

**OUR REF:** MCUC2141/2017 (826747)

11 September 2017

J P Ward  
C/- GMA Certification Pty Ltd  
PO Box 831  
**PORT DOUGLAS QLD 4877**

Attention: Jeff Evans

Dear Sir

**DECISION NOTICE UNDER S 335 SUSTAINABLE PLANNING ACT 2009:  
DEVELOPMENT APPLICATION FOR 90-96 SOUTH ARM DRIVE  
WONGA BEACH**

With reference to the abovementioned Development Application, which was determined under Instrument of Delegation on 11 September 2017, please find attached the relevant Decision Notice.

The Notice includes extracts from the Act with respect to making representations about conditions, negotiated decisions, suspension of the appeal period, and lodging an Appeal.

Should you have any enquiries in relation to this Decision Notice, please contact Daniel Lamond of Development Assessment and Coordination on telephone number 07 4099 9456.

Yours faithfully

Tracey Crouch  
Acting Manager Sustainable Communities

Att

**APPLICANT DETAILS**

J P Ward  
C/- GMA Certification Pty Ltd  
PO Box 831  
PORT DOUGLAS QLD 4877

**ADDRESS**

90-96 South Arm Drive WONGA BEACH

**REAL PROPERTY DESCRIPTION**

Lot 8 on SP176447

**PROPOSAL**

House and Shed

**DECISION**

Approved subject to conditions (refer to approval package below).

**DECISION DATE**

11 September 2017

**TYPE**

Material Change of Use (Development Permit)

**REFERRAL AGENCIES**

None Applicable

**SUBMISSIONS**

There were no submissions for this application.

**FURTHER DEVELOPMENT PERMITS REQUIRED**

Development Permit for Building Works

**CODES TO COMPLY WITH FOR SELF-ASSESSABLE DEVELOPMENT**

None

**DOES THE ASSESSMENT MANAGER CONSIDER THE APPLICATION TO BE IN CONFLICT WITH APPLICABLE CODES, PLANNING SCHEME, STATE PLANNING POLICIES OR PRIORITY INFRASTRUCTURE PLAN (IF YES, INCLUDE STATEMENT OF REASONS)**

Not in conflict

**APPROVED DRAWING(S) AND/OR DOCUMENT(S)**

The term 'approved drawing(s) and/or document(s)' or other similar expression means:

Drawing or Document	Reference	Date
MILLIN 178	Plan prepared by NQ Homes	Plan prepared by NQ Homes
South Arm Drive (Site Plan)	Plan prepared by applicant	Submitted to Council 28 June 2017
Proposed Greg Jack Shed	Drawing Number 87527-53	18 July 2017

**ASSESSMENT MANAGER CONDITIONS:**

1. Carry out the approved development generally in accordance with the approved drawing(s) and/or document(s), and in accordance with:
  - a. The specifications, facts and circumstances as set out in the application submitted to Council, including recommendations and findings confirmed within technical reports; and
  - b. The following conditions of approval and the requirements of Council's Planning Scheme and the *FNQROC Development Manual*.

Except where modified by these conditions of approval.

**Timing of Effect**

2. The conditions of the Development Permit must be satisfied prior to Commencement of Use, except where specified otherwise in these conditions of approval.

**Lawful Point of Discharge**

3. The flow of all external stormwater from the property must be directed to a lawful point of discharge such that it does not adversely affect surrounding properties or properties downstream from the development.

**Water Supply**

4. Water storage tank(s) with a minimum capacity not less than 30 000 litres must be installed prior to occupation of the premises. Such water tank(s) must be provided with:
  - a. Mosquito-proof screens of brass, copper, aluminium or stainless steel gauze not coarser than one (1) mm aperture mesh of substantial construction and installed in such manner as not to cause or accelerate corrosion; or
  - b. Flap valve at every opening of the tank or other receptacle; or

- c. Other approved means for preventing the ingress or egress of mosquitoes; and
- d. Where a tank or other receptacle is provided with a manhole, the manhole must have a diameter of no more than 40 cm; and
- e. A 50 mm ball valve with a camlock fitting.

