

YOUR REF: IH089800
OUR REF: OP 749/2015 (841836)

22 February 2018

Mango Beach Port Douglas Pty Ltd
C/- Jacobs
2 James Street
CAIRNS QLD 4870

Attention: Rob Carman

Dear Sir

**DECISION NOTICE FOR OPERATIONAL WORKS - MANGO BEACH -
40-52 MITRE STREET CRAIGLIE**

Please find attached the relevant Decision Notice for the above Operational Works. Also find attached a 'Pre-Start' meeting template, which identifies the information that must be provided for Council approval, prior to the commencement of works.

The template also provides the Consulting Engineer with a format for conducting the meeting. An invitation to attend the meeting must be sent to Council's representative, Neil Beck on telephone number 07 4099 9451, giving at least five (5) working days notification if possible.

In addition to the Decision Notice, Council provides the following 'Advice Statement' which relates to issues that are relevant to the proposed works:

1. The design of landscape and lighting works are subject to separate agreement and must be submitted to Council, prior to the commencement of associated works; and
2. The Consulting Engineer is to present all contractors with a copy of this Decision Notice and the Council approved plans, prior to the commencement of works.

Should you require further information or assistance, please contact Neil Beck of Sustainable Communities on 4099 9451.

Yours faithfully

Paul Hoyer
Manager Sustainable Communities

Att

Copy To: Manager Infrastructure – Michael Kreidemann
Coordinator Water and Waste – Peter White
Project Engineer – Michael Mathews
Coordinator Civil Works – Peter Tonkes
Coordinator Public Spaces – Peter Logan
GIS Support – Alistair Hart

YOUR REF: IH089800
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22 February 2018

**DECISION NOTICE FOR OPERATIONAL WORKS MANGO BEACH
40-52 MITRE STREET CRAIGLIE**

PROPOSAL:

Operational Works (Engineering) excluding Landscape and Lighting Works

TYPE OF DEVELOPMENT:

Operational Work

REAL PROPERTY DESCRIPTION:

Lot 6 on C2253 & Lot 1 on C2253

REFERRAL AGENCY CONDITIONS:

Attached as Appendix B

FURTHER DEVELOPMENT PERMITS OR APPROVALS REQUIRED:

None applicable

DECISION DATE:

22 February 2018

DECISION:

Approved subject to conditions

TYPE OF APPROVAL:

Development Permit

ASSESSMENT MANAGER CONDITIONS – STANDARD:

The standard conditions are shown in Appendix C and must be read in conjunction with any approved plans and project specific conditions identified below.

ASSESSMENT MANAGER CONDITIONS – PROJECT SPECIFIC:

1. The proposed works are permitted subject to any alterations:
 - a. found necessary by Chief Executive Officer at the time of examination of Engineering drawings or during construction of the works because of particular engineering requirements; and
 - b. to ensure the works comply in all respects with the requirements of the *FNQROC Development Manual* and good engineering practice.

All works must be carried out in accordance with the approved plans, conditions and specifications, to the requirements and satisfaction of the Chief Executive Officer.

Approval to Reconfigure Land

2. This Decision Notice must be read in conjunction with the Amended Decision Notice dated 23 June 2014. The Operational Works approval covers the following works:-

- Allotment earthworks
- Drainage works
- Road works
- Water reticulation works
- Sewer reticulation works

It should be noted that additional works approval will need to be sought for public utility service works in accordance with the Amended Decision Notice dated 24 June 2014.

The requirement to submit amended drawings due to conditions contained within this Development Permit must be submitted to Council for review prior to requesting a pre-start meeting.

Structural Certification

3. Retaining wall details and certification are to be provided prior to the pre-start meeting. The supporting information must include the Form 15 as well as a Safety in Design assessment for the life of the walls.

Earthworks

4. Drawing 0002 is to be amended to show the location of significant trees with trunk diameter greater than 300 mm measured at 1.5 m above the ground along the eastern boundary of the site both within the site and within 5 m of the eastern boundary. The canopy spread of the trees is to be shown on the plans so that assessment can be made of the implication of the proposed fill on the route zones of the trees.

Amended drawings are to be submitted to address the minimum lot fall in accordance with FNQROC development manual Section D2.10.

Stormwater

5. The following information is required in relation to the stormwater design:-

- a. The applicant is to confirm operation and maintenance for the drain between Lot 1 and the existing road if the existing fence is to remain. Maintenance procedures for this drain are to be provided;
- b. Section B typical retaining wall details on drawing 0002 is to be amended to provide a waterproof lining to the southern edge of the drain. Concrete lining treatment along the southern side of the drain is expected to be an acceptable solution, subject to Council's review of the lining details on revised drawings submitted for approval;
- c. Unless otherwise approved, the proposed retaining wall on the northern boundary of Lot 1 is to be constructed of Reinforced Concrete or Masonry and waterproofed to reflect its function as both retaining wall and drain edge. Structural engineering details are to be provided for approval prior to the prestart meeting. The specification for the water proofing compound and application for the wall are to be nominated for approval. Alternative materials will only be considered if they can demonstrate that the wall will be suitably impervious and durable noting the location adjacent the drain.
- d. The applicant is to amend the downstream drain Section C to provide for maintenance vehicle access across the drain. The maximum batter profiles at the maintenance vehicle crossover point should not exceed 1 in 4 for access purposes.
- e. The spot levels shown on plan 0002 along the southern boundary and surface contours to the east of the site indicate the adjacent Lot 12 to the south will not be free draining. The applicant is to provide further information on the drainage paths in the local area. In particular, from adjacent Lot 12 to the apparent low spot to the east of Lot 5.

Reference is made to the surface contour information shown on drawing 0010 that appears to support an existing overland flow path from Lot 12 through lots 7, 6 and then 5 to the low point to the east from Lot 5. The applicant is to provide supporting information including catchment calculations to show how the discharge of the stormwater through the existing flow path from the south will be managed.

- f. Prior to the pre-start meeting the applicant is provide updated hydraulic information on the culvert under Road A. Information is to confirm the capacity of the culvert and the operation in the 10-year ARI and 100-year ARI rainfall events. The catchment area serviced by the culvert and catchment hydrology are to be submitted for review with the culvert hydraulic information.
- g. Please provide amended drawings or further details to satisfy the requirements of Condition 10b for the stormwater quality improvement devices

Water

6. The water reticulation drawing 0010 is to be amended to show a Magflow meter (or approved equivalent) servicing the private development. The meter is to be located on private land and clear of the access to Lot 1. Amended drawings are required prior to the pre-start meeting.

Sewer

7. The following information is required in relation to the stormwater design:-
 - a. Drawing 0008 is to be amended to show the 30 meter exclusion zone around the pump station. This area will be included in an easement and construction of habitable dwellings will be excluded within this area in accordance with the Development Manual. Alternatively, the pump station is to be relocated to ensure all lots are outside the 30 meter clearance zone to the pump station. An opportunity may exist to locate the pump station in the north west corner of the balance land to minimise implication on the development footprint noting the exclusion areas to the west and north would be road reserve.
 - b. Prior to the pre-start meeting the applicant is to provide further detail on the pump station overflow pit and valve and the arrangements for the driveway access for Lot 1. Details on operation maintenance of the overflow are also to be advised given the common infrastructure is located on private land. The arrangements for provision of access at all times for the operation of the overflow valve and cleaning of the screening chambers is to be advised.
 - c. Drawing 0009 is to be amended to show the water level in the drain in a minor rainfall event (5-year ARI) at the external drain outlet to confirm likely sewer system hydraulics in the event of an overflow. Overflow levels are to be confirmed subject to the downstream water level.
 - d. Clarification is required that Level F is intended to be lower than level G and the outlet level in the overflow chamber. The applicant is to provide the hydrant calculations under overflow conditions for the fully developed site to show that sufficient freeboard is provided to the proposed lots.
 - e. The sewer connection servicing the existing residence must be decommissioned and connect to the proposed rising main. The point of connection into the existing rising main in Mitre Street must be the same as the existing connection servicing the existing residence. .

Roads and Paths

8. Amended plans are to be provided to clarify the eastern extent of the parking area at the tee head. Inclusion of chevron marking or similar delineation is required for the area between the road and the parking bay to avoid ambiguity within the intersection manoeuvring area. This condition relates to the eastern section between the carriageway and the three parking bays as shown on drawing 0006.

Drawing 0007 is to be updated to confirm clearance between the eastern kerb and the top of the culvert for the full width of the culvert. The drawing is to contain information on any bedding treatment between the culvert crown and the bottom of the kerb unit.

Vegetation Management

9. Amended drawings are to show the existing vegetation and the vegetation protection overlay with dimensions confirming offsets to the proposed filling works.

