

23 October 2019

Our ref: P71866
Your ref: MCUC 2915/2018

Chief Executive Officer
Douglas Shire Council
PO Box 723
Mossman Qld 4873

via email: enquiries@douglas.qld.gov.au

Attention: Jenny Elphinstone

Dear Jenny

**Development Application MCUC 2915/2018 for Short-term Accommodation (Motel)
20 Warner Street, Port Douglas**

Further to discussions in relation to the above development application, please be advised that on behalf of the applicant, we wish to withdraw the above application and lodge a new application for a Material Change of Use for Short-term Accommodation (Motel) with Ancillary Uses (Food & Drink Outlet / Bar) located at 20 Warner Street and part of 23-25 Macrossan Street, Port Douglas, described as Lot 1 RP718896 and part of Lot 1 SP267838. The relevant information for the application is:

Applicant: Deal Corporation
c/- Planz Town Planning

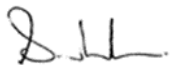
Mailing address: PO Box 181
Edge Hill Qld 4870

Landowner: Scali Nominees Pty Ltd and Second York Pty Ltd

Application fee: Nil (fees have been previously paid for MCUC 2915/2018)

If you require any further information, please call me.

Yours sincerely



Susie Lord
Planz Town Planning

Att:

1. DA Form 1
2. Planning Report with Appendices
3. Land Owners Consent

DA Form 1 – Development application details

Approved form (version 1.1 effective 22 JUNE 2018) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the *Planning Act 2016*, the *Planning Regulation 2017*, or the *Development Assessment Rules (DA Rules)*.

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) <i>(individual or company full name)</i>	Deal Corporation c/- Wolveridge Architects
Contact name <i>(only applicable for companies)</i>	C:/ Planz town Planning
Postal address <i>(P.O. Box or street address)</i>	PO Box 181
Suburb	Edge Hill
State	QLD
Postcode	4870
Country	Australia
Contact number	07 40410 445
Email address <i>(non-mandatory)</i>	info@planztp.com
Mobile number <i>(non-mandatory)</i>	0447323384
Fax number <i>(non-mandatory)</i>	N/A
Applicant's reference number(s) <i>(if applicable)</i>	P71866

2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input checked="" type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input type="checkbox"/> No – proceed to 3)	

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.

3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon; all lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		20	Warner Street	Port Douglas
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4877	1	RP718896	Douglas Shire Council
		B	SP204455	Douglas Shire Council
		C	SP204455	Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
		23-25 (part)	Macrossan Street	Port Douglas
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4877	Lot 1 (part)	SP267838	Douglas Shire Council

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row. Only one set of coordinates is required for this part.

☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

- ☐ Additional premises are relevant to this development application and their details have been attached in a schedule to this application
☒ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

<input type="checkbox"/> In or adjacent to a water body or watercourse or in or above an aquifer	
Name of water body, watercourse or aquifer:	
<input type="checkbox"/> On strategic port land under the <i>Transport Infrastructure Act 1994</i>	
Lot on plan description of strategic port land:	
Name of port authority for the lot:	
<input type="checkbox"/> In a tidal area	
Name of local government for the tidal area (if applicable):	
Name of port authority for tidal area (if applicable):	

<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>	
Name of airport:	
<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>	
EMR site identification:	
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>	
CLR site identification:	

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- ☒ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☐ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☒ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Short-term Accommodation (Motel) with Ancillary Uses (Food & Drink Outlet / Bar)

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- ☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

☐ Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application

☒ Not required

Section 2 – Further development details

7) Does the proposed development application involve any of the following?

Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)
Motel & Ancillary Uses	Short-term Accommodation with Food & Drink Outlet / Bar	N/A	2,273m ²

8.2) Does the proposed use involve the use of existing buildings on the premises?

<input type="checkbox"/> Yes		
<input checked="" type="checkbox"/> No		

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

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9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

<input type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a construction road (complete 13))

10) Subdivision

10.1) For this development, how many lots are being created and what is the intended use of those lots:

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?