#### **On-Site Effluent Disposal**

- 5. The method of on-site effluent disposal must be in accordance with the Queensland Plumbing & Wastewater Code. Details of the wastewater treatment system to be installed must be approved by the Chief Executive Officer prior to the issue of a Development Permit for Building Work. The recommendations contained in the On-Site Sewage Disposal Assessment Report SI 205-17Report.doc dated 15 June 2017 prepared by *Earth Test* are considered to satisfy this condition requirement.

#### **Damage to Council Infrastructure**

- 6. In the event that any part of Council's existing road infrastructure is damaged as a result of construction activities occurring on the site, including, but not limited to, mobilisation of heavy construction equipment, stripping and grubbing, the applicant/owner must notify Council immediately of the affected infrastructure and have it repaired or replaced at the developer's/owner's/builder's cost, prior to the Commencement of Use.

#### **Vegetation Clearing**

- 7. Existing vegetation on the land must be retained in all areas except those affected by the construction of access driveways and/or the installation of services as detailed on the approved plans. Any further clearing requires a Permit for Operational Works.

#### **Landscaping**

- 8. Areas affected by building works must be landscaped generally in accordance with the approved plans. Plans must be submitted to Council for endorsement by the Chief Executive Officer prior to the issue of a development permit for building works. In particular;
  - a. Landscaping to obscure views of supporting structures;
  - c. Landscaping with screening qualities must be planted along the boundary adjoining Lot 9 on SP176447 to obscure views of neighbouring property;
  - d. Disturbed areas of land for the creation of driveways must be revegetated with native species found in the locality.

### **Building Colours**

9. The exterior finishes and colours of Buildings are non-reflective and blend with the natural colours of the surrounding environment. Roofs and structures (including water tanks) must be of moderately dark to darker shades of green, grey, blue and brown.

The following proposed building colours are approved for use:

Exterior Walls – Consistent with Colorbond Dune

Roof – Colorbond Woodland Grey

The above requirements must be made known in writing to all prospective purchasers.

### **Sediment and Erosion Control**

10. Soil and water management measures must be installed/implemented prior to discharge of water from the site, such that no external stormwater flow from the site adversely affects surrounding or downstream properties (in accordance with the requirements of the *Environmental Protection Act 1994*, and the *FNQROC Development Manual*).

### **External Works**

11. Undertake the following external works:
- a. Provide concrete crossover(s) and apron(s) in accordance with *FNQROC Development Manual Standard Drawing S1015 or S1105* for residential access. A copy is attached at Appendix 2.

### **Shed**

12. The use of the shed shall be for purposes ancillary to the residential use of the land. The shed remains a class 10a and is not habitable.

### **House**

13. The lot must not contain more than one (1) House and such House is to be occupied by one (1) Household.

### **ADVICE**

1. This approval, granted under the provisions of the *Sustainable Planning Act 2009*, shall lapse four (4) years from the day the approval takes effect in accordance with the provisions of section 339 and section 341 of the *Sustainable Planning Act 2009*.
2. The applicant/owner is advised that this approval does not approve the construction of the building work. A Development Permit for Building Work must be obtained in order for construction to commence.

**DECISION NOTICE DETAILS**  
**SUSTAINABLE PLANNING ACT 2009**

3. All building site managers must take all action necessary to ensure building materials and / or machinery on construction sites are secured immediately following the first cyclone watch and that relevant emergency telephone contacts are provided to Council officers, prior to commencement of works.
4. This approval does not negate the requirement for compliance with all other relevant Local Laws and other statutory requirements.
5. For information relating to the *Sustainable Planning Act 2009* log on to [www.dilgp.qld.gov.au](http://www.dilgp.qld.gov.au) . To access the *FNQROC Development Manual*, Local Laws and other applicable Policies log on to [www.douglas.qld.gov.au](http://www.douglas.qld.gov.au) .

