

MEMO TO: PAUL HOYE – GENERAL MANAGER SUSTAINABLE COMMUNITIES

FROM: SIMON CLARKE – PLANNING OFFICER

DATE: 14 MARCH 2016

SUBJECT: **DELEGATED AUTHORITY REPORT –
MATERIAL CHANGE OF USE (HOUSE – FRONT BOUNDARY
DISPENSATION) – 48R LOWER CASSOWARY ROAD
CASSOWARY**

PROPOSAL: HOUSE (FRONT BOUNDARY SETBACK
DISPENSATION)

APPLICANT: G E EVANS & B G EVANS
12 RIBBON AVE
PORT DOUGLAS QLD 4877

LOCATION: 48R LOWER CASSOWARY ROAD CASSOWARY

PROPERTY: LOT 1 ON RP909144

LOCALITY: RURAL AREAS AND RURAL SETTLEMENTS

PLANNING AREA: RURAL

PLANNING SCHEME: DOUGLAS SHIRE PLANNING SCHEME 2006

REFERRAL AGENCIES: NONE

NUMBER OF SUBMITTERS: N/A

STATUTORY ASSESSMENT
DEADLINE: 11 APRIL 2016

APPLICATION RECEIVED 10 MARCH 2016

APPENDIX:

1. APPROVED PLAN(S) & DOCUMENT(S)
2. STANDARD DRAWING – ACCESS CROSSOVER

LOCALITY PLAN



RECOMMENDATION

That the General Manager Operations, under Instrument of Delegation, approves the Development Application as detailed above subject to the following:

APPROVED DRAWING(S) AND / OR DOCUMENT(S)

The term 'approved drawing(s) and / or document(s)' or other similar expressions means:

Drawing or Document	Reference	Date
Site Plan	Home-Fab Job Number: EVANS	March 2016
Floor Plan	BRAD AND GLENDA EVANS NQ Carpet Services Final Plan	Received 14 March 2016
Elevation 1	B and G Evans	14 March 2016
Elevation 2	B and G Evans	14 March 2016
Elevation 3	B and G Evans	14 March 2016
Elevation 4	B and G Evans	14 March 2016

ASSESSMENT MANAGER CONDITIONS

1. Carry out the approved development generally in accordance with the approved drawing(s) and/or document(s), and in accordance with:
 - a. The specifications, facts and circumstances as set out in the application submitted to Council, including recommendations and findings confirmed within technical reports; and
 - b. The following conditions of approval and the requirements of Council's Planning Scheme and the *FNQROC Development Manual*.

Except where modified by these conditions of approval.

Timing of Effect

2. The conditions of the Development Permit must be satisfied prior to Commencement of Use, except where specified otherwise in these conditions of approval.

Lawful Point of Discharge

3. The flow of all external stormwater from the property must be directed to a lawful point of discharge such that it does not adversely affect surrounding properties or properties downstream from the development.

On-Site Effluent Disposal

4. The method of on-site effluent disposal must be in accordance with the Queensland Plumbing & Wastewater Code.

ADVICE

1. This approval, granted under the provisions of the *Sustainable Planning Act 2009*, shall lapse four (4) years from the day the approval takes effect in accordance with the provisions of the *Sustainable Planning Act 2009*.
2. The applicant/owner is advised that this approval does not approve the construction of the building work. A Development Permit for Building Work must be obtained in order for construction to commence.
3. All building site managers must take all action necessary to ensure building materials and / or machinery on construction sites are secured immediately following the first cyclone watch and that relevant emergency telephone contacts are provided to Council officers, prior to commencement of works.
4. This approval does not negate the requirement for compliance with all other relevant Local Laws and other statutory requirements.
5. For information relating to the *Sustainable Planning Act 2009* log on to www.dilgp.qld.gov.au . To access the *FNQROC Development Manual*, Local Laws and other applicable Policies log on to www.douglas.qld.gov.au .

SUMMARY:

Application has been made for a House in the Rural planning area. The proposed House is setback 6.0metres from its road frontage to Lower Cassowary Road. The planning scheme requires a 20 metre setback to road frontages in the Rural planning area. Ordinarily a house would be self-assessable in the Rural planning area. However non-compliance with the setback provision elevates the application to a Code Assessable application.

The lot is a particularly small rural lot which cannot sensibly accommodate a 20 metre setback. The house on the adjoining lot is setback a similar distance to Lower Cassowary Road. The development proposal otherwise is capable of complying with all other Acceptable Solutions contained within the Rural planning area code and is therefore recommended for approval.

