



Town Planning and Project Services

15 May 2026

Chief Executive Officer  
Douglas Shire Council  
64-66 Front Street  
MOSSMAN QLD 4873

Attn: Mr. Neil Beck (Team Leader Planning)

Submitted via: [enquiries@douglas.qld.gov.au](mailto:enquiries@douglas.qld.gov.au)

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**RE: DEVELOPMENT APPLICATION FOR A MATERIAL CHANGE OF USE (DWELLING HOUSE)  
OVER LAND AT L3 DAGMAR CLOSE, LOWER DAINTREE (LOT 3 ON RP865078)**

Aspire Town Planning and Project Services has been engaged by Clayton Bray (the *Applicant* and *Landowner*) in relation to the above Development Application. On behalf of the Applicant, please accept this correspondence and attachments as a properly made Development Application pursuant to Sections 50 and 51 of the *Planning Act 2016*, seeking a Development Permit for a Material Change of Use for a Dwelling House over land located at L3 Dagmar Close, Lower Daintree, formally described as Lot 3 on RP865078.

The subject site is included within the Environmental Management Zone under the *Douglas Shire Planning Scheme 2018 (v1.0)* and is affected by multiple environmental overlays, including the Bushfire Hazard, Hillslopes, Landscape Values, Potential Landslide Hazard and Natural Areas Overlays. A Dwelling House within the Environmental Management Zone is a Code Assessable Uses requiring a Development Application for a Development Permit for a Material Change of Use.

The site is presently vacant and vegetated. Council previously granted approval for a Dwelling House over the land on 18 October 2004 under Council reference MCU 3B 066/04. That approval allowed for a dwelling to be established in the same general area now proposed.

However, it is understood that the 2004 approval was not acted upon and has since lapsed. Accordingly, while the previous approval does not provide a current development right, it remains relevant insofar as it demonstrates that Council has previously accepted the suitability of this part of the site for residential development, subject to contemporary assessment requirements.

This Development Application Package has been prepared with reference to the *Planning Act 2016*, *Planning Regulation 2017* and the *Douglas Shire Planning Scheme 2018 (v1.0)*, and includes the following supporting documentation:

- Attachment I – Duly completed DA Form I; and

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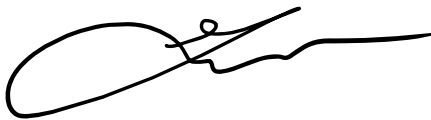
PO BOX 1040, MOSSMAN QLD 4873  
M. 0418826560  
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W. [www.aspireqld.com](http://www.aspireqld.com)  
ABN. 79 851 193 691

- Attachment 2 – Town Planning Report, addressing the applicable planning considerations.

Under the Douglas Shire Council Fees and Charges Schedule 2025/26, the applicable Development Application fee is calculated to be \$372. We kindly request that Council confirm the applicable fee amount and issue an invoice for the total amount, to be paid directly by the Applicant.

We appreciate your time in reviewing this application and trust the enclosed documentation provides sufficient information to support Council's assessment of the application. Should any further information or clarification be required, please contact the undersigned.

Regards,

A handwritten signature in black ink, appearing to read 'Daniel Favier', with a large, stylized initial 'D' and a horizontal line extending to the right.

Daniel Favier

**Senior Town Planner**

**ASPIRE Town Planning and Project Services**

## **Attachment I**

**Duly completed DA Form I**

# DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the *Planning Act 2016*, the *Planning Regulation 2017*, or the *Development Assessment Rules (DA Rules)*.

## PART 1 – APPLICANT DETAILS

### 1) Applicant details

Applicant name(s) <i>(individual or company full name)</i>	Clayton Bray
Contact name <i>(only applicable for companies)</i>	c/- Daniel Favier T/A Aspire Town Planning and Project Services
Postal address <i>(P.O. Box or street address)</i>	PO Box 1040
Suburb	Mossman
State	QLD
Postcode	4873
Country	Australia
Contact number	0418 826 560
Email address <i>(non-mandatory)</i>	admin@aspireqld.com
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	
Applicant's reference number(s) <i>(if applicable)</i>	2026-04-40 - Scoey - Lot 3 Dagmar Close, Lower Daintree

#### 1.1) Home-based business

Personal details to remain private in accordance with section 264(6) of *Planning Act 2016*

### 2) Owner's consent

#### 2.1) Is written consent of the owner required for this development application?

- Yes – the written consent of the owner(s) is attached to this development application  
 No – proceed to 3)

## PART 2 – LOCATION DETAILS

### 3) Location of the premises (complete 3.1) or 3.2, and 3.3) as applicable)

**Note:** Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.

#### 3.1) Street address and lot on plan

- Street address **AND** lot on plan (all lots must be listed), **or**  
 Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
			Dagmar Close	Lower Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	3	RP865078	Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

#### 3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

**Note:** Place each set of coordinates in a separate row.

- Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

#### 3.3) Additional premises

- Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application  
 Not required

#### 4) Identify any of the following that apply to the premises and provide any relevant details

- In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable)

<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>
Name of airport: <input type="text"/>
<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

**5) Are there any existing easements over the premises?**

*Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).*

- Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- No

## PART 3 – DEVELOPMENT DETAILS

### Section 1 – Aspects of development

**6.1) Provide details about the first development aspect**

a) What is the type of development? *(tick only one box)*

- Material change of use     Reconfiguring a lot     Operational work     Building work

b) What is the approval type? *(tick only one box)*

- Development permit     Preliminary approval     Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment     Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Dwelling House

e) Relevant plans

*Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- Relevant plans of the proposed development are attached to the development application

**6.2) Provide details about the second development aspect**

a) What is the type of development? *(tick only one box)*

- Material change of use     Reconfiguring a lot     Operational work     Building work

b) What is the approval type? *(tick only one box)*

- Development permit     Preliminary approval     Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment     Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

*Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- Relevant plans of the proposed development are attached to the development application

**6.3) Additional aspects of development**

- Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- Not required

**6.4) Is the application for State facilitated development?**

- Yes - Has a notice of declaration been given by the Minister?
- No

**Section 2 – Further development details****7) Does the proposed development application involve any of the following?**

- |                        |   |
|------------------------|---|
| Material change of use | <input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument |
| Reconfiguring a lot    | <input type="checkbox"/> Yes – complete division 2  |
| Operational work       | <input type="checkbox"/> Yes – complete division 3  |
| Building work          | <input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>                                |

**Division 1 – Material change of use**

**Note:** This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

**8.1) Describe the proposed material change of use**

Provide a general description of the proposed use	Provide the planning scheme definition <i>(include each definition in a new row)</i>	Number of dwelling units <i>(if applicable)</i>	Gross floor area (m <sup>2</sup> ) <i>(if applicable)</i>
Residential House	Dwelling House	NA	NA

**8.2) Does the proposed use involve the use of existing buildings on the premises?**

- Yes
- No

**8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?**

- Yes – provide details below or include details in a schedule to this development application
- No

Provide a general description of the temporary accepted development	Specify the stated period dates under the Planning Regulation

**Division 2 – Reconfiguring a lot**

**Note:** This division is only required to be completed if any part of the development application involves reconfiguring a lot.

**9.1) What is the total number of existing lots making up the premises?**

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**9.2) What is the nature of the lot reconfiguration? *(tick all applicable boxes)***

- |  |   |
|--|---|
| <input type="checkbox"/> Subdivision <i>(complete 10)</i>          | <input type="checkbox"/> Dividing land into parts by agreement <i>(complete 11)</i>   |
| <input type="checkbox"/> Boundary realignment <i>(complete 12)</i> | <input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road <i>(complete 13)</i> |



14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$

## PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Douglas Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- Yes – a copy of the decision notice is attached to this development application
- The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- No

## PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

*Note: A development application will require referral if prescribed by the Planning Regulation 2017.*

- No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the *Planning Act 2016***:

- Clearing native vegetation
- Contaminated land (*unexploded ordnance*)
- Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- Fisheries – aquaculture
- Fisheries – declared fish habitat area
- Fisheries – marine plants
- Fisheries – waterway barrier works
- Hazardous chemical facilities
- Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- Infrastructure-related referrals – designated premises
- Infrastructure-related referrals – state transport infrastructure
- Infrastructure-related referrals – State transport corridor and future State transport corridor
- Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- Infrastructure-related referrals – near a state-controlled road intersection
- Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- Koala habitat in SEQ region – key resource areas
- Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- Ports – Brisbane core port land – environmentally relevant activity (ERA)
- Ports – Brisbane core port land – tidal works or work in a coastal management district
- Ports – Brisbane core port land – hazardous chemical facility
- Ports – Brisbane core port land – taking or interfering with water
- Ports – Brisbane core port land – referable dams
- Ports – Brisbane core port land – fisheries
- Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- SEQ development area
- SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- SEQ regional landscape and rural production area or SEQ rural living area – community activity
- SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- SEQ regional landscape and rural production area or SEQ rural living area – combined use



- SEQ northern inter-urban break – tourist activity or sport and recreation activity
- SEQ northern inter-urban break – community activity
- SEQ northern inter-urban break – indoor recreation
- SEQ northern inter-urban break – urban activity
- SEQ northern inter-urban break – combined use
- Tidal works or works in a coastal management district
- Reconfiguring a lot in a coastal management district or for a canal
- Erosion prone area in a coastal management district
- Urban design
- Water-related development – taking or interfering with water
- Water-related development – removing quarry material *(from a watercourse or lake)*
- Water-related development – referable dams
- Water-related development – levees *(category 3 levees only)*
- Wetland protection area

Matters requiring referral to the **local government**:

- Airport land
- Environmentally relevant activities (ERA) *(only if the ERA has been devolved to local government)*
- Heritage places – Local heritage places

Matters requiring referral to the **Chief Executive of the distribution entity or transmission entity**:

- Infrastructure-related referrals – Electricity infrastructure

Matters requiring referral to:

- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual
- Infrastructure-related referrals – Oil and gas infrastructure

Matters requiring referral to the **Brisbane City Council**:

- Ports – Brisbane core port land

Matters requiring referral to the **Minister responsible for administering the Transport Infrastructure Act 1994**:

- Ports – Brisbane core port land *(where inconsistent with the Brisbane port LUP for transport reasons)*
- Ports – Strategic port land

Matters requiring referral to the **relevant port operator**, if applicant is not port operator:

- Ports – Land within Port of Brisbane’s port limits *(below high-water mark)*

Matters requiring referral to the **Chief Executive of the relevant port authority**:

- Ports – Land within limits of another port *(below high-water mark)*

Matters requiring referral to the **Gold Coast Waterways Authority**:

- Tidal works or work in a coastal management district *(in Gold Coast waters)*

Matters requiring referral to the **Queensland Fire and Emergency Service**:

- Tidal works or work in a coastal management district *(involving a marina (more than six vessel berths))*

**18) Has any referral agency provided a referral response for this development application?**

- Yes – referral response(s) received and listed below are attached to this development application
- No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application *(if applicable)*.

## PART 6 – INFORMATION REQUEST

### 19) Information request under the DA Rules

I agree to receive an information request if determined necessary for this development application

I do not agree to accept an information request for this development application

**Note:** By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the [DA Forms Guide](#).

## PART 7 – FURTHER DETAILS

### 20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

Yes – provide details below or include details in a schedule to this development application

No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

### 21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

Yes – a copy of the receipted QLeave form is attached to this development application

No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid

Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

### 22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

Yes – show cause or enforcement notice is attached

No

## 23) Further legislative requirements

### Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
- No

**Note:** Application for an environmental authority can be found by searching "ESR/2015/1791" as a search term at [www.qld.gov.au](http://www.qld.gov.au). An ERA requires an environmental authority to operate. See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

### Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- Yes – *Form 536: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application
- No

**Note:** See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information about hazardous chemical notifications.

### Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- No

**Note:** 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.  
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

### Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- No

**Note:** The environmental offset section of the Queensland Government's website can be accessed at [www.qld.gov.au](http://www.qld.gov.au) for further information on environmental offsets.

### Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- Yes – the development application involves premises in the koala habitat area in the koala priority area
- Yes – the development application involves premises in the koala habitat area outside the koala priority area
- No

**Note:** If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for further information.

### Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

No

**Note:** Contact the Department of Resources at [www.resources.qld.gov.au](http://www.resources.qld.gov.au) for further information.

DA templates are available from [planning.statedevelopment.qld.gov.au](http://planning.statedevelopment.qld.gov.au). If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

### Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

Yes – the relevant template is completed and attached to this development application

No

DA templates are available from [planning.statedevelopment.qld.gov.au](http://planning.statedevelopment.qld.gov.au). For a development application involving waterway barrier works, complete DA Form 1 Template 4.

### Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

No

**Note:** See guidance materials at [www.daf.qld.gov.au](http://www.daf.qld.gov.au) for further information.

### Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake under the *Water Act 2000***?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

**Note:** Contact the Department of Resources at [www.resources.qld.gov.au](http://www.resources.qld.gov.au) and [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

### Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water under the *Coastal Protection and Management Act 1995***?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

**Note:** Contact the Department of Environment, Science and Innovation at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for further information.

### Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application

No

**Note:** See guidance materials at [www.resources.qld.gov.au](http://www.resources.qld.gov.au) for further information.

### **Tidal work or development within a coastal management district**

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- Yes – the following is included with this development application:
- Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
  - A certificate of title

No

**Note:** See guidance materials at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for further information.

### **Queensland and local heritage places**

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

Yes – details of the heritage place are provided in the table below

No

**Note:** See guidance materials at [www.desi.qld.gov.au](http://www.desi.qld.gov.au) for information requirements regarding development of Queensland heritage places. For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at [www.planning.statedevelopment.qld.gov.au](http://www.planning.statedevelopment.qld.gov.au) for information regarding assessment of Queensland heritage places.

Name of the heritage place:

Place ID:

### **Decision under section 62 of the Transport Infrastructure Act 1994**

23.14) Does this development application involve new or changed access to a state-controlled road?

Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

No

### **Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation**

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

No

**Note:** See guidance materials at [www.planning.statedevelopment.qld.gov.au](http://www.planning.statedevelopment.qld.gov.au) for further information.

## **PART 8 – CHECKLIST AND APPLICANT DECLARATION**

### **24) Development application checklist**

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

Yes

**Note:** See the *Planning Regulation 2017* for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

Yes

Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

**Note:** This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

Yes

Relevant plans of the development are attached to this development application

**Note:** Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

Yes

Not applicable



**25) Applicant declaration**

- By making this development application, I declare that all information in this development application is true and correct
- Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

*Note: It is unlawful to intentionally provide false or misleading information.*

**Privacy** – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager’s and/or referral agency’s website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

**PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY**

Date received:  Reference number(s):

**Notification of engagement of alternative assessment manager**

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

**QLeave notification and payment**

*Note: For completion by assessment manager if applicable*

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

**Attachment 2**

**Town Planning Report**



# Town Planning Report

MATERIAL CHANGE OF USE FOR A DWELLING HOUSE  
L3 DAGMAR CLOSE, LOWER DAINTREE  
LOT 3 ON RP865078

**14 May 2026**

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**ASPIRE Town Planning and Project Services**

**Authored by: Daniel Favier**

**Ref: 2026-04-40 - Scoey - Lot 3 Dagmar Close, Lower Daintree**

This Town Planning Report is intended for the exclusive use of our Client "Clayton Bray" and is provided for informational purposes only. The information contained herein has been prepared based on sources and data believed to be reliable and accurate at the time of preparation. However, Aspire Town Planning and Project Services does not warrant the accuracy, completeness, or currency of the information and disclaims any responsibility for any errors or omissions, or for any loss or damage incurred by any party as a result of reliance on this information.

The conclusions and recommendations contained in this report are based on our professional judgment and interpretation of the current planning policies and regulations. It is important to note that planning regulations and policies are subject to change, and this report should not be construed as a guarantee of any future planning outcomes.

This report is confidential and may not be disclosed, reproduced, or distributed to any third party without the prior written consent of Aspire Town Planning and Project Services. Unauthorised use or distribution of this report is strictly prohibited.

# Executive Summary

This Town Planning Report has been prepared by Aspire Town Planning and Project Services on behalf of Clayton Bray (the *Applicant* and *Landowner*) in support of a Development Application seeking a Development Permit for a Material Change of Use for a Dwelling House over land located at L3 Dagmar Close, Lower Daintree, formally described as Lot 3 on RP865078.

The subject site comprises a large rural allotment with an area of approximately 6,522m<sup>2</sup> and is presently vacant (unimproved) and vegetated. The land is located within the Environmental Management Zone under the Douglas Shire Planning Scheme 2018 (Version 1.0) and is affected by the Bushfire Hazard, Hillslopes, Landscape Values, Potential Landslide Hazard and Natural Areas Overlays. A Dwelling House within the Environmental Management Zone is identified as Code Assessable development, requiring a Development Application for a Material Change of Use.

The application seeks approval for a single detached Dwelling House and associated services infrastructure. The driveway is existing and is contained within an easement which provides reciprocal rights with the neighbouring property. The proposed dwelling adopts a lightweight tropical architectural form and is elevated on posts to respond appropriately to the sloping topography of the land and minimise the need for extensive excavation or filling. The dwelling incorporates a simple low-scale building form with a pitched roof design and open undercroft area, enabling the development to sit lightly within the landscape and reduce visual bulk when viewed from surrounding areas.

The proposed building footprint is located within the same general area previously approved by Council under Development Approval MCU 3B 066/04 dated 18 October 2004. While that approval is understood to have lapsed due to not being acted upon, it nevertheless demonstrates that Council has historically accepted the suitability of this part of the site for residential development, subject to detailed design and environmental considerations.

The siting and design of the development has been carefully considered having regard to the environmental characteristics of the land. The proposal utilises an existing disturbed access alignment from Dagmar Close and concentrates development within a relatively confined area to minimise vegetation disturbance and maintain the broader environmental and scenic values of the site. The elevated design further assists in reducing earthworks, maintaining natural drainage patterns and minimising disturbance to the existing landform. The proposed development also retains the overwhelming majority of the allotment in its existing natural state.

This report demonstrates that the proposed Dwelling House is consistent with the intent and outcomes of the Environmental Management Zone and relevant Overlay and Development Codes. The proposal represents a low-intensity residential use that is compatible with the environmental values of the locality and will not give rise to unacceptable impacts in terms of visual amenity, slope stability, bushfire risk, natural character or ecological values.

Accordingly, it is respectfully submitted that the proposed development achieves an appropriate balance between facilitating reasonable residential use of the land and protecting the environmental and landscape values of the locality. On this basis, the application is considered to warrant approval, subject to reasonable and relevant conditions.

# 1.0 Summary

<b>Street Address</b>	L3 Dagmar Close, Lower Daintree
<b>Lot and Plan</b>	Lot 2 on RP 732553
<b>Land Owner</b>	Clayton Bray – refer to <b><i>Attachment 1 – Certificate of Title</i></b>
<b>Size</b>	6,522m <sup>2</sup>
<b>Road Frontages</b>	Approximately 26m to Dagmar Close
<b>Easements</b>	Access and Services (reciprocal rights with Lot 2 on RP865078)
<b>Planning Scheme</b>	<i>Douglas Shire Planning Scheme 2018 (Version 1.0)</i>
<b>Zone</b>	Environmental Management Zone
<b>Local Plan</b>	Nil
<b>Overlays</b>	<ul style="list-style-type: none"> <li>• Bushfire Hazard – Very High Bushfire Intensity; and Potential Impact Buffer</li> <li>• Hillslopes – Area Affected by Hillslopes</li> <li>• Landscape Values – High Landscape Values</li> <li>• Landslide – Landslide Hazard (High &amp; Medium Hazard Risk)</li> <li>• Natural Areas – MSES Wildlife Habitat</li> <li>• Transport Road Hierarchy – Access Road</li> </ul>
<b>Other Relevant Encumbrances</b>	Nil
<b>Current Use</b>	Vacant and vegetated
<b>Proposal</b>	Dwelling House and associated services
<b>Approvals Sought</b>	Development Permit
<b>Level of Assessment</b>	Code
<b>Regional Plan Designation</b>	Regional Landscape and Rural Production Area ( <i>Far North Queensland Regional Plan 2009–2031</i> )
<b>State Planning Policy</b>	Appropriately integrated within the Planning Scheme
<b>State Development Assessment Provisions</b>	Not applicable
<b>Referral</b>	Nil

*Table 1: Application Summary*

## 2.0 Site Description

The subject site is located at L3 Dagmar Close, Lower Daintree and is formally described as Lot 3 on RP865078. The property is situated within the northern extent of the Douglas Shire, within the broader Lower Daintree locality approximately 18km north of Mossman and to the south of the Daintree River ferry crossing. The locality forms part of the environmentally significant Daintree region, characterised by expansive areas of native vegetation, rugged topography and low-intensity rural and residential development dispersed throughout large allotments (refer to Figure 1: Site Location and Regional Context).



Figure 1: Site Location and Regional Context (source: QLD Globe, May 2026)

The surrounding locality is distinctly rural and environmentally sensitive in character, with development generally comprising detached dwellings, rural activities predominantly including cattle grazing and low-intensity tourism uses integrated within heavily vegetated landscapes. De Meio Drive, from which Dagmar Close is derived, provides for a cluster of dwellings on larger rural residential sized lots. Except for this cluster of dwellings, the locality does not exhibit an urban or suburban character,

with development patterns reflective of the broader Daintree hinterland environment where environmental values and natural landscape features remain the defining attributes.

Mossman provides the nearest major service centre and accommodates retail, education, medical, administrative and community facilities, while Port Douglas functions as the region's primary tourism and commercial hub.

The site is accessed via Dagmar Close, a local access road servicing three other residential allotments within the immediate area and Council water tank infrastructure. Dagmar Close connects to De Meio Drive and then Lower Daintree Road, which provides the principal transport linkage to Mossman, the Daintree ferry crossing and the broader Douglas Shire road network. The surrounding road network is local in nature and characterised by relatively low traffic volumes associated with rural residential development.



*Figure 2: Site Aerial (source: QLD Globe, May 2026)*

The subject land comprises a sizable residential allotment with an area of 6,522m<sup>2</sup>. The lot is irregular in shape and remains predominantly undeveloped and vegetated. The site contains areas of native vegetation interspersed with cleared and partially disturbed areas associated with historical access and previous development intentions. The property exhibits steep topography in parts, reflective of the broader foothill landscape characteristics of the Lower Daintree locality. Contour mapping indicates notable elevation changes across the site, with development opportunities generally confined to the location adjacent the access driveway where the dwelling is proposed.



**Figure 3: Contour Mapping (source: QLD Globe, May 2026)**

The site is presently vacant. However, Council previously granted approval for a Dwelling House on the land under Council reference MCU 3B 066/04 dated 18 October 2004. That approval authorised a dwelling within the same general area now proposed, although it is understood the approval was not acted upon and has since lapsed.

# 3.0 Proposal

This application seeks a Development Permit for a Material Change of Use for a Dwelling House over land located at L3 Dagmar Close, Lower Daintree, formally described as Lot 3 on RP865078.

The proposal comprises the construction of a single detached Dwelling House together with associated access arrangements, on-site parking, wastewater infrastructure and ancillary residential works. The development has been specifically designed to respond to the environmental and topographical characteristics of the site and adopts a lightweight elevated building form intended to minimise disturbance to the land whilst integrating with the surrounding rainforest setting.

The proposed dwelling is positioned within the north-eastern portion of the allotment adjacent to the existing shared driveway access extending from Dagmar Close. The siting generally aligns with the area previously approved by Council under MCU 3B 066/04 and utilises a relatively accessible and stable portion of the land to minimise the extent of vegetation clearing and earthworks required. The proposal retains the overwhelming majority of the site in its existing natural vegetated state. The proposed siting, access arrangement and relationship to existing contours is illustrated on the Site Plan prepared by Marshall Design & Drafting (refer **Attachment 2 – Proposal Plans**).

The dwelling adopts a contemporary tropical architectural style characterised by a simple pitched roof form, lightweight materials and elevated construction supported on posts. The elevated design responds to the sloping nature of the site and reduces the need for excessive excavation or filling, allowing the structure to sit lightly within the landscape. The proposal incorporates open undercroft areas beneath the dwelling, further reducing perceived visual bulk and enabling natural drainage and airflow to be maintained beneath the structure. The building elevations demonstrate a low-scale and visually recessive form appropriate to the environmental setting of the locality (refer **Attachment 2 – Proposal Plans**).