The plan of works must illustrate how compliance with Condition C2 and Condition C3 of Amended Decision Notice dated 24 June 2014 is being achieved.

Electricity Supply

10. Provide written evidence from Ergon Energy advising how electricity supply is being provided to the development. Details regarding electricity supply must be provided prior to requesting a pre-start meeting.

Street Lighting

11. The applicant is to provide amended drawings or further details on the Street lighting to satisfy the requirements of Condition B18 of Amended Decision Notice dated 24 June 2014. In particular, parts a, d, e and f.

Other

12. Prior to the prestart meeting, the applicant is to provide details of the decommissioning arrangements for the two existing bores on the site. Reference is made to drawing 0001.

APPROVED PLANS AND SPECIFICATIONS:

Generally in accordance with the following drawings submitted by Jacobs subject to any alterations made by conditions of Development Permit for Operational Work .

Drawing Description	No	Rev
Locality Plan & Drawing Index	IHO89800-CI-DG000	B
General Arrangement Plan	IHO89800-CI-DG001	B
Earthworks	IHO89800-CI-DG002	B
Miscellaneous Sections and Details	IHO89800-CI-DG003	B
Road and Sewerage Longitudinal Section	IHO89800-CI-DG004	B
Road Cross Sections	IHO89800-CI-DG005	B
Intersection Details	IHO89800-CI-DG006	B
Stormwater Drainage	IHO89800-CI-DG007	B
Sewerage Reticulation	IHO89800-CI-DG008	B
Sewerage Longitudinal Sections	IHO89800-CI-DG009	B
Water Reticulation	IHO89800-CI-DG0010	B

EROSION AND SEDIMENT CONTROL DRAWINGS

The following drawings must form the basis of the contractor's Erosion and Sediment Control Plan in accordance with the *FNQROC Development Manual*, Clause CP1.06.

Drawing Description	No	Rev
Erosion & Sediment Control Strategy Phase 1 – Topsoil Stripping	IHO89800-CI-DG0011	B
Erosion & Sediment Control Strategy Phase 2 –	IHO89800-CI-DG0012	B

Earthworks		
Erosion & Sediment Control Strategy Phase 3 – Roadworks	IHO89800-CI-DG0013	B

For information relating to the *Planning Act* 2016 log on to www.dsdip.qld.gov.au . To access the *FNQROC Development Manual*, Local Laws and other applicable Policies log on to www.douglas.qld.gov.au .