☐ Yes – provide additional details below

☐ No

How many stages will the works include?	
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What stage(s) will this development application apply to?	
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11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?				
Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment			
12.1) What are the current and proposed areas for each lot comprising the premises?			
Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)
12.2) What is the reason for the boundary realignment?			

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)				
Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?	
<input type="checkbox"/> Road work <input type="checkbox"/> Drainage work <input type="checkbox"/> Landscaping <input type="checkbox"/> Other – please specify:	<input type="checkbox"/> Stormwater <input type="checkbox"/> Earthworks <input type="checkbox"/> Signage <input type="checkbox"/> Water infrastructure <input type="checkbox"/> Sewage infrastructure <input type="checkbox"/> Clearing vegetation
14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)	
<input type="checkbox"/> Yes – specify number of new lots:	
<input type="checkbox"/> No	
14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)	
\$	

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application
Douglas Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ Local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

PART 5 – REFERRAL DETAILS

17) Do any aspects of the proposed development require referral for any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

- ☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Regulation 2017:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA have not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure – designated premises
- ☐ Infrastructure – state transport infrastructure
- ☐ Infrastructure – state transport corridors and future state transport corridors
- ☐ Infrastructure – state-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure – near a state-controlled road intersection
- ☐ On Brisbane core port land near a State transport corridor or future State transport corridor
- ☐ On Brisbane core port land – ERA
- ☐ On Brisbane core port land – tidal works or work in a coastal management district
- ☐ On Brisbane core port land – hazardous chemical facility
- ☐ On Brisbane core port land – taking or interfering with water
- ☐ On Brisbane core port land – referable dams
- ☐ On Brisbane core port land - fisheries
- ☐ Land within Port of Brisbane's port limits
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material (*from a watercourse or lake*)
- ☐ Water-related development – referable dams

<input type="checkbox"/> Water-related development – construction of new levees or modification of existing levees (<i>category 3 levees only</i>) <input type="checkbox"/> Wetland protection area
Matters requiring referral to the local government: <input type="checkbox"/> Airport land <input type="checkbox"/> Environmentally relevant activities (ERA) (<i>only if the ERA have been devolved to local government</i>) <input type="checkbox"/> Local heritage places
Matters requiring referral to the chief executive of the distribution entity or transmission entity: <input type="checkbox"/> Electricity infrastructure
Matters requiring referral to: <ul style="list-style-type: none"> • The Chief executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual <input type="checkbox"/> Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council: <input type="checkbox"/> Brisbane core port land
Matters requiring referral to the Minister under the Transport Infrastructure Act 1994: <input type="checkbox"/> Brisbane core port land (inconsistent with Brisbane port LUP for transport reasons) <input type="checkbox"/> Strategic port land
Matters requiring referral to the relevant port operator: <input type="checkbox"/> Land within Port of Brisbane's port limits (below high-water mark)
Matters requiring referral to the Chief Executive of the relevant port authority: <input type="checkbox"/> Land within limits of another port (below high-water mark)
Matters requiring referral to the Gold Coast Waterways Authority: <input type="checkbox"/> Tidal works, or work in a coastal management district in Gold Coast waters
Matters requiring referral to the Queensland Fire and Emergency Service: <input type="checkbox"/> Tidal works marina (<i>more than six vessel berths</i>)

18) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application <input checked="" type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and the development application the subject of this form, or include details in a schedule to this development application (<i>if applicable</i>).		

PART 6 – INFORMATION REQUEST

19) Information request under Part 3 of the DA Rules
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application <input type="checkbox"/> I do not agree to accept an information request for this development application Note: By not agreeing to accept an information request I, the applicant, acknowledge: <ul style="list-style-type: none"> • that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties • Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules. Further advice about information requests is contained in the DA Forms Guide .

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- ☐ Yes – provide details below or include details in a schedule to this development application
☒ No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- ☐ Yes – a copy of the receipted QLeave form is attached to this development application
☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached
☒ No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
☒ No

Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- ☐ Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application
☒ No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.