**RIGHTS OF APPEAL**

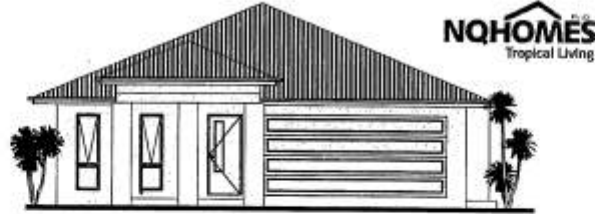
Attached

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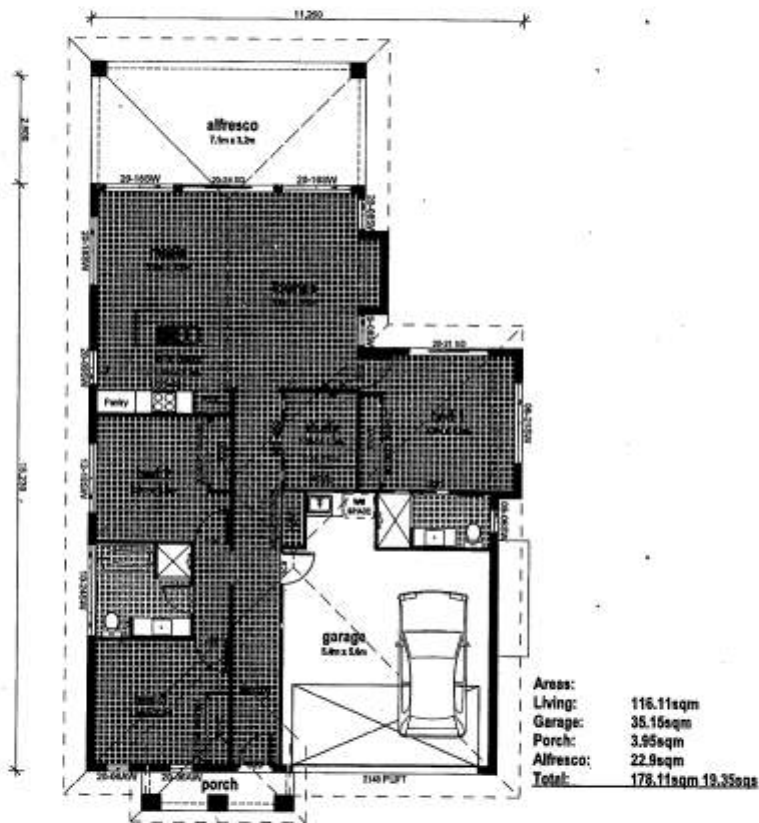
**End of Decision Notice**