COUNCIL'S ROLE

Under the *Sustainable Planning Act 2009* and the *Sustainable Planning Regulation 2009*, Council is the assessment manager for the application.

MAYORAL COMMENTS

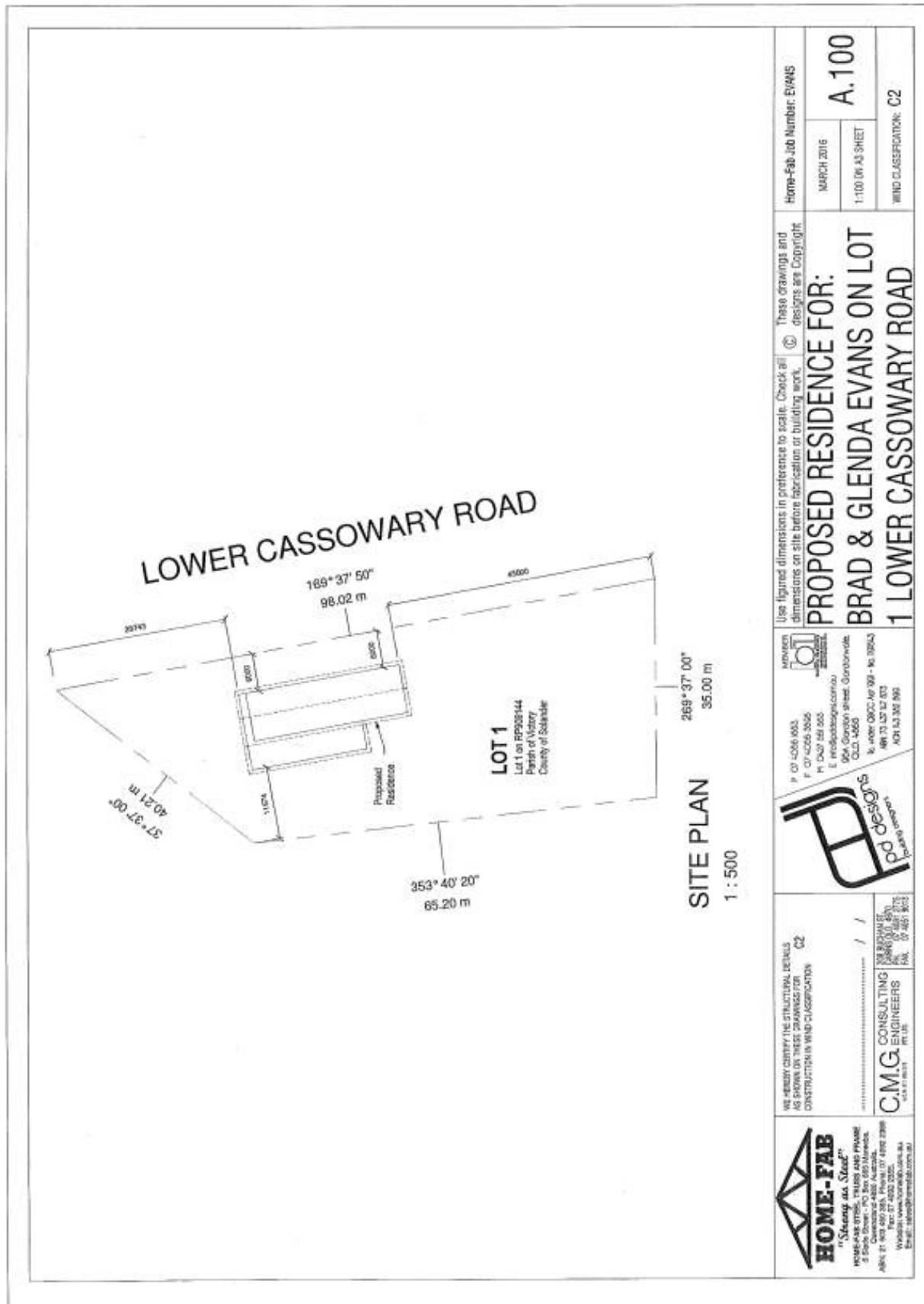
The Mayor has advised that the development application may be approved under Delegated Authority (Ref: 769243).