The dwelling is designed with a maximum building height of approximately 11.2m. The external colour scheme is not yet selected however it is expected that external materials and colours will blend with the surrounding vegetated environment and Council may condition accordingly. The plans indicate a lightweight framed structure with elevated floor framing and post-supported construction suitable for the sloping terrain and associated site constraints. Structural framing and footing details have been prepared by MAL Engineers and are included as **Attachment 2 – Proposal Plans**.

Vehicle access to the development is proposed via the existing shared driveway connection from Dagmar Close. The access arrangement generally follows the alignment historically utilised. No substantial upgrades to the broader road network are proposed or required as part of the application. The development is low-intensity in nature and is not anticipated to generate traffic volumes beyond that reasonably expected of a detached dwelling.

On-site wastewater disposal is proposed via an “All-Waste” septic tank discharging to an Advanced Enviro-Septic land application system designed in accordance with AS/NZS 1547:2012 and relevant Queensland plumbing and drainage legislation. Earth Test has undertaken a Site Classification and Wastewater Management Assessment for the site confirming the suitability of the proposed wastewater treatment system and associated land application area (refer **Attachment 3 – Site Classification and Wastewater Management Report**).

The Earth Test investigation identified the site as comprising moderately reactive Class “M” soils suitable for the proposed development subject to standard engineering and footing design responses. The report also confirmed that the identified dwelling area is not affected by significant erosion, instability, flooding or groundwater constraints that would preclude residential development. Site investigations recorded a site slope of approximately 12 degrees with no evidence of land slip or problematic surface water conditions within the proposed development area. A geotechnical assessment is currently being undertaken and will be provided to Council at a later date as supplementary supporting information.

The proposed wastewater system has been designed for a three-bedroom dwelling accommodating a population equivalent of five persons and incorporates a 3000L septic tank together with a 15.6m by 2.4m Advanced Enviro-Septic disposal bed located adjacent the dwelling site. The land application area has been selected to ensure adequate separation from drainage features and maintain appropriate environmental outcomes.

The site is connected to reticulated water supply.

A detailed contour and site feature survey prepared by RPS confirms the topographical characteristics of the site and identifies the location of existing infrastructure, drainage features, vegetation and the proposed development footprint (refer **Attachment 4 – Contour and Detail Survey**).

Overall, the proposal represents a low-intensity residential development outcome that responds appropriately to the environmental values and physical constraints of the site. The dwelling has been carefully sited and designed to minimise visual and ecological impacts whilst enabling a reasonable residential use of the land consistent with the intent of the Environmental Management Zone.

# 4.0 Statutory Town Planning Framework

## 4.1 Planning Act 2016

The *Planning Act 2016* (the 'Planning Act') is the statutory instrument for the State of Queensland under which, amongst other matters, Development Applications are assessed by Local Governments. The Planning Act is supported by the *Planning Regulation 2017* (the 'Planning Regulation'). The following sections of this report discuss the parts of the Planning Act and Planning Regulation applicable to the assessment of a development application.

### 4.1.1 Approval and Development

Pursuant to Sections 49, 50 and 51 of the Planning Act, the Development Application seeks a Development Permit for a Material Change of Use (Dwelling House).

### 4.1.2 Application

The proposed development is:

- development that is located completely in a single local government area;
- development made assessable under a local categorising instrument; and
- for a Material Change of Use that is assessable against the *Douglas Shire Planning Scheme 2018 (Version 1.0)*.

In accordance with Section 48 of the Planning Act and Schedule 8, Table 2, Item 1 of the Planning Regulation, the development application is required to be made to the applicable Local Government, in this instance being Douglas Shire Council (the 'Council').

### 4.1.3 Referral

Section 54(2) of the *Planning Act 2016* and Section 22 and Schedules 9 and 10 of the *Planning Regulation 2017* identify when a development application must be referred to a State agency for assessment. The Development Application does not trigger referral.

### 4.1.4 Public Notification

Section 53(1) of the Planning Act provides that an applicant must give notice of a Development Application where any part is subject to Impact Assessment or where it is an application, which includes a variation request.

The Development Application is subject to Code Assessment and therefore Public Notification of the Development Application is not required.

#### 4.1.5 Assessment Framework

As noted within this report, the proposed development triggers a Code Assessable Development Application. Section 45(3) of the *Planning Act* provides that:

- “(3) A code assessment is an assessment that must be carried out only—
- (a) against the assessment benchmarks in a categorising instrument for the development; and
  - (b) having regard to any matters prescribed by regulation for this paragraph.”

The *Douglas Shire Planning Scheme 2016 (Version 1.0)*, as the applicable local categorising instrument, is discussed in greater detail in the following sections of this report.

Section 26 of the *Planning Regulation* provides the following assessment benchmarks for the purposes of Section 45(3)(a) of the *Planning Act*:

“(1) For section 45(3)(a) of the Act, the code assessment must be carried out against the assessment benchmarks for the development stated in schedules 9 and 10.

(2) Also, if the prescribed assessment manager is the local government, the code assessment must be carried out against the following assessment benchmarks—

- (a) the assessment benchmarks stated in—
  - (i) the regional plan for a region, to the extent the regional plan is not identified in the planning scheme as being appropriately integrated in the planning scheme; and
  - (ii) the State Planning Policy, part E, to the extent part E is not identified in the planning scheme as being appropriately integrated in the planning scheme; and
  - (iii) any temporary State planning policy applying to the premises;
- (b) if the local government is an infrastructure provider—the local government’s LGIP.

(3) However, an assessment manager may, in assessing development requiring code assessment, consider an assessment benchmark only to the extent the assessment benchmark is relevant to the development.”

Section 27 of the *Planning Regulation* provides matters for the purposes of Section 45(3)(b) of the *Planning Act*:

“(1) For section 45(3)(b) of the Act, the code assessment must be carried out having regard to—

- (a) the matters stated in schedules 9 and 10 for the development; and

...

- (d) *if the prescribed assessment manager is a person other than the chief executive—*
    - (i) *the regional plan for a region, to the extent the regional plan is not identified in the planning scheme as being appropriately integrated in the planning scheme; and*
    - (ii) *the State Planning Policy, to the extent the State Planning Policy is not identified in the planning scheme as being appropriately integrated in the planning scheme; and*
    - (iii) *for designated premises—the designation for the premises; and*
  - (e) *any temporary State planning policy applying to the premises; and*
  - (f) *any development approval for, and any lawful use of, the premises or adjacent premises; and*
  - (g) *the common material.*
- (2) *However—*
- (a) *an assessment manager may, in assessing development requiring code assessment, consider a matter mentioned in subsection (1) only to the extent the assessment manager considers the matter is relevant to the development; and*
  - (b) *if an assessment manager is required to carry out code assessment against assessment benchmarks in an instrument stated in subsection (1), this section does not require the assessment manager to also have regard to the assessment benchmarks.”*

The following sections of this report discuss the applicable assessment benchmarks and applicable matters in further detail.

## **4.2 Far North Queensland Regional Plan 2009-2031**

The Far North Queensland Regional Plan 2009 - 2031 ('the Regional Plan') is intended to guide and manage the region's development and to address key regional environmental, social, economic and urban objectives. The site falls within the area to which the Regional Plan applies. The Regional Plan is

identified in the Planning Scheme as being appropriately integrated in the scheme and therefore not assessed in any further detail in this Development Application.

### **4.3 State Planning Policy**

The State Planning Policy ('the SPP') was released on 2 December 2013 and replaced all previous State Planning Policies. The SPP has since been revised, with new versions released on 2 July 2014, 29 April 2016 and 3 July 2017. The Minister has declared that the SPP has been appropriately integrated within the Planning Scheme.

### **4.4 Temporary State Planning Policies**

There are currently no temporary State Planning Policies in effect in Queensland.

### **4.5 Douglas Shire Planning Scheme 2018 (Version 1.0)**

The *Douglas Shire Planning Scheme 2018 (v1.0)* (the *Planning Scheme*) is the current planning scheme for the Douglas Shire Council area.

The following sections provide an assessment against the relevant provisions of the Planning Scheme applicable to the proposed Material Change of Use.

#### **4.5.1 Zone**

The proposed development is considered to be consistent with the Purpose and Overall Outcomes of the Environmental Management Zone Code. The proposal seeks approval for a single Dwelling House, being a land use expressly anticipated within the zone where appropriately designed and sited. The development is low-intensity in nature and does not introduce any urban, suburban, commercial, centre or industrial activities inconsistent with the environmental and landscape values of the locality.

The proposal achieves the purpose of the zone by facilitating a reasonable residential use of the land whilst maintaining the dominant natural and environmental character of the site. The development footprint is confined to a relatively small portion of the allotment, with the overwhelming majority of the land retained in its existing vegetated state. The proposal does not result in fragmentation of the site or broader intensification of development within the locality.

The proposed Dwelling House has been carefully sited within an accessible portion of the allotment adjacent to the existing driveway alignment and generally within the same area previously approved by Council under MCU 3B 066/04. Concentrating development within this location minimises the

extent of vegetation disturbance, avoids unnecessary expansion of access infrastructure and reduces impacts upon the broader environmental values of the site.

The development reflects and responds to the natural features and environmental characteristics of the land through the adoption of a lightweight elevated building form specifically designed for the sloping terrain. The dwelling is supported on posts rather than requiring substantial cut and fill earthworks, allowing the natural landform to remain largely intact and reducing disturbance to existing drainage patterns and vegetation. The elevated design also assists in reducing the apparent visual bulk of the structure when viewed from surrounding areas.

Visual impacts are minimised through the modest scale, simple roof form and recessive architectural presentation of the dwelling. The proposal adopts a contemporary tropical design with lightweight materials and a built form intended to integrate with the surrounding rainforest landscape. The dwelling is setback within the site and will remain substantially screened by retained vegetation, ensuring the natural landscape continues to dominate the visual character of the locality.

The proposal also appropriately responds to the identified environmental and land constraint overlays affecting the site, including the Hillslopes, Landscape Values, Bushfire Hazard, Potential Landslide Hazard and Natural Areas Overlays. The dwelling has been located within a portion of the allotment capable of accommodating development without requiring extensive land alteration or vegetation clearing. The accompanying site and soil investigations undertaken by Earth Test confirm that the proposed development area is suitable for residential development and is not affected by significant erosion, instability, flooding or groundwater constraints. The report identified a stable development area with no evidence of land slip and suitable soil conditions capable of supporting the proposed dwelling and associated infrastructure.

The proposal further ensures that water quality impacts are appropriately managed through the incorporation of an on-site wastewater treatment and disposal system specifically designed for the site conditions in accordance with AS/NZS 1547:2012. The wastewater disposal area has been carefully located and designed having regard to site slope, soil permeability and surrounding environmental features to ensure wastewater can be sustainably treated and dispersed onsite without adverse environmental impacts.

Overall, the proposal represents a low-impact and environmentally responsive form of development that is entirely consistent with the intent of the Environmental Management Zone. The development

facilitates an appropriate dwelling outcome whilst maintaining the ecological, scenic and environmental values that define the locality.

A full assessment of the proposal against the Environmental Management Zone is included in **Attachment 5 – Code Assessment**.

## 4.5.2 Overlays

Overlay	Sub-category	Applicability
<b>Bushfire Hazard</b>	Very High Potential Bushfire Intensity; and Potential Impact Buffer	<p>The Bushfire Hazard Potential Impact Buffer encroaches on the location of the proposed Dwelling House. Given the siting of development within existing disturbed areas and connection of the site to reticulated water, the level of bushfire risk to persons and property is considered to be low in this instance.</p> <p>It is considered that any residual bushfire risk can be appropriately managed through detailed design measures at the Building Approval and Certification stage, including compliance with relevant building standards and construction requirements.</p> <p>On this basis, a detailed assessment against the Bushfire Hazard Overlay Code is not considered necessary for the purposes of this Development Application, as the proposal does not give rise to any material increase in risk or conflict with the intent of the Planning Scheme.</p>
<b>Hillslopes</b>	Area Affected by Hillslopes	<p>The property is affected by the Hillslopes Overlay. The proposed development is located within an existing cleared and disturbed portion of the site and the avoids significant excavation, cut, fill, or retaining structures. The siting and low-impact design ensure the development remains compatible with the landscape character. A detailed assessment against the Hillslopes Overlay Code is provided in <b>Attachment 4 – Code Assessment</b>.</p>
<b>Landscape Values Overlay</b>	Scenic Route; Scenic Route Buffer; and High Landscape Values	<p>In accordance with Table 5.6.d – Environmental Management Zone, this code does not trigger assessment.</p>
<b>Landslide</b>	Landslide Hazard (High & Medium Hazard Risk)	<p>The site is mapped as containing areas of High and Medium Landslide Hazard. A Geotechnical Assessment is currently being finalised and will be provided to Council upon completion as supplementary information to support the development and inform Council’s Assessment. On this basis, a detailed assessment against the Potential Landslide Overlay Code is not provided with the Development Application.</p>

<b>Natural Areas</b>	Wildlife Habitat	<p>The proposed dwelling has been carefully located within the only practical portion of the allotment capable of accommodating residential development without requiring extensive earthworks, substantial vegetation clearing or unreasonable environmental disturbance. The selected building site utilises a relatively accessible and stable area adjoining the existing driveway alignment and generally corresponds with the area previously identified and approved for residential purposes under the historical approval for the land.</p> <p>Given the significant environmental constraints affecting the broader allotment, including steep topography, dense vegetation and mapped environmental overlays, there are no other realistic locations on the site capable of accommodating a Dwelling House with a lesser environmental impact. Concentrating development within this confined area minimises disturbance to the balance of the property and avoids unnecessary encroachment into more sensitive or constrained portions of the land.</p> <p>Importantly, the overwhelming majority of the balance property will remain in its existing natural vegetated state. The proposal does not involve widespread clearing, fragmentation of habitat corridors or urbanisation of the site. Rather, the development represents a highly localised and low-intensity residential use integrated within the existing landscape setting.</p> <p>The dwelling itself adopts an elevated lightweight design that responds appropriately to the site topography and further reduces the need for significant land alteration. The proposal has been specifically designed to minimise impacts upon natural drainage patterns, vegetation retention and the broader scenic and environmental values of the locality.</p> <p>On this basis, the proposal maintains the integrity of the site's environmental attributes and does not give rise to any material increase in ecological, scenic, hydrological or land stability impacts. The development is therefore considered consistent with the intent and outcomes sought by the Natural Areas Overlay and broader Planning Scheme framework.</p> <p>Having regard to the limited extent of disturbance proposed, the retention of the balance of the allotment in a natural state, and the environmentally responsive design approach adopted, it is submitted that a detailed assessment against the Natural Areas Overlay Code is not warranted or necessary in this instance. The proposal appropriately achieves the relevant environmental performance and acceptable outcomes under the code.</p>
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<b>Transport Network</b>	Access Road	<p>The proposal does not alter access arrangements or generate traffic beyond the expected capacity of the network. The scale of development is domestic in nature.</p> <p>Accordingly, a detailed assessment against the Transport Network Overlay Code is not considered necessary for the purposes of this Development Application, as the proposal is consistent with the intent of the Planning Scheme.</p>
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*Table 2: Applicable Overlays*

### 4.5.3 Category of Assessment

Pursuant to Part 5 of the *Douglas Shire Planning Scheme 2018 (v1.0)*, a Development Application for a Material Change of Use for a Dwelling House including Ancillary Shed and Home Based Business within the Conservation Zone is subject to Code Assessment.

Douglas Shire Council is the Assessment Manager, and no State referral agencies are triggered under the *Planning Regulation 2017*.

### 4.5.4 Development Codes

In addition to the applicable Zone Code and Overlay Codes, the proposed development triggers consideration of several Development Codes under Part 9 of the *Douglas Shire Planning Scheme 2018 (v1.0)*, which are all applicable and relevant to the assessment of the Development Application:

- Dwelling House Code
- Access, Parking and Servicing Code
- Filling and Excavation Code
- Infrastructure Works Code
- Vegetation Management Code

### 4.5.6 Assessment Criteria

As determined by Table 5.6.d under the planning scheme, and discussion under section 4.5.2 and 4.5.4 of this report, the proposed development has been assessed in detail against the following codes:

#### Zone Code

Environmental Management Zone Code Use Code

- Dwelling House

#### Overlay Codes

- Hillslopes Overlay Code

#### Development Codes

- Access, Parking and Servicing Code
- Filling and Excavation Code
- Infrastructure Works Code
- Vegetation Management Code

A detailed assessment against the relevant assessment criteria is provided in ***Attachment 5 – Code Assessment***.

# 5.0 Conclusion

Aspire Town Planning and Project Services has been engaged by Clayton Bray (the Applicant and Landowner) to prepare this Development Application for a Material Change of Use for a Dwelling House at L3 Dagmar Close, Lower Daintree (Lot 3 on RP865078).

The proposed development seeks approval for a single detached Dwelling House and associated services infrastructure within the Environmental Management Zone under the Douglas Shire Planning Scheme 2018 (Version 1.0). The proposal represents a low-intensity residential use that is expressly contemplated within the zone where appropriately designed and sited.

The development has been carefully designed to respond to the site's environmental characteristics and physical constraints, including steep topography, vegetation and natural hazard overlays. The proposed dwelling adopts a lightweight elevated design that minimises the need for extensive excavation, filling and vegetation clearing, allowing the structure to integrate appropriately within the surrounding rainforest landscape. The development footprint is confined to a relatively small and accessible portion of the allotment adjacent to the existing driveway alignment, with the overwhelming majority of the property retained in its existing natural vegetated state.

Importantly, the proposed dwelling is generally located within the same area previously approved by Council under Development Approval MCU 3B 066/04 dated 18 October 2004. While that approval has since lapsed, it nevertheless demonstrates Council's historical acceptance of the suitability of this part of the site for residential development.

This report demonstrates that the proposed development is consistent with the purpose and overall outcomes of the Environmental Management Zone Code together with the relevant Overlay and Development Codes applicable to the site. The proposal appropriately responds to the identified environmental constraints affecting the land and does not give rise to unacceptable impacts in relation to visual amenity, vegetation retention, natural drainage, slope stability, bushfire risk or ecological values.

The proposal has been specifically designed to minimise environmental disturbance and maintain the scenic and environmental qualities that characterise the Lower Daintree locality. The development remains low-scale, visually recessive and integrated within the natural landscape setting, ensuring the dominant environmental character of the site and surrounding locality is retained.

Supporting technical investigations prepared by Earth Test confirm that the proposed dwelling area is suitable for residential development and capable of accommodating an appropriate on-site wastewater treatment and disposal system without adverse environmental impacts. The proposal also utilises an existing shared access arrangement and does not necessitate significant infrastructure upgrades or alterations to the surrounding road network.

Overall, the proposal represents an appropriate and environmentally responsive form of development that facilitates the reasonable use of privately owned land whilst maintaining the ecological, scenic and landscape values identified by the Planning Scheme. The development is low-impact, well-sited and consistent with the established character and planning intent for the Lower Daintree locality.

Accordingly, it is respectfully requested that Douglas Shire Council give favourable consideration to the application and issue a Development Permit, subject to reasonable and relevant conditions.

# **Attachment 1**

## **Certificate of Title**

Queensland Titles Registry Pty Ltd  
ABN 23 648 568 101

<b>Title Reference:</b> 50073537	<b>Search Date:</b> 14/05/2026 09:39
<b>Date Title Created:</b> 01/06/1995	<b>Request No:</b> 56126725
<b>Previous Title:</b> 20900121	

### ESTATE AND LAND

Estate in Fee Simple

LOT 3 REGISTERED PLAN 865078  
Local Government: DOUGLAS

### REGISTERED OWNER

Dealing No: 723516301 06/09/2024  
CLAYTON BRAY

### EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by  
Deed of Grant No. 20849177 (POR 15)
2. EASEMENT No 709146592 18/11/2005 at 09:32  
benefiting the land over  
EASEMENT A ON SP171868
3. EASEMENT No 709146593 18/11/2005 at 09:32  
burdening the land to  
LOT 2 ON RP865078 OVER  
EASEMENT B ON SP171868

### ADMINISTRATIVE ADVICES

NIL

### UNREGISTERED DEALINGS

NIL

Caution - Charges do not necessarily appear in order of priority

\*\* End of Current Title Search \*\*

# **Attachment 2**

## **Proposal Plans**

# TERMITE CONTROL

ALL PRIMARY BUILDING ELEMENTS - TERMITE RESISTANT

REFERENCES:- AS 3660.1, AS 3660.2, AS 3660.3, AS 1684,  
AS 1720, AS 2870, AS 4773 AND NASH STANDARD  
PART 2 - DESIGN SOLUTIONS - SECTION B4.3

## GENERAL NOTES

- TIMBER MEMBER SIZES AND CONNECTIONS NOT SHOWN ON PLANS SHALL COMPLY WITH AS 1684.3
- ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT S.A.A. CODES AND THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITY EXCEPT WHERE VARIED BY THE PROJECT SPECIFICATION.
- EXECUTION AND CONTROL TESTING OF EARTHWORKS AND ASSOCIATED SITE PREPARATION WORKS SHALL COMPLY WITH A.S. 3798.
- ALL DIMENSIONS SHOWN SHALL BE VERIFIED ON SITE
- IF ANY DISCREPANCY OCCURS ON THE ENGINEERS DRAWINGS THE CONTRACTOR SHALL ASSUME THE LARGER/GREATER. ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH ANY WORK. SUBSTITUTIONS MUST BE APPROVED BY THE ENGINEER.

## ROOF AND SITE STORMWATER DRAINAGE

ROOFWATER SHALL BE CONVEYED TO THE KERB AND CHANNEL OR AN INTER-ALLOTMENT DRAINAGE SYSTEM IN ACCORDANCE WITH AS/NZ3500.3.2.

WHERE AN INTER-ALLOTMENT DRAINAGE IS NOT AVAILABLE OR IT IS NOT POSSIBLE TO CONVEY THE ROOF AND SURFACE WATER TO THE KERB AND CHANNEL, ABSORPTION TRENCHES SHALL BE INSTALLED AT LEAST 5 m FROM ANY BUILDING OR DOWNSTREAM BOUNDARY.