**APPENDIX 1: APPROVED DRAWING(S) & DOCUMENT(S)**

Maximum building  
height 4.5m



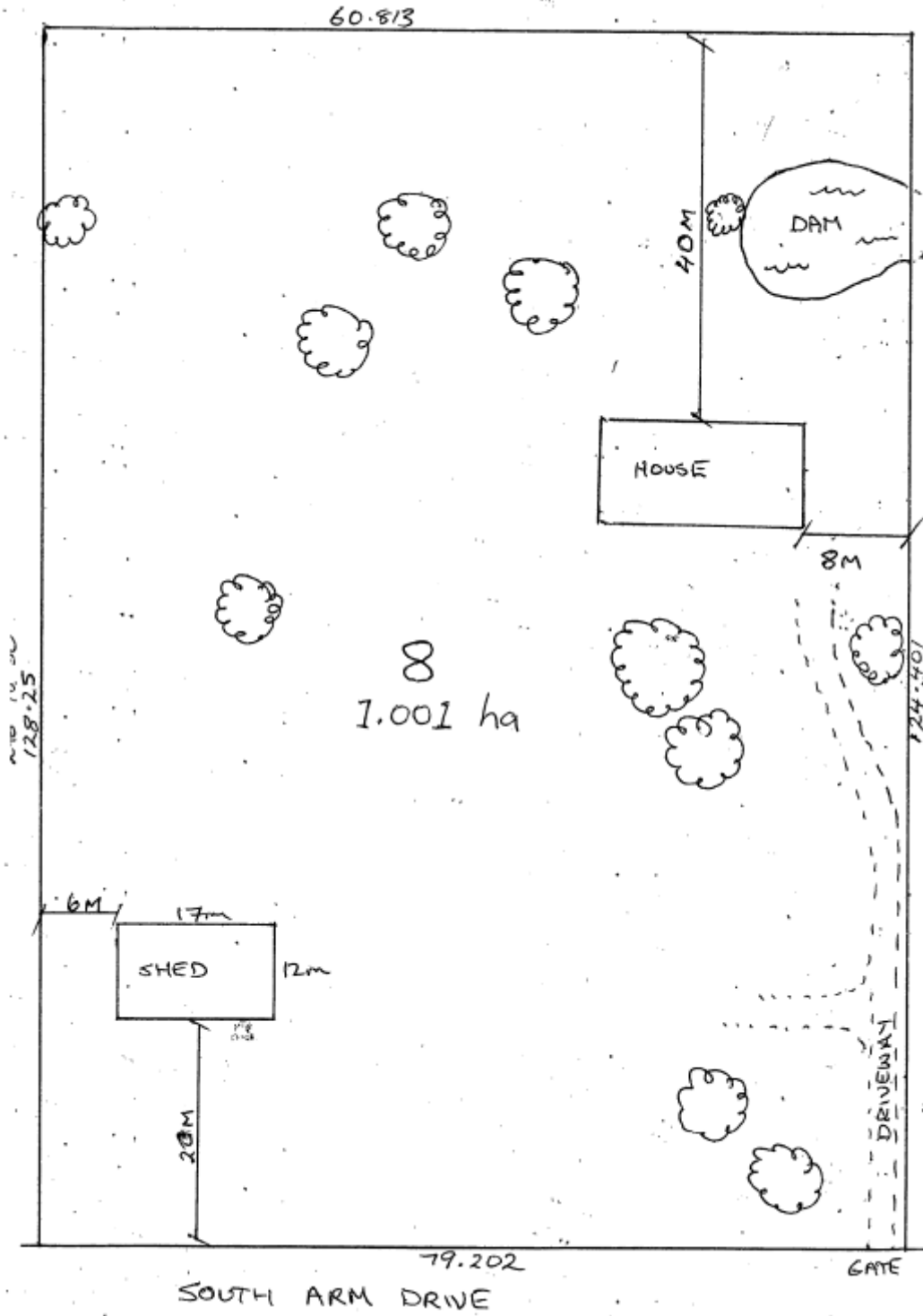
**ELEVATION**



**MILLIN 178**

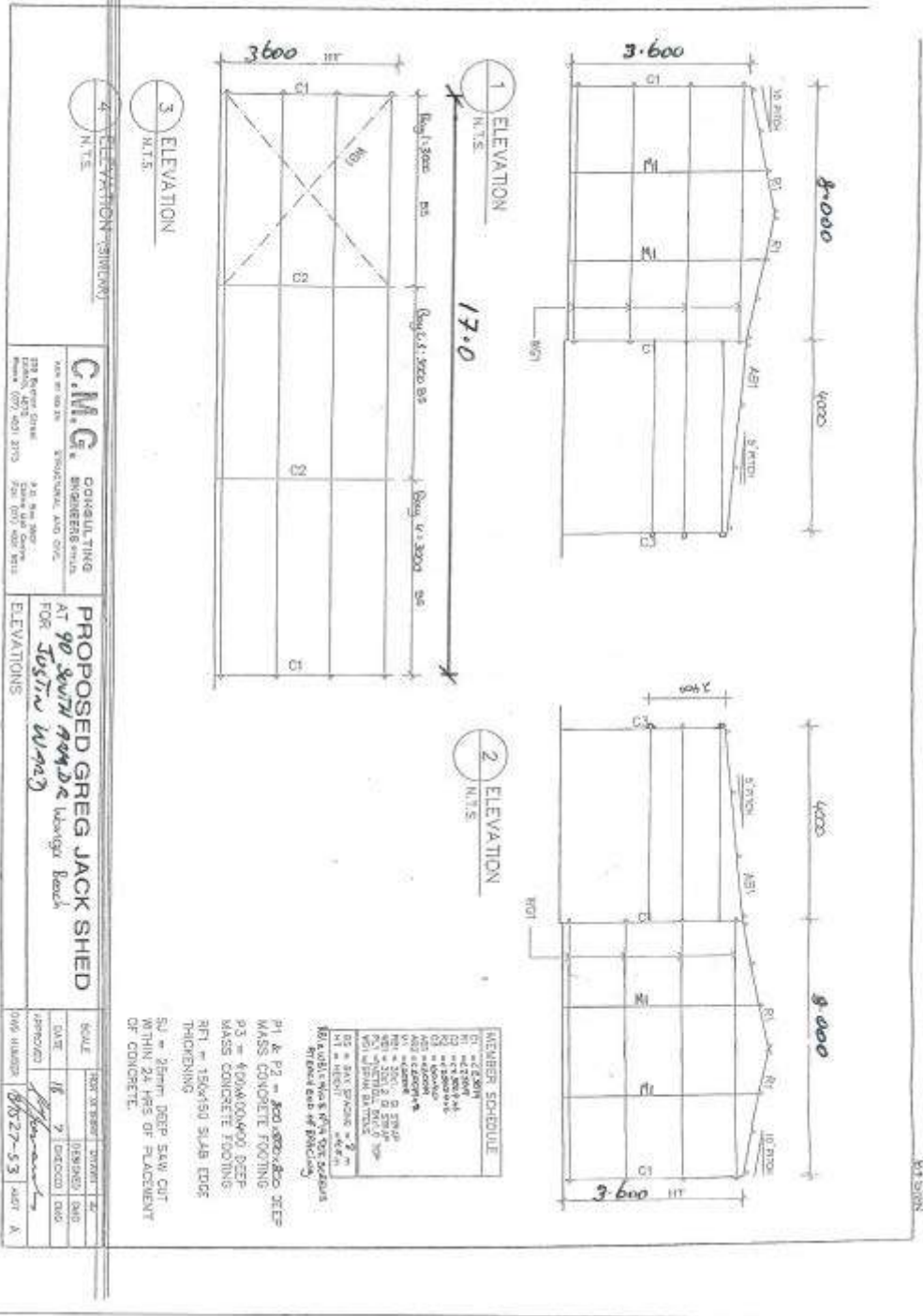
WEBSITE: [www.nqhomes.com.au](http://www.nqhomes.com.au)  
Subject to copyright.  
Drawings and illustrations are a guide only.