2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala conservation

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work within an assessable development area under Schedule 10, Part 10 of the Planning Regulation 2017?

☐ Yes

☒ No

Note: See guidance materials at www.des.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000**?

☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

☐ Yes – the relevant template is completed and attached to this development application

☒ No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

Note: Contact the Department of Environment and Science at www.des.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the Water Supply Act)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the Water Supply Act is attached to this development application
- ☒ No

Note: See guidance materials at www.dnrme.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - ☐ A certificate of title
- ☒ No

Note: See guidance materials at www.des.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- ☐ Yes – details of the heritage place are provided in the table below
- ☒ No

Note: See guidance materials at www.des.qld.gov.au for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
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Brothels

23.14) Does this development application involve a **material change of use for a brothel**?

- ☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*
- ☒ No

Decision under section 62 of the Transport Infrastructure Act 1994

23.15) Does this development application involve new or changed access to a state-controlled road?

- ☐ Yes - this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
- ☒ No

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist	
I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17 <i>Note: See the Planning Regulation 2017 for referral requirements</i>	<input checked="" type="checkbox"/> Yes
If building work is associated with the proposed development, Parts 4 to 6 of <i>DA Form 2 – Building work details</i> have been completed and attached to this development application	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable
Supporting information addressing any applicable assessment benchmarks is with development application <i>Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see DA Forms Guide: Planning Report Template.</i>	<input checked="" type="checkbox"/> Yes
Relevant plans of the development are attached to this development application <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (<i>see 21</i>)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable

25) Applicant declaration
<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct <input checked="" type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i> <i>Note: It is unlawful to intentionally provide false or misleading information.</i>
<p>Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.</p> <p>Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i>, Planning Regulation 2017 and the DA Rules except where:</p> <ul style="list-style-type: none"> such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the Planning Regulation 2017, and the access rules made under the <i>Planning Act 2016</i> and Planning Regulation 2017; or required by other legislation (including the <i>Right to Information Act 2009</i>); or otherwise required by law. <p>This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i>.</p>

PART 9 – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	

Relevant licence number(s) of chosen assessment manager	
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QLeave notification and payment	
<i>Note: For completion by assessment manager if applicable</i>	
Description of the work	
QLeave project number	
Amount paid (\$)	
Date paid	
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

Consent to the making of a development application under the *Planning Act 2016*

I / we: SEALI NOMINEES AND SECOND YORK PTY LTD
1/0 DEALCORP
PO BOX 4213 RICHMOND EAST
On behalf of: VICTORIA 3121

Of premises identified as: 23-25 Macrossan St, Port Douglas
Insert street address And
20 Warner Street, Port Douglas

Described as: Lot 1 SP267838
Insert Real Property Description Lot 1 RP718896

Consent to Planz Town Material Change of Use for Short-term Accommodation (Motel)
Planning making
application for:



[Signature of Owner / Director** / Body Corporate**]

12/7/18

[Date]

** If signing on behalf of Company or Body Corporate - insert name of Company or Body Corporate

[Signature of Owner / Director / Body Corporate]

[Date]

** If signing on behalf of Company or Body Corporate - insert name of Company or Body Corporate

****Guide – To determine who is the owner of the land**

Landowner: The Person, Company, or Body Corporate shown on the rates notice or lease documents.

When there are multiple owners: The consent of each owner must be obtained.

When there are multiple lots: The consent of each of those landowners is required.

When the owner is a company: The company must consent to the application in accordance with Section 127 of The Corporations Act 2001

Easements: The consent of easement owners is not always required. This is considered on an application by application basis.

Leases: If the land leased to you from someone else, Council or State, the lessors (not you) of the land must give the owner's consent.

State owned land: If the land is state-owned land that is leased or subleased, The State as the lessor of the land must give owner's consent

Power of attorney: If power of attorney has been granted authorising another person to sign on the owner's behalf, a certified copy of the power of attorney is required to accompany the consent.