Simon Clarke
Planning Consultant
Action Officer

Paul Hoyer
General Manager Operations

Approved / ~~Not Approved~~

APPENDIX 1: APPROVED PLAN(S) & DOCUMENT(S)



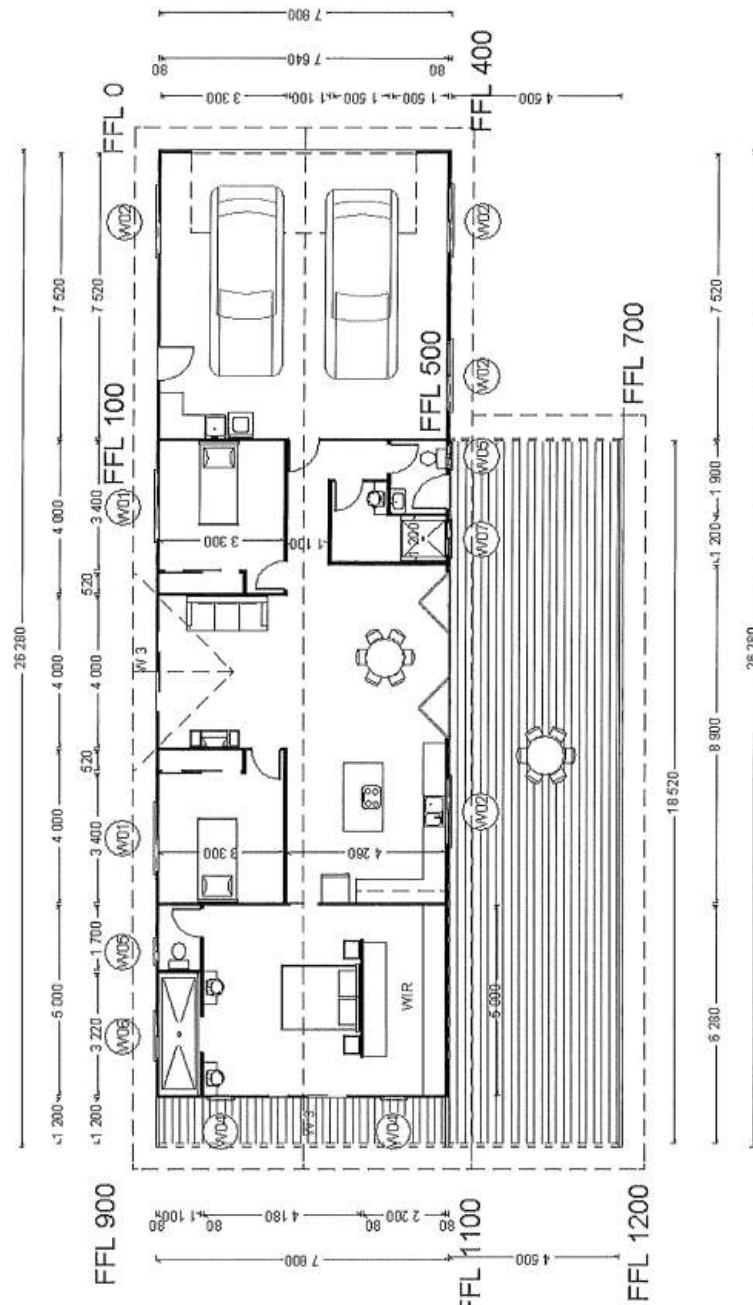
reefpark1@bigpond.com

FINAL PLAN

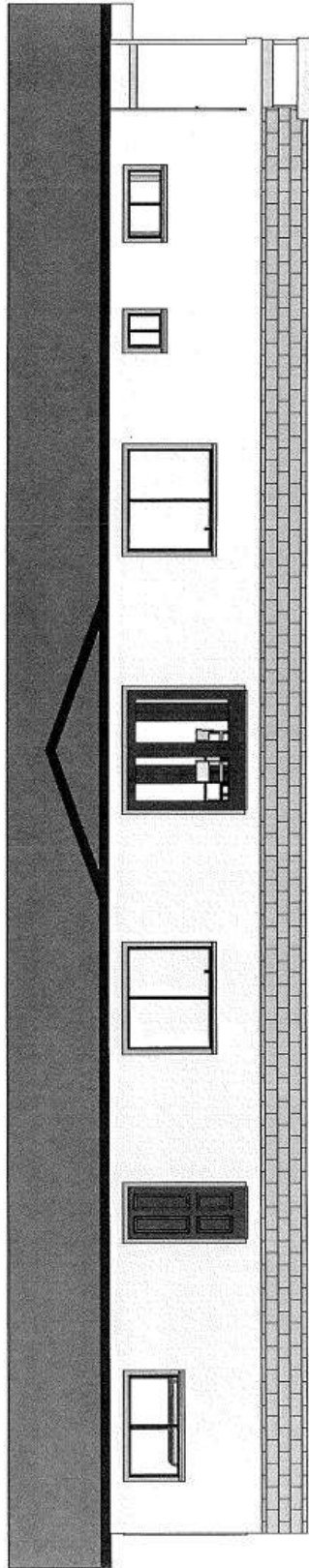
LIVING AREA
