

RURAL ALLOTMENT ACCESSSES

Standard Drawing
S1105

C. VARIATIONS WHICH AFFECT MEASUREMENTS	13/01/06				
B. NOTES AMENDED	18/01/05				
A. ORIGINAL ISSUE	13/03/04				
REVISIONS	DATE	BY	REASON	DRAWN	CHECKED