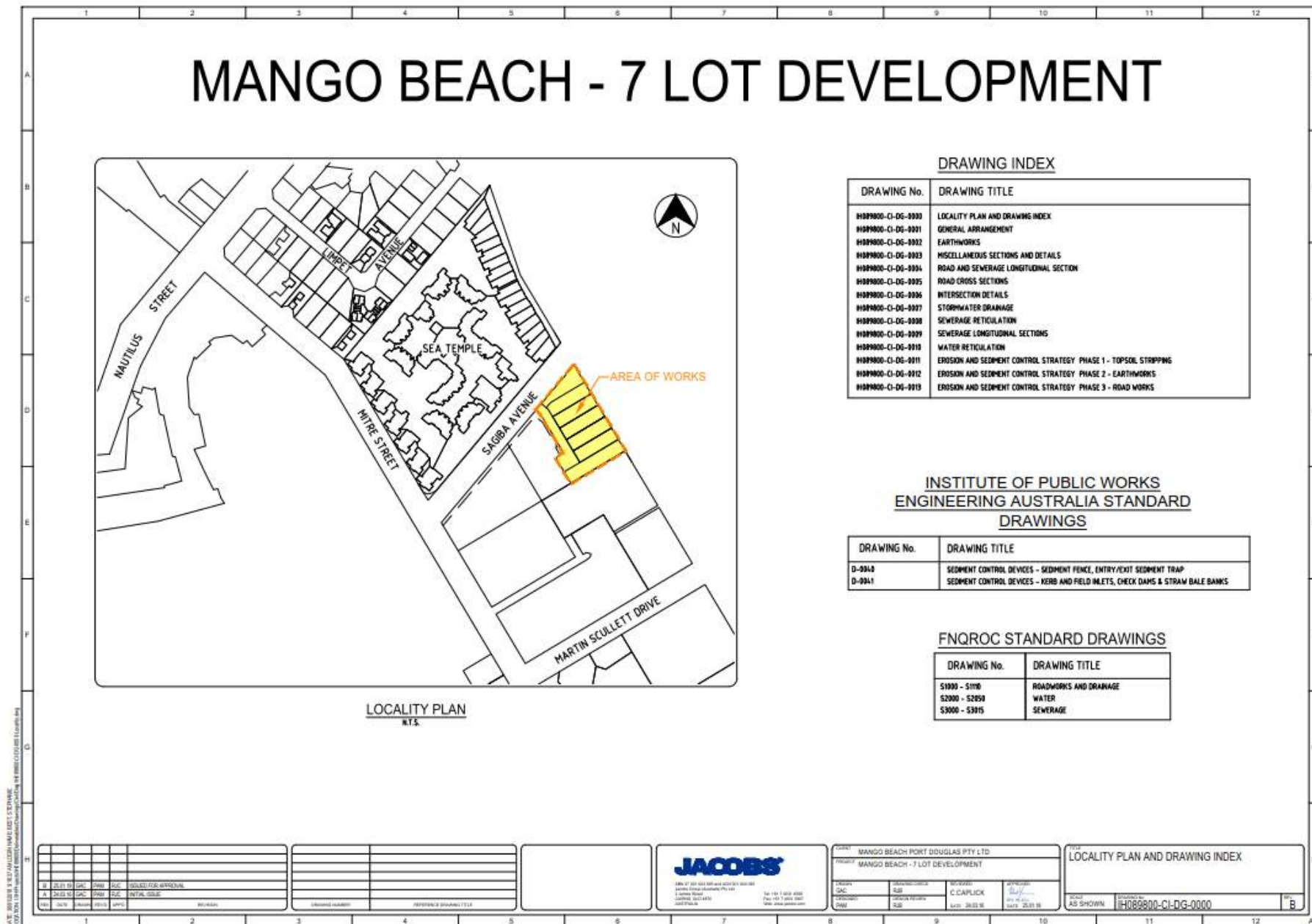
RIGHTS OF APPEAL

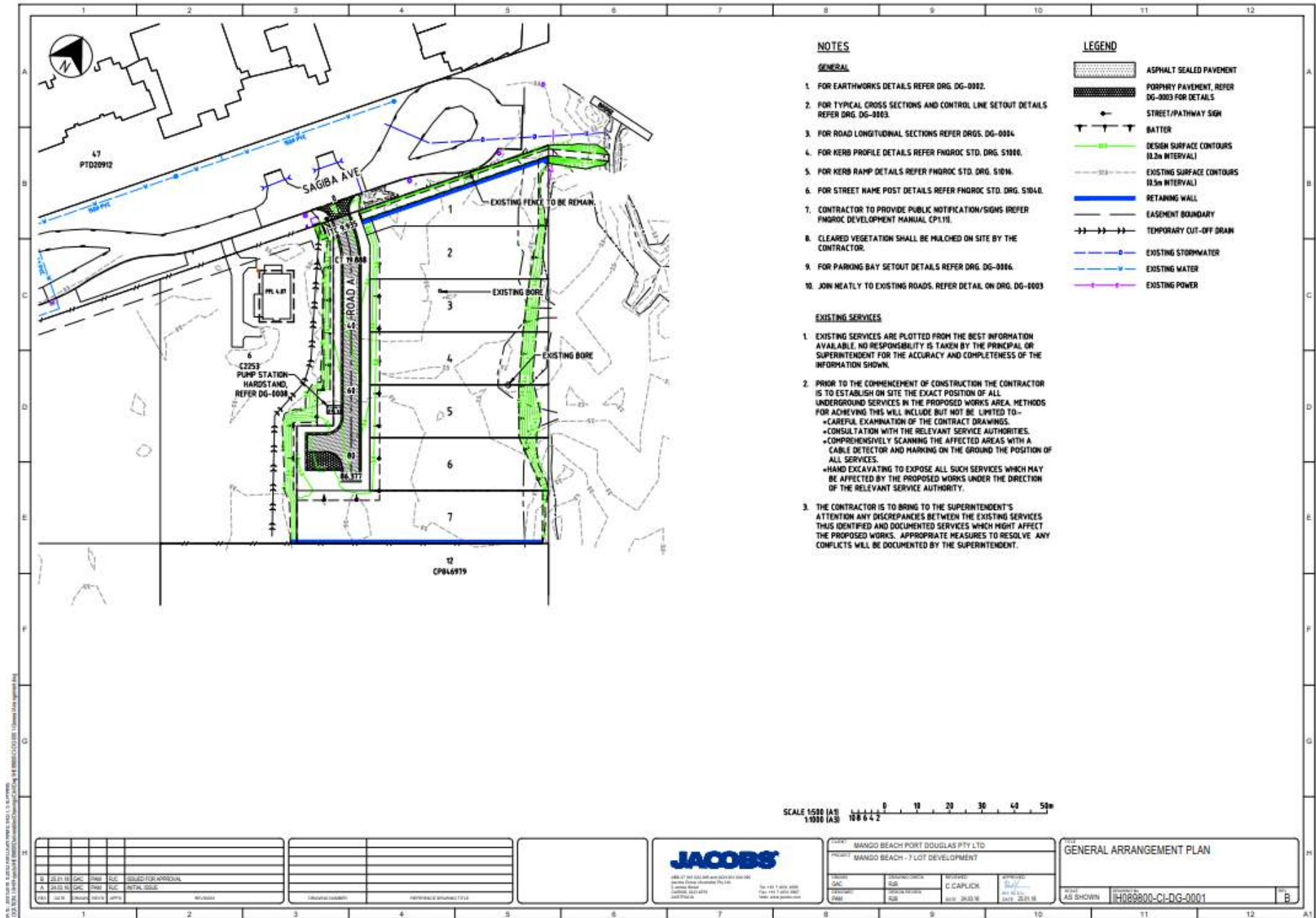
Attached

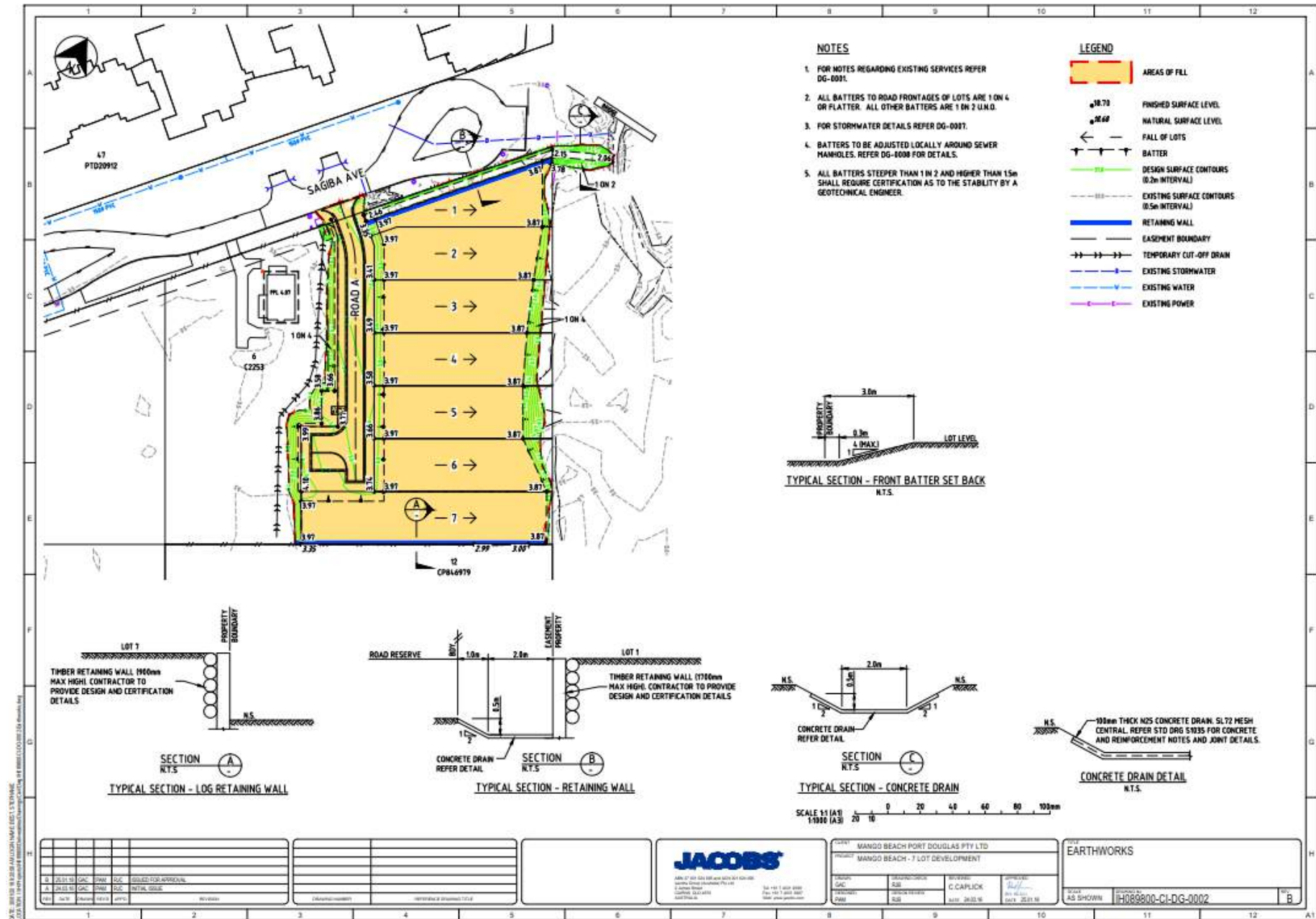
End of Decision Notice

Att Appeal Rights
 Pre-Start Meeting Template
 Approved Drawings, Appendix A
 Referral Agency Conditions – Appendix B
 Standard Conditions, Appendix C

44.2015.749
1/38







CONTROL LINE ROAD A SETOUT

CHAINAGE	COORDINATES		BEARING DEG MIN SEC	RADIUS OF CURVATURE	TANGENT LENGTH	ARC LENGTH
	EASTING	NORTHING				
0+000	2661517	4921540	130° 7' 28"	STRAIGHT		
TC 9+935	2669114	4915137	130° 7' 28"	30.000	5.029	9.953
IP 14+912	2672955	4911901	-	30.000		
CT 19+888	2675531	4907589	149° 8' 0"	STRAIGHT		
06+373	2199643	4858518	149° 8' 0"	STRAIGHT		

TABLE OF WIDTHS

ROAD	CARRIAGEWAY WIDTH (m)	VERGE WIDTH (m)		RESERVE WIDTH (m)
		LHS	RHS	
ROAD A	5.50	3.8	2.7	11.2

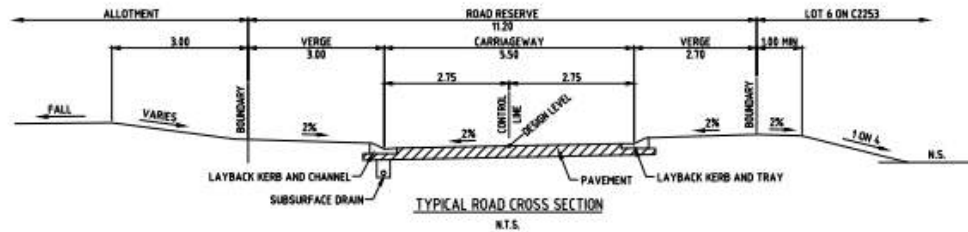
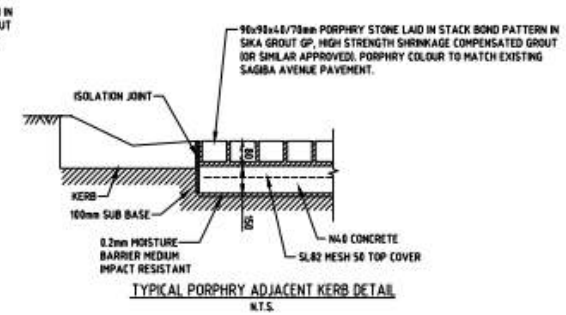
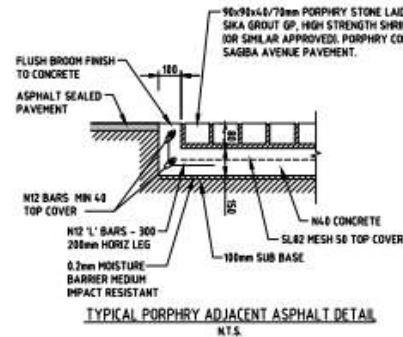
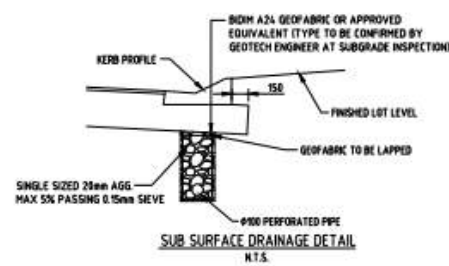
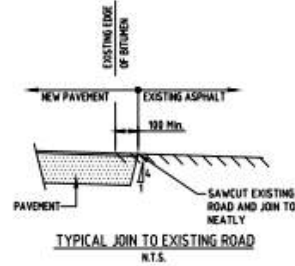
PROVISIONAL PAVEMENT DETAILS

ROAD	SURFACING	SUBBASE CBR 45 (mm)	BASE CBR 60 (mm)
ROAD A	30mm ASPHALT	100	100

NOTES

PROVISIONAL PAVEMENT DESIGN IS BASED ON AN ASSUMED SUBGRADE SOAKED CBR OF 10. THE CONTRACTOR IS TO CONFIRM SUBGRADE CBR DURING CONSTRUCTION AND THE PAVEMENT DESIGN MAY BE AMENDED ACCORDINGLY BY THE DOUGLAS SHIRE COUNCIL.