DOWNPIPE LOCATIONS, NUMBERS AND POINT OF DISCHARGE TO COMPLY WITH PARTS H2D2 AND H2D6 OF THE NCC VOL2 AND PART 7.4 OF THE ABCB HOUSING PROVISIONS STANDARD

LOT 3  
RP 865078  
AREA = 65.217 ha  
PARISH OF WHYANBEE  
COUNTY SOLANDER



PRELIMINARY  
CLIENT APPROVAL

SEPTIC TANK  
LAND APPLICATION AREA  
15.6 x 2.4m

PROPOSED  
RESIDENCE

DRIVEWAY

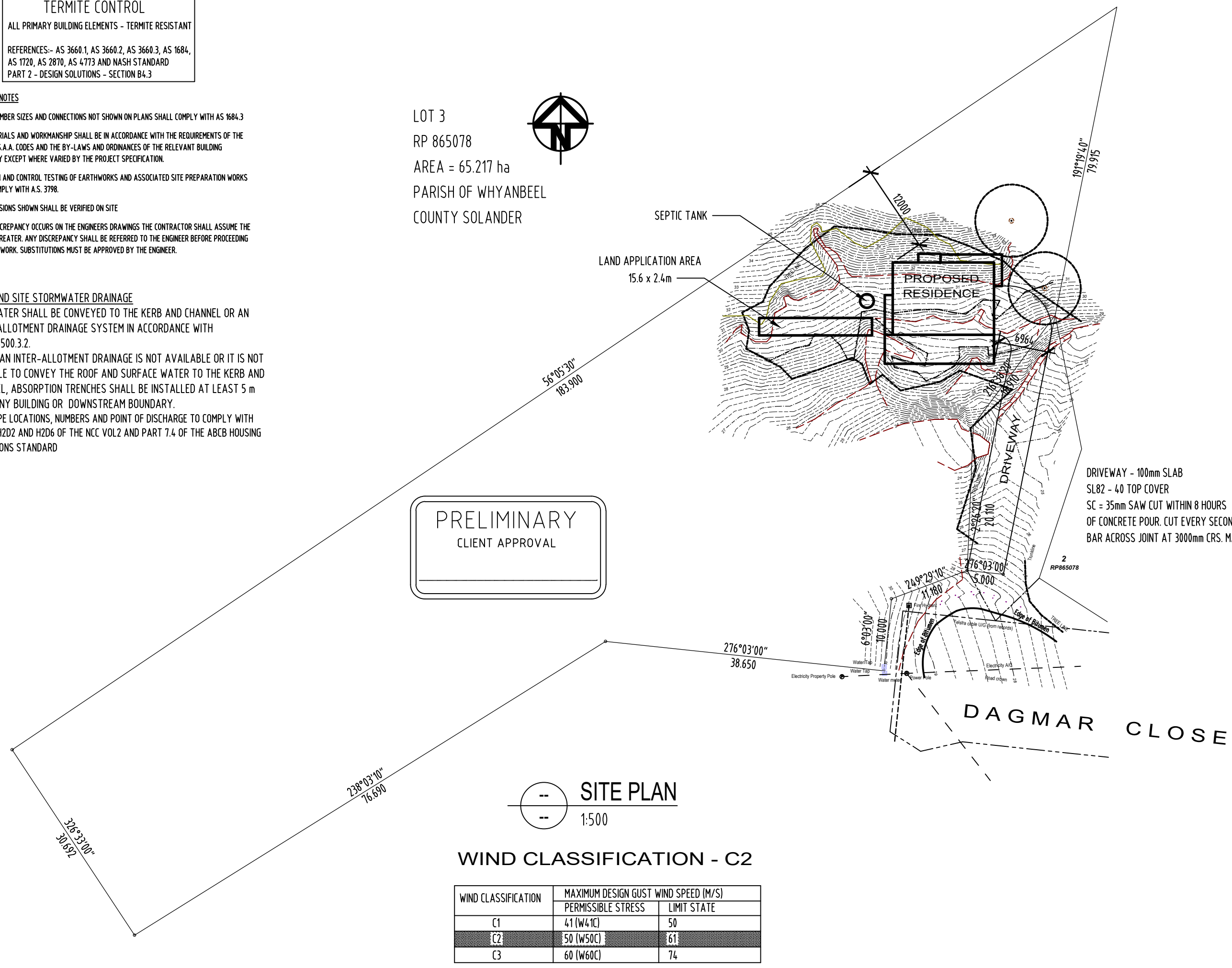
DRIVEWAY - 100mm SLAB  
SL82 - 40 TOP COVER  
SC = 35mm SAW CUT WITHIN 8 HOURS  
OF CONCRETE POUR. CUT EVERY SECOND  
BAR ACROSS JOINT AT 3000mm CRS. MAX.

DAGMAR CLOSE

SITE PLAN  
1:500

## WIND CLASSIFICATION - C2

WIND CLASSIFICATION	MAXIMUM DESIGN GUST WIND SPEED (M/S)	
	PERMISSIBLE STRESS	LIMIT STATE
C1	41 (W41C)	50
<b>C2</b>	<b>50 (W50C)</b>	<b>61</b>
C3	60 (W60C)	74



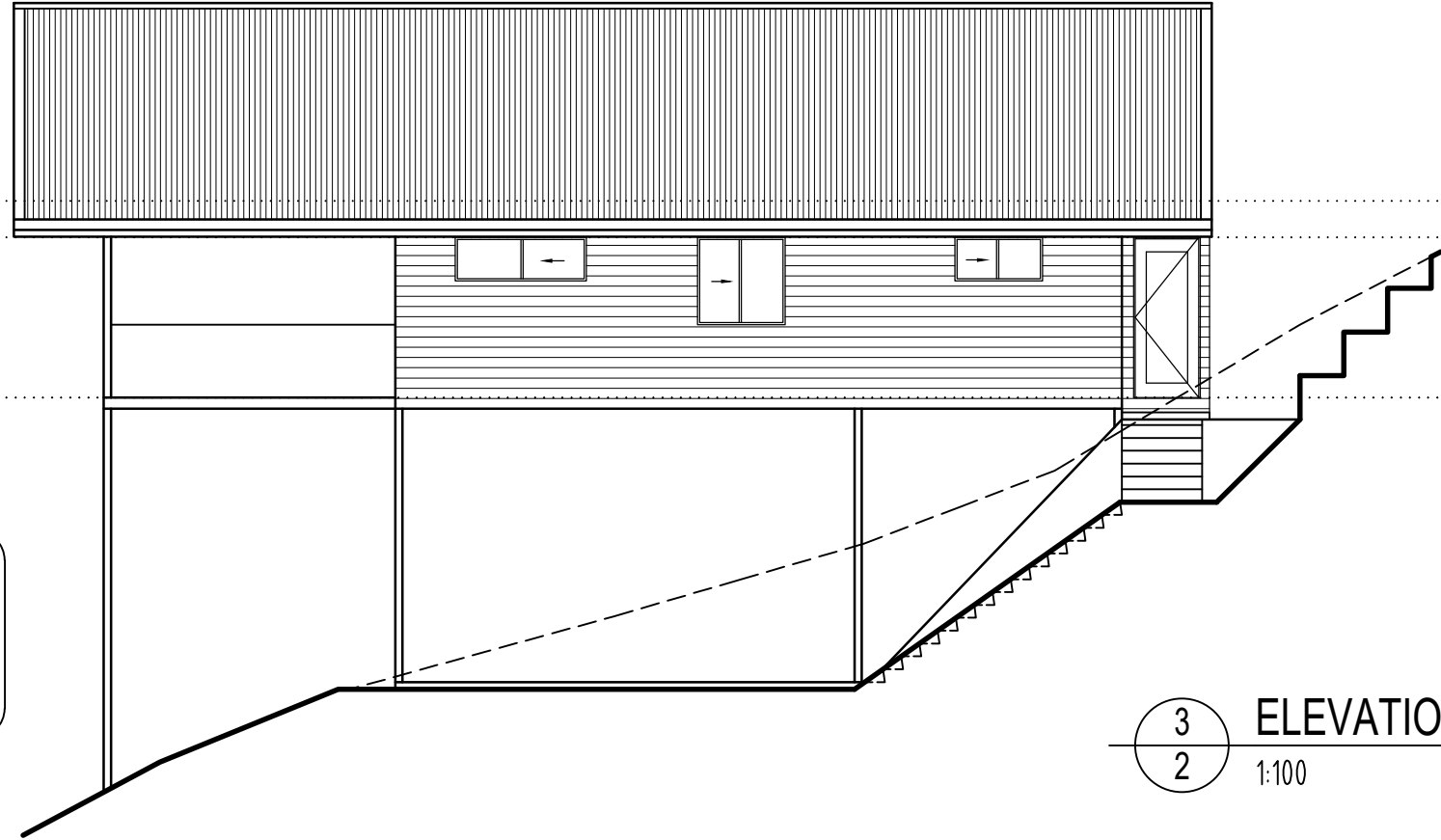
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Sheet Number WD-1/1  
G.W.M. AS SHOWN  
Scale AS SHOWN  
Date FEB. 2026  
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**MARSHALL DESIGN**  
20 KABAN GROVE, TRINITY PARK. Ph: 07 4057 9985  
Email: george@marshalldesign.biz  
Q.B.C.C. No. 63487

Title PROPOSED RESIDENCE  
LOT 3 DAGMAR CLOSE  
LOWER DAINTREE  
For CLAYTON & WILLOW BRAY

2700  
2200

PRELIMINARY  
CLIENT APPROVAL



3 ELEVATION  
1:100

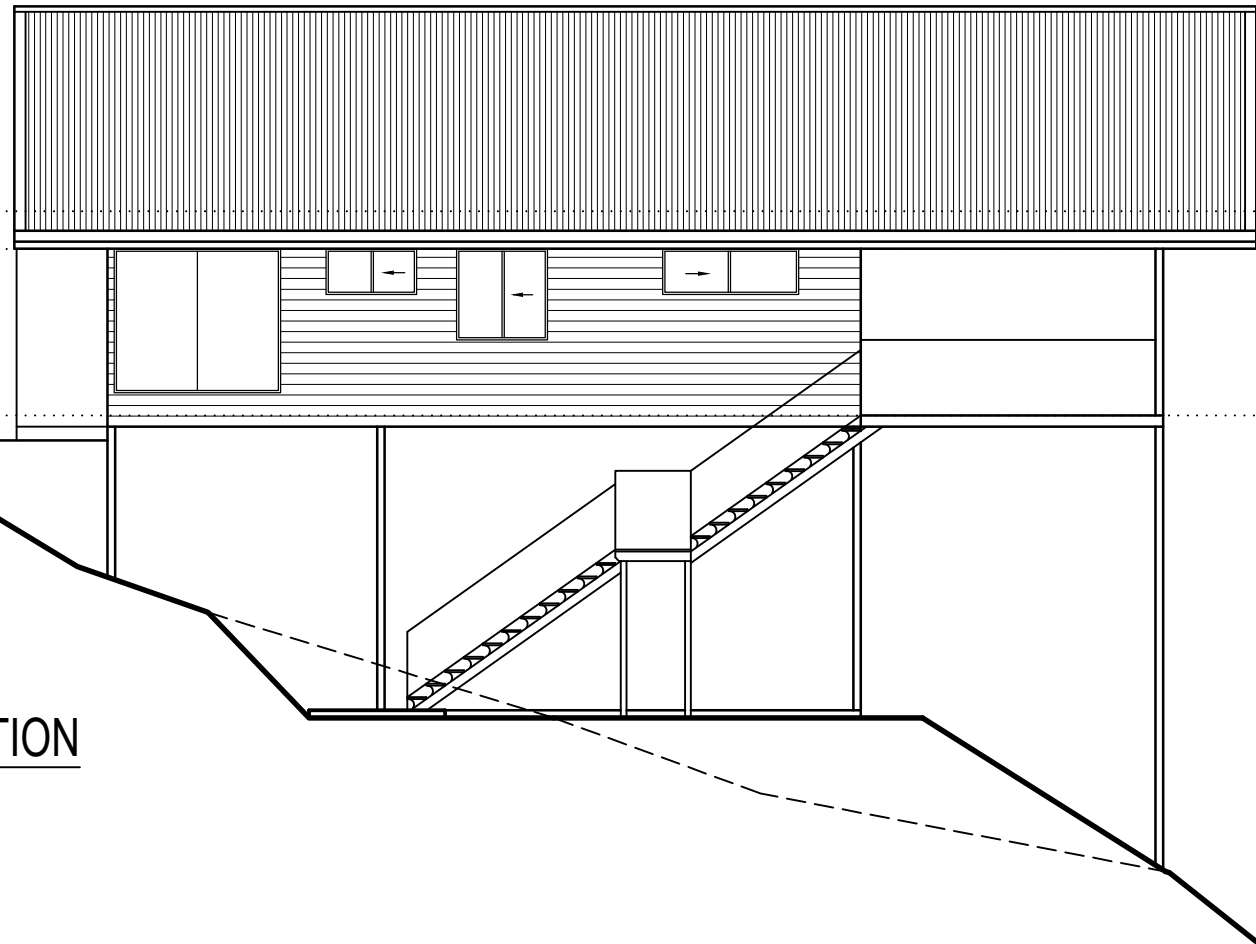
STAIR TYPE	RISER (R)		GOING (G)		QUANTITY (2R + G)	
	MAX	MIN	MAX	MIN	MAX	MIN
STAIR-not spiral	190	115	355	240	700	550
SPIRAL	220	140	355	210	680	590

STAIR / BALUSTRADE DETAIL  
IN ACCORDANCE WITH B.C.A. PART 3.9.1 & 3.9.2

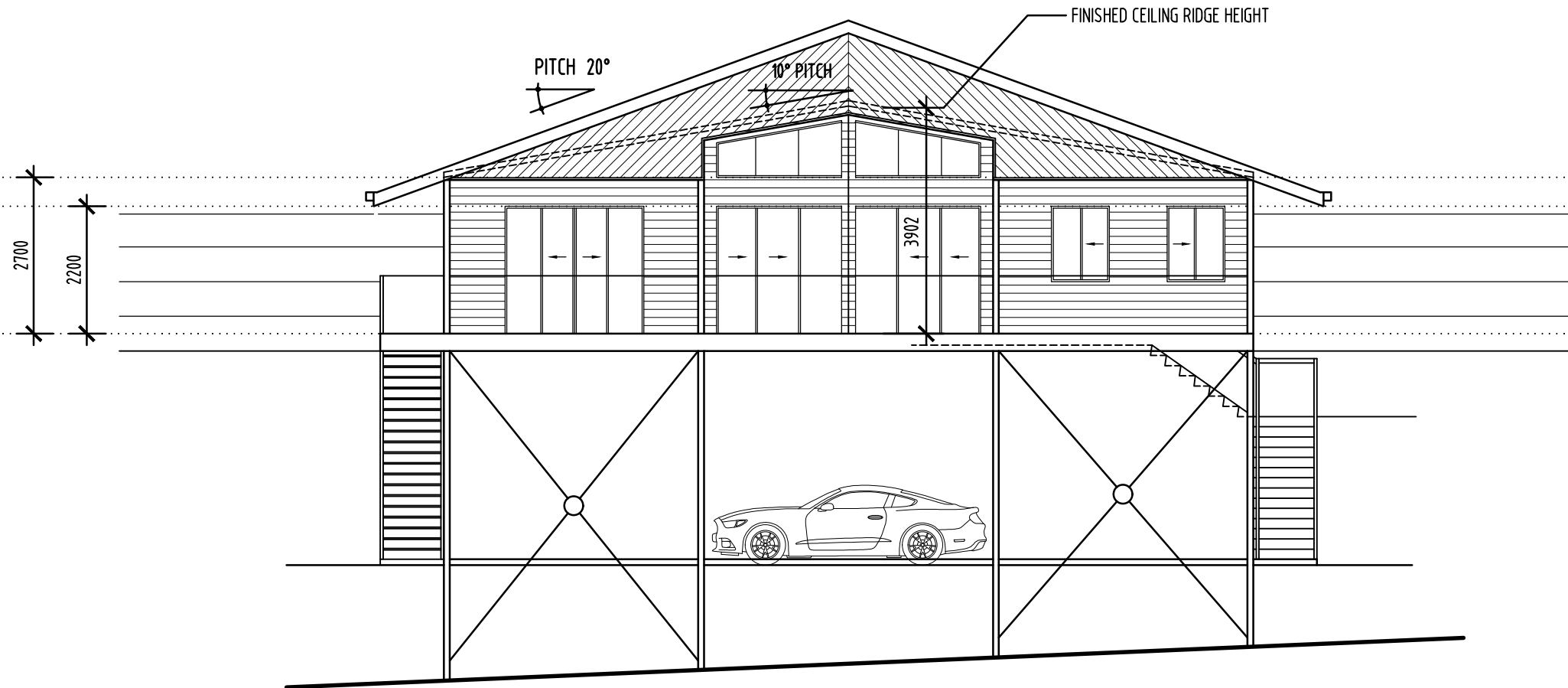
2700  
2200

4 ELEVATION  
1:100



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 Scale AS SHOWN Sheet Number SK-3/3  
 Date FEB. 2026 © Copyright Retained  
 Client:- MARSHALL DESIGN  
 Q.B.C.C. No. 63487  
 CLAYTON & WILLOW BRAY - LOT DAGMAR CLOSE, LOWER DAINTREE

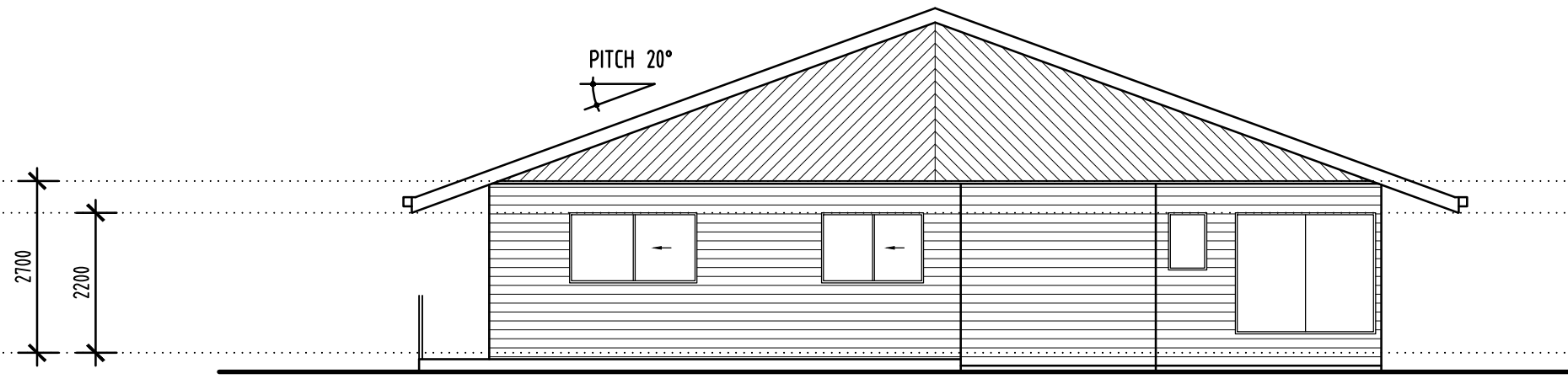
WIND CLASSIFICATION - C2



PRELIMINARY  
CLIENT APPROVAL

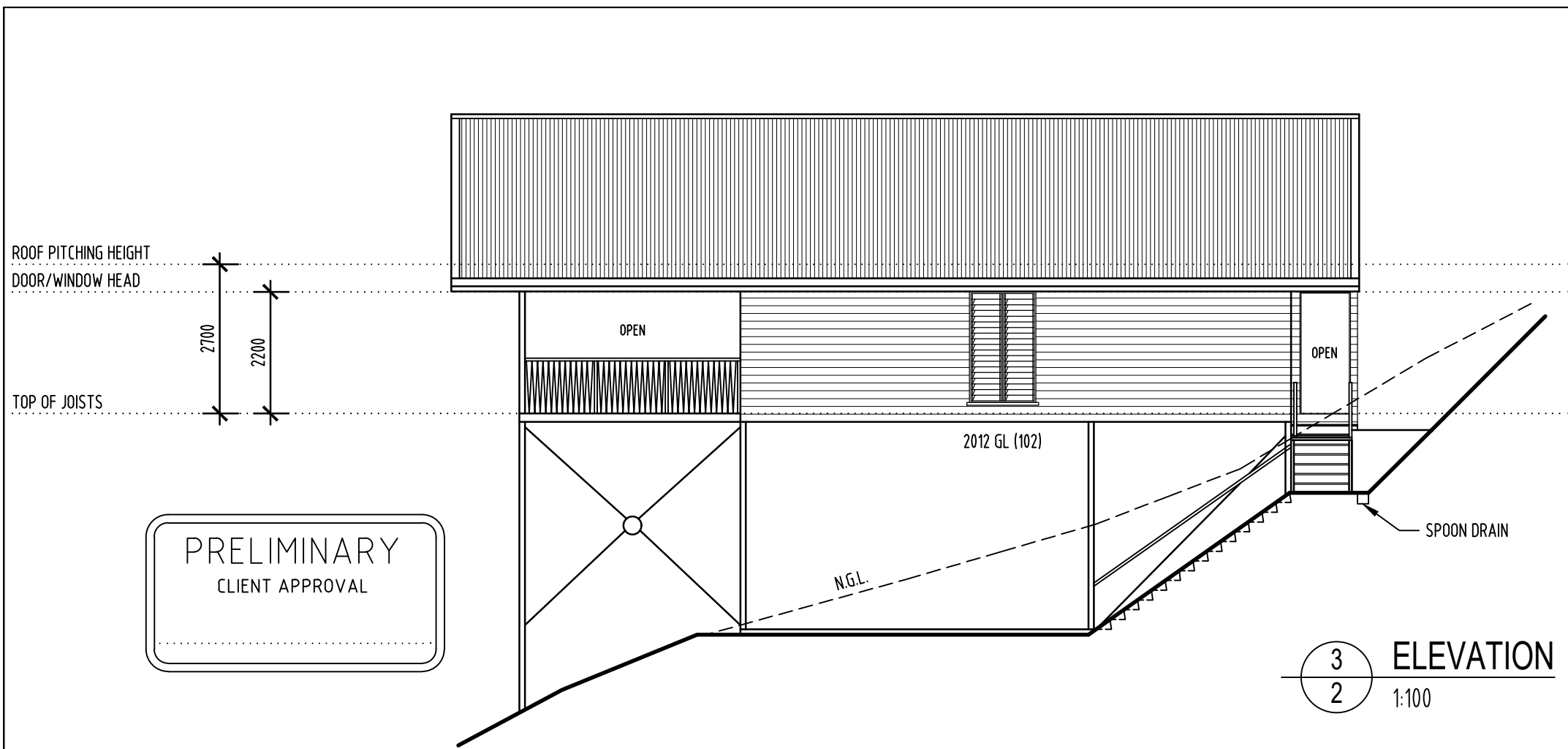
1 ELEVATION  
2 1:100

ALL WINDOWS ARE TO COMPLY WITH PART 11.3.7 OF THE ABCB HOUSING PROVISION STANDARD WITH REGARDS TO FALL PROTECTION TO BEDROOMS.  
WINDOW FLASHING DETAILS AS PER PART 7.5.6 OF THE ABCB HOUSING PROVISIONS STANDARD.  
SG TINT TO ALL WINDOWS



2 ELEVATION  
2 1:100

Drawn G.W.M.	Job Number 26023
Scale AS SHOWN	Sheet Number SK-3/3
Date FEB. 2026	© Copyright Retained
Client:-	<b>MARSHALL DESIGN</b>
	Q.B.C.C. No. 63487
CLAYTON & WILLOW BRAY - LOT DAGMAR CLOSE, LOWER DAINTREE	



3 ELEVATION  
1:100

**STAIR AND RAMP NOTES- REFER ABCB TABLE 11.2.2A OR 11.2.2B**

(A)  
TREADS MUST HAVE -

(i)  
A SURFACE WITH A SLIP-RESISTANCE CLASSIFICATION NOT LESS THAN THAT LISTED IN TABLE 3.9.1.3 WHEN TESTED IN ACCORDANCE WITH AS 4586; OR

(ii)  
A NOSING STRIP WITH A SLIP-RESISTANCE CLASSIFICATION NOT LESS THAN THAT LISTED IN TABLE 3.9.1.3 WHEN TESTED IN ACCORDANCE WITH AS 4586.

(B)  
THE FLOOR SURFACE OF A RAMP MUST HAVE A SLIP-RESISTANCE CLASSIFICATION NOT LESS THAN THAT LISTED IN TABLE 3.9.1.3 WHEN TESTED IN ACCORDANCE WITH AS 4586.