290.5 sq m



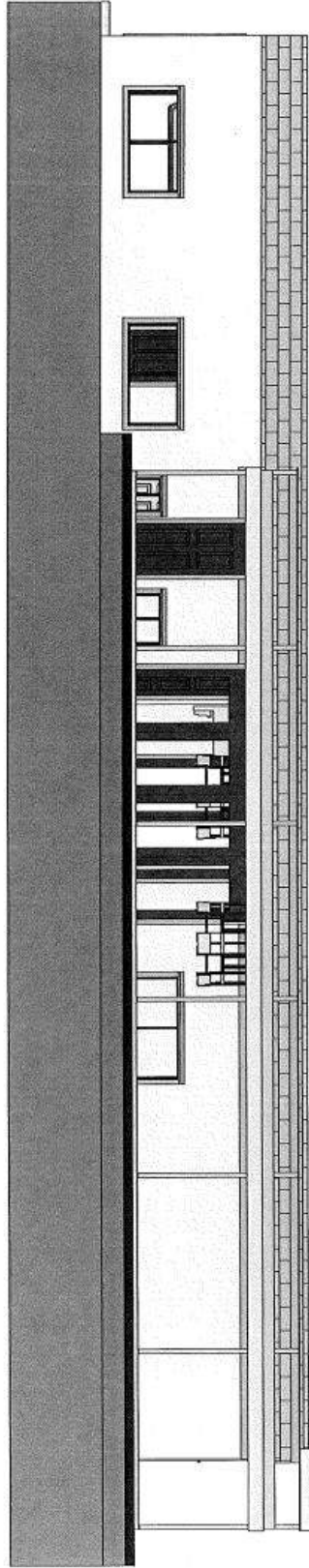
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V002	4	1800	900	LEFT SLIDING
V003	2	2100	2100	EXT SLIDER GLASS
V004	2	600	1200	LOUVERED
V005	2	600	600	LEFT SLIDING
V006	1	1200	600	LEFT SLIDING
V007	1	900	600	LEFT SLIDING