ASPHALT SURFACINGS TO BE INCREASED TO 30mm AT INTERSECTIONS. REFER DRG. DG-8004 FOR LOCATIONS.



NO.	REV.	DESCRIPTION	DATE
1	1	ISSUED FOR APPROVAL	14/08/2015
2	1	ISSUED FOR APPROVAL	14/08/2015
3	1	ISSUED FOR APPROVAL	14/08/2015
4	1	ISSUED FOR APPROVAL	14/08/2015
5	1	ISSUED FOR APPROVAL	14/08/2015
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7	1	ISSUED FOR APPROVAL	14/08/2015
8	1	ISSUED FOR APPROVAL	14/08/2015
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11	1	ISSUED FOR APPROVAL	14/08/2015
12	1	ISSUED FOR APPROVAL	14/08/2015

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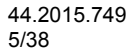
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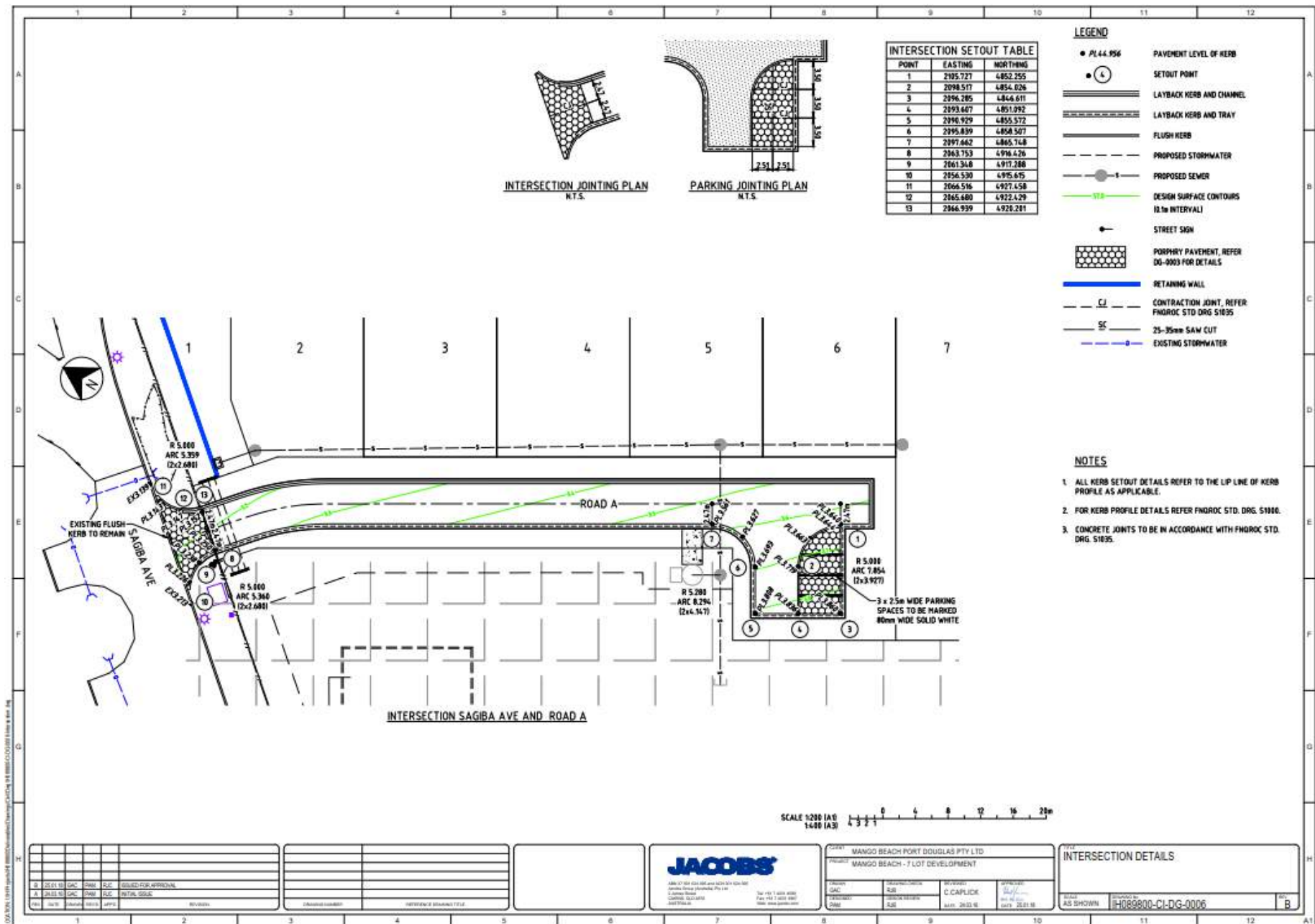
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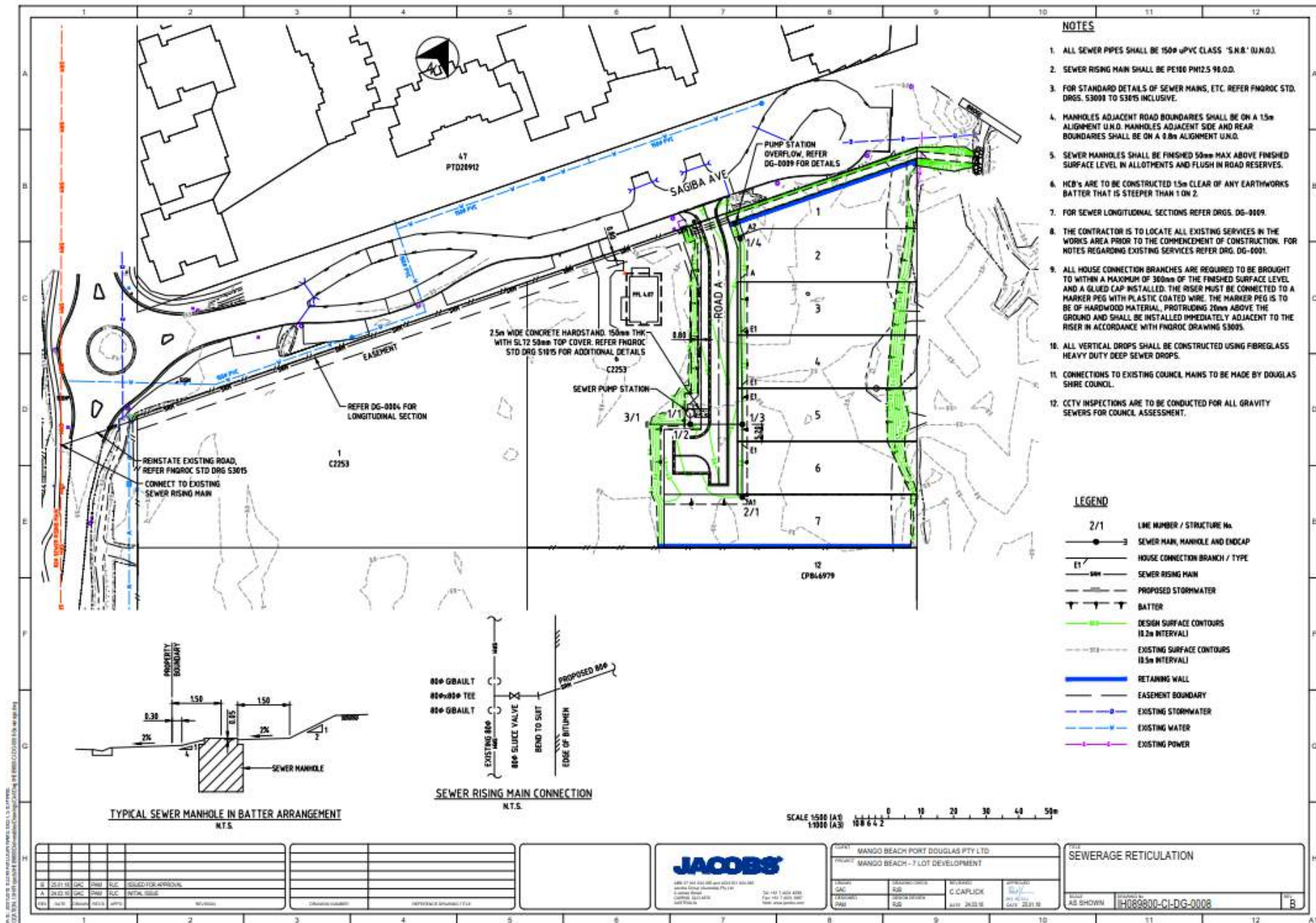
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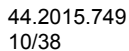
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DATE: 2015.08.14 10:21:00 AM (LOCAL TIME) DATE: 2015.08.14 10:21:00 AM (LOCAL TIME)