APPLICATION FOR A DEVELOPMENT PERMIT

SHORT-TERM ACCOMMODATION (MOTEL) WITH
ANCILLARY USES (FOOD & DRINK OUTLET / BAR)
20 WARNER STREET, PORT DOUGLAS

23 OCTOBER 2019

PREPARED BY

PLANZ TOWN PLANNING PTY LTD

on behalf of

DEAL CORPORATION

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Application Summary

Application details	
Proposal	Material Change of Use – Short-term Accommodation (Motel) with Ancillary Uses (Food & Drink Outlet / Bar)
Applicant	Deal Corporation
Property Owner	Scali Nominees Pty Ltd and Second York Pty Ltd
Address	20 Warner Street, Port Douglas
Real Property Description	Lot 1 RP718896 Part of Lot 1 SP267838 Easement No 711390791 (Access) benefiting the land over Easement C on SP204455 Easement No 711390793 (Access) benefiting the land over Easement B on SP204455
Lot Size	853m ²
Zone	Centre Zone
Current Use	Vacant and carparking
Level of Assessment	Code Assessable
Applicable Codes	Centre Zone code Port Douglas / Craiglie Local Plan code Acid Sulfate Soils Overlay code Coastal Environment Overlay code Flood and Storm Tide Hazard Overlay code Transport Network Overlay code Multiple Dwelling, Short Term Accommodation and Retirement Facility code Access, Parking and Servicing code Environmental Performance code Filling and Excavation code Infrastructure Works code Landscaping code Vegetation Management code
Referral Triggers	None

1 PROPOSED DEVELOPMENT

1.1 Nature of the Proposal

This application is over land described as 20 Warner Street, Port Douglas (Lot 1 RP718896) and part of 23-25 Macrossan Street (part of Lot 1 SP267838) and is for a code assessable Material Change of Use for Short-term Accommodation (Motel) with ancillary uses (food & drink outlet / bar).

The development proposal comprises a 36 room motel with associated guest facilities.

The use is defined as:

Short-term Accommodation: Premises used to provide short-term accommodation for tourists or travellers for a temporary period of time (typically not exceeding three consecutive months) and may be self-contained. The use may include a manager's residence and office and the provision of recreation facilities for the exclusive use of visitors. Use includes: Motel, backpackers, cabins, serviced apartments, accommodation hotel, farm stay.

Ancillary uses include:

Food & drink outlet: Premises used for preparation and sale of food and drink to the public for consumption on or off the site. The use may include the ancillary sale of liquor for consumption on site.

Bar: Premises used primarily to sell liquor for consumption on the premises and that provides for a maximum capacity to seat sixty persons at any one time. The use may include ancillary sale of food for consumption on the premises and entertainment activities

The main compliance considerations for the assessment are:

- site area;
- landscaping and recreation / open space requirements;
- building height; and
- carparking.

These matters are addressed in **Section 2** of this report and the development complies with the performance outcomes for these provisions. Council is requested to approve the application subject to reasonable conditions.

1.2 The Site

The site is located on Warner Street between Grant and Wharf Streets in Port Douglas township (refer Figure 1).