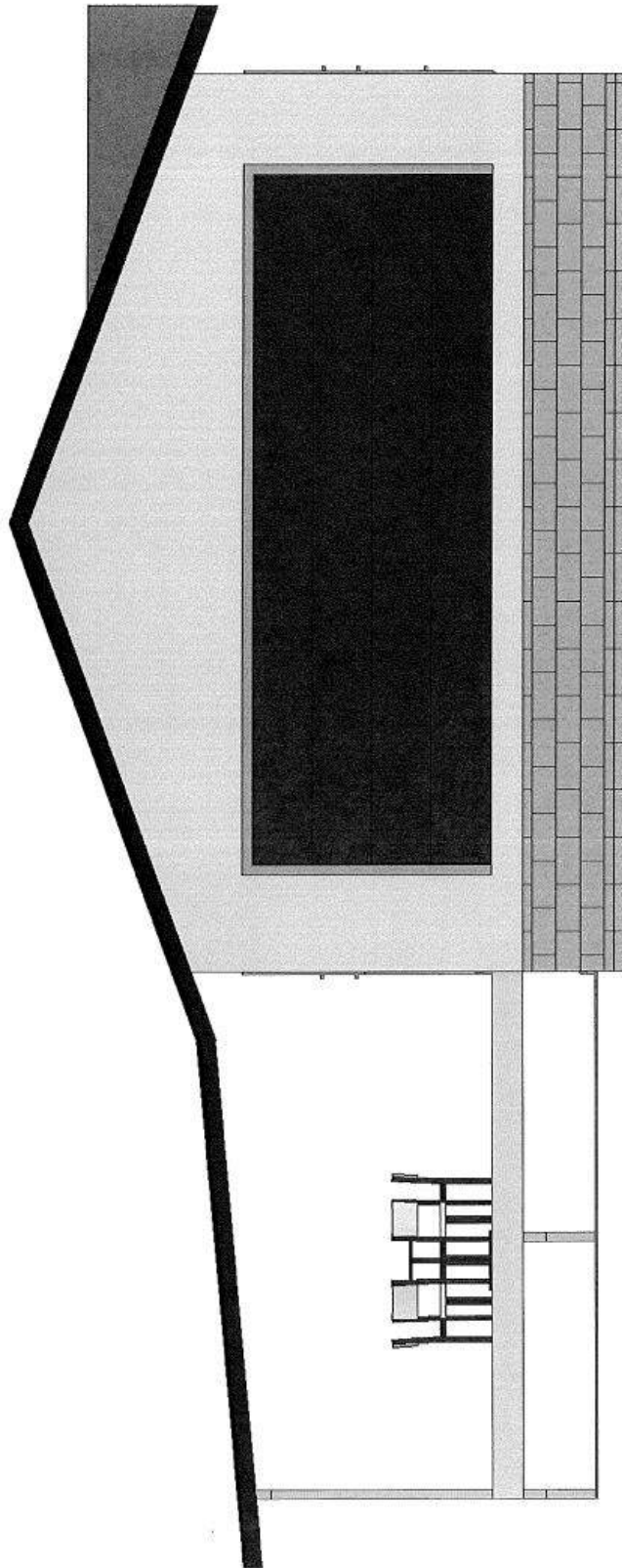
Received 14 March 2016



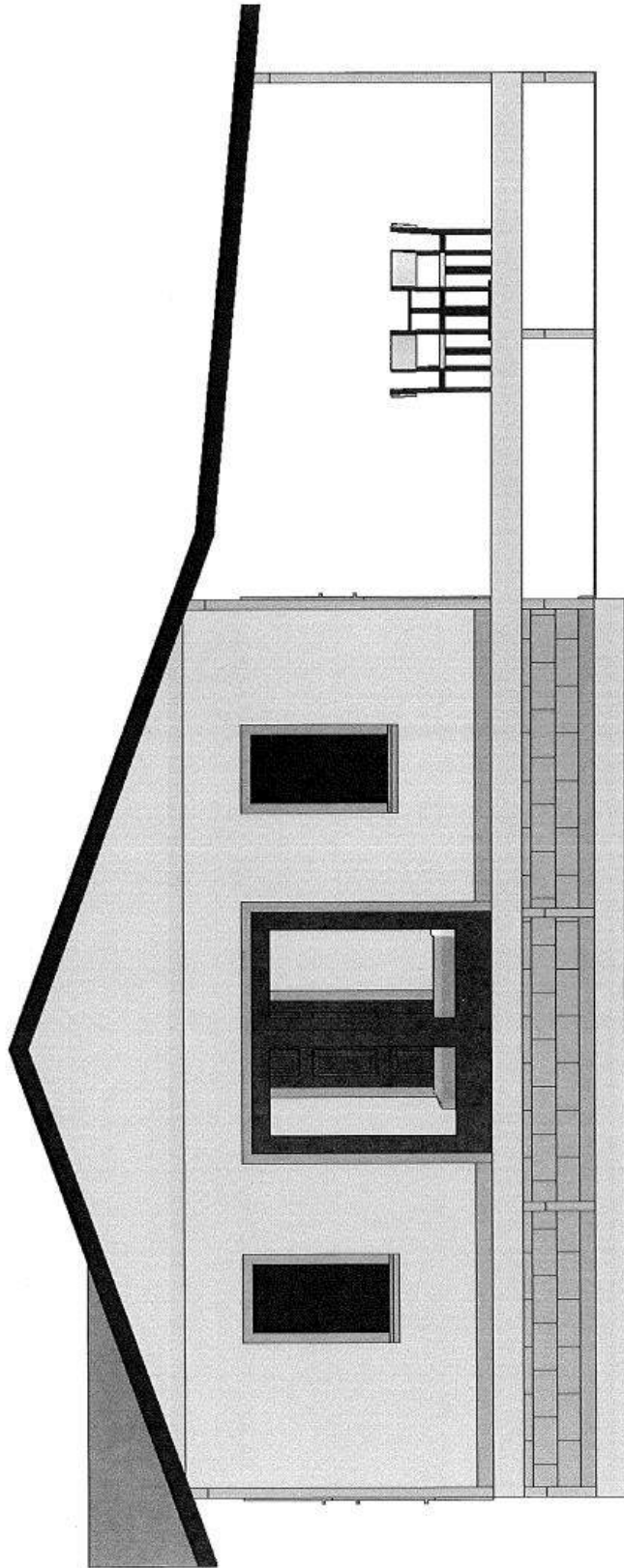
Elevation 1 B and G Evans 14 March 2016



Elevation 2 B and G Evans 14 March 2016



Elevation 3 B and G Evans 14 March 2016



Elevation 4 B and G Evans 14 March 2016