**DECISION NOTICE DETAILS**  
**SUSTAINABLE PLANNING ACT 2009**





**DECISION NOTICE DETAILS  
SUSTAINABLE PLANNING ACT 2009**



**C.M.G. CONSULTING ENGINEERS LTD.**  
 221 River Street  
 Dunedin, 9013 New Zealand  
 Phone: (03) 480 2170 Fax: (03) 480 2175

**PROPOSED GREG JACK SHED**  
 AT 90 South Road, Waikay Beach  
 FOR 50512 W 903

**ELEVATIONS**

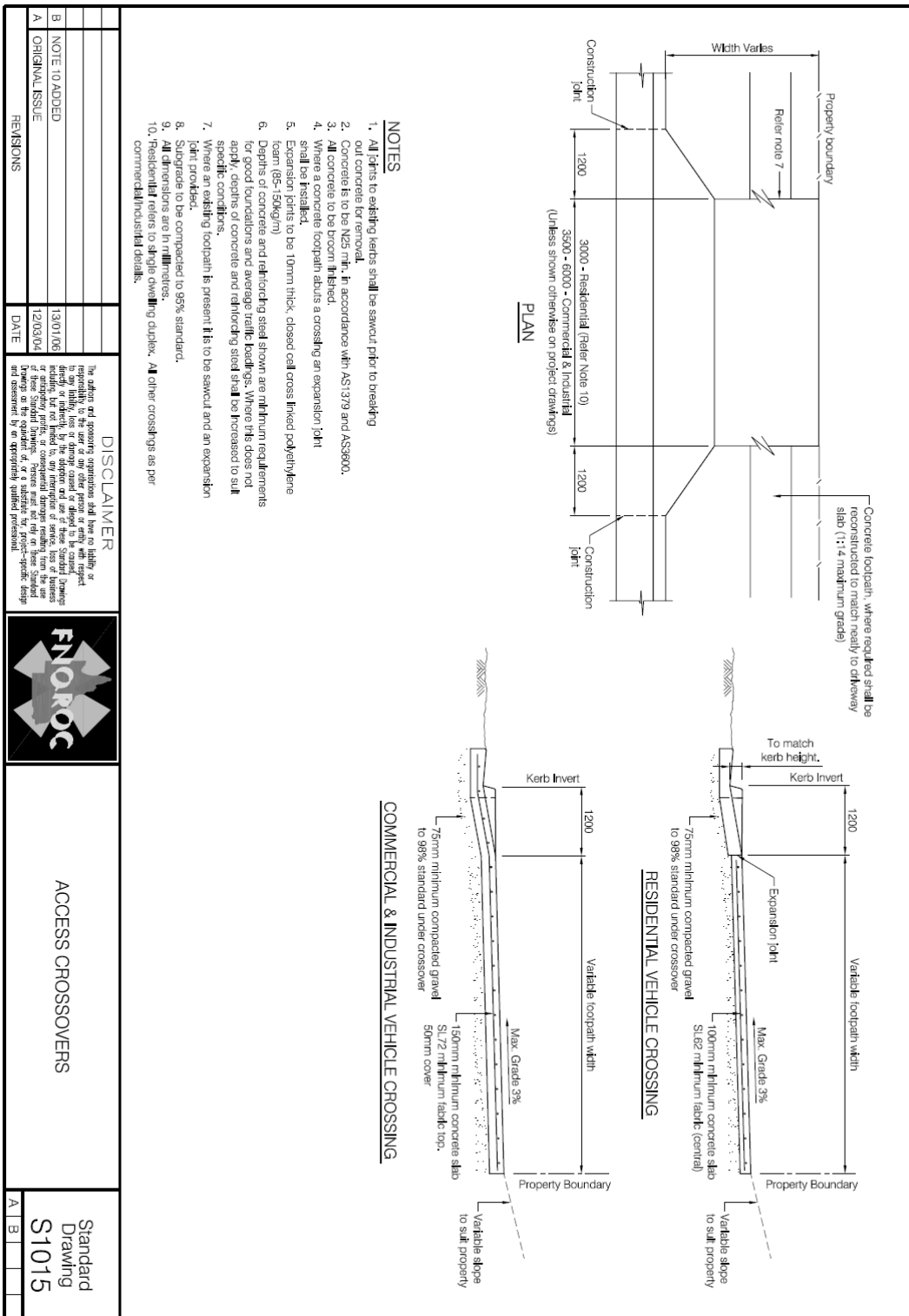
SCALE	1:50
DATE	18/02/2017
APPROVED	[Signature]
DWG NUMBER	0827-53
DATE	18/02/2017

