

OUR REF: MCUC2011_2017 (811894)

24 April 2017

B J Nagan
PO Box 265
PORT DOUGLAS QLD 4877

Attention: Bernie Nagan

Dear Sir

**DECISION NOTICE UNDER S 335 SUSTAINABLE PLANNING ACT 2009:
DEVELOPMENT APPLICATION FOR BONNIE DOON RD KILLALOE**

With reference to the abovementioned Development Application, which was determined under Instrument of Delegation on 24 April 2017, please find attached the relevant Decision Notice.

The Notice includes extracts from the Act with respect to making representations about conditions, negotiated decisions, suspension of the appeal period, and lodging an Appeal.

Should you have any enquiries in relation to this Decision Notice, please contact Daniel Lamond of Development Assessment and Coordination on telephone number 07 4099 9456.

Yours faithfully

Paul Hoye
Manager Sustainable Communities

Att

APPLICANT DETAILS

B J Nagan
PO Box 265
PORT DOUGLAS QLD 4877

ADDRESS

Bonnie Doon Rd KILLALOE

REAL PROPERTY DESCRIPTION

Lot 54 on NR413

PROPOSAL

House and shed

DECISION

Approved subject to conditions (refer to approval package below).

DECISION DATE

24 April 2017

TYPE

Material Change of Use (Development Permit)

REFERRAL AGENCIES

None Applicable

SUBMISSIONS

There were no submissions for this application.

FURTHER DEVELOPMENT PERMITS REQUIRED

Development Permit for Building Works

CODES TO COMPLY WITH FOR SELF-ASSESSABLE DEVELOPMENT

None

DOES THE ASSESSMENT MANAGER CONSIDER THE APPLICATION TO BE IN CONFLICT WITH APPLICABLE CODES, PLANNING SCHEME, STATE PLANNING POLICIES OR PRIORITY INFRASTRUCTURE PLAN (IF YES, INCLUDE STATEMENT OF REASONS)

Not in conflict

APPROVED DRAWING(S) AND/OR DOCUMENT(S)

The term 'approved drawing(s) and/or document(s)' or other similar expression means:

Drawing or Document	Reference	Date
Site Plan, Sheet List, Notes	Plan Number 202-17, sheet 1 of 10 Prepared by Greg Skyring Design and Drafting Pty Ltd.	17 February 2017
Elevations- Sheet 1	Plan Number 202-17, sheet 3 of 10 Prepared by Greg Skyring Design and Drafting Pty Ltd.	17 February 2017
Elevations- Sheet 2	Plan Number 202-17, sheet 4 of 10 Prepared by Greg Skyring Design and Drafting Pty Ltd.	17 February 2017

ASSESSMENT MANAGER CONDITIONS:

1. Carry out the approved development generally in accordance with the approved drawing(s) and/or document(s), and in accordance with:
 - a. The specifications, facts and circumstances as set out in the application submitted to Council, but not including recommendations and findings confirmed within technical reports; and
 - b. The following conditions of approval and the requirements of Council's Planning Scheme and the *FNQROC Development Manual*.

Except where modified by these conditions of approval.

Timing of Effect

2. The conditions of the Development Permit must be satisfied prior to Commencement of Use, except where specified otherwise in these conditions of approval.

FURTHER ADVICE

1. This approval, granted under the provisions of the *Sustainable Planning Act 2009*, shall lapse four (4) years from the day the approval takes effect in accordance with

the provisions of section 339 and section 341 of the *Sustainable Planning Act 2009*.