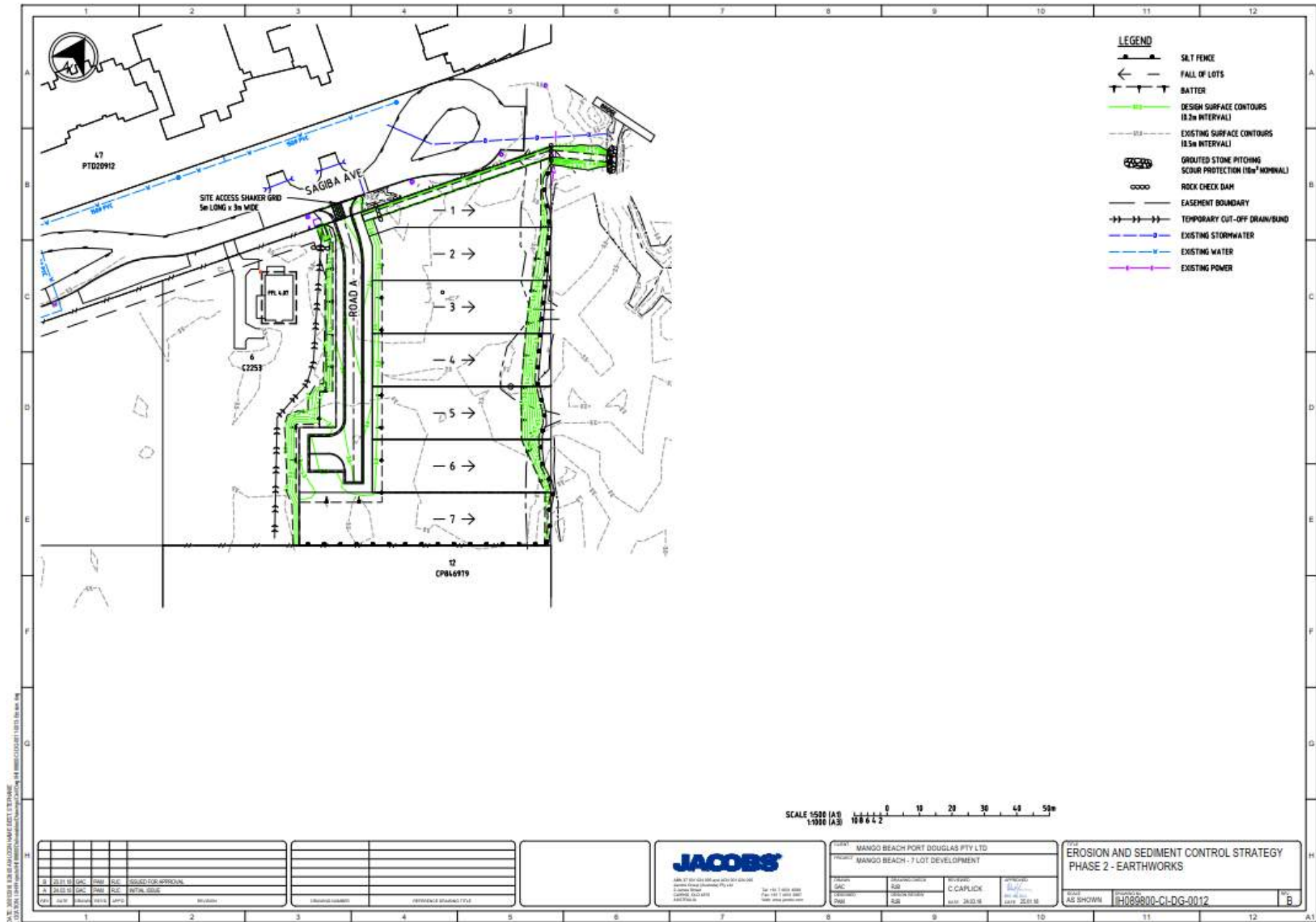


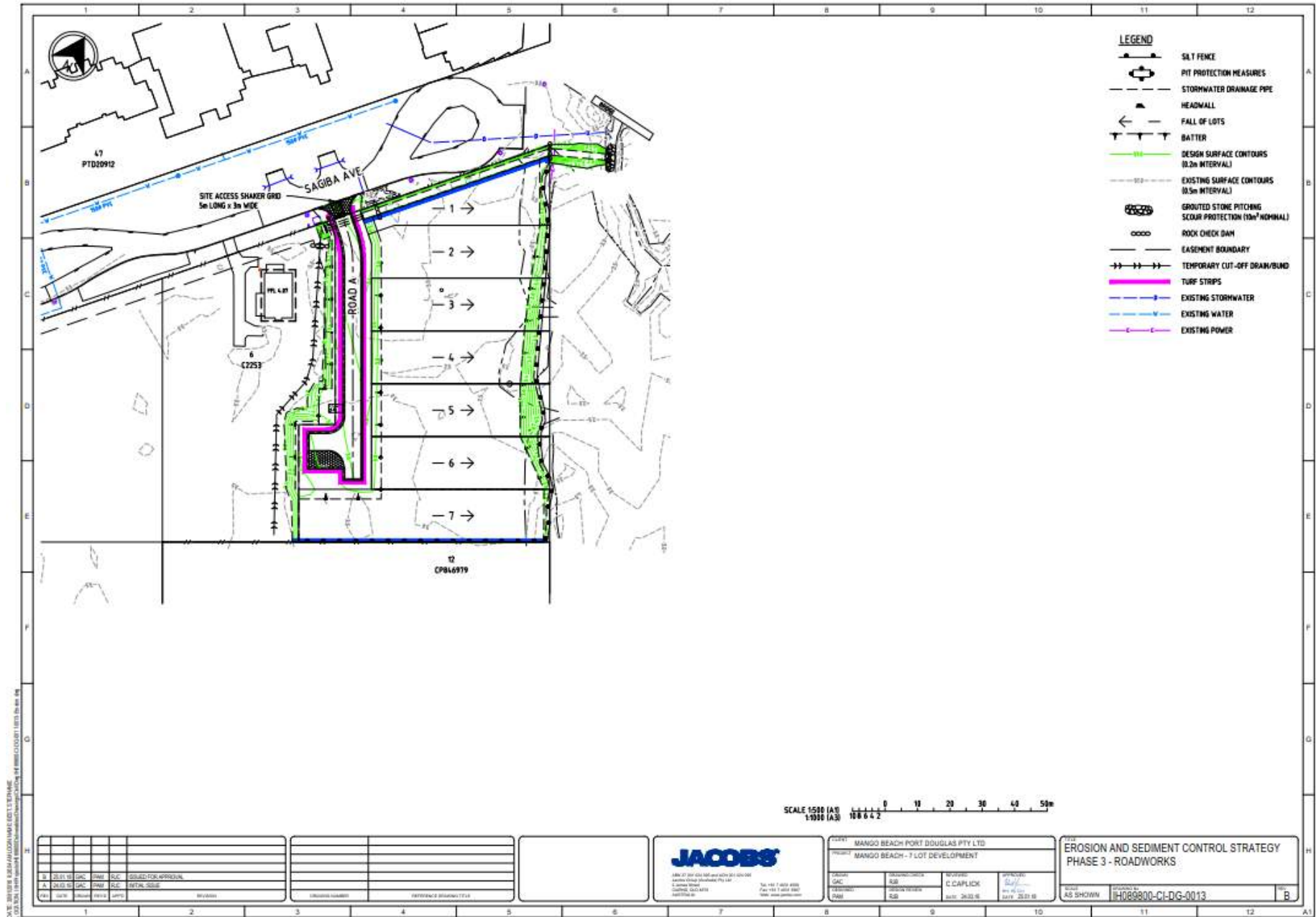












APPENDIX B – REFERRAL AGENCY CONDITIONS



Department of Infrastructure,
Local Government and Planning

Our reference: SDA-0515-021119
Council reference: OP749/2015

19 December 2017

Chief Executive Officer
Douglas Shire Council
PO Box 723
Mossman QLD 4873

Att: Neil Beck

Dear Sir / Madam

Amended Concurrence agency response—with conditions

Development application for operational work associated with a reconfiguration of a lot (3 lots into 7 lot community title and balance lot) on land located at 40-52 Mitre Street, Craiglie and more particularly described as Lot 1 on C2253, Lot 2 on C2253 and Lot 6 on C2253 in the Douglas Shire

(Given under section 290 of the *Sustainable Planning Act 2009*)

The referral agency material for the development application described below was received by the Department of Infrastructure, Local Government and Planning under section 272 of the *Sustainable Planning Act 2009* on 29 May 2015.