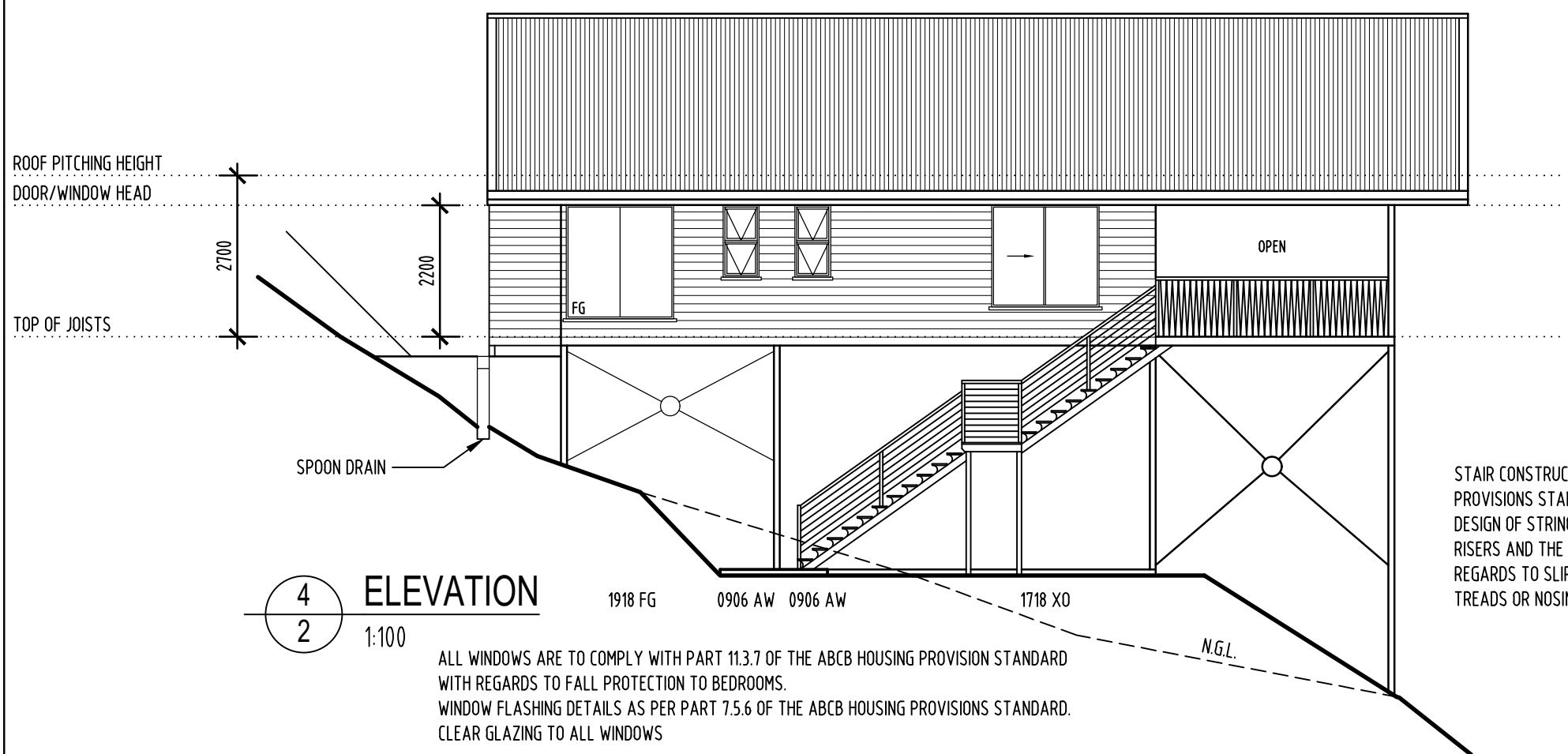
(C)  
WHERE THE EDGE LEADS TO THE FLIGHT BELOW, MUST HAVE

(i)  
A SURFACE WITH A SLIP-RESISTANCE CLASSIFICATION NOT LESS THAN THAT LISTED IN TABLE 3.9.1.3 WHEN TESTED IN ACCORDANCE WITH AS 4586, FOR NOT LESS THAN 190mm FROM THE STAIR NOSING; OR

(ii)  
A NOSING STRIP WITH A SLIP-RESISTANCE CLASSIFICATION NOT LESS THAN THAT LISTED IN TABLE 3.9.1.3 WHEN TESTED IN ACCORDANCE WITH AS 4586.

TABLE 3.9.1.3 SLIP-RESISTANCE CLASSIFICATION

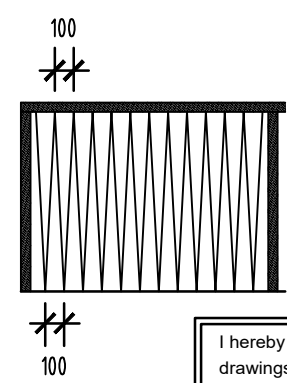
APPLICATION	SURFACE CONDITIONS	
	DRY	WET
RAMP NOT STEEPER THAN 1:8	P4 or R10	P5 or R12
TREAD SURFACE	P3 or R10	P4 or R11
NOSING OR LANDING EDGE STRIP	P3	P4



4 ELEVATION  
1:100

ALL WINDOWS ARE TO COMPLY WITH PART 11.3.7 OF THE ABCB HOUSING PROVISION STANDARD WITH REGARDS TO FALL PROTECTION TO BEDROOMS.  
WINDOW FLASHING DETAILS AS PER PART 7.5.6 OF THE ABCB HOUSING PROVISIONS STANDARD.  
CLEAR GLAZING TO ALL WINDOWS

BALUSTRADE DETAILS PER PART 11.3 OF THE ABCB HOUSING PROVISIONS STANDARD TO BE PROVIDED INDICATING MATERIALS AND SPACINGS, STRUCTURAL DESIGN IN ACCORDANCE WITH AS/NSZ 1170.1 PER PARTS 11.3.6 & 11.3.4(11).



HWD HANDRAIL WITH S.S TENSIONED WIRE BALUSTRADE COMPLIANT WITH BCA 2010 PART 3.9.2

STAIR CONSTRUCTION TO COMPLY WITH ABCB HOUSING PROVISIONS STANDARD PART 11.2 WITH REGARDS TO DESIGN OF STRINGERS, TREAD TYPES, GOINGS AND RISERS AND THE REQUIREMENTS OF TABLE 11.2.4 WITH REGARDS TO SLIP RESISTANCE CLASSIFICATION OF TREADS OR NOSINGS.

I hereby certify the structural details as shown on these drawings for construction in wind classification **C2**

00/03/26  
Date

MAL Engineers  
Michael Lancini RPEQ. 18786  
5/520 MULGRAVE ROAD,  
EARLVILLE, QLD, 4870  
michael.lancini@malengineers.com.au

Ph: 07 40  
Mob: 0400 748 070  
Fax: 07 40

Drawn G.W.M. Job Number 26023  
Scale AS SHOWN Sheet Number WD-1/5  
Date FEB. 2026  
Client:- Clayton & Willow Bray - Lot Dagmar Close, Lower Daintree

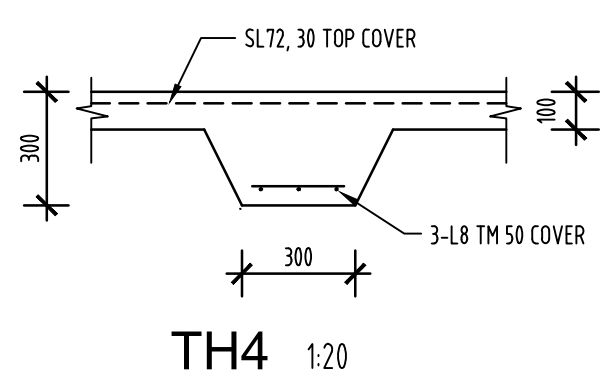
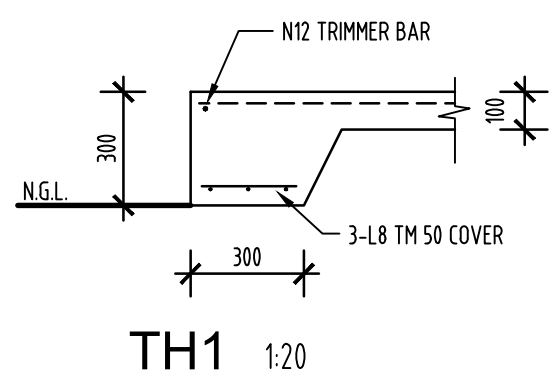
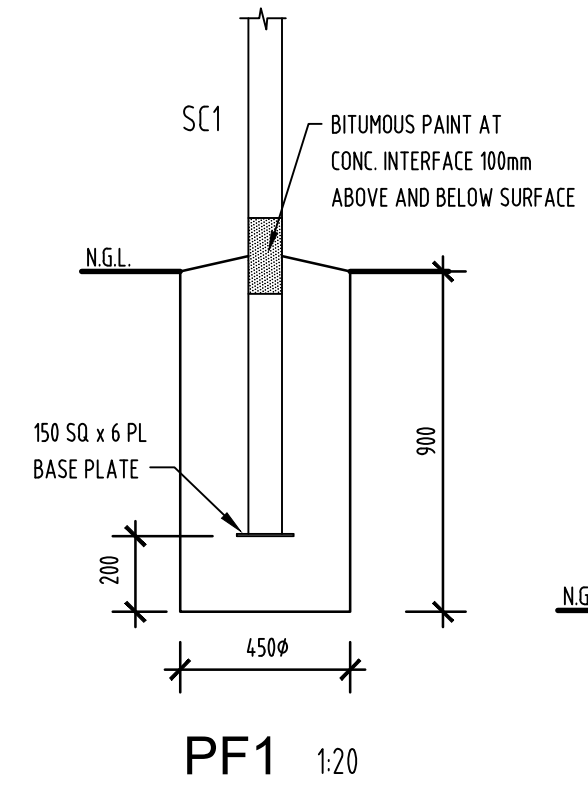
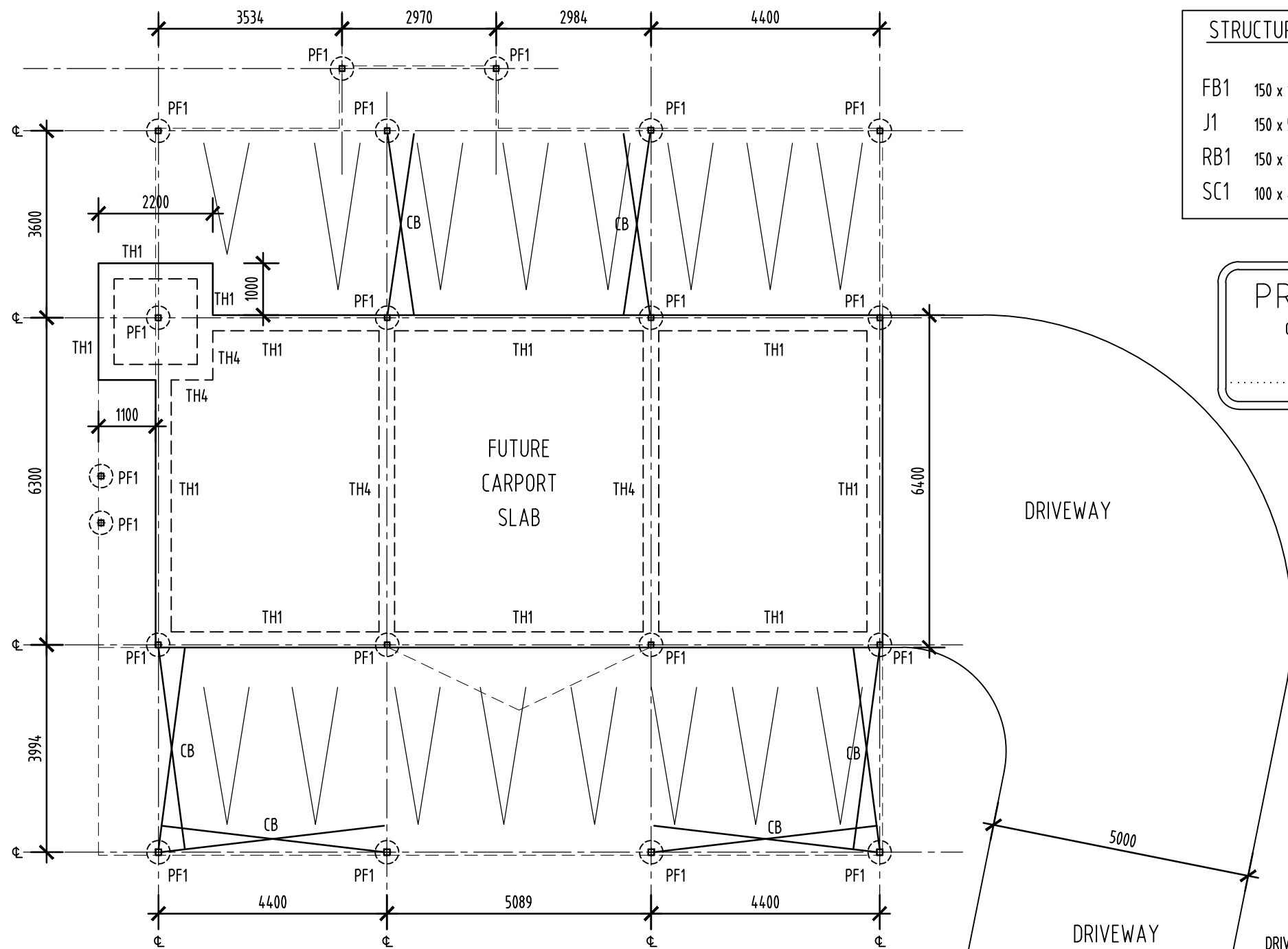
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Q.B.C.C. No. 63487

**FOOTING AND SLAB NOTES**

- FOOTINGS HAVE BEEN DESIGNED FOR A MINIMUM ALLOWABLE BEARING PRESSURE OF 100 kPa AND CLASS "M1" SITE CLASSIFICATION ACCORDING TO EARTH TEST REPORT No. SI 526-25
- NATURAL FOUNDATIONS TO BE GRUBBED OUT AND FREE FROM ORGANIC MATTER AND DEBRIS AND COMPACTED TO A MIN. 95% SRDD AT -5% TO +2% OF OPTIMUM MOISTURE CONTENT, OR NOT LESS THAN 70% DENSITY INDEX FOR COHESIONLESS SOILS. FILL TO SLAB AND FOUNDATIONS SHALL BE AN APPROVED NON-PLASTIC MATERIAL, COMPACTED IN MAX. 150mm LAYERS, TO 95% SRDD AT -5% TO +2% OF OPTIMUM MOISTURE CONTENT, OR NOT LESS THAN 70% DENSITY INDEX FOR COHESIONLESS SOILS.
- FOOTING TRENCHES SHALL BE CLEAN AND DRY AT THE TIME OF CASTING WITH ANY SOFTENED MATERIAL REMOVED. BASE OF FOOTINGS TO BE FOUNDED ON FIRM NATURAL GROUND WITH MIN. SAFE BEARING CAPACITY OF 100 kPa.
- REMOVE GRASS AND TOPSOIL CONTAINING ROOTS FROM SLAB SITE.
- PROVIDE COMPACTED SAND BEDDING UNDER SLAB.
- PROVIDE 0.2mm POLYTHENE MOISTURE BARRIER UNDER SLAB AND FOOTINGS.
- CONCRETE MUST COMPLY WITH THE FOLLOWING:
  - CONCRETE MUST BE MANUFACTURED TO COMPLY WITH AS 3600; AND
    - HAVE A STRENGTH AT 28 DAYS OF NOT LESS THAN 20 MPA ( DENOTED AS N20 GRADE ); AND
    - HAVE A 20mm MAXIMUM NOMINAL AGGREGATE SIZE; AND
    - HAVE A NOMINAL 100mm SLUMP.
  - WATER MUST NOT BE ADDED TO THE MIX TO INCREASE THE SLUMP TO A VALUE IN EXCESS OF THAT SPECIFIED.
  - CONCRETE MUST BE PLACED, COMPACTED AND CURED IN ACCORDANCE WITH GOOD BUILDING PRACTICE.
- VIBRATE ALL CONCRETE, CURE SLAB 7 DAYS MINIMUM.
- CONCRETE COVER TO BE MAINTAINED BY THE USE OF APPROVED CHAIRS SPACED AT APPROX. 750 CRS. CONDUITS AND PIPES SHALL NOT BE PLACED WITHIN COVER CONCRETE.
- LAPS SHALL BE:- N12 - 450mm, N16 - 600mm, FABRIC - ONE COMPLETE MESH OVERLAP BETWEEN SHEETS.
- CAST IN ITEMS SHALL BE HOT-DIPPED GALVANISED.
- FOOTINGS SHALL NOT BE LOCATED CLOSER TO THE NEAREST EDGE OF A STORMWATER/SEWER TRENCH THAN THE DEPTH OF THE TRENCH.
- SITE AREA SHOULD BE GRADED TO READILY REMOVE SURFACE WATER AND PREVENT PONDING ADJACENT TO FOUNDATIONS & DRIVEWAY.

STRUCTURAL MEMBER LEGEND	
FB1	150 x 100 x 4.0 DURAGAL RHS BEAM
J1	150 x 50 F17 HWD. JOISTS AT 450 CRS.
RB1	150 x 100 x 4.0 DURAGAL RHS BEAM
SC1	100 x 4.0 SHS COLUMN - HOT DIP GALV.

PRELIMINARY  
CLIENT APPROVAL



SLAB & FOOTING PLAN  
1:100

100mm THICK N20 GRADE CONCRETE SLAB REINFORCED BY SL82 MESH TOP 40 COVER EXTERNALLY LAID ON 200um VISQUEEN OVER NON-PLASTIC FILL MATERIAL COMPACTED TO MINIMUM 95% SRDD or 70% DENSITY INDEX

DRIVEWAY - 100mm SLAB  
SL82 - 40 TOP COVER  
SC = 35mm SAW CUT WITHIN 8 HOURS OF CONCRETE POUR. CUT EVERY SECOND BAR ACROSS JOINT AT 3000mm CRS. MAX.

Drawn	G.W.M.	Job Number	26023
Scale	AS SHOWN	Sheet Number	WD-1/9
Date	FEB. 2026	Copyright Retained	MARSHALL DESIGN
Client:-	CLAYTON & WILLOW BRAY - LOT DAGMAR CLOSE, LOWER DAINTREE	Q.B.C.C. No.	63487

# **Attachment 3**

## **Site Classification and Wastewater Management Report**



**Site Classification**

**And**

**Wastewater Management System**

**For**

**Clayton Bray**

**At**

**Lot 3 Dagmar Close**

**Lower Daintree**

## **INTRODUCTION:**

Earth Test has been engaged by Clayton Bray to assess, design and report on Site Classification and a Domestic Wastewater Management System at Lot 3 Dagmar Close, Lower Daintree.

Real Property Description:-

Lot 3, on RP865078

Local Authority: Douglas Shire Council.

It is understood the intention is to construct a new dwelling at the site.

A site and soil evaluation was carried out in June 2025.

## **SITE FACTORS:**

The site was identified during a meeting with the owner on-site.

The lot has an area of 6522 square metres and is covered with regrowth forest.

The location of the proposed dwelling was identified.

The water supply for the dwelling will be reticulated

There were no water bores on the Lot. An intermittent water course was noted at the site and marked on the site plan.

Three Dynamic Cone Penetrometer tests were performed at locations DCP1 through DCP3, four boreholes BH1 through BH4, and one constant head soil permeability test P1 as shown on the site plan.

Atterberg Limits tests were performed on a disturbed sample from Borehole1.



**Site testing at Lot 3 Dagmar Close, Lower Daintree**



## SITE INVESTIGATION REPORT BOREHOLE LOG

<b>CLIENT:</b> Clayton Bray.		<b>DATE SAMPLED:</b> 16/06/2025
<b>PROJECT:</b> Lot 3 Dagmar Close, Lower Daintree.		<b>Sampled by:</b> G. Negri
<b>REPORT DATE:</b> 20/06/2025		
<b>BOREHOLE No:</b> BH1		
<b>DEPTH (m)</b>	<b>DESCRIPTION</b>	<b>COMMENTS</b>
0.0-0.3	Sandy Silty CLAY, Yellow-Brown, Dry	Disturbed sample 0.6- 0.9m.
0.3-1.5	Sandy Silty CLAY, Red-Brown	Watertable not encountered.
<b>BOREHOLE No:</b> BH2		
<b>DEPTH (m)</b>	<b>DESCRIPTION</b>	<b>COMMENTS</b>
0.0-0.5	Sandy Silty CLAY, Brown, Dry	Watertable not encountered.
0.5	Refusal	
<b>BOREHOLE No:</b> BH3		
<b>DEPTH (m)</b>	<b>DESCRIPTION</b>	<b>COMMENTS</b>
0.0-0.2	Sandy Silty CLAY, Brown, Dry	Watertable not encountered.
0.2-1.5	Sandy Silty CLAY, Red-Brown, Moist	
<b>BOREHOLE No:</b> BH4		
<b>DEPTH (m)</b>	<b>DESCRIPTION</b>	<b>COMMENTS</b>
0.0-0.1	Sandy Silty CLAY, Brown, Dry	Watertable not encountered.
0.1-1.5	Sandy Silty CLAY, Red-Brown, Moist	



## ATTERBERG LIMITS TEST REPORT

**CLIENT:** Clayton Bray

**SAMPLE No:** SI 526-25

**PROJECT:** Lot 3 Dagmar Close, Lower Daintree.

**DATE SAMPLED:** 16/06/2025

**SAMPLE DETAILS:** BH1 0.6-0.9m

**Sampled by:** G. Negri

**REPORT DATE:** 20/06/2025

**Tested By:** K. Hodgson

TEST METHOD	RESULT
<b>Liquid Limit:</b> AS 1289.3.1.2	51%
<b>Plastic Limit:</b> AS 1289.3.2.1	26%
<b>Plasticity Index:</b> AS 1289.3.3.1	25%
<b>Linear Shrinkage:</b> AS 1289.3.4.1	9.5%
<b>Length Of Mould:</b>	125mm
<b>Cracking, Crumbling, Curling, Number Of Breaks:</b>	One Break
<b>Sample History:</b>	Oven Dried
<b>Preparation Method:</b>	Dry Sieved
<b>Insitu Moisture Content:</b>	19.7%
<b>% Passing 0.075mm:</b>	



## **DYNAMIC CONE PENETROMETER REPORT** **AS 1289.6.3.2**

**CLIENT:** Clayton Bray.

**SAMPLE No:** SI 526-25

**PROJECT:** Lot 3 Dagmar Close, Lower Daintree.

**DATE SAMPLED:** 16/06/2025

**SAMPLE DETAILS:** Sites “DCP1, DCP2 & DCP3.” as per site plan.

**Tested By:** G. Negri

**REPORT DATE:** 20/06/2025

<b>DEPTH (Metres)</b>	<b>Site: DCP1</b>	<b>Site: DCP2</b>	<b>Site: DCP3</b>
	<b>No Blows</b>	<b>No Blows</b>	<b>No Blows</b>
<b>0.0 – 0.1</b>	2	3	4
<b>0.1 – 0.2</b>	4	4	4
<b>0.2 – 0.3</b>	5	4	4
<b>0.3 – 0.4</b>	4	5	5
<b>0.4 – 0.5</b>	5	8	6
<b>0.5 – 0.6</b>	5	7	6
<b>0.6 – 0.7</b>	5	8	8
<b>0.7 – 0.8</b>	5	9	8
<b>0.8 – 0.9</b>	6	11	8
<b>0.9 – 1.0</b>	6	15	8
<b>1.0 – 1.1</b>	6	12	8
<b>1.1 – 1.2</b>	7	12	7
<b>1.2 – 1.3</b>	8		8
<b>1.3 – 1.4</b>	8		9
<b>1.4 – 1.5</b>	7		8
<b>1.5 – 1.6</b>			
<b>1.6 – 1.7</b>			
<b>1.7 – 1.8</b>			
<b>1.8 – 1.9</b>			
<b>1.9 – 2.0</b>			



## **SITE CLASSIFICATION**

### **Lot 3 Dagmar Close, Lower Daintree.**

The Dynamic Cone Penetrometer test results indicate adequate allowable bearing pressure to 1.5m.

The Atterberg Limits test results indicate a moderately reactive soil.

The characteristic surface movement ( $y_s$ ) is estimated to be in the  $20 < y_s \leq 40$ mm range. According to TABLE 2.3 of AS 2870-2011 the site must be classified **CLASS-"M"**.

To comply with the "Building Services Board Subsidence Policy" advice should be sought from a Registered Professional Engineer for footing design.

All site works must be carried out in accordance with AS 3798-2007 "Guidelines on earthworks for commercial and residential developments"

If the depth of any cut exceeds 0.5m or uncontrolled fill exceeds 0.4m the classification shall be reconsidered.

Because this investigation is limited in scope and extent, it is possible that areas may exist which differ from those shown on the test hole records and used in the site classification. Should any variation from the reported conditions be encountered during excavation work, this office must be notified immediately so that reappraisal of the classification can be made.

Gavin Negri  
Earth Test



## **SITE AND SOIL EVALUATION**

### **Lot 3 Dagmar Close, Lower Daintree.**

The site and soil evaluation carried out on 16/06/2025 provided the following results.

#### **Site Assessment**

<b><u>Site Factor</u></b>	<b><u>Result</u></b>
Slope	12 Degrees
Shape	Linear Planar
Aspect	South
Exposure	Good
Erosion/land slip	Not noted.
Boulders/rock outcrop	Not noted.
Vegetation	Forest
Watercourse	As shown on the site plan
Water table	Not encountered during investigation.
Fill	None.
Flooding	Not likely.
Channelled run-off	Not found
Soil surface conditions	Firm, Dryt.
Other site specific factors	Not noted

#### **Soil Assessment**

<b><u>Soil Property</u></b>	<b><u>Result</u></b>
Colour	Red-Brown
Texture	Clay-Loam
Structure	Moderate
Coarse Fragments	2-10%
Measured Permeability Ksat (m/d)	Indicative Permeability 1.5-3.0
Dispersion	Slakes
Soil Category	3
Resultant Design Load Rating, DLR (mm/d)	20



## **WASTEWATER MANAGEMENT SYSTEM**

An “All-Waste” septic tank discharging into an “Advanced Enviro-Septic” bed is considered suitable for this site.