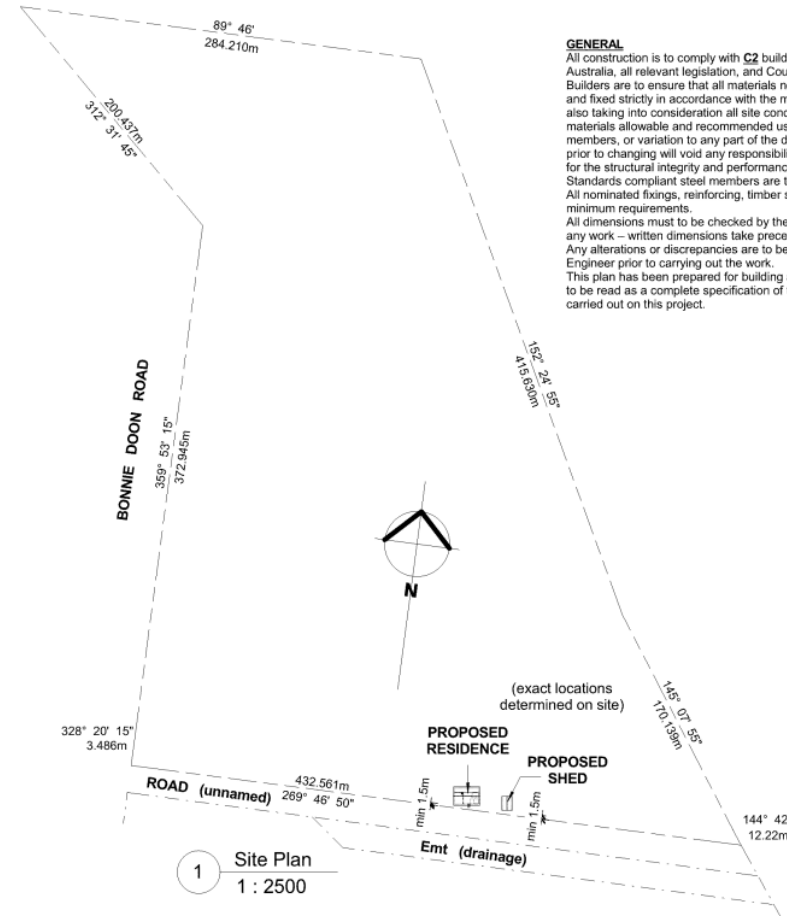
2. All building site managers must take all action necessary to ensure building materials and / or machinery on construction sites are secured immediately following the first cyclone watch and that relevant emergency telephone contacts are provided to Council officers, prior to commencement of works.
3. This approval does not negate the requirement for compliance with all other relevant Local Laws and other statutory requirements.

RIGHTS OF APPEAL

Attached

End of Decision Notice

APPENDIX 1: APPROVED DRAWING(S) & DOCUMENT(S)



GENERAL
 All construction is to comply with C2 building standards, Building Code of Australia, all relevant legislation, and Council By-Laws. Builders are to ensure that all materials nominated on this plan are used and fixed strictly in accordance with the manufacturers specifications, also taking into consideration all site conditions applicable to the materials allowable and recommended use. Substitution of any structural members, or variation to any part of the design without seeking approval prior to changing will void any responsibility of the Designer and Engineer for the structural integrity and performance of the building. Only Australian Standards compliant steel members are to be used in this building. All nominated fixings, reinforcing, timber sizes and grades etc are the minimum requirements. All dimensions must to be checked by the Builder prior to commencing any work – written dimensions take precedence over scaled. Any alterations or discrepancies are to be clarified with the plan Author or Engineer prior to carrying out the work. This plan has been prepared for building approval only and is not intended to be read as a complete specification of the work and finishes to be carried out on this project.

WASHERS
 Washers as listed below are to be used with all bolted connections involving timber, where bolt is in tension;
 M10 - 38 x 38 x2.0
 M12 - 50 x 50 x 3.0
 M16 - 65 x 65 x 5.0
 At connections to steel plates, use standard round washers for the bolt diameter used, UNO.

TERMITE PROTECTION
 This structure as detailed complies with the provisions of AS3660.1 for the protection of new buildings from subterranean termites. Owners are reminded that to maintain compliance with AS3660.1 they are advised to have inspections carried out by a qualified person every 12 months generally, and every 3 months if in an area where termite risk is high.