Applicant details

Applicant name:	Mango Beach Port Douglas Pty Ltd
Applicant contact details:	PO Box 487 Smithfield QLD 4878

Site details

Street address:	40-52 Mitre Street, Craiglie
Real property description:	Lot 1 on C2253, Lot 2 on C2253 and Lot 6 on C2253
Local government area:	Douglas Shire Council

Application details

Proposed development: Development permit for operational work associated with a reconfiguration of a lot (3 lots into 7 lot community title and balance lot)

Referral triggers

The development application was referred to the department under the following provisions of the Sustainable Planning Regulation 2009:

Referral trigger **Schedule 7, Table 2, Item 13** —Tidal works, or development in a coastal management district

Schedule 7, Table 2, Item 43B – Land in or near a wetland

Reasons for decision to impose conditions

Under section 289(1) of the *Sustainable Planning Act 2009*, the department must set out the reasons for the decision to impose conditions. These reasons are set out in Attachment 2.

Further advice

Under section 287(6) of the *Sustainable Planning Act 2009*, the department offers advice about the application to the assessment manager—see Attachment 3.

Approved plans and specifications

The department requires that the following plans and specifications set out below and in Attachment 4 must be attached to any development approval.

Drawing/Report Title	Prepared by	Date	Reference no.	Version/Issue
Aspect of development: Operational work associated with a reconfiguration of a lot (3 lots into 7 lot community title and balance lot)				
Mango Beach Port Douglas P/L, 7 Lot Community Title Subdivision, Sagiba Street Port Douglas, Layout Plan and External Works	Anthony Meedle & Associates	16/07/15	Drawing No. 1503LUCAS-C1	C
Mango Beach Port Douglas P/L, 7 Lot Community Title Subdivision, Sagiba Street Port Douglas, Earthworks & Roadworks Plan	Anthony Meedle & Associates	16/07/15	Drawing No. 1503LUCAS-C2	G
Mango Beach Port Douglas P/L, 7 Lot Community Title Subdivision, Sagiba Street Port Douglas, Sewerage and Water Supply Plan	Anthony Meedle & Associates	16/07/15	Drawing No. 1503LUCAS-C7	C
Mango Beach Port Douglas P/L, 7 Lot Community Title Subdivision, Sagiba Street Port Douglas, Erosion and Sediment Control Plan	Anthony Meedle & Associates	16/07/15	Drawing No. 1503LUCAS-C9	C
Coastal Hazard and	Water	20/11/2017	5535-	-

Stormwater Quality Assessment, Mango Beach Development – North-east Drain Mango Beach Port Douglas Pty Ltd; in particular sections: <ul style="list-style-type: none"> • 2.4.4 Treatment Nodes • 2.4.4.1 Access Road Treatment • 2.4.4.2 Combined Lot Area • Figure 2-2 	Technology - Ryan Dermek, Jeremie Bernard and Tony McAlister		01_R01V02_MangoBeach	
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A copy of this response has been sent to the applicant for their information.

If you require any further information please contact Joanne Manson, Principal Planning Officer, SARA Far North QLD on 4037 3228 or via email joanne.manson@dilgp.qld.gov.au who will be pleased to assist.

Yours sincerely



Brett Nancarrow
Manager (Planning)

cc: Mango Beach Port Douglas Pty Ltd, c/- **Sarah Mort**, email: sarah@mihaven.com.au

enc: Attachment 1—Conditions to be imposed
Attachment 2—Reasons for decision to impose conditions
Attachment 3—Further advice
Attachment 4—Approved Plans and Specifications

Our reference: SDA-0515-021119
 Council reference: OP749/2015

Attachment 1—Conditions to be imposed

No.	Conditions	Condition timing
Operational work associated with a reconfiguration of a lot (3 lots into 7 lot community title and balance lot)		
Schedule 7, Ttable 2, Item 13: Tidal works, or development in a coastal management district and Schedule 7, Table 2, Item 43B: Land in or near a wetland —Pursuant to section 255D of the <i>Sustainable Planning Act 2009</i> , the chief executive administering the Act nominates the Director-General of the Department of Environment and Heritage Protection to be the assessing authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following condition(s):		
4.	<p>The development must be carried out generally in accordance with the following plans:</p> <ul style="list-style-type: none"> • Mango Beach Port Douglas P/L, 7 Lot Community Title Subdivision, Sagiba Street Port Douglas, Layout Plan and External Works, prepared by Anthony Moodie & Associates, Drawing No. 1503LUCAS-C1, Rev C, dated 16/07/15 • Mango Beach Port Douglas P/L, 7 Lot Community Title Subdivision, Sagiba Street Port Douglas, Earthworks & Roadworks Plan, prepared by Anthony Moodie & Associates, Drawing No. 1503LUCAS-C2, Rev C, dated 16/07/15 • Mango Beach Port Douglas P/L, 7 Lot Community Title Subdivision, Sagiba Street Port Douglas, Sewerage and Water Supply Plan, prepared by Anthony Moodie & Associates, Drawing No. 1503LUCAS-C7, Rev C, dated 16/07/15 • Mango Beach Port Douglas P/L, 7 Lot Community Title Subdivision, Sagiba Street Port Douglas, Erosion and Sediment Control Plan, prepared by Anthony Moodie & Associates, Drawing No. 1503LUCAS-C9, Rev C, dated 16/07/15 	At all times
1.	<p>The development must be carried out generally in accordance with the Coastal Hazard and Stormwater Quality Assessment, Mango Beach Development – North-east Drain Mango Beach Port Douglas Pty Ltd prepared by Water Technology - Ryan Dermek, Jeremie Bernard and Tony McAlister dated 20/11/2017, reference 5535-01_R01V02_MangoBeach.docx</p> <p>In particular sections:</p> <ul style="list-style-type: none"> • 2.4.4 Treatment Nodes • 2.4.4.1 Access Road Treatment • 2.4.4.2 Combined Lot Area • Figure 2-2 	For the duration of the works

No.	Conditions	Condition timing
2.	<p>For the proposed works, only use clean materials and ensure that the works do not cause contamination. To achieve this:</p> <ul style="list-style-type: none"> Only use materials which are free from contaminants as defined under section 11 of the <i>Environmental Protection Act 1994</i>. 	For the duration of the works
3.	<p>Erosion and sediment control measures which are in accordance with Best Practice Erosion and Sediment Control (BPESC) guidelines for Australia (International Erosion Control Association), are to be installed and maintained to prevent the release of sediment to tidal waters.</p>	For the duration of the works
4.	<p>Should the constructed drain collapse, fail or otherwise suffer structural consequences which impact their integrity or ability to function as intended, the works must be:</p> <ul style="list-style-type: none"> a) reinstated in accordance with this development approval; or b) removed and disposed of at an appropriately licensed facility. 	As soon as reasonably practicable subsequent to the damage

Our reference: SDA-0515-021119

Attachment 2—Reasons for decision to impose conditions

The reasons for this decision are:

- to ensure the development is carried out generally in accordance with the plans of development submitted with the application
- to ensure the development is carried out generally in accordance with specifications stated in the Coastal Hazard and Stormwater Quality Assessment
- to ensure the development avoids or minimises impacts on coastal resources and their values
- to ensure landowners are aware they must take responsibility for their damaged property as they can impact on coastal resources and public safety

Our reference: SDA-0515-021119
 Your reference: OP749/2015

Attachment 3—Further advice

General advice	
State Planning Policy July 2014 interim development assessment provisions	
1.	Douglas Shire Council, in its role as assessment manager, must assess the development application against the State Planning Policy July 2014, and in particular the interim development assessment provisions, such as Biodiversity, Water quality and Natural hazards, risk and resilience to the extent it is relevant to the proposed development.
Wetland Protection Area mapping amendment	
2.	<p>An applicant can request a map amendment to a wetland protection area if it is associated with a development application. The map amendment request must be supported by evidence that includes more accurate information indicating the extent or hydrological type of the wetland, or demonstrating that the wetland does not have high environmental values for wetlands declared under Section 81A of the Environmental Protection Regulation 2008.</p> <p>The applicant should contact the Department of Environment and Heritage Protection on 13 74 68 for further guidance on the information requirements for an amendment request or visit www.ehp.qld.gov.au/ecosystems/wetlands/wetlands-contacts.html.</p>

Our reference: SDA-0515-021119

Attachment 4—Approved plans and specifications

Refer to the “Coastal Hazard and Stormwater Quality Assessment” prepared by Water Technology prepared for Mango Beach Port Douglas Pty Ltd – Reference No. 0/11/201 - Council Reference #837328.