**MEMBER SCHEDULE**

R1	200x300x10
R2	200x300x10
R3	200x300x10
R4	200x300x10
R5	200x300x10
R6	200x300x10
R7	200x300x10
R8	200x300x10
R9	200x300x10
R10	200x300x10
R11	200x300x10
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R99	200x300x10
R100	200x300x10

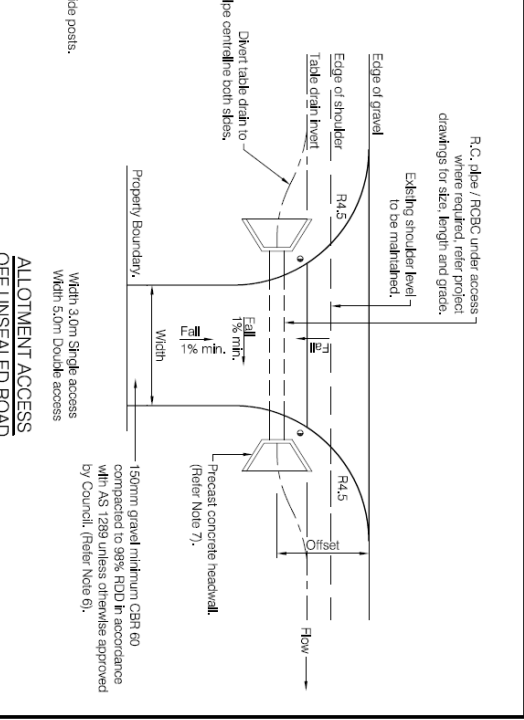
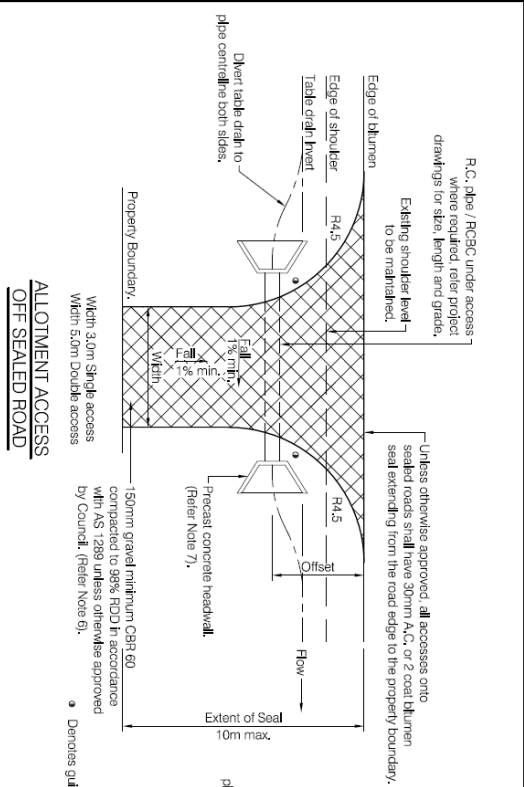
P1 & P2 = 200 APPROXIMATE DEEP MASS CONCRETE FOOTING  
 R3 = 400x400x400 DEEP MASS CONCRETE FOOTING  
 R17 = 150x150 SLAB EDGE THICKENING  
 S1 = 20mm DEEP SAW CUT WITHIN 24 HRS OF PLACEMENT OF CONCRETE.