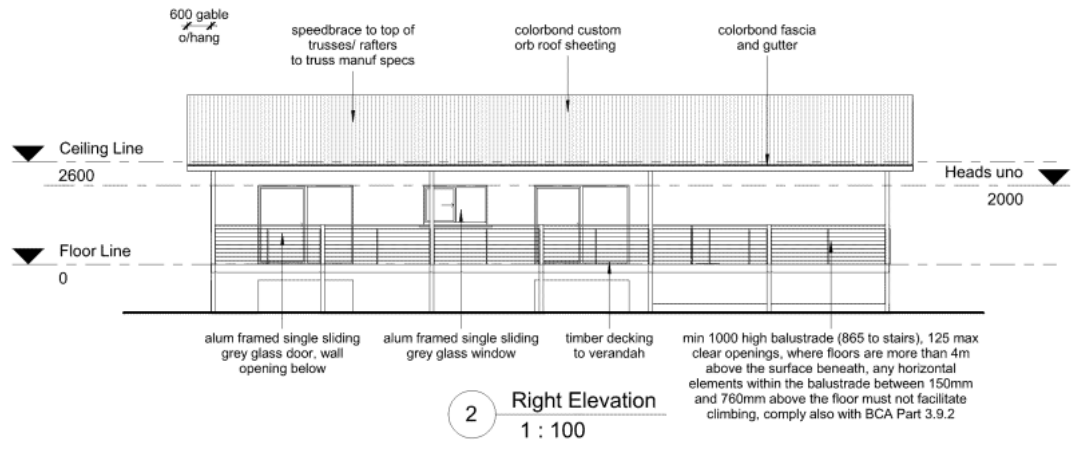
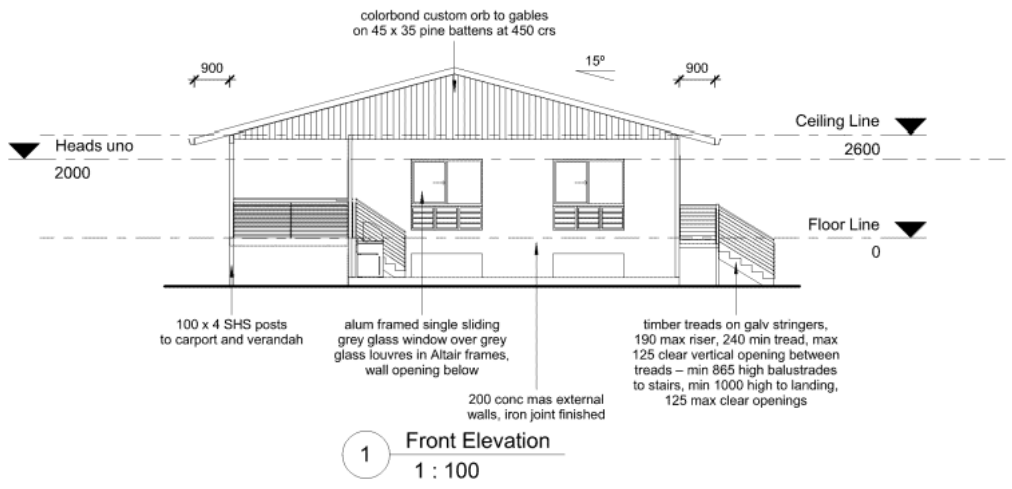
INTERNAL BRACING WALLS
WALL FIXING
 - Fix top plate to floor frame with 1/M12 at bracing section ends and at 1200 max. crs.
 - Fix top plate to crossing or parallel truss framing at M12 wall reinf locations to comply with AS1684.3 Table 8.23 to achieve 7.6 kn.
 - Fix end studs to external walls with 1/120 dynabolt or No 14-10 Type 17 screw at top, bottom, and at 1200 crs.
SHEETING
 - Line one side with 6mm F11 or 4mm F14 structural ply, nail fixed to manufacturers specifications to achieve minimum 6.4 kn/m nominal bracing (2.7m high walls)