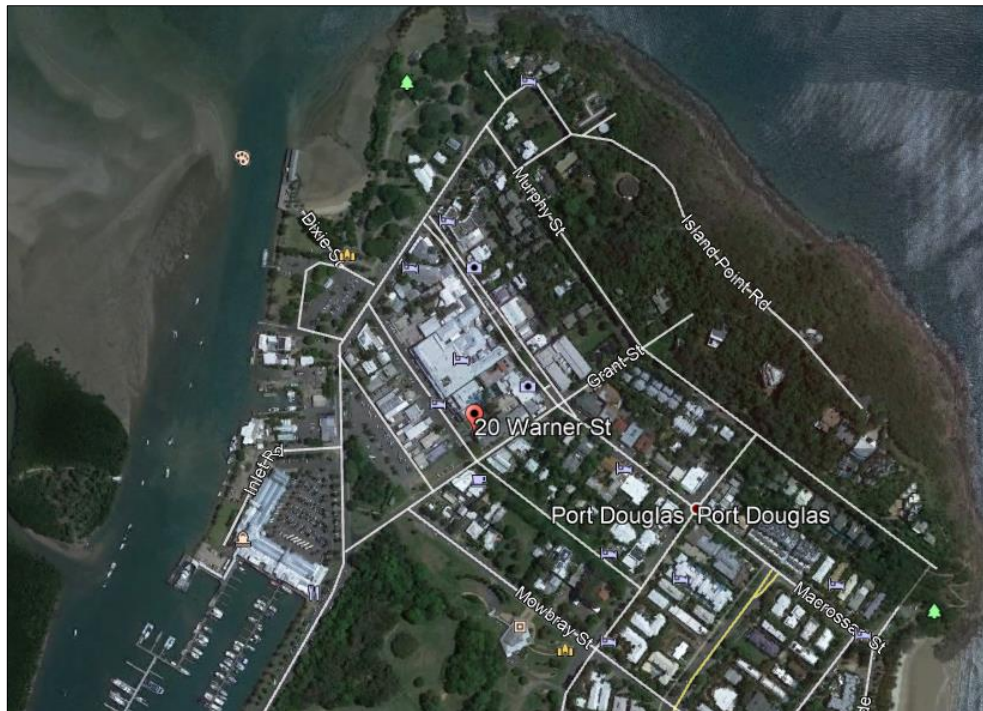


Figure 1: Locality Map

The site includes two parts as shown in the proposed survey plan below (refer Figure 2). The main site is 607m² in area and is currently vacant. An additional 243m² portion of land currently utilised for carparking will also form part of the hotel site. (This part of the premises is the subject of a separate Reconfiguring a Lot application for boundary realignment and creation of an access easement.)



Figure 2: Proposed survey plan

The site is a constrained, infill site situated between 2 large motel developments, the Mantra 'Heritage' to the north-east and the Mantra 'In the Village' to the south-west. To the rear of the site is a new commercial development containing restaurant and shopping facilities.



Figure 3: Aerial view of site

Three easements exist adjacent to the site. Two access easements benefit land, and provide access to the rear of the subject site (Macrossan Street shops) and the basement carparking of the adjoining Mantra 'In the Village'.

The site is located in the Centre Zone, Precinct 1a and is affected by the Port Douglas / Craigie Local Plan and the following overlays:

- Acid Sulfate Soils Overlay;
- Coastal Environment Overlay;
- Flood and Storm Tide Hazard Overlay; and
- Transport Network Overlay.

The development site is significantly constrained in terms of the available space, configuration and flood level. This application seeks to achieve the best possible use for the site that is consistent with surrounding development and is commercially viable.



Photos 1 & 2: The site and Streetscape



Photos 3 & 4: The second part of the subject site (retained for carparking)

1.3 Planning History

A development approval was issued on the site for Holiday Accommodation (12 Units) & Business Facilities dated 15 February 2013.

A pre-lodgement meeting was undertaken on 24 July 2018 and was attended by the following:

- Nikki Huddy, Planz Town Planning
- David Kobritz, Deal Corporation (Applicant)
- Jerry Wolveridge, Wolveridge Architects
- Neil Beck, Douglas Shire Council.

An application for the proposed use was lodged last year, and since this time, a number of discussions have occurred between the Council planners and Planz Town Planning. In particular, a number of matters were raised, including:

- a. Insufficient carparking;
- b. Flood levels; and
- c. Building design and appearance.

This application seeks to address the matters listed above, and provides a resolved design solution for the site.

1.4 Design Aspects

A new era in motel development

A new hotel has not been constructed in Port Douglas for some years, and the majority of the hotel stock is now dated and tired. Port Douglas is a highly urbanised, tourist hot-spot, and the design philosophy for this proposal follows a global phenomenon of 'Micro Hotels'. 'Micro Hotels' provide a compact hotel room that is well-designed to meet the needs of a newer breed of social media savvy traveller. The minimalist, boutique accommodation movement is spreading across the United States, Europe and Asia, and recently in the major cities of Australia. They represent a new aspect in the hotel market, providing clever and viable solutions to small sites.