APPENDIX C – STANDARD CONDITIONS

General

1. The proposed works are permitted subject to any alterations:
 - a. found necessary by Chief Executive Officer at the time of examination of Engineering drawings or during construction of the works because of particular engineering requirements and.
 - b. to ensure the works comply in all respects with the requirements of the *FNQROC Development Manual* and good engineering practice; and
 - c. to comply with project specific conditions and the following standard conditions of approval.

All works must be carried out in accordance with the approved plans, conditions and specifications, to the requirements and satisfaction of the Chief Executive Officer.

2. The conditions of any Reconfiguration of Lot or Material Change of Use permits applicable to the subject lot or lots shall be complied with in conjunction with this development permit.
3. Council's examination of the documents should not be taken to mean that the documents have been checked in detail and Council takes no responsibility for their accuracy. If during construction, inadequacies of the design are discovered, it is the responsibility of the Principal Consulting Engineer to resubmit amended plans to Council for approval and rectify works accordingly.
4. Notwithstanding any approval given to engineering documents, where a discrepancy occurs between these documents and Council's standards, then Council's standards shall apply. All works must be performed in accordance with Council standards and Local Laws and other statutory requirements.
5. If in fact there are errors, omissions or insufficient detail on the plans for the purpose of construction, these deficiencies shall be made good during construction and Council reserves the right to withhold approval of construction until such deficiencies are made good to its satisfaction.
6. Work and or Technical Documents identified within these Development Approval Conditions require Council approval prior to granting Early Plan Sealing or Plan Sealing of a Subdivision Plan or the issue of a Works Acceptance Certificate, whichever occurs first.

Timing of Effect

7. The conditions of this development permit must be effected prior to the approval and dating of the survey plan, except where specified otherwise in these conditions of approval, or at Council's discretion.

Easement Documentation

8. Easement documents are to be submitted to Council's solicitors for checking in accordance with the conditions of the Reconfiguration Development Permit. Contact Council for current nominated solicitors details.

Portable Long Service Leave Notification

9. As per the QLeave – Building and Construction Industry Authority Guidelines, if the works are over \$150 000, Council must sight a copy of the receipted Portable Long Service Notification and Payment form prior to commencement of work.

Construction Security Bond

10. Lodgement of Construction Security Bond as per the *FNQROC Development Manual*, Section CP1.07, (ie, five (5) per cent of the value of the works) is required, prior to commencement of work. The bond shall be in favour of Council and in the format of cash or an unconditional bank guarantee, which must cover all aspects of the construction and have no termination date.

Third Party Agreement

11. The developer must obtain written agreement from third parties and/or Referral Agencies for any works proposed on adjacent properties. The agreement(s) must be provided prior to the associated works commencing on site. All agreements must be available for Council scrutiny, upon request.

Commencement of Works

12. Council is to receive written Notice of Intention to Commence Works and all matters relevant to the Pre-Start meeting are to be attended to in accordance with Section CP1.07, CP1.08 and Section CP1.09, of the *FNQROC Development Manual*.

Hours of Work

13. Work involving the operation of construction plant and equipment of any description, shall only be carried out on site during the following times:
 - a. 7:00 am to 6:00 pm, Monday to Friday;
 - b. 7:00 am to 1:00 pm, Saturdays; and
 - c. no work is permitted on Sundays or Public Holidays.

Any variations to the above working hours must be authorised by the Chief Executive Officer, prior to the commencement of such works.

Public Notification of the Works

14. The developer or the nominated representative must provide:
 - a. Public notification of the development in local newspapers in accordance with Section CP1.11 of the *FNQROC Development Manual*.
 - b. Signage identifying the location of the project, general allotment layout, contact numbers (including out-of-office hours emergency numbers) must be provided at all entrance points

to the development. All signage must be appropriately positioned, prior to the commencement of any works on the site.

Site Inspections

15. Council requires a number of major inspections to be completed as Witness and Hold Points for Consulting Engineers and Council officers during the construction of the works. Inspections undertaken during construction shall be in accordance with Section CP1.16 (Inspection and Testing) of the *FNQROC Development Manual*. These Witness and Hold points are to be included in the contractors Inspection and Test Plan (ITP) and be made available for inspection, prior to the commencement of any works on the site.

Soil and Water Management

16. All works must be in accordance with Section CP1.13 and D5 of the *FNQROC Development Manual*, and must comply with the following:
 - a. A copy of the contractor's Erosion and Sediment Control (ESC) Plan is to be submitted to Council and endorsed by the Consulting Engineer, prior to commencement of any works. In particular, the ESC Plan must address the Institution of Engineers' Australia *Guidelines for Soil Erosion and Sediment Control and the Environment Protection (Water) Policy* and Clauses CP1.06, CP1.13 and D5.10 of Council's *FNQROC Development Manual*. The ESC Plan must be relevant to all phases of the construction and be updated where necessary as works progress.
 - b. Any dewatering activities will require approval from Council's Environmental Protection Unit, telephone number 07 4099 9475 and a valid permit obtained prior to commencement.
 - c. During the construction period, the Consulting Engineer shall randomly audit and inspect ESC measures for compliance with the Engineer endorsed contractor's ESC Plan, derived from the Engineer's ESC Strategy (As per *FNQROC Development Manual* CP1 Appendix A).
 - d. It is the contractor's responsibility to ensure that the ESC Plan is updated and amended to reflect any changes in the construction methodology. All such amendments shall be approved by the Engineer and presented to Council.
 - e. The developer shall be held responsible for any rectification works required to clean up dust, pollutants and sediments that may leave the site as a result of construction activities.
 - f. The developer or their representative shall be responsible for communicating with third parties affected by any dust, pollutants or sediment leaving the site as a result of any construction activity that is associated with the project site.

Street Lighting

17. The provision of street lighting is to be in accordance with the *FNQROC Development Manual* D8 and designed to comply with the Road Lighting Standard AS/NZS 1158, a compliance certificate that has been certified by an appropriate Registered Professional Engineer of Queensland (RPEQ) must be provided to demonstrate the lighting design complies to the requirements of the Road Lighting Standard AS/NZS 1158. New street lighting is to be erected as a Rate 2 public lighting installation, Rate 1 will only be considered where an overhead electricity reticulation exists:
 - a. Lighting columns, luminaires and lamps are to be of a type specified in Ergon Energy's *Lighting Construction Manual*, unless approved otherwise by Council.

- b. The applicable lighting category for roads associated with this project having a road hierarchy of residential access and above is identified in Table D8.1 of the *FNQROC Development Manual*.
- c. Local Area Traffic Management (LATM) devices including roundabouts, must be provided with an illumination of not less than 3.5 Lux as specified in the Road Lighting Standard AS/NZS 1158.
- d. Street lighting located adjacent to the development frontage must be located behind the kerb (usually a minimum of 820 mm from the invert of the kerb) and spaced to meet the required lighting category for the road.

Infrastructure Plans for Utility Services

- 18. Approved infrastructure plans for gas, electrical and telecommunications services must be endorsed by Council, prior to the commencement of associated works.

Landscaping General

- 19. Landscaping shall be provided in accordance with Part D9 and Part S8 of the *FNQROC Development Manual*, unless approved otherwise by Council.
- 20. The landscaping works must be constructed in accordance with the approved plans and conditions. The developer must seek approval in writing from the Council for any changes to the plan or the landscaping works on the site. This approval must be obtained prior to commencement of these works on site.
- 21. The landscape must be maintained in good order by the developer for at least three (3) months during the Works Acceptance period, and generally timed to coincide with the Final Works Acceptance Inspection, when all landscaping works must be in a condition suitable for Council to commence regular maintenance.