Sheet List	
Sheet Number	Sheet Name
1 of 10	Site Plan, Sheet List, Notes
2 of 10	Floor Plan - Residence
3 of 10	Elevations - Sheet 1
4 of 10	Elevations - Sheet 2
5 of 10	Foundation and Floor Framing Plan, Details
6 of 10	Wall and Roof Framing Details
7 of 10	Section 1, Notes
8 of 10	Shed Floor Plan, Elevations
9 of 10	Shed Foundation Plan, Section 2, Details
10 of 10	Electrical Plan

GREG SKYRING
 Design and DRAFTING Pty. Ltd.
 Lic: Under QBSA Act 1991 - No 1040371
 11 Noli Close,
 Mossman Q. 4873
 Phone/Fax: (07) 40982061
 Mobile: 0419212652
 Email: greg@skyringdesign.com.au

PROJECT
 Proposed Residence and Shed,
 Bonnie Doon Road,
 L54 SP292874,
 Bonnie Doon

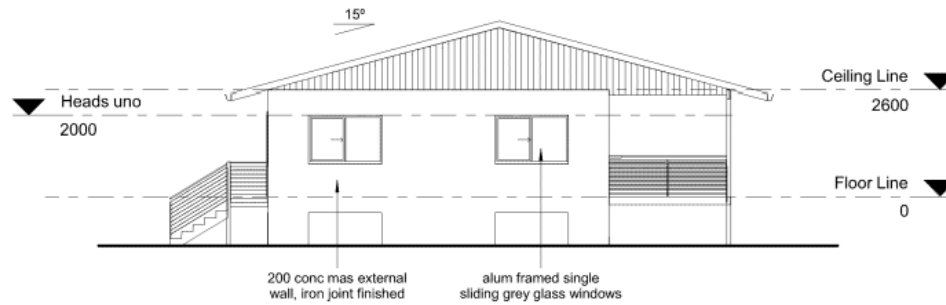
CLIENT	B. Nagan (to be built by John Nagan Redg No 6386)	WIND CLASS	C2	PLAN NUMBER	202-17	SHEET	1 of 10	
SCALES	1 : 2500	PLAN TITLE	Site Plan, Sheet List, Notes		DATE OF ISSUE	17.02.17	REV	B



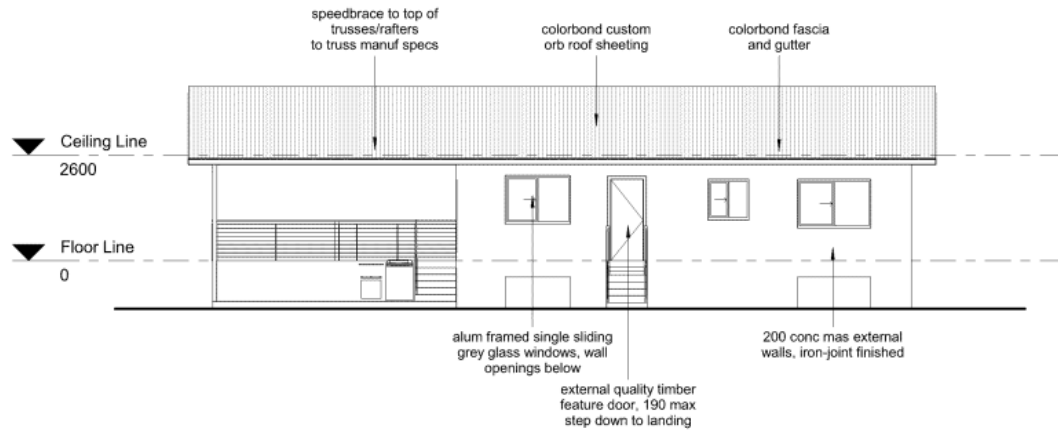
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SCALES	1 : 100	PLAN TITLE	Elevations - Sheet 1		DATE OF ISSUE	17.02.17	REV	B



1 Rear Elevation
1 : 100



2 Left Elevation
1 : 100

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CLIENT
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No 6386)

WIND CLASS
C2

PLAN NUMBER
202-17

SHEET
4 of 10

SCALES
1 : 100

PLAN TITLE
Elevations - Sheet 2

DATE OF ISSUE
17.02.17

REV
B