This system has been designed to conform to the requirements of the following codes, acts, regulations and standards. All work to be carried out in accordance with the following codes.

- AS/NZ 1547:2012 On-site domestic-wastewater management.
- Queensland PLUMBING AND DRAINAGE ACT 2018.
- Queensland STANDARD PLUMBING AND DRAINAGE REGULATION 2019.
- Queensland PLUMBING AND WASTEWATER CODE.

### **SYSTEM SIZING FACTORS.**

A population equivalent of five (5) persons has been chosen for the proposed three bedroom dwelling.

The site is connected to a reticulated water supply system.

Standard water-reduction fixtures must be used to ensure the integrity of the system.

They shall include:-

- Dual flush 6/3 Litre water closets.
- Shower-flow restrictors.
- Aerator faucets (taps).
- Water-conserving automatic washing machines.

Note: - Garbage grinders are not permitted.

As per AS/NZ 1547:2012 Appendix H, Table H1 the “Typical wastewater design flow” for a “Reticulated water supply” gives a flow allowance of 150 L/Person/day.

The daily flow for the dwelling (5 persons @ 150 L/person/day) will be 750 L/day.

From AS/NZ 1547:2012 Table J1 the minimum capacity of the All-Waste septic tank required is 3000 L.

The tank must NOT be fitted with an outlet filter.



## LAND-APPLICATION SYSTEM

### DISPOSAL AREA SIZING

From AS/NZ 1547:2012 APPENDIX L, L4 DESIGN AREA SIZING, L4.2 Sizing

$$L = Q / (DLR \times W)$$

Where:

L = length in m

Q = design daily flow in L/day

DLR = Design Loading Rate in mm/d

W = Width in m

$$L = 750/20 \times 2.40 \\ = 15.6m.$$

**Use one 15.6m long by 2.40m wide advanced enviro septic bed.**

See site plan and detail cross-section.

**1kg gypsum per m<sup>2</sup> shall be applied to the scarified base before laying the sand**

### SYSTEM SAND

All Advanced Enviro-Septic systems require the use of “system sand” surrounding the pipe. This sand, typically washed coarse sand, must adhere to the following specification.

AS Sieve Size (mm)	Percent Passing %
9.50	100
4.75	95-100
2.36	80-100
1.18	50-85
0.600	25-60
0.300	5-30
0.150	0-10
0.075	0-2

If there is any doubt if the sand media proposed for use will meet the requirements please contact Earth Test for further advice.

## **SYSTEM INSTALLATION**

The entire bottom of the bed should be scarified a minimum of 200mm deep parallel to the AES pipes.

Avoid compaction by keeping people and machinery off the finished trench or bed floor. The system shall be installed by a licensed plumber in accordance with the manufacturer's recommendations and the relevant Australian Standards.

## **Operation and Maintenance**

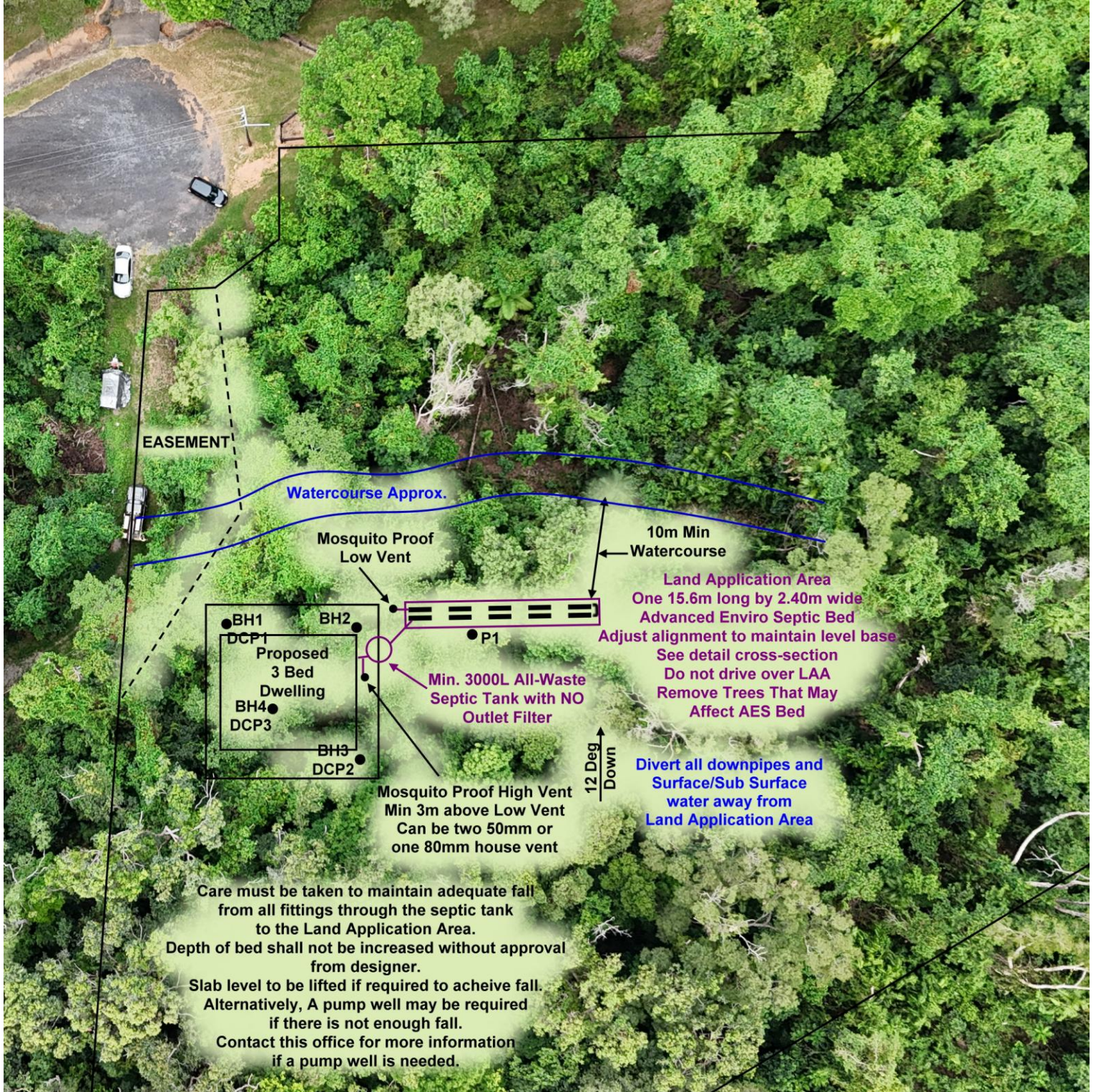
Homeowners should be fully informed of the proper operation and maintenance requirements of the on-site wastewater system.

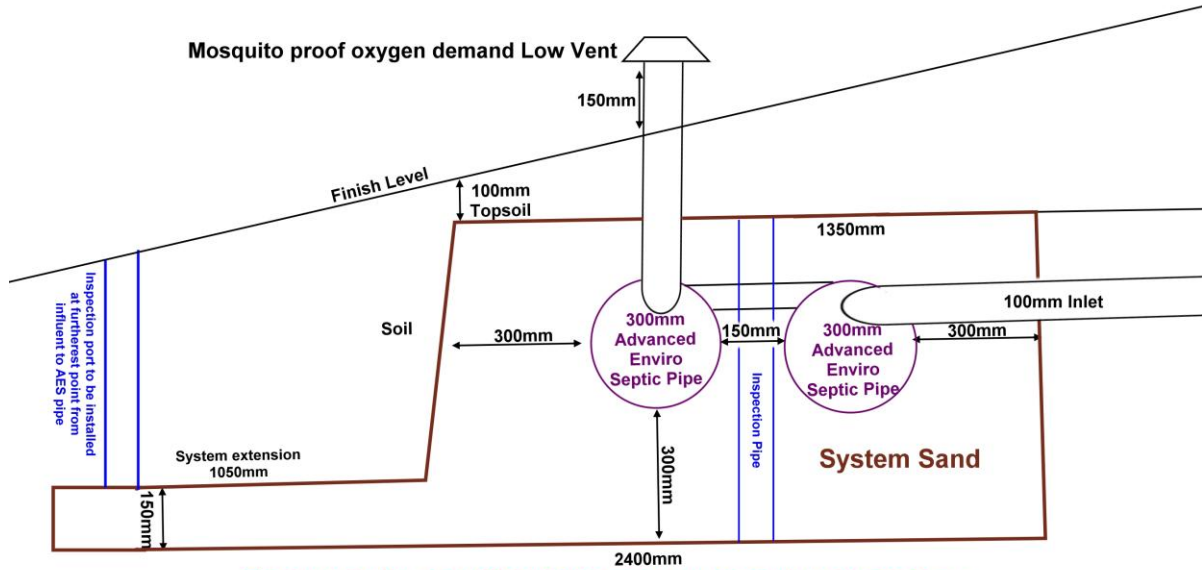
A handwritten signature in black ink, appearing to read "Gavin Negri".

Gavin Negri  
Earth Test



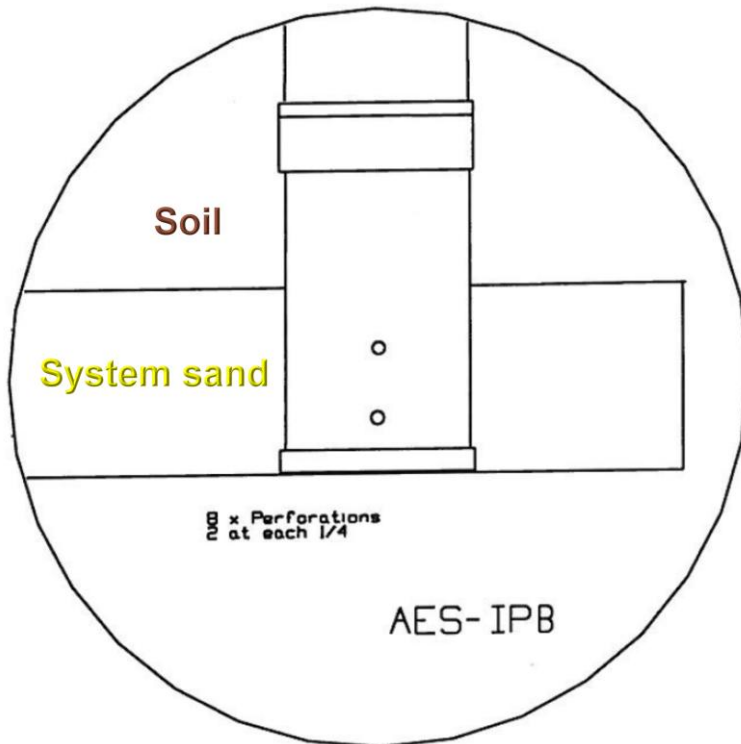
**SITE PLAN**  
**Lot 3 Dagmar Close, Lower Daintree.**  
**NOT TO SCALE**



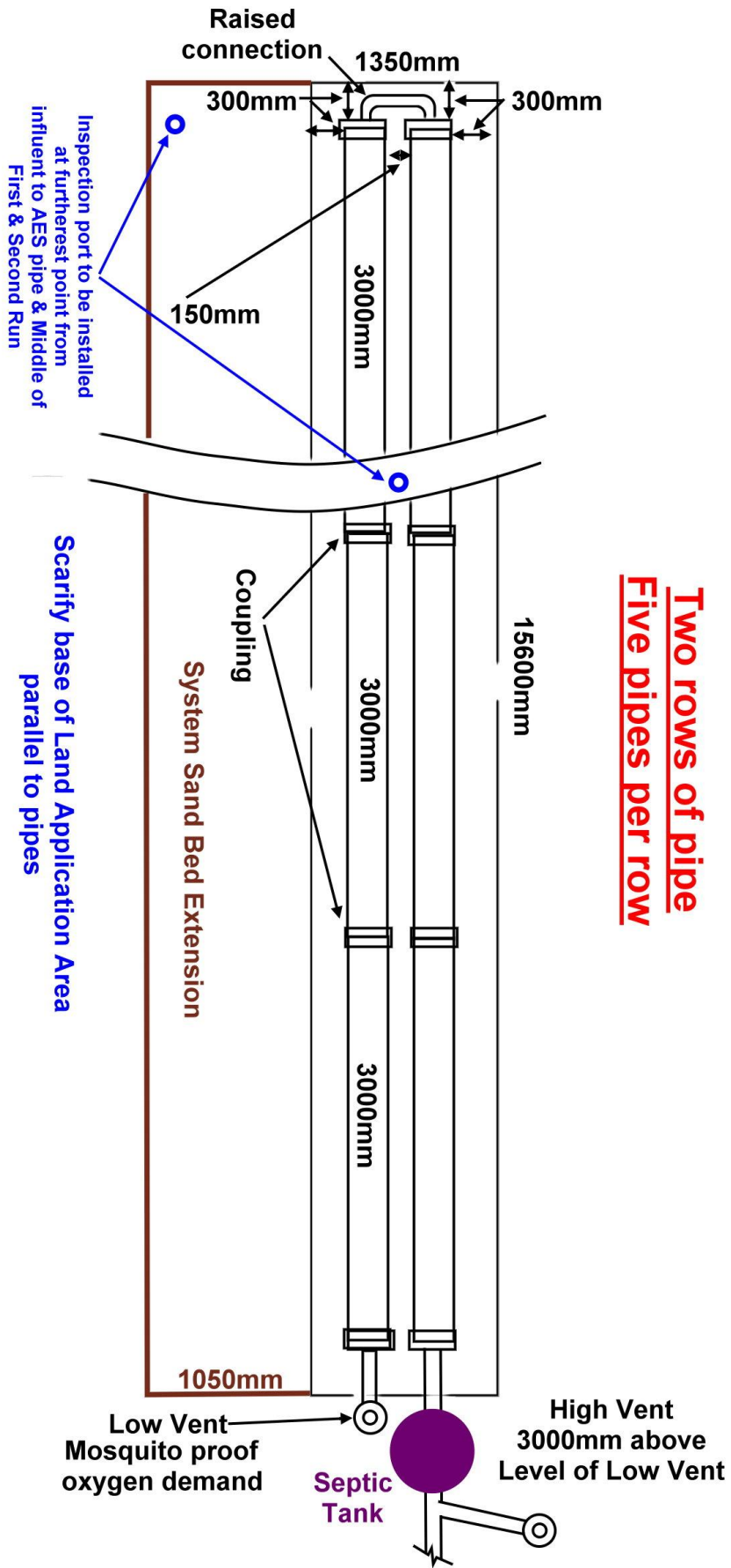


**Base must be scarrified 200mm deep. Parallel to AES Pipes**

**2400mm Wide Two Pipe  
Advanced Enviro-Septic Cross-Section**



**AES Inspection point detail**





**Table T2 – Setback distances for subsurface land application area for a greywater treatment plant or an on-site sewage treatment plant**

Feature	Horizontal separation distance <sup>①</sup>		
	Up slope	Down slope	Level
Property boundaries, pedestrian paths, walkways, recreation areas, retaining wall, and footings for buildings and other structures.	2	4	2
Inground swimming pools	6	6	6
Inground potable water <i>tank</i> not exposed to primary effluent	6	6	6
Inground potable water <i>tank</i> exposed to primary effluent	15	15	15


① Distances are given in metres and are measured from the edge of trench/bed excavation or subsurface irrigation distribution pipework to the nearest point of the feature

**Table T5 - Setback distances for on-site sewerage facilities and greywater use facilities - Protection of surface water and groundwater.**

Feature	Separation distance ①		
For onsite – see Table 2.1 in AS 1546.3	Advanced		
	Secondary		
For greywater – see Table 2.1 in AS 1546.4	Level 1 and		
	Level 2		
Top of bank of permanent water course	10		
Top of bank of intermittent water course			
Top of bank of a lake, bay or estuary			
Top water level of a surface water source used for agriculture, aquaculture or stock purposes			
Open stormwater drainage channel or drain			
Bore or a dam			
Unsaturated soil depth to a permanent water table (vertically)	0.3		

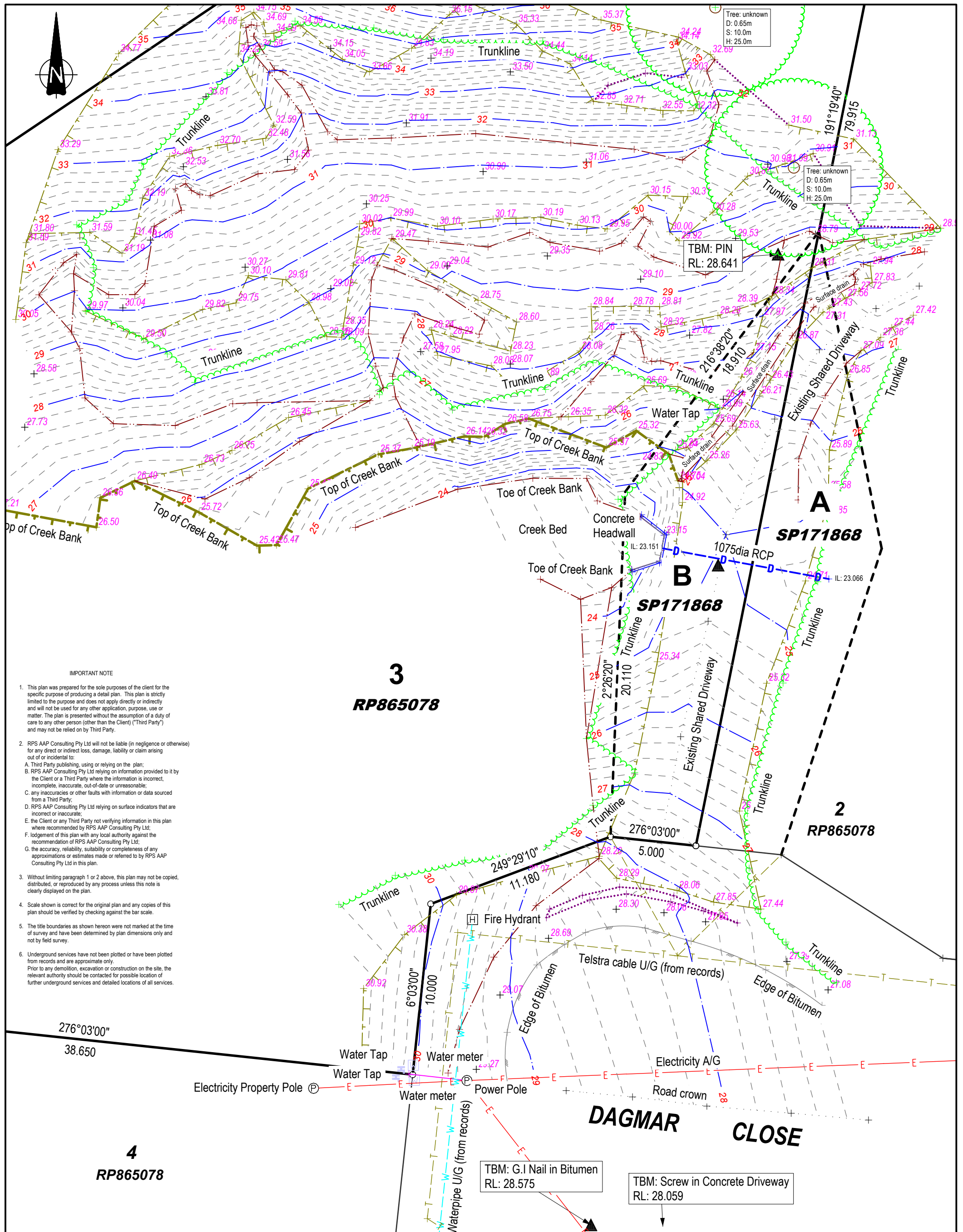
① Distances are given in metres and are measured from the edge of the irrigated wetted area to any point of the feature.



 <b>Advanced Enviro-septic Design Calculator V9.0 ©</b>	
<b>AES The World Leader in Passive Solutions ©</b>	
Site Address	Lot 3 Dagmar Close, Lower Daintree
State	QLD
Post Code	
Client Name	Clayton Bray
Date of Site Visit	
Designers Name	Earth Test
Designers Ph Number	07 4095 4734
Designer Lic (e.g QBCC)	15092731
Lic Plumber	TBA
Plumber Ph Number	TBA
Plumb / Drainer Lic Number	TBA
Council Area	Douglas Shire Council
Designers AES Cert Number	1164
Date	
<p style="text-align: center;"><b>This Calculator is a guide only, receiving soil classification, surface water, water tables and all other site constraints addressed by the qualified designer.</b></p>	
<p style="text-align: center;">System Designers site and soil calculation data entry</p>	
<p style="text-align: center;"><b>IMPORTANT NOTES</b></p>	
Enter AES L/m loading rate, "30" for ADV Secondary or "38" Secondary	30 >> <b>This design is for an ADVANCED SECONDARY system</b>
Is this a new installation Y or N	Y >> Minimum single vent size is 80mm or 2 x 50mm house vents
Number of Bedrooms	3 >> This is not used in ANY Calculation. If not known use NA or 0.
Number of persons	5 >> A septic tank outlet filter is NOT RECOMMENDED
Daily Design Flow Allowance Litre/Person/Day	150
Number of rows required to suit site constraints	2 >> The maximum length of a single AES pipe run is 30m or 10 PIPES
Infiltration Soil Category from site/soil evaluation. CATEGORY	3
Design Loading Rate based on site & soil evaluation DLR (mm/day)	20 >> Soil conditioning may be necessary. Ref AS1547 & Comments.
Bore log depth below system Basal area	1.5m >> Min depth 1.5m. Check water table/restrictive layer
Is this design a GRAVITY system with no outlet filter? Y or N	Y >> GRAVITY. A House Vent & LOW VENT required on this system
<p>PLEASE CHECK YOU HAVE FALL FROM TANK TO AES SYSTEM PIPES</p>	
<p>COMMENTS :- "The outcome must be important to everyone."</p>	
<p>- Ripping of receiving surface required in clay soil structures in Cat 4,5,6. In addition refer to AS 1547. Always excavate &amp; rip parallel to the site slope/AES pipe.</p>	
<p>- Designers need to be familiar with special requirements of Local Authorities. ie - Minimum falls from Septic tank outlets to L and application areas etc</p>	
<p>- Plumbers are reminded to practice good construction techniques as per AS 1547 &amp; as provided on AES installation instructions supplied with components.</p>	
<p style="text-align: center;"><b>AES System Calculator Outcomes</b></p>	
Total System load - litres / day (Q)	750 l/d
Min Length of AES pipe rows to treat loading	12.50 m
Number of FULL AES Pipe lengths per row	5 lths
Total Capacity of AES System pipe in Litres	2120 ltr.
<p style="text-align: center;"><b>AES dimensions</b></p>	
AES System	15.60m
System Extension	15.60m
Length:(L)	15.60m
Width:(W)	1.35m
Sand Depth	0.75m
Area m <sup>2</sup>	21.1 m <sup>2</sup>
Area m <sup>2</sup>	16.4 m <sup>2</sup>
<p>USE CUT LENGTHS OF PIPE IN THIS DESIGN? (ENTER Y)</p>	
<p>IF YOU WISH TO USE A TRENCH EXTENSION DESIGN OPTION ENTER "Y"</p>	
<p>Enter Custom Width in metre</p>	
<p>AES INFILTRATION FOOT PRINT AREA - <math>L = Q / (DLR \times W)</math></p>	
Length	Width
15.60m	x 2.40m
<p>= 3.75 m<sup>2</sup> total</p>	
<p><b>for this Basic Serial design is</b></p>	
<p style="text-align: center;"><b>AES pipes are best centered in the trench parallel to the site slope</b></p>	
<p style="text-align: center;"><b>Chankar Environmental Use Only</b></p>	
Code	AES System Bill of Materials
AES-PIPE	AES 3 metre Lengths required
10	lths
AESC	AES Couplings required
8	ea
AESO	AES Offset adaptors
4	ea
AESODV	AES Oxygen demand vent
1	ea
AES-IPB	AES 100mm Inspection point base
2	ea
TD Kit 4	4 Hole Distribution Box Kit
	ea
TD Kit 7	7 Hole Distribution Box Kit
	ea
VS43-4	Sweet Air Filter VS43-4
	ea
AES DESO	Double Offset Adaptors
	ea
<p>TOTAL SYSTEM SAND REQUIRED (Estimate Only)</p>	
22	m <sup>3</sup>
<p>Please email your AES Calculator (EXCEL FORMAT), Site Layout &amp; AES Design to <a href="mailto:designreview@enviro-septic.com.au">designreview@enviro-septic.com.au</a></p>	
<p>Digitally signed by Kane Dickson  DN: cn=Kane Dickson, o=Chankar Environmental Pty Ltd,  ou=Advanced Enviro-Septic,  email=designreview@enviro-septic.com.au, c=AU  Date: 2025.06.18 08:22:33 +10'00'</p>	
<p>&gt; The AES Calculator is a design aid to allow checking of the AES components, configuration and is a guide only. Site and soil conditions referencing AS1547 are calculated and designed by a Qualified Wastewater Designer.</p>	
<p>&gt; Chankar Environmental accepts no responsibility for the soil evaluation, loading calculations or DLR entered by the designer for this calculator.</p>	
<p>&gt; AES pipes can be cut to length on site. They are supplied in 3 meter lengths only.</p>	
<p>&gt; AES ONLY supply AES components as detailed in the Bill of Materials.</p>	
<p>&gt; SEPTIC Tank &amp; other components including SAND will need to be sourced from other suppliers. Refer to our WEBSITE <a href="http://www.enviro-septic.com.au">www.enviro-septic.com.au</a> OR 07 5474 4055</p>	
<p style="text-align: center;">AES-Design-V9.0-Calculator © Copy Right - Chankar Environmental Pty Ltd 20/1/2022</p>	