Trees

- 22. Any trees must be planted and staked in accordance with the *FNQROC Development Manual* drawing S4210, with root barriers installed such that they are just visible at the finished surface level. Note that where footpaths are to be provided, a root barrier must also be provided between the tree and the path. Root barriers must be installed and appropriate topsoil, level of compaction and drainage provided, as specified by the manufacturer.
- 23. Street tree planting locations must be in compliance with *FNQROC Development Manual* D9.07.6 'Alignment and placement of Street Trees'. Trees shall be positioned a minimum of:
 - a. 7.5 metres from streetlights;
 - b. two (2) metres from the inlet or outlet of stormwater pipes;
 - c. three (3) metres from any driveways;
 - d. ten (10) metres back from the apex of both boundaries of a corner lot;
 - e. 0.8 metres – one (1) metres from the back of kerbs.
- 24. All trees must be watered directly after planting and prior to laying mulch. The mulch must be left clear of the trunk and be laid in accordance with *FNQROC Development Manual* drawing

S4210 and S8.14, at a radius of 0.5 metre around the base of the tree and out to the back of kerb.

25. All trees must be of good vigour and health and must not be root-bound at the time of planting. They should be approximately 1.5 metres – two (2) metres tall with well-established root and branch formation. Trees should have a clear dominant central leader.
26. A joint site inspection is to be held with Council officers and developer's representative to assess the general condition of any existing trees and shrubs within six (6) metres of any property boundary abutting the road reserve, or other Council land. If any dead, dying or dangerous trees are identified during the meeting, with the landowner's consent, they are to be removed to the satisfaction of Council officers, prior to the sealing of plans for the associated lot.
27. Any trees identified on drawings to be retained, are to be protected in accordance with approved plans. This must include, but is not limited to, the erection and continued maintenance of suitable physical barrier(s) placed around the tree to protect the tree and the root system. Additional protection of tree trunks by the fixing of timber planks using wire loops is also required unless approved otherwise by Council. Any damage caused to nominated trees as a result of construction activity, will require inspection by Council and will require a specified number of suitable replacements trees of suitable maturity to be provided to replace the loss in amenity.

Verges

28. All verges are to be covered full-width with topsoil (AS 4419/Soils for Landscaping and Garden Use) to a depth of not less than 40 mm, lightly compacted and grassed in accordance with Council's Guidelines and Specifications.
29. Any island beds or any shrub beds must have a permanent irrigation system installed, which must be connected to the Douglas Water Network. An Application for a Water Service Connection must be presented to Douglas Water & Waste to facilitate the connection, and must include the installation of a flow meter and associated valves.
30. All water reticulation, including permanent irrigation systems, are to be identified in as-constructed plans which must be submitted to Council for approval prior to the Works Acceptance (On Maintenance) meeting for landscaping.

Structures and Retaining Walls

31. Separate building certification and/or structural certification is required for any works to alter existing structures, provide new structures or construct retaining walls that are over 900 mm high. Certification by a suitably qualified engineer must be provided, prior to opening the work site to the public.

The Location of Stormwater Quality Interception Devices (SQIDs)

32. Council must approve the location of any SQIDs prior to installation. They shall be positioned to allow for economic and efficient maintenance operations, and will require a reinforced concrete hard standing area to be provided from the edge of the carriageway to the SQID location. Vehicular access from the public road reserve to the SQID must remain unrestricted.

Sewer and Water

33. All water and sewerage works must be in accordance with Sections D6 and D7 of the *FNQROC Development Manual*, and must comply with the following:

- a. Douglas Shire Council requires a minimum of five (5) working days notice of intention to commence water and sewerage related works. The notice shall be given to the Senior Plumbing Inspector at Douglas Shire Council either in writing, by telephone 07 4099 9479, fax 07 4098 2902 or email to enquiries@douglas.qld.gov.au prior to the commencement of works.
- b. The developer shall be responsible for confirming the location of all existing sewer, water and utility service infrastructure prior to the commencement of works on site. Any permits necessary to alter/interfere with such services must be obtained prior to the commencement of work and be available for Council inspection if required.
- c. Any works over or within the zone of influence of Council's existing water and sewerage infrastructure must be approved by Douglas Shire Council prior to the commencement of the proposed works. Unless otherwise approved in writing, existing infrastructure impacted by the development shall be subject to the maintenance period provisions contained in this Decision Notice.

Construction works shall include any works that may impact on existing infrastructure such as, but not limited to, mobilisation of heavy earthmoving equipment, stripping and grubbing, site filling, stockpiling of materials and installation of erosion and sediment control measures.

- d. All testing and acceptance of water and sewerage works shall be in accordance with CP1 Construction Procedures of the *FNQROC Development Manual*. Works are to be certified as acceptable by Douglas Water & Waste, and any operating manuals etc be provided to Council, prior to making an application for the acceptance of the works.

Sewer

34. Douglas Water & Waste must be contacted to perform any direct connection to live sewer mains. Unless otherwise approved in writing, separate applications for approval on the prescribed forms shall be made to Douglas Water & Waste for each connection together with payment of the relevant fee. All connections are to be provided subject to the terms and conditions of Douglas Shire Council's 'Application for Plumbing Works'.
- a. Amended drawings in accordance with these conditions must be approved prior to the pre-start meeting.
 - b. The Inspection and Test Plan (ITP) must be approved prior to the pre-start meeting. At project completion the completed and validated ITP must be submitted and approved prior to the issue of a Works Acceptance Certificate.
 - c. Where retaining walls are located within the zone of influence of a sewer the footings must be 1000 mm clear of the sewer and designed in accordance with the *Queensland*

Development Code. Full design details and structural certification must be approved prior to commencement of works.

- d. Minimum clearances between sewer mains and other services must be in accordance with the *Sewerage Code of Australia*. Clearances must be included on the long-section drawing.
- e. Where a manhole is located in a batter, a flat area of 1.5 metres radius from the centre of the manhole must be provided. Where the manhole is located along a side or rear boundary and is on the 0.8 metre standard alignment then the flat area must be on at least three (3) sides.
- f. Where an easement is required the property connection branch must be extended at least one (1) metre from the easement boundary.
- g. House drains are to extend one (1) metre past the end of the driveway on hatchet blocks and 1.5 metres beyond the top of batters. An I.O. is to be provided at the downstream end of the house drain within one (1) metre of the boundary to delineate the end of the property connection branch.
- h. As-constructed sewerage drawings must be approved prior to granting of Early Plan Sealing or Issue of a Works Acceptance Certificate whichever occurs first. The as-constructed submission is to include the 'Statement of Compliance – As-constructed Documentation' and must be the final issue.

Water

- 35. Douglas Shire Council must be contacted to perform any direct connection to live water mains whether being as a permanent connection, a connection for irrigation purposes or for construction water. Unless otherwise approved in writing, separate applications on the prescribed forms shall be made to Douglas Shire Council for connections, together with payment of the relevant fee. All connections are to be provided subject to the terms and conditions of Douglas Shire Council's 'Application for a Water Service Connection'.
 - a. Amended drawings in accordance with these conditions must be approved prior to the pre-start meeting.
 - b. The Inspection and Test Plan (ITP) must be approved prior to the pre-start meeting. At project completion the completed and validated ITP must be submitted and approved prior to the issue of a Works Acceptance Certificate.
 - c. Minimum clearances between water mains and other services must be in accordance with the *Water Supply Code of Australia* in particular the minimum clearance between water mains and sewer mains must be 500 mm with the sewer under the water main.
 - d. As-constructed water drawings must be approved prior to Issue of a Works Acceptance Certificate. The as-constructed submission is to include the 'Statement of Compliance – As-constructed Documentation' and must be the final issue.

Roads and Footpaths

36. All works are to be designed and constructed in accordance with AS 1428.1-2001: *'Design for access and mobility'* – General requirements for access – New building work, and associated standard AS/NZS 1428.4 2002, *'Design for Access and Mobility'* – Tactile Indicators. The design is required to provide equal access for people with disability and include the provision of suitable ramps and landing areas and the installation of Tactile Ground Surface Indicators (TGSIs) where required.

Cultural Heritage

37. The *Aboriginal Cultural Heritage Act* 2003 (the Act) seeks to protect artefacts and cultural sites that are of significance to Aboriginal people. The Act requires anyone carrying out an activity to exercise a Duty of Care. Guidelines have been produced to enable assessment of sites under the Act. These are available from Department of Environment Heritage Protection and can be downloaded from their website at www.ehp.qld.gov.au. The work identified in the project documentation is likely to require assessment of the site under the Act.