# APPENDIX 2: STANDARD DRAWING – ACCESS CROSSOVER



- NOTES**
1. All joints to existing kerbs shall be sawcut prior to breaking out concrete for removal.
  2. Concrete to be N25 min. in accordance with AS1379 and AS3900.
  3. All concrete to be broom finished.
  4. Where a concrete footpath abuts a crossing an expansion joint shall be provided.
  5. Expansion joints to be 10mm thick, closed cell cross linked polyethylene foam (85 - 150kg/m<sup>3</sup>).
  6. Depths of concrete and reinforcing steel shown are minimum requirements for good foundations and average traffic loadings. Where this does not apply, depths of concrete and reinforcing steel shall be increased to suit specific conditions.
  7. Where an existing footpath is present it is to be sawcut and an expansion joint provided.
  8. Slopegrade to be compacted to 95% standard.
  9. All dimensions are in millimetres.
  10. Residential refers to single dwelling duplex, All other crossings as per commercial/industrial details.

DISCLAIMER	
The author and issuing organization shall have no liability or responsibility for any loss or damage caused or alleged to be caused directly or indirectly, by the adoption and use of these Standard Drawings or individual parts of or consequent designations resulting from the use of these Standard Drawings. Where necessary, refer to the Standard Drawings or the drawings of a suitable project-specific design and construction of the relevant vehicle crossover.	
REVISIONS	DATE
A ORIGINAL ISSUE	12/03/04
B NOTE 10 ADDED	13/01/06
Standard Drawing S1015	



- NOTES**
1. Minimum length of culvert shall be 4.8m for single access, 7.2m for double access.
  2. Minimum pipe size shall be Ø375, Minimum RCBC to be 300mm High.
  3. Minimum RC pipe / RCBC gradient shall be 1:100.
  4. Where cover to RC pipes is less than 250mm pipe shall have 100mm concrete surround.
  5. Drainage from access must not flow over the through road. All stormwater runoff shall be directed to the table drain.
  6. Where grade is steeper than 6% the blumen seal shall extend from the road edge to the property boundary unless otherwise approved.
  7. Precast sloping headwalls shall be used when:
    - a) the through road has a signposted speed of 80km/hr or greater,
    - b) the through road has a signposted speed of 60km/hr and the offset distance from the table drain to the culvert is less than 4.5m.
  8. Concrete shall be grade N23 in accordance with AS 1379 and AS 3600.
  9. All dimensions are in millimetres.

<b>DISCLAIMER</b>				
<p>The author and sponsoring organisations shall have no liability or responsibility for any liability, loss or damage caused or alleged to be caused directly or indirectly, by the adoption and use of these Standard Drawings or any part thereof, or consequential damage resulting from the use of these Standard Drawings. Persons must not rely on these Standard Drawings as the equivalent of a contract for project-specific design and construction by an appropriate qualified professional.</p>	<p>Standard Drawing S1105</p>			
<p><b>C</b> VARIOUS MINOR AMENDMENTS 13/01/06</p> <p><b>B</b> NOTES AMENDED 18/01/05</p> <p><b>A</b> ORIGINAL ISSUE 12/03/04</p>	<p><b>REVISIONS</b></p> <table border="1"> <tr> <td style="width: 10px;">A</td> <td style="width: 10px;">B</td> <td style="width: 10px;">C</td> </tr> </table>	A	B	C
A	B	C		