# **Attachment 4**

## **Contour and Detail Survey**



**IMPORTANT NOTE**

1. This plan was prepared for the sole purposes of the client for the specific purpose of producing a detail plan. This plan is strictly limited to the purpose and does not apply directly or indirectly and will not be used for any other application, purpose, use or matter. The plan is presented without the assumption of a duty of care to any other person (other than the Client) ("Third Party") and may not be relied on by Third Party.
2. RPS AAP Consulting Pty Ltd will not be liable (in negligence or otherwise) for any direct or indirect loss, damage, liability or claim arising out of or incidental to:
  - A. Third Party publishing, using or relying on the plan;
  - B. RPS AAP Consulting Pty Ltd relying on information provided to it by the Client or a Third Party where the information is incorrect, incomplete, inaccurate, out-of-date or unreasonable;
  - C. any inaccuracies or other faults with information or data sourced from a Third Party;
  - D. RPS AAP Consulting Pty Ltd relying on surface indicators that are incorrect or inaccurate;
  - E. the Client or any Third Party not verifying information in this plan where recommended by RPS AAP Consulting Pty Ltd;
  - F. lodgement of this plan with any local authority against the recommendation of RPS AAP Consulting Pty Ltd;
  - G. the accuracy, reliability, suitability or completeness of any approximations or estimates made or referred to by RPS AAP Consulting Pty Ltd in this plan.
3. Without limiting paragraph 1 or 2 above, this plan may not be copied, distributed, or reproduced by any process unless this note is clearly displayed on the plan.
4. Scale shown is correct for the original plan and any copies of this plan should be verified by checking against the bar scale.
5. The title boundaries as shown hereon were not marked at the time of survey and have been determined by plan dimensions only and not by field survey.
6. Underground services have not been plotted or have been plotted from records and are approximate only. Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.

**3**  
**RP865078**

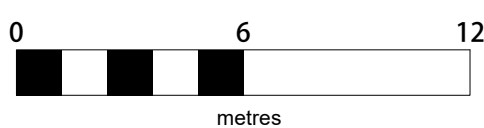
**A**  
**SP171868**

**B**  
**SP171868**

**2**  
**RP865078**

**4**  
**RP865078**

**DAGMAR CLOSE**



SCALE 1:200 IS APPLICABLE ONLY TO THE ORIGINAL SHEET SIZE (A3).

AMENDMENTS	
Level Datum: AHD	Origin of Levels: PSM 77775 Brass plaque
Origin of Coordinates: PSM 96523 Brass plaque	E: 327447.589
N: 8197653.566	Meridian: RP865078
CHECKED	DRAFTING CHECKED

PROJECT MANAGER	
DGP	SURVEYED
AAD	19/01/2026
DRAWN	
AAD	CAD REF
434193-100 Dagmar Cl	Detail adjusted.mjo
SHEET 1 OF SHEETS 1	
SHEET SIZE	
A3	

**CLAYTON BRAY**

**Contour and Detail Survey**  
part of Lot 3 on RP865078  
Dagmar Close  
Lower Daintree  
Queensland

**RPS**  
A TETRA TECH COMPANY

RPS AAP Consulting Pty Ltd  
ACN 117 883 173  
5954 Captain Cook Hwy  
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W rpsgroup.com.au

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not permitted. Please contact the author.

SCALE	DATE	DRAWING NO.	ISSUE
1:200	19/01/2026	PTD434193-100	

# **Attachment 5**

## **Code Assessment**

## 6.2.4 Environmental management zone code

### 6.2.4.1 Application

- (1) This code applies to assessing development in the Environmental management zone.
- (2) When using this code, reference should be made to Part 5.

### 6.2.4.2 Purpose

- (1) The purpose of the Environmental management zone code is to recognise environmentally sensitive areas and provide for houses on lots and other low impact activities where suitable.

These areas are protected from intrusion of any urban, suburban, centre or industrial land use.

- (2) The local government purpose of the code is to:
  - (a) implement the policy direction set in the Strategic Framework, in particular:
    - (i) Theme 2 : Environment and landscape values, Element 3.5.3 – Biodiversity, Element 3.5.5 – Scenic amenity.
  - (b) protect and buffer areas of environmental significance from inappropriate development.
- (3) The purpose of the code will be achieved through the following overall outcomes:
  - (a) Development is generally restricted to a dwelling house;
  - (b) Adverse impacts on natural systems, both on-site and on adjoining land are minimised through the location, design and management of development;
  - (c) Development reflects and responds to the natural features and environmental values of the area;
  - (d) Visual impacts are minimised through the location and design of development;
  - (e) Development does not adversely affect water quality;
  - (f) Development responds to land constraints, including but not limited to topography, vegetation, bushfire, landslide and flooding.

## Criteria for assessment

Table 6.2.4.3.a – Environmental management zone – assessable development

Performance outcomes	Acceptable outcomes	Applicant response
<b>For self-assessable and assessable development</b>		
<p><b>PO1</b> The height of all buildings and structures is in keeping with the natural characteristics of the site. Buildings and structures are low-rise and not unduly visible from external sites.</p>	<p><b>AO1.1</b> Buildings and structures are not more than 8.5 metres and two storeys in height. Note – Height is inclusive of the roof height.</p> <p><b>AO1.2</b> Buildings have a roof height not less than 2 metres.</p>	<p><b>Alternative Solution</b> The building height at the highest point is approximately 11.3m and transitions down to approximately 5.7m. The height exceedance is due to the topography of the site and predominantly limited to the proposed open balcony. Despite the height exceedance, the dwelling will be largely screened from public view by existing vegetation and orientation of the property. The roof height portion is approximately 2.9m.</p>
<p><b>PO2</b> Buildings and structures are set back to: (a) maintain the natural character of the area; (b) achieve separation from neighbouring buildings and from road frontages.</p>	<p><b>AO2</b> Buildings and structures are set back not less than: (a) 40 metres from the frontage of a state controlled road; (b) 25 metres from the frontage to Cape Tribulation Road; (c) 6 metres from any other road; (d) 6 metres from the side and rear boundaries of the site.</p>	<p><b>Complies with AO2</b> Setbacks exceeds that prescribed.</p>
<b>For assessable development</b>		
<p><b>PO3</b> Development is consistent with the purpose of the Environmental management zone and protects the zone from the intrusion of inconsistent uses.</p>	<p><b>AO3</b> Inconsistent uses as identified in Table 6.2.4.3.b are not established in the Environmental management zone.</p>	<p><b>Complies with AO3</b> A Dwelling House is a consistent use.</p>
<p><b>PO4</b> The site coverage of all buildings and structures and associated services do not have an adverse effect on the environmental or scenic values of the site.</p>	<p><b>PO4</b> No acceptable outcomes are prescribed.</p>	<p><b>Complies with PO4</b> The development is domestic and residential and nature and confined to an existing disturbed area.</p>

Performance outcomes	Acceptable outcomes	Applicant response
<p><b>PO5</b> Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.</p> <p>Note - Planning scheme policy – Site assessments provides guidance on identifying the characteristics, features and constraints of a site and its surrounds.</p>	<p><b>AO5.1</b> Buildings, structures and associated access, infrastructure and private open space are sited: (a) within areas of the site which are already cleared; or (b) within areas of the site which are environmentally degraded; (c) to minimise additional vegetation clearing.</p> <p><b>AO5.2</b> Buildings and structures and associated infrastructure are not located on slopes greater than 1 in 6 (16.6%) or on a ridgeline.</p>	<p><b>Complies with PO5</b> The development is domestic and residential and nature and confined to an existing disturbed area minimising need for extensive clearing.</p>
<p><b>PO6</b> Buildings and structures are responsive to steep slope through innovative construction techniques so as to: (a) maintain the geotechnical stability of slopes; (b) minimise cut and/or fill; (c) minimise the overall height of development.</p>	<p><b>AO6.1</b> Where development on land steeper than 1 in 6 (16.6%) cannot be avoided, development follows the natural contours of the land and single plane concrete slab on-ground methods of construction are not utilised.</p> <p><b>AO6.2</b> Access and vehicle manoeuvring and parking areas are constructed and maintained to: (a) minimise erosion; (b) minimise cut and fill; (c) follow the natural contours of the site.</p>	<p><b>Complies with PO6</b> A small area of cut is proposed to accommodate the 6.3m wide by 14m long concrete slab within the undercroft area beneath the dwelling. Earthworks will be confined to the immediate building footprint, with the land on either side of the slab battered to transition naturally with the existing topography. No retaining walls are proposed as part of the development.</p>
<p><b>PO7</b> The exterior finishes of buildings and structures are consistent with the surrounding natural environment.</p>	<p><b>PO7</b> The exterior finishes and colours of buildings and structures are non-reflective and are moderately dark to darker shades of grey, green, blue and brown or the development is not visible external to the site.</p>	<p><b>May be conditioned to comply</b> The external colour scheme is not yet confirmed.</p>
<p><b>PO8</b> Development does not adversely affect the amenity of the zone and adjoining land uses in terms of traffic,</p>	<p><b>AO8</b> No acceptable outcomes are prescribed.</p>	<p><b>Complies with PO8</b> The development is residential and domestic in nature.</p>

Performance outcomes	Acceptable outcomes	Applicant response
noise, dust, odour, lighting or other physical or environmental impacts.		
<b>PO9</b> The density of development ensures that the environmental and scenic amenity values of the site and surrounding area are not adversely affected.	<b>AO9</b> The maximum residential density is one dwelling house per lot.	<b>Complies with AO9</b> The application is for a single Dwelling House.
<b>PO10</b> Lot reconfiguration results in no additional lots. Note - Boundary realignments to resolve encroachments and lot amalgamation are considered appropriate.	<b>AO10</b> No acceptable outcomes are prescribed.	<b>Not Applicable</b>

Table 6.2.4.3.b – Inconsistent uses within the Environmental management zone

Inconsistent uses		
<ul style="list-style-type: none"> <li>• Adult store</li> <li>• Agricultural supplies store</li> <li>• Air services</li> <li>• Aquaculture</li> <li>• Bar</li> <li>• Brothel</li> <li>• Bulk landscape supplies</li> <li>• Car wash</li> <li>• Caretaker's accommodation</li> <li>• Cemetery</li> <li>• Child care centre</li> <li>• Club</li> <li>• Community care centre</li> <li>• Community residence</li> <li>• Community use</li> <li>• Crematorium</li> <li>• Cropping</li> <li>• Detention facility</li> <li>• Dual occupancy</li> <li>• Dwelling unit</li> <li>• Educational establishment</li> </ul>	<ul style="list-style-type: none"> <li>• Hardware and trade supplies</li> <li>• Health care services</li> <li>• High impact industry</li> <li>• Hospital</li> <li>• Hotel</li> <li>• Indoor sport and entertainment</li> <li>• Intensive animal industry</li> <li>• Intensive horticulture</li> <li>• Landing</li> <li>• Low impact industry</li> <li>• Major electricity infrastructure</li> <li>• Major sport, recreation and entertainment facility</li> <li>• Marine industry</li> <li>• Market</li> <li>• Motor sport facility</li> <li>• Multiple dwelling</li> <li>• Nightclub entertainment facility</li> <li>• Office</li> <li>• Outdoor sales</li> <li>• Outstation</li> <li>• Parking station</li> </ul>	<ul style="list-style-type: none"> <li>• Renewable energy facility</li> <li>• Relocatable home park</li> <li>• Research and technology industry</li> <li>• Residential care facility</li> <li>• Resort complex</li> <li>• Retirement facility</li> <li>• Rooming accommodation</li> <li>• Rural industry</li> <li>• Rural workers accommodation</li> <li>• Sales office</li> <li>• Service Station</li> <li>• Shop</li> <li>• Shopping centre</li> <li>• Short-term accommodation</li> <li>• Showroom</li> <li>• Special industry</li> <li>• Substation</li> <li>• Theatre</li> <li>• Transport depot</li> <li>• Utility installation</li> <li>• Veterinary services</li> </ul>

<ul style="list-style-type: none"> <li>• Food and drink outlet</li> <li>• Function facility</li> <li>• Garden centre</li> </ul>	<ul style="list-style-type: none"> <li>• Place of worship</li> <li>• Port services</li> </ul>	<ul style="list-style-type: none"> <li>• Warehouse</li> <li>• Wholesale nursery</li> <li>• Winery</li> </ul>
---	---	--

Note – This table does not imply that all other uses not listed in the table are automatically consistent uses within the zone. Assessable development must still demonstrate consistency through the assessment process.

## 9.3.8 Dwelling house code

### 9.3.8.1 Application

- (1) This code applies to assessing development for a dwelling house if:
  - (a) self-assessable development or assessable development where this code identified in the assessment criteria column of a table of assessment; or
  - (b) impact assessable development.
- (2) When using this code, reference should be made to Part 5.

Note—Where the land is identified in an overlay map, additional provisions relating to that overlay also apply. For example, minimum floor levels for a dwelling house on a site subject to certain types of flooding are identified in the Flood and storm tide inundation overlay code.

Note – For a proposal to be self-assessable, it must meet all of the self-assessable outcomes of this code and any other applicable code. Where it does not meet all the self-assessable outcomes, the proposal becomes assessable development and a development application is required. Where a development application is triggered, only the specific acceptable outcomes that the proposal fails to meet need to be assessed against the corresponding performance outcomes. Other self-assessable outcomes that are met are not assessed as part of the development application.

### 9.3.8.2 Purpose

- (1) The purpose of the Dwelling house code is to assess the suitability of development to which this code applies.
- (2) The purpose of the code will be achieved through the following overall outcomes:
  - (a) The dwelling house, including all habitable buildings on site, is occupied by a single household;
  - (b) A dwelling house, including a secondary dwelling or domestic out-buildings; ensures that the secondary dwelling is sub-ordinate to the primary dwelling house;
  - (c) Development of a dwelling house provides sufficient and safe vehicle access and parking for residents;
  - (d) The built form, siting, design and use of each dwelling is consistent with the desired neighbourhood character and streetscape elements of the area.

### 9.3.8.3 Criteria for assessment

Table 9.3.8.3.a – Dwelling house code –assessable development

Performance outcomes	Acceptable outcomes	Applicant Response
<b>For self-assessable and assessable development</b>		
<p><b>PO1</b> Secondary dwellings: (a) are subordinate, small-scaled dwellings; (b) contribute to a safe and pleasant living environment; (c) are established on appropriate sized lots; (d) do not cause adverse impacts on adjoining properties.</p>	<p><b>AO1</b> The secondary dwelling: (a) has a total gross floor area of not more than 80m<sup>2</sup>, excluding a single carport or garage; (b) is occupied by 1 or more members of the same household as the dwelling house.</p>	<p><b>Not Applicable</b></p>
<p><b>PO2</b> Resident's vehicles are accommodated on- site.</p>	<p><b>AO2</b> Development provides a minimum number of on-site car parking spaces comprising: (a) 2 car parking spaces which may be in tandem for the dwelling house; (b) 1 car parking space for any secondary dwelling on the same site.</p>	<p><b>Complies with AO2</b> The development provides a large concrete undercroft area which will accommodate parking. u</p>
<p><b>PO3</b> Development is of a bulk and scale that: (a) is consistent with and complements the built form and front boundary setbacks prevailing in the street and local area; (b) does not create an overbearing development for adjoining dwelling houses and their private open space; (c) does not impact on the amenity and privacy of residents in adjoining dwelling houses; ensures that garages do not dominate the appearance of the street.</p>	<p><b>AO3</b> Development meets the acceptable outcome for building height in the applicable Zone code associated with the site.</p>	<p><b>Complies with AO3</b> Refer to the Planning Report for discussion compliance with the purpose and overall outcomes of the zone. Furthermore refer to the Conservation Zone code assessment.</p>

## 8.2.5 Hillslopes overlay code

### 8.2.5.1 Application

- (1) This code applies to assessing a material change of use, reconfiguring a lot, operational work or building work within the Hillslopes overlay, if:
  - (a) self assessable or assessable development where the code is identified as being applicable in the Assessment criteria for the Overlay Codes contained in the Levels of Assessment Tables in section 5.6;
  - (b) impact assessable development.
- (2) Land in the Hillslopes overlay is identified on the Hillslopes overlay map in Schedule 2 and includes the following sub-categories:
  - (a) Hillslopes constraint sub-category.
- (3) When using this code, reference should be made to Part 5.

### 8.2.5.2 Purpose

- (1) The purpose of the Hillslopes overlay code is to:
  - (a) implement the policy direction in the Strategic Framework, in particular:
    - (i) Theme 1 - Settlement pattern: Element 3.4.7 Mitigation of hazards;
    - (ii) Theme 2 – Environment and landscape values: Element 3.5.5 Scenic amenity.
  - (b) enable an assessment of whether development is suitable on land within the Hillslopes sub-categories.
- (2) The purpose of the code will be achieved through the following overall outcomes:
  - (a) development on hillslopes is safe, serviceable and accessible;
  - (b) the ecological values, landscape character and visual quality of the hillslopes are protected from development so as to retain the scenic backdrop to the region;
  - (c) Development on hillslopes is appropriate, having regard to the topographic constraints and environmental characteristics of the land;
  - (d) Development responds to the constraints of the site including gradient and slope stability;
  - (e) Works do not involve complex engineering solutions.

**Criteria for assessment**

Table 8.2.5.3.a – Hillslopes overlay code –assessable development

Performance outcomes	Acceptable outcomes	Applicant response
<b>For self-assessable development</b>		
<p><b>PO1</b> The landscape character and visual amenity quality of hillslopes areas is retained to protect the scenic backdrop to the region.</p>	<p><b>AO1.1</b> Development is located on parts of the site that are not within the Hillslopes constraint sub-category as shown on the Hillslopes overlay Maps contained in schedule 2.</p>	<p><b>Not Applicable</b></p>
<b>For assessable development</b>		
<p><b>PO2</b> The landscape character and visual amenity quality of hillslopes areas is retained to protect the scenic backdrop to the region.</p>	<p><b>AO2.1</b> Development does not occur on land with a gradient in excess of 1 in 6 (16.6%)</p> <p>or</p> <p><b>AO2.2</b> Where development on land steeper than 1 in 6 (16.6%) cannot be avoided, development follows the natural contours of the site.</p> <p><b>AO2.3</b> Access ways and driveways are:</p> <ul style="list-style-type: none"> <li>(a) constructed with surface materials that blend with the surrounding environment;</li> <li>(b) landscaped with dense planting to minimise the visual impact of the construction;</li> <li>(c) provided with erosion control measures immediately after construction.</li> </ul> <p><b>AO2.4</b> The clearing or disturbance of vegetation is limited to clearing and disturbance that:</p> <ul style="list-style-type: none"> <li>(a) is necessary for the construction of driveways;</li> <li>(b) is necessary to contain the proposed development;</li> <li>(c) minimises canopy clearing or disturbance;</li> </ul>	<p><b>Complies with PO2</b> The proposed development retains the landscape character and visual amenity qualities of the hillslope environment and will not detract from the scenic backdrop of the region. The dwelling has been carefully sited within an existing disturbed area of the allotment adjacent to the established shared driveway alignment, thereby avoiding the need to extend access infrastructure or disturb more prominent or environmentally sensitive portions of the site.</p> <p>Importantly, the proposed dwelling is generally located within the same area previously approved by Council for a Dwelling House under Development Approval MCU 3B 066/04, demonstrating prior acceptance of the suitability of this location for residential development from a planning and visual amenity perspective.</p> <p>The development adopts a lightweight elevated design that responds appropriately to</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>(d) minimises riparian clearing or disturbance.</p> <p><b>AO2.5</b> On land with slopes greater than 1 in 6 (16.6%) or greater, alternative construction methods to concrete slab on ground are utilised (i.e. split level or post and beam constructed buildings that minimise modification to the natural terrain of the land).</p> <p><b>AO2.6</b> Development does not alter the sky line.</p> <p><b>AO2.7</b> Buildings and structures:</p> <p>(a) are finished predominantly in the following exterior colours or surfaces:</p> <p>(b) moderately dark to darker shades of olive green, brown, green, blue, or charcoal; or</p> <p>(c) moderately dark to darker wood stains that blend with the colour and hues of the surrounding vegetation and landscape;</p> <p>(d) are not finished in the following exterior colours or surfaces:</p> <p>(e) pastel or terracotta colours, reds, yellows, shades of white or beige, or other bright colours that do not blend with the surrounding vegetation and landscape;</p> <p>(f) reflective surfaces.</p> <p><b>AO2.8</b> Exterior colour schemes limit the use of white or other light colours to exterior trim and highlighting of architectural features</p> <p><b>AO2.9</b> Areas between the first floor (including outdoor deck areas) and ground level are screened from view.</p> <p><b>AO2.10</b></p>	<p>the sloping topography and minimises the need for extensive excavation, retaining structures or vegetation clearing. The built form is low-scale and visually recessive in nature, enabling the dwelling to integrate within the surrounding vegetated landscape rather than dominate it.</p> <p>Access to the site is achieved via an existing shared driveway arrangement, avoiding the need for additional clearing or creation of new access tracks through the hillslope environment. Importantly, the balance of the allotment, including the higher elevated and more visually prominent portions of the site, will remain naturally vegetated. This ensures that the broader landscape character and scenic qualities of the locality are maintained and that the vegetated hillslope backdrop continues to dominate views within the area.</p> <p>A geotechnical assessment is currently being undertaken and will be provided to Council as supplementary supporting information.</p> <p>Preliminary investigations indicate that only minor earthworks will be required to facilitate the concrete slab within the undercroft area beneath the dwelling. Earthworks will generally be confined to the immediate building footprint, with the land on either side of the slab area battered to transition naturally with the existing topography. No retaining walls are proposed as part of the development, further reducing</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>Recreational or ornamental features (including tennis courts, ponds or swimming pools) do not occur on land:</p> <ul style="list-style-type: none"> <li>(a) with a gradient of 1 in 6 (16.6%) or more;</li> <li>(b) are designed to be sited and respond to the natural constraints of the land and require minimal earthworks</li> </ul>	<p>the visual and physical impact of the works on the hillslope environment.</p> <p>The exterior colour scheme is not yet selected, however it is expected that Council will condition this requirement.</p> <p>On this basis, the proposal maintains the visual integrity of the hillslope landscape and is consistent with the intent of the Planning Scheme to protect the scenic backdrop and environmental character of the region.</p>
<p><b>PO3</b> Excavation or filling does not have an adverse impact on the amenity, safety, stability or function of the site or adjoining premises through:</p> <ul style="list-style-type: none"> <li>(a) loss of privacy;</li> <li>(b) loss of access to sunlight;</li> <li>(c) intrusion of visual or overbearing impacts;</li> <li>(d) complex engineering solutions.</li> </ul>	<p><b>AO3</b> Excavation or fill:</p> <ul style="list-style-type: none"> <li>(a) is not more than 1.2 metres in height for each batter or retaining wall;</li> <li>(b) is setback a minimum of 2 metres from property boundaries;</li> <li>(c) is stepped with a minimum 2 metre wide berm to incorporate landscaping in accordance with Planning scheme policy SC6.7 – Landscaping;</li> <li>(d) does not exceed a maximum of 3 batters and 3 berms (i.e. not greater than 3.6 metres in height) on any one lot.</li> </ul>	<p><b>Complies with AO3</b> As discussed above, only minor earthworks will be required to facilitate the concrete slab within the undercroft area beneath the dwelling. Earthworks will generally be confined to the immediate building footprint, with the land on either side of the slab area battered to transition naturally with the existing topography. No retaining walls are proposed as part of the development, further reducing the visual and physical impact of the works on the hillslope environment.</p>

Performance outcomes	Acceptable outcomes	Applicant response
<b>Lot reconfiguration</b>		
<p><b>PO4</b> For development that involves reconfiguring a lot, lot layout and design is responsive to the natural constraints of the land and each lot is capable of being used for its intended purpose.</p>	<p><b>AO4.1</b> The frontage and depth of all lots is of sufficient width to:</p> <ul style="list-style-type: none"> <li>(a) allow driveways to follow the natural contours of the site and not exceed a gradient of 1 in 6 (16.6%);</li> <li>(b) accommodate any changes in gradient between the road and lot within the lot boundary and not within the road reserve.</li> </ul> <p><b>AO4.2</b> Development does not create new lots containing land of greater than 1 in 6 (16.6%), except where a rectangular area of land of lesser grade is contained within the new lots to accommodate the intended land use, with the balance left in its natural state to the greatest extent possible.</p> <p>Note – The size of rectangular areas is outlined within each zone code.</p> <p><b>AO4.3</b> Development does not alter ridgelines.</p> <p><b>AO4.4</b> Lots are designed to ensure rooflines of future buildings and structures do not protrude above a ridgeline.</p>	<p><b>Not Applicable</b></p>

## 9.4 Other development codes

### 9.4.1 Access, parking and servicing code

#### 9.4.1.1 Application

- (1) This code applies to assessing:
  - (a) operational work which requires a compliance assessment as a condition of a development permit; or
  - (b) a material change of use or reconfiguring a lot if:
    - (i) self-assessable or assessable development where this code is identified in the assessment criteria column of the table of assessment;
    - (ii) impact assessable development, to the extent relevant.
- (2) When using this code, reference should be made to Part 5.