The design has been prepared by Wolveridge Architects, who appreciate the challenges of designing for our tropical climate and who understand the vision sought for Port Douglas. The challenges associated with the size and shape of the site have been embraced with the clever design of the proposal.



Figure 4: Perspective of proposed building

The design integrates of landscaping and tropical design elements into the building and site, including shelter from the elements; a contrast of light and shade; and quality landscaping.

Development provides a high standard of design that:

- (a) achieves tropical urbanism outcomes and contributes to good urban places;
- (b) positively contributes to the image of Port Douglas and provides a visually appealing and interesting addition to the streetscape;
- (c) provides high quality landscaping and reflects the character of the town;
- (d) seeks to respond to local climate, the hotel is designed with open air lounges and stairs to capture and maximise stack effect and cross-ventilation;
- (d) uses appropriate materials.

Articulation and Façade Treatments

The design incorporates variety and articulation into the façade. The interplay between light and shade and vertical gardens on the façades creates visual interest and reduces heat load. Variety in built form is to be achieved through the use of materials, light and shade, depth and landscaping.

The building is built to the boundary, which is generally consistent with the existing accommodation developments along Warner Street. The setback enables the development to achieve a functional number of rooms. This report, proposal plans and 3D renders demonstrates that the building sits well in the context of the streetscape and that the development will not have an overbearing presence on the streetscape or the township of Port Douglas.

Landscaping

The abundance of green vegetation is a dominant image of tropical Port Douglas. The design brings significant vegetation to the building and the site, contributing to the town's tropical image. Landscaping is a design feature, providing shade and articulating the built form:

- Horizontal landscaping to the frontage;
- Walls located on property boundaries will include vertical landscaping and will present as well-resolved and attractive visual compositions.

In summary, the building design:

- (a) demonstrates the qualities of good urban places and tropical urbanism and responds to the tropical climate;
- (b) provides a variety in horizontal form;
- (c) includes dominant and accentuated vertical patterning;
- (e) provides relief to visible walls through depth, texture, colour, light and shade;

- (f) promotes an integrated streetscape and the street awnings respond to the town's distinctive tropical character.

Streetscape

The development will strengthen the town centre's sense of place and identity by creating visual connections with existing built form in Warner Street. At ground floor, a generous lobby combines as a bar/mini café and guest lounge, providing an active and working street frontage.

The design compliments the vertical rhythm, scale and architectural detail of the existing streetscape and the design incorporates appropriate urban design elements such as deep balconies and vertical planting (refer Figure 4 below). The development provides:

- (a) an attractive streetscape;
- (b) active frontages at the pedestrian level which encourage interaction between the public and private realm;
- (c) a vibrant street-oriented atmosphere to Warner Street.



Figure 5: Warner Street streetscape

The development provides:

- (a) an identifiable pedestrian point of entry from Warner Street
- (b) a built form that is of a human scale;
- (c) visual interaction between the public and private realm.
- (d) articulation and vegetated facades on both the horizontal and vertical plane;
- (e) windows and balconies that overlook Warner Street;
- (f) an active frontage to Warner Street at ground floor;
- (g) tropical design with a fully open building façade to provide cross ventilation pathways.

The proposed reception / café and bar area is indicative only and is proposed as a way of activating the streetscape and providing a waiting / meeting area for guests. It also provides some flexibility for the future hotel operator. It is envisaged that the area will function primarily as a typical hotel lobby, providing limited café service. Footpath dining is not proposed at this stage. If in future this aspect of the development extends to outdoor dining, then relevant Council approval will be sought at that time.

2 PLANNING CONSIDERATIONS

2.1 State Interest

The Planning Regulations and State Development Assessment Provisions (SDAP) set out the matters of