#### 9.4.1.2 Purpose

- (1) The purpose of the Access, parking and servicing code is to assess the suitability of access, parking and associated servicing aspects of a development.
- (2) The purpose of the code will be achieved through the following overall outcomes:
  - (a) sufficient vehicle parking is provided on-site to cater for all types of vehicular traffic accessing and parking on-site, including staff, guests, patrons, residents and short term delivery vehicles;
  - (b) sufficient bicycle parking and end of trip facilities are provided on-site to cater for customer and service staff;
  - (c) on-site parking is provided so as to be accessible and convenient, particularly for any short term uses;
  - (d) development provides walking and cycle routes through the site which link the development to the external walking and cycling network;
  - (e) the provision of on-site parking, loading / unloading facilities and the provision of access to the site do not impact on the efficient function of street network or on the area in which the development is located;
  - (f) new vehicular access points are safely located and are not in conflict with the preferred ultimate streetscape character and local character and do not unduly disrupt any current or future on-street parking arrangements.

### 9.4.1.3 Criteria for assessment

Table 9.4.1.3.a – Access, parking and servicing code – assessable development

Performance outcomes	Acceptable outcomes	Applicant Response
<b>For self-assessable and assessable development</b>		
<p><b>PO1</b> Sufficient on-site car parking is provided to cater for the amount and type of vehicle traffic expected to be generated by the use or uses of the site, having particular regard to:</p> <ul style="list-style-type: none"> <li>(a) the desired character of the area;</li> <li>(b) the nature of the particular use and its specific characteristics and scale;</li> <li>(c) the number of employees and the likely number of visitors to the site;</li> <li>(d) the level of local accessibility;</li> <li>(e) the nature and frequency of any public transport serving the area;</li> <li>(f) whether or not the use involves the retention of an existing building and the previous requirements for car parking for the building</li> <li>(g) whether or not the use involves a heritage building or place of local significance;</li> <li>(h) whether or not the proposed use involves the retention of significant vegetation.</li> </ul>	<p><b>AO1.1</b> The minimum number of on-site vehicle parking spaces is not less than the number prescribed in Table 9.4.1.3.b for that particular use or uses.</p> <p>Note - Where the number of spaces calculated from the table is not a whole number, the number of spaces provided is the next highest whole number.</p> <p><b>AO1.2</b> Car parking spaces are freely available for the parking of vehicles at all times and are not used for external storage purposes, the display of products or rented/sub-leased.</p> <p><b>AO1.3</b> Parking for motorcycles is substituted for ordinary vehicle parking to a maximum level of 2% of total ordinary vehicle parking.</p> <p><b>AO1.4</b> For parking areas exceeding 50 spaces parking, is provided for recreational vehicles as a substitute for ordinary vehicle parking to a maximum of 5% of total ordinary vehicle parking rate.</p>	<p><b>Complies with AO1.1</b> The development provides space for more than 2 covered space within the undercroft of the dwelling.</p> <p><b>Not Applicable</b></p> <p><b>Not Applicable</b></p> <p><b>Not Applicable</b></p>
<p><b>PO2</b> Vehicle parking areas are designed and constructed in accordance with relevant standards.</p>	<p><b>AO2</b> Vehicle parking areas are designed and constructed in accordance with Australian Standard:</p> <ul style="list-style-type: none"> <li>(a) AS2890.1;</li> <li>(b) AS2890.3;</li> <li>(c) AS2890.6.</li> </ul>	<p><b>Complies with AO2</b> Parking will be constructed within relevant Australian standards and may be appropriately conditioned.</p>



<p><b>PO3</b> Access points are designed and constructed:</p> <ul style="list-style-type: none"> <li>(a) to operate safely and efficiently;</li> <li>(b) to accommodate the anticipated type and volume of vehicles</li> <li>(c) to provide for shared vehicle (including cyclists) and pedestrian use, where appropriate;</li> <li>(d) so that they do not impede traffic or pedestrian movement on the adjacent road area;</li> <li>(e) so that they do not adversely impact upon existing intersections or future road or intersection improvements;</li> <li>(f) so that they do not adversely impact current and future on-street parking arrangements;</li> <li>(g) so that they do not adversely impact on existing services within the road reserve adjacent to the site;</li> <li>(h) so that they do not involve ramping, cutting of the adjoining road reserve or any built structures (other than what may be necessary to cross over a stormwater channel).</li> </ul>	<p><b>AO3.1</b> Access is limited to one access cross over per site and is an access point located, designed and constructed in accordance with:</p> <ul style="list-style-type: none"> <li>(a) Australian Standard AS2890.1;</li> <li>(b) Planning scheme policy SC6.5 – FNQROC Regional Development Manual - access crossovers.</li> </ul> <p><b>AO3.2</b> Access, including driveways or access crossovers:</p> <ul style="list-style-type: none"> <li>(a) are not placed over an existing: <ul style="list-style-type: none"> <li>(i) telecommunications pit;</li> <li>(ii) stormwater kerb inlet;</li> <li>(iii) sewer utility hole;</li> <li>(iv) water valve or hydrant.</li> </ul> </li> <li>(b) are designed to accommodate any adjacent footpath;</li> <li>(c) adhere to minimum sight distance requirements in accordance with AS2980.1.</li> </ul> <p><b>AO3.3</b> Driveways are:</p> <ul style="list-style-type: none"> <li>(a) designed to follow as closely as possible to the existing contours, but are no steeper than the gradients outlined in Planning scheme policy SC6.5 – FNQROC Regional Development Manual;</li> <li>(b) constructed such that where there is a grade shift to 1 in 4 (25%), there is an area with a grade of no more than 1 in 6 (16.6%) prior to this area, for a distance of at least 5 metres;</li> <li>(c) on gradients greater than 1 in 6 (16.6%) driveways are constructed to ensure the cross-fall of the driveway is one way and directed into the hill, for vehicle safety and drainage purposes;</li> </ul>	<p><b>Complies with PO3</b> The site is served by an existing single crossover from Dagmar Close and internal driveway which serves as a functional access. No changes are proposed.</p>
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	<p>(d) constructed such that the transitional change in grade from the road to the lot is fully contained within the lot and not within the road reserve;</p> <p>(e) designed to include all necessary associated drainage that intercepts and directs storm water runoff to the storm water drainage system.</p> <p><b>AO3.4</b> Surface construction materials are consistent with the current or intended future streetscape or character of the area and contrast with the surface construction materials of any adjacent footpath.</p>	
<p><b>PO4</b> Sufficient on-site wheel chair accessible car parking spaces are provided and are identified and reserved for such purposes.</p>	<p><b>AO4</b> The number of on-site wheel chair accessible car parking spaces complies with the rates specified in AS2890 Parking Facilities.</p>	<b>Not Applicable</b>
<p><b>PO5</b> Access for people with disabilities is provided to the building from the parking area and from the street.</p>	<p><b>AO5</b> Access for people with disabilities is provided in accordance with the relevant Australian Standard.</p>	<b>Not Applicable</b>
<p><b>PO6</b> Sufficient on-site bicycle parking is provided to cater for the anticipated demand generated by the development.</p>	<p><b>AO6</b> The number of on-site bicycle parking spaces complies with the rates specified in Table 9.4.1.3.b.</p>	<b>Not Applicable</b>

<p><b>PO7</b> Development provides secure and convenient bicycle parking which:</p> <ul style="list-style-type: none"> <li>(a) for visitors is obvious and located close to the building's main entrance;</li> <li>(b) for employees is conveniently located to provide secure and convenient access between the bicycle storage area, end-of-trip facilities and the main area of the building;</li> <li>(c) is easily and safely accessible from outside the site.</li> </ul>	<p><b>AO7.1</b> Development provides bicycle parking spaces for employees which are co-located with end-of-trip facilities (shower cubicles and lockers);</p> <p><b>AO7.2</b> Development ensures that the location of visitor bicycle parking is discernible either by direct view or using signs from the street.</p> <p><b>AO7.3</b> Development provides visitor bicycle parking which does not impede pedestrian movement.</p>	<p><b>Not Applicable</b></p> <p><b>Not Applicable</b></p> <p><b>Not Applicable</b></p>
<p><b>PO8</b> Development provides walking and cycle routes through the site which:</p> <ul style="list-style-type: none"> <li>(a) link to the external network and pedestrian and cyclist destinations such as schools, shopping centres, open space, public transport stations, shops and local activity centres along the safest, most direct and convenient routes;</li> <li>(b) encourage walking and cycling;</li> <li>(c) ensure pedestrian and cyclist safety.</li> </ul>	<p><b>AO8</b> Development provides walking and cycle routes which are constructed on the carriageway or through the site to:</p> <ul style="list-style-type: none"> <li>(a) create a walking or cycle route along the full frontage of the site;</li> <li>(b) connect to public transport and existing cycle and walking routes at the frontage or boundary of the site.</li> </ul>	<p><b>Not Applicable</b></p>
<p><b>PO9</b> Access, internal circulation and on-site parking for service vehicles are designed and constructed:</p> <ul style="list-style-type: none"> <li>(a) in accordance with relevant standards;</li> </ul>	<p><b>AO9.1</b> Access driveways, vehicle manoeuvring and on-site parking for service vehicles are designed and constructed in accordance with AS2890.1 and</p>	<p><b>Not Applicable</b> No service vehicles are required to access the site.</p>

<p>(b) so that they do not interfere with the amenity of the surrounding area;</p> <p>(c) so that they allow for the safe and convenient movement of pedestrians, cyclists and other vehicles.</p>	<p>AS2890.2.</p> <p><b>AO9.2</b> Service and loading areas are contained fully within the site.</p> <p><b>AO9.3</b> The movement of service vehicles and service operations are designed so they:</p> <ul style="list-style-type: none"> <li>(a) do not impede access to parking spaces;</li> <li>(b) do not impede vehicle or pedestrian traffic movement.</li> </ul>	
<p><b>PO10</b> Sufficient queuing and set down areas are provided to accommodate the demand generated by the development.</p>	<p><b>AO10.1</b> Development provides adequate area on-site for vehicle queuing to accommodate the demand generated by the development where drive through facilities or drop-off/pick-up services are proposed as part of the use, including, but not limited to, the following land uses:</p> <ul style="list-style-type: none"> <li>(a) car wash;</li> <li>(b) child care centre;</li> <li>(c) educational establishment where for a school;</li> <li>(d) food and drink outlet, where including a drive-through facility;</li> <li>(e) hardware and trade supplies, where including a drive-through facility;</li> <li>(f) hotel, where including a drive-through facility;</li> <li>(g) service station.</li> </ul> <p><b>AO10.2</b> Queuing and set-down areas are designed and constructed in accordance with AS2890.1.</p>	<p><b>Not Applicable</b> Queuing is not required.</p>

**Table 9.4.1.3.b – Access, parking and servicing requirements**

Note – Where the number of spaces is not a whole number, the number of spaces to be provided is the next highest whole number.

Note – Where the proposed development involves one or more land use, the minimum number of spaces for the proposed development will be calculated using the minimum number of spaces specified for each land use component.

## 9.4.4 Filling and excavation code

### 9.4.4.1 Application

- (1) This code applies to assessing:
  - (a) operational work for filling or excavation which is self-assessable or code assessable development if this code is an applicable code identified in the assessment criteria column of a table of assessment; or
  - (b) a material change of use or reconfiguring a lot if:
    - (i) assessable development where this code is identified as a prescribed secondary code in the assessment criteria column of a table of assessment; or
    - (ii) impact assessable development, to the extent relevant.

Note—This code does not apply to building work that is regulated under the Building Code of Australia. (2) When using this code, reference should be made to Part 5.

### 9.4.4.2 Purpose

- (1) The purpose of the Filling and excavation code is to assess the suitability of development for filling or excavation.
- (2) The purpose of the code will be achieved through the following overall outcomes:
  - (a) filling or excavation does not impact on the character or amenity of the site and surrounding areas;
  - (b) filling and excavation does not adversely impact on the environment;
  - (c) filling and excavation does not impact on water quality or drainage of upstream, downstream or adjoining properties;
  - (d) filling and excavation is designed to be fit for purpose and does not create land stability issues;
  - (e) filling and excavation works do not involve complex engineering solutions.

9.4.4.3 Criteria for assessment

Table 9.4.4.3.a –Filling and excavation code – assessable development

Performance outcomes	Acceptable outcomes	Applicant response
<b>For self-assessable and assessable development</b>		
<b>Filling and excavation - General</b>		
<p><b>PO1</b> All filling and excavation work does not create a detrimental impact on the slope stability, erosion potential or visual amenity of the site or the surrounding area.</p>	<p><b>AO1.1</b> The height of cut and/or fill, whether retained or not, does not exceed 2 metres in height.</p> <p>and</p> <p>Cuts in excess of those stated in A1.1 above are separated by benches/ terraces with a minimum width of 1.2 metres that incorporate drainage provisions and screen planting.</p> <p><b>AO1.2</b> Cuts are supported by batters, retaining or rock walls and associated benches/terraces are capable of supporting mature vegetation.</p> <p><b>AO1.3</b> Cuts are screened from view by the siting of the building/structure, wherever possible.</p> <p><b>AO1.4</b> Topsoil from the site is retained from cuttings and reused on benches/terraces.</p> <p><b>AO1.5</b> No crest of any cut or toe of any fill, or any part of any retaining wall or structure is closer than 600mm to any boundary of the property, unless the prior written approval of the adjoining landowner has been obtained.</p>	<p><b>Will Comply with PO1</b> A Geotechnical Assessment is currently being undertaken and will be provided to Council as supplementary supporting information. Preliminary investigations indicate that only minor earthworks will be required to facilitate the proposed development.</p> <p>Specifically, a small area of cut is proposed to accommodate the 6.3m wide by 14m long concrete slab within the undercroft area beneath the dwelling. Earthworks will be confined to the immediate building footprint, with the land on either side of the slab battered to transition naturally with the existing topography. No retaining walls are proposed as part of the development.</p> <p>The proposed dwelling adopts an elevated lightweight design that responds appropriately to the sloping nature of the site and minimises the extent of excavation and land disturbance required. The limited scale of earthworks, together with the absence of significant cut and fill or engineered retaining structures, ensures the development will not adversely impact slope stability, increase erosion potential or detract from the visual amenity of the site or surrounding hillslope landscape.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p><b>AO1.6</b> Non-retained cut and/or fill on slopes are stabilised and protected against scour and erosion by suitable measures, such as grassing, landscaping or other protective/aesthetic measures.</p>	<p>The balance of the allotment will remain naturally vegetated, further assisting in maintaining the stability and environmental integrity of the land.</p>
<b>Visual Impact and Site Stability</b>		
<p><b>PO2</b> Filling and excavation are carried out in such a manner that the visual/scenic amenity of the area and the privacy and stability of adjoining properties is not compromised.</p>	<p><b>AO2.1</b> The extent of filling and excavation does not exceed 40% of the site area, or 500m<sup>2</sup> whichever is the lesser, except that AO2.1 does not apply to reconfiguration of 5 lots or more.</p> <p><b>AO2.2</b> Filling and excavation does not occur within 2 metres of the site boundary.</p>	<p><b>Not Applicable</b> Refer to the response under PO1.</p>
<b>Flooding and drainage</b>		
<p><b>PO3</b> Filling and excavation does not result in a change to the run off characteristics of a site which then have a detrimental impact on the site or nearby land or adjacent road reserves.</p>	<p><b>AO3.1</b> Filling and excavation does not result in the ponding of water on a site or adjacent land or road reserves.</p> <p><b>AO3.2</b> Filling and excavation does not result in an increase in the flow of water across a site or any other land or road reserves.</p> <p><b>AO3.3</b> Filling and excavation does not result in an increase in the volume of water or concentration of water in a watercourse and overland flow paths.</p>	<p><b>May be conditioned to comply</b></p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p><b>AO3.4</b> Filling and excavation complies with the specifications set out in Planning Scheme Policy No SC5 – FNQROC Development Manual.</p>	
<b>Water quality</b>		
<p><b>PO4</b> Filling and excavation does not result in a reduction of the water quality of receiving waters.</p>	<p><b>AO4</b> Water quality is maintained to comply with the specifications set out in Planning Scheme Policy No SC5 – FNQROC Development Manual.</p>	<p><b>May be conditioned to comply</b></p>
<b>Infrastructure</b>		
<p><b>PO5</b> Excavation and filling does not impact on Public Utilities.</p>	<p><b>AO5</b> Excavation and filling is clear of the zone of influence of public utilities.</p>	<p><b>Not Applicable</b> No works are proposed within the public realm.</p>

## 9.4.5 Infrastructure works code

### 9.4.5.1 Application

- (1) This code applies to assessing:
  - (a) operational work which requires an assessment as a condition of a development permit or is assessable development if this code is identified in the assessment criteria column of a table of assessment;
  - (b) a material change of use or reconfiguring a lot if:
    - (i) assessable development where this code is identified in the assessment criteria column of the table of assessment;
    - (ii) impact assessable development, to the extent relevant.

Note – The Filling and excavation code applies to operational work for filling and excavation.

- (2) When using this code, reference should be made to Part 5.

### 9.4.5.2 Purpose

- (1) The purpose of the Infrastructure works code is to ensure that development is safely and efficiently serviced by, and connected to, infrastructure.
- (2) The purpose of the code will be achieved through the following overall outcomes:
  - (a) the standards of water supply, waste water treatment and disposal, stormwater drainage, local electricity supply, telecommunications, footpaths and road construction meet the needs of development and are safe and efficient;
  - (b) development maintains high environmental standards;
  - (c) development is located, designed, constructed and managed to avoid or minimise impacts arising from altered stormwater quality or flow, wastewater discharge, and the creation of non-tidal artificial waterways;
  - (d) the integrity of existing infrastructure is maintained;
  - (e) development does not detract from environmental values or the desired character and amenity of an area.

### 9.4.5.3 Criteria for assessment

Table 9.4.5.3.a – Infrastructure works code –assessable development

Performance outcomes	Acceptable outcomes	Applicant response
<b>For self-assessable and assessable development</b>		
<b>Works on a local government road</b>		



<p><b>PO1</b> Works on a local government road do not adversely impact on footpaths or existing infrastructure within the road verge and maintain the flow, safety and efficiency of pedestrians, cyclists and vehicles.</p>	<p><b>AO1.1</b> Footpaths/pathways are located in the road verge and are provided for the hierarchy of the road and located and designed and constructed in accordance with Planning scheme policy SC5 – FNQROC Regional Development Manual.</p> <p><b>AO1.2</b> Kerb ramp crossovers are constructed in accordance with Planning scheme policy SC 5 – FNQROC Regional Development Manual.</p> <p><b>AO1.3</b> New pipes, cables, conduits or other similar infrastructure required to cross existing footpaths: (a) are installed via trenchless methods; or (b) where footpath infrastructure is removed to install infrastructure, the new section of footpath is installed to the standard detailed</p>	<p><b>AO1.1-AO1.2 Not Applicable</b></p> <p><b>AO1.3 May be Conditioned to Comply.</b></p>
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Performance outcomes	Acceptable outcomes	Applicant response
	<p>in the Planning scheme policy SC5 – FNQROC Regional Development Manual, and is not less than a 1.2 metre section.</p> <p><b>AO1.4</b> Where existing footpaths are damaged as a result of development, footpaths are reinstated ensuring: (a) similar surface finishes are used; (b) there is no change in level at joins of new and existing sections; (c) new sections are matched to existing in terms of dimension and reinforcement.</p> <p>Note – Figure 9.4.5.3.a provides guidance on meeting the outcomes.</p> <p><b>AO1.5</b> Decks, verandahs, stairs, posts and other structures located in the road reserve do not restrict or impede pedestrian movement on footpaths or change the level of the road verges.</p>	<p><b>AO1.4-AO1.5 Not Applicable</b></p>
<b>Accessibility structures</b>		
<p><b>PO2</b> Development is designed to ensure it is accessible for people of all abilities and accessibility features do not impact on the efficient and safe use of footpaths.</p> <p>Note – Accessibility features are those features required to ensure access to premises is provided for people of all abilities and include ramps and lifts.</p>	<p><b>AO2.1</b> Accessibility structures are not located within the road reserve.</p> <p><b>AO2.2</b> Accessibility structures are designed in accordance with AS1428.3.</p> <p><b>AO2.3</b> When retrofitting accessibility features in existing buildings, all structures and changes in grade are contained within the boundaries of the lot and not within the road reserve.</p>	<p><b>Not Applicable</b></p>
<b>Water supply</b>		

**PO3**

An adequate, safe and reliable supply of potable, fire fighting and general use water is provided.

**AO3.1**

The premises is connected to Council's reticulated water supply system in accordance with the Design Guidelines set out in Section D6 of the Planning scheme policy SC5 – FNQROC Regional Development Manual;

or

**AO3.2**

Where a reticulated water supply system is not available to the premises, on site water storage tank/s with a minimum capacity of 10,000 litres of stored water, with a minimum 7,500 litre tank, with the balance from other sources (e.g. accessible swimming pool, dam etc.) and access to the tank/s for fire trucks is provided for each new house or other development. Tank/s are to be fitted with a 50mm ball valve with a camlock fitting and installed and connected prior to

**Complies with AO 3.1**

The site will be connected to reticulated supply, further refer to the Engineering Assessment Report.



Performance outcomes	Acceptable outcomes	Applicant response
	occupation of the house and sited to be visually unobtrusive.	
<b>Treatment and disposal of effluent</b>		
<p><b>PO4</b> Provision is made for the treatment and disposal of effluent to ensure that there are no adverse impacts on water quality and no adverse ecological impacts as a result of the system or as a result of increasing the cumulative effect of systems in the locality.</p>	<p><b>AO4.1</b> The site is connected to Council's sewerage system and the extension of or connection to the sewerage system is designed and constructed in accordance with the Design Guidelines set out in Section D7 of the Planning scheme policy SC5 – FNQROC Regional Development Manual;</p> <p>or</p> <p><b>AO4.2</b> Where not in a sewerage scheme area, the proposed disposal system meets the requirements of Section 33 of the <i>Environmental Protection Policy (Water) 1997</i> and the proposed on site effluent disposal system is designed in accordance with the <i>Plumbing and Drainage Act (2002)</i>.</p>	<p><b>Complies with AO 4.2</b> The site will be serviced via an onsite treatment system. Refer to the attached design report.</p>
<b>Stormwater quality</b>		
<p><b>PO5</b> Development is planned, designed, constructed and operated to avoid or minimise adverse impacts on stormwater quality in natural and developed catchments by:</p> <ul style="list-style-type: none"> <li>(a) achieving stormwater quality objectives;</li> <li>(b) protecting water environmental values;</li> <li>(c) maintaining waterway hydrology.</li> </ul>	<p><b>AO5.1</b> A connection is provided from the premises to Council's drainage system;</p> <p>or</p> <p><b>AO5.2</b> An underground drainage system is constructed to convey stormwater from the premises to Council's drainage system in accordance with the Design Guidelines set out in Sections D4 and D5 of the Planning scheme policy SC5 – FNQROC Regional Development Manual.</p> <p><b>AO5.3</b></p>	<p><b>May be conditioned to comply</b> Stormwater will be directed to a lawful point of discharge, most likely the existing drainage gully which traverses the site.</p>



A stormwater quality management plan is prepared, and provides for achievable stormwater quality treatment measures meeting design objectives listed in Table 9.4.5.3.b and Table 9.4.5.3.c, reflecting land use constraints, such as:

- (a) erosive, dispersive and/or saline soil types;
- (b) landscape features (including landform);
- (c) acid sulfate soil and management of nutrients of concern;
- (d) rainfall erosivity.

**AO5.4**

Erosion and sediment control practices are designed, installed, constructed, monitored, maintained, and carried out in accordance with an erosion and sediment control plan.

**AO5.5**

Development incorporates stormwater flow control measures to achieve the design objectives set out in Table 9.4.5.3.b and Table 9.4.5.3.c, including management of frequent flows, peak flows, and construction phase hydrological impacts.

Note – Planning scheme policy SC5 – FNQROC Regional Development Manual provides guidance on soil and water control measures to meet the requirements of the *Environmental Protection Act 1994*.

Note – During construction phases of development, contractors and builders are to have consideration in their work methods and site preparation for their environmental duty to protect stormwater quality.



Non-tidal artificial waterways		
<p><b>PO6</b> Development involving non-tidal artificial waterways is planned, designed, constructed and operated to:</p> <ul style="list-style-type: none"> <li>(a) protect water environmental values;</li> <li>(b) be compatible with the land use constraints for the site for protecting water environmental values;</li> <li>(c) be compatible with existing tidal and non-tidal waterways;</li> <li>(d) perform a function in addition to stormwater management;</li> <li>(e) achieve water quality objectives.</li> </ul>	<p><b>AO6.1</b> Development involving non-tidal artificial waterways ensures:</p> <ul style="list-style-type: none"> <li>(a) environmental values in downstream waterways are protected;</li> <li>(b) any ground water recharge areas are not affected;</li> <li>(c) the location of the waterway incorporates low lying areas of the catchment connected to an existing waterway;</li> <li>(d) existing areas of ponded water are included.</li> </ul> <p><b>AO6.2</b> Non-tidal artificial waterways are located:</p> <ul style="list-style-type: none"> <li>(a) outside natural wetlands and any associated buffer areas;</li> <li>(b) to minimise disturbing soils or sediments;</li> <li>(c) to avoid altering the natural hydrologic regime in acid sulfate soil and nutrient hazardous areas.</li> </ul> <p><b>AO6.3</b> Non-tidal artificial waterways located adjacent to, or connected to a tidal waterway by means of a weir, lock, pumping system or similar ensures:</p> <ul style="list-style-type: none"> <li>(a) there is sufficient flushing or a tidal range of &gt;0.3 m; or</li> <li>(b) any tidal flow alteration does not adversely impact on the tidal waterway; or</li> <li>(c) there is no introduction of salt water into freshwater environments.</li> </ul> <p><b>AO6.4</b> Non-tidal artificial waterways are designed and managed for any of the following end-use purposes:</p> <ul style="list-style-type: none"> <li>(a) amenity (including aesthetics), landscaping or recreation; or</li> <li>(b) flood management, in accordance with a</li> </ul>	<p><b>Not Applicable</b></p>



	<p>drainage catchment management plan; or  (c) stormwater harvesting plan as part of an integrated water cycle management plan; or  (d) aquatic habitat.</p> <p><b>AO6.5</b>  The end-use purpose of the non-tidal artificial waterway is designed and operated in a way that protects water environmental values.</p> <p><b>AO6.6</b>  Monitoring and maintenance programs adaptively manage water quality to achieve relevant water quality objectives downstream of the waterway.</p> <p><b>AO6.7</b>  (e) Aquatic weeds are managed to achieve a low percentage of coverage of the water surface area, and pests and vectors are managed through design and maintenance.</p>	
<b>Wastewater discharge</b>		
<p><b>PO7</b>  Discharge of wastewater to waterways, or off site:  (a) meets best practice environmental management;  (b) is treated to:  (i) meet water quality objectives for its receiving waters;  (ii) avoid adverse impact on ecosystem health or waterway health;  (iii) maintain ecological processes, riparian vegetation and waterway integrity;  (iv) offset impacts on high ecological value waters.</p>	<p><b>AO7.1</b>  A wastewater management plan is prepared and addresses:  (a) wastewater type;  (b) climatic conditions;  (c) water quality objectives;  (d) best practice environmental management.</p> <p><b>AO7.2</b>  The waste water management plan is managed in accordance with a waste management hierarchy that:  (a) avoids wastewater discharge to waterways;  or  (b) if wastewater discharge cannot practicably be avoided, minimises wastewater discharge to waterways by re-use, recycling, recovery and treatment for disposal to sewer, surface water and ground water.</p>	<p><b>Complies with PO7</b>  The development will be serviced via an onsite waste water treatment system. Refer to the attached design report demonstrating compliance.</p>

**A07.3**

Wastewater discharge is managed to avoid or minimise the release of nutrients of concern so as to minimise the occurrence, frequency and intensity of algal blooms.

**A07.4**

Development in coastal catchments avoids or minimises and appropriately manages soil disturbance or altering natural hydrology and:

- (a) avoids lowering ground water levels where potential or actual acid sulfate soils are present;
- (b) manages wastewater so that:
  - (i) the pH of any wastewater discharges is maintained between 6.5 and 8.5 to avoid mobilisation of acid, iron, aluminium and other metals;
  - (ii) holding times of neutralised wastewater ensures the flocculation and removal of any dissolved iron prior to release; visible iron floc is not present in any discharge;
  - (iv) precipitated iron floc is contained and disposed of;
  - (iii) wastewater and precipitates that cannot be contained and treated for discharge on site are removed and disposed of through trade waste or another lawful method.



Electricity supply		
<p><b>PO8</b> Development is provided with a source of power that will meet its energy needs.</p>	<p><b>AO8.1</b> A connection is provided from the premises to the electricity distribution network;</p> <p>or</p> <p><b>AO8.2</b> The premises is connected to the electricity distribution network in accordance with the Design Guidelines set out in Section D8 of the Planning scheme policy SC5 – FNQROC Regional Development Manual.</p> <p>Note - Areas north of the Daintree River have a different standard.</p>	<p><b>Development can be conditioned to comply with PO8.</b></p>
<p><b>PO9</b> Development incorporating pad-mount electricity infrastructure does not cause an adverse impact on amenity.</p>	<p><b>AO9.1</b> Pad-mount electricity infrastructure is:</p> <ul style="list-style-type: none"> <li>(a) not located in land for open space or sport and recreation purposes;</li> <li>(b) screened from view by landscaping or fencing;</li> <li>(c) accessible for maintenance.</li> </ul> <p><b>AO9.2</b> Pad-mount electricity infrastructure within a building, in a Town Centre is designed and located to enable an active street frontage.</p> <p>Note – Pad-mounts in buildings in activity centres should not be located on the street frontage.</p>	<p><b>Not Applicable</b></p>
Telecommunications		
<p><b>PO10</b> Development is connected to a telecommunications service approved by the relevant telecommunication regulatory authority.</p>	<p><b>AO10</b> The development is connected to telecommunications infrastructure in accordance with the standards of the relevant regulatory authority.</p>	<p><b>Development can be conditioned to comply with PO10.</b></p>



<p><b>PO11</b> Provision is made for future telecommunications services (e.g. fibre optic cable).</p>	<p><b>AO11</b> Conduits are provided in accordance with Planning scheme policy SC5 – FNQROC Regional Development Manual.</p>	<p><b>Development can be conditioned to comply with PO11.</b></p>
<b>Road construction</b>		
<p><b>PO12</b> The road to the frontage of the premises is constructed to provide for the safe and efficient movement of:</p> <ul style="list-style-type: none"> <li>(a) pedestrians and cyclists to and from the site;</li> <li>(b) pedestrians and cyclists adjacent to the site;</li> <li>(c) vehicles on the road adjacent to the site;</li> <li>(d) vehicles to and from the site;</li> <li>(e) emergency vehicles.</li> </ul>	<p><b>AO12.1</b> The road to the frontage of the site is constructed in accordance with the Design Guidelines set out in Sections D1 and D3 of the Planning scheme policy SC5 – FNQROC Regional Development Manual, for the particular class of road, as identified in the road hierarchy.</p> <p><b>AO12.2</b> There is existing road, kerb and channel for the full road frontage of the site.</p> <p><b>AO12.3</b> Road access minimum clearances of 3.5 metres wide and 4.8 metres high are provided for the safe passage of emergency vehicles.</p>	<p><b>Development can be conditioned to comply with PO12.</b></p>
<b>Alterations and repairs to public utility services</b>		
<p><b>PO13</b> Infrastructure is integrated with, and efficiently extends, existing networks.</p>	<p><b>AO13</b> Development is designed to allow for efficient connection to existing infrastructure networks.</p>	<p><b>Development can be conditioned to comply with PO13.</b></p>



<p><b>PO14</b> Development and works do not affect the efficient functioning of public utility mains, services or installations.</p>	<p><b>AO14.1</b> Public utility mains, services and installations are not required to be altered or repaired as a result of the development;</p> <p>or</p> <p><b>AO14.2</b> Public utility mains, services and installations are altered or repaired in association with the works so that they continue to function and satisfy the relevant Design Guidelines set out in Section D8 of the Planning scheme policy SC5 – FNQROC Regional Development Manual.</p>	<p><b>Development can be conditioned to comply with PO14.</b></p>
<p><b>Construction management</b></p>		
<p><b>PO15</b> Work is undertaken in a manner which minimises adverse impacts on vegetation that is to be retained.</p>	<p><b>AO15</b> Works include, at a minimum:</p> <ul style="list-style-type: none"> <li>(a) installation of protective fencing around retained vegetation during construction;</li> <li>(b) erection of advisory signage;</li> <li>(c) no disturbance, due to earthworks or storage of plant, materials and equipment, of ground level and soils below the canopy of any retained vegetation;</li> <li>(d) removal from the site of all declared noxious weeds.</li> </ul>	<p><b>The proposed development can be conditioned to comply with AO15.</b></p>
<p><b>PO16</b> Existing infrastructure is not damaged by construction activities.</p>	<p><b>AO16</b> Construction, alterations and any repairs to infrastructure is undertaken in accordance with the Planning scheme policy SC5 – FNQROC Regional Development Manual.</p> <p>Note - Construction, alterations and any repairs to State-controlled roads and rail corridors are undertaken in accordance with the Transport Infrastructure Act 1994.</p>	<p><b>The proposed development can be conditioned to comply with AO16.</b></p>



Performance outcomes	Acceptable outcomes	Applicant response
<b>For assessable development</b>		
<b>High speed telecommunication infrastructure</b>		
<b>PO17</b> Development provides infrastructure to facilitate the roll out of high speed telecommunications infrastructure.	<b>AO17</b> No acceptable outcomes are prescribed.	<b>Development can be conditioned to comply with PO17.</b>
<b>Trade waste</b>		
<b>PO18</b> Where relevant, the development is capable of providing for the storage, collection treatment and disposal of trade waste such that: (a) off-site releases of contaminants do not occur; (b) the health and safety of people and the environment are protected; (c) the performance of the wastewater system is not put at risk.	<b>AO18</b> No acceptable outcomes are prescribed.	<b>Not Applicable.</b>
<b>Fire services in developments accessed by common private title</b>		
<b>PO19</b> Hydrants are located in positions that will enable fire services to access water safely, effectively and efficiently.	<b>AO19.1</b> Residential streets and common access ways within a common private title places hydrants at intervals of no more than 120 metres and at each intersection. Hydrants may have a single outlet and be situated above or below ground.  <b>AO19.2</b> Commercial and industrial streets and access ways within a common private title serving commercial properties such as factories and warehouses and offices are provided with above or below ground fire hydrants located at not more than 90 metre intervals and at each intersection. Above ground fire hydrants have dual-valved outlets.	<b>Not Applicable.</b>



<p><b>PO20</b> Hydrants are suitable identified so that fire services can locate them at all hours.</p> <p>Note – Hydrants are identified as specified in the Department of Transport and Main Roads Technical Note: 'Identification of street hydrants for fire fighting purposes' available under 'Publications'.</p>	<p><b>AO20</b> No acceptable outcomes are prescribed.</p>	<p><b>Not Applicable.</b></p>
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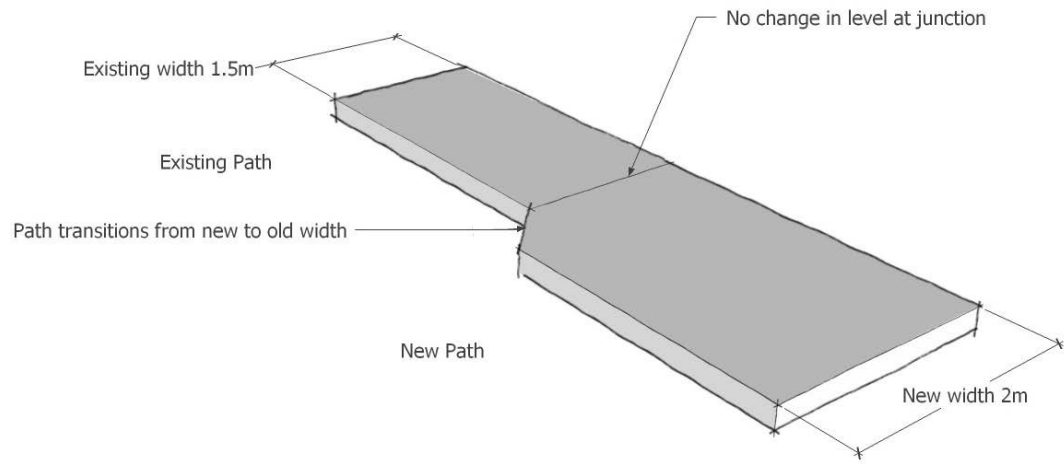
Table 9.4.5.3.b – Stormwater management design objectives (Construction phase).

Issue	Design objectives
<b>Drainage control</b> (Temporary drainage works)	(a) Design life and design storm for temporary drainage works: <ul style="list-style-type: none"> <li>(i) Disturbed open area for &lt;12 months – 1 in 2 year ARI event;</li> <li>(ii) Disturbed open area for 12-24 months – 1 in 5 year ARI event;</li> <li>(iii) Disturbed open area for &gt;24 months – 1 in 10 year ARI event.</li> </ul> (b) Design capacity excludes minimum 150mm freeboard. (c) Temporary culvert crossing – minimum of 1 in 1-year ARI hydraulic capacity.
<b>Erosion control</b> (Erosion control measures)	(a) Minimise exposure of disturbed soils at any time. (b) Divert water run-off from undisturbed areas around disturbed areas. (c) Determine erosion risk rating using local rainfall erosivity, rainfall depth, soil loss rate or other acceptable methods. (d) Implement erosion control methods corresponding to identified erosion risk rating.
<b>Sediment control measures</b> (sediment control measures, design storm for sediment control basins, Sediment basin dewatering)	(a) Determine appropriate sediment control measures using: <ul style="list-style-type: none"> <li>(i) potential soil loss rate; or</li> <li>(ii) monthly erosivity; or</li> <li>(iii) average monthly rainfall.</li> </ul> (b) Collect and drain stormwater from disturbed soils to sediment basin for design storm event: <ul style="list-style-type: none"> <li>(i) design storm for sediment basin sizing is 80th% five-day event or similar.</li> </ul> (c) Site discharge during sediment basin dewatering: <ul style="list-style-type: none"> <li>(i) TSS &lt; 50mg/L TSS;</li> <li>(ii) Turbidity not &gt; 10% receiving water's turbidity;</li> <li>(iii) pH 6.5-8.5.</li> </ul>
<b>Water quality</b> (Litter and other waste, hydrocarbons and other contaminants)	(a) Avoid wind-blown litter; remove grass pollutants. (b) Ensure there is no visible oil or grease sheen on released waters. (c) Dispose of waste containing contaminants at authorised facilities.
<b>Waterway stability and flood flow management</b> (Changes to the natural hydraulics and hydrology)	(a) For peak flow for the 100% AEP event and 1% AEP event, use constructed sediment basins to attenuate the discharge rate of stormwater from the site.

Table 9.4.5.3.c – Stormwater management design objectives (post-construction phase)

Design objectives				Application
Minimum reductions in mean annual load from unmitigated development (%)				
Total suspended solids (TSS)	Total phosphorus (TP)	Total nitrogen (TN)	Gross pollutants >5mm	
80	60	40	90	<p>Development for urban purposes</p> <p>Excludes development that is less than 25% pervious.</p> <p>In lieu of modelling, the default bio-retention treatment area to comply with load reduction targets of 1.5% of contributing catchment area.</p>
<p>Water stability management</p> <p>(a) Limit peak 100% AEP event discharge within the receiving waterway to the pre-development peak 100% AEP event discharge.</p>				<p>Catchments contributing to un-lined receiving waterway. Degraded waterways may seek alternative discharge management objectives to achieve waterway stability.</p> <p>For peak flow for the 100% AEP event, use co-located storages to attenuate site discharge rate of stormwater.</p>

Figure 9.4.5.3.a – New footpath sections



## 9.4.9 Vegetation management code

### 9.4.9.1 Application

- (1) This code applies to assessing operational works for vegetation damage if:
  - (a) assessable development where the code is an applicable code identified in the assessment criteria column of a table of assessment;
  - (b) impact assessable development, to the extent relevant.
- (2) When using this code, reference should be made to Part 5.

### 9.4.9.2 Purpose

- (1) The purpose of the Vegetation management code is achieved through the overall outcomes.
- (2) The purpose of the code will be achieved through the following overall outcomes:
  - (a) vegetation is protected from inappropriate damage;
  - (b) where vegetation damage does occur it is undertaken in a sustainable manner;
  - (c) significant trees are maintained and protected;
  - (d) biodiversity and ecological values are protected and maintained;
  - (e) habitats for rare, threatened and endemic species of flora and fauna are protected and maintained;
  - (f) landscape character and scenic amenity is protected and maintained;
  - (g) heritage values are protected and maintained.

### 9.4.9.3 Criteria for assessment

Table 9.4.9.3.a – Vegetation management – assessable development

Note – All vegetation damage is to have regard to the provisions of AS4373-2009 Pruning of Amenity Trees

Performance outcomes	Acceptable outcomes	Applicant Response
<b>For self-assessable and assessable development</b>		
<p><b>PO1</b> Vegetation is protected to ensure that:</p> <ul style="list-style-type: none"> <li>(a) the character and amenity of the local area is maintained;</li> <li>(b) vegetation damage does not result in fragmentation of habitats;</li> <li>(c) vegetation damage is undertaken in a sustainable manner;</li> <li>(d) the Shire’s biodiversity and ecological values are maintained and protected;</li> <li>(e) vegetation of historical, cultural and / or visual significance is retained;</li> <li>(f) vegetation is retained for erosion prevention and slope stabilisation.</li> </ul>	<p><b>AO1.1</b> Vegetation damage is undertaken by a statutory authority on land other than freehold land that the statutory authority has control over;</p> <p>or</p> <p><b>AO1.2</b> Vegetation damage is undertaken by or on behalf of the local government on land controlled, owned or operated by the local government;</p> <p>or</p> <p><b>AO1.3</b> Vegetation damage, other than referenced in AO1.1 or AO1.2 is the damage of:</p> <ul style="list-style-type: none"> <li>(a) vegetation declared as a pest pursuant to the <i>Land Protection (Pest and Stock Route Management) Act 2002</i>; or</li> <li>(b) vegetation identified within the local government’s register of declared plants pursuant to the local government’s local laws; or</li> <li>(c) vegetation is located within a Rural zone and the trunk is located within ten metres of an existing building; or</li> <li>(d) vegetation is located within the Conservation zone or Environmental management zone</li> </ul>	<p><b>Complies with PO1</b></p> <p>The proposed development has been designed to retain and protect existing vegetation to the greatest extent possible, ensuring the site’s natural character and amenity are preserved.</p> <p>The dwelling is sited within an existing disturbed area. According to the Detail Survey, the dwelling will be sited predominantly within the trunk line.</p> <p>No habitat fragmentation will occur, and the development maintains the biodiversity and ecological integrity of the site and surrounding area.</p> <p>Any minor vegetation removal will be undertaken in a sustainable and controlled manner, retaining vegetation important for erosion prevention, slope stability, and visual amenity, consistent with the intent of PO1.</p>



and the trunk is located within three metres of an existing or approved structure, not including a boundary fence;

or

**AO1.4**

Vegetation damage that is reasonably necessary for carrying out work that is:

- (a) authorised or required under legislation or a local law;
- (b) specified in a notice served by the local government or another regulatory authority;

or

**AO1.5**

Vegetation damage for development where the damage is on land the subject of a valid development approval and is necessary to give effect to the development approval;

or

**AO1.6**

Vegetation damage is in accordance with an approved Property Map of Assessable Vegetation issued under the *Vegetation Management Act 1999*;

or

**AO1.7**

Vegetation damage is essential to the maintenance of an existing fire break;

or

**AO1.8**

Vegetation damage is essential to prevent interference to overhead service cabling;



	<p>or</p> <p><b>AO1.9</b> Vegetation damage is for an approved Forest practice, where the lot is subject to a scheme approved under the <i>Vegetation Management Act 1999</i>;</p> <p>or</p> <p><b>AO1.10</b> Vegetation damage is undertaken in accordance with section 584 of the <i>Sustainable Planning Act 2009</i>.</p> <p><b>AO1.11</b> Vegetation damage where it is necessary to remove one tree in order to protect an adjacent more significant tree (where they are growing close to one another).</p> <p><b>AO1.12</b> Private property owners may only remove dead, dying, structurally unsound vegetation following receipt of written advice from, at minimum, a fully qualified Certificate V Arborist. A copy of the written advice is to be submitted to Council for its records, a minimum of seven business days prior to the vegetation damage work commencing.</p>	
<p><b>PO2</b> Vegetation damaged on a lot does not result in a nuisance</p>	<p><b>AO2.1</b> Damaged vegetation is removed and disposed of at an approved site;</p> <p>or</p> <p><b>AO2.2</b> Damaged vegetation is mulched or chipped if used onsite.</p>	<p><b>Complies with PO2</b> Any vegetation that is damaged or removed during construction will be appropriately managed to prevent environmental or amenity impacts.</p>
<p><b>For assessable development</b></p>		

<p><b>PO3</b> Vegetation damage identified on the Places of significance overlay lot does not result in a negative impact on the site's heritage values.</p>	<p><b>AO3</b> No acceptable outcomes are prescribed.</p>	<p><b>Not applicable.</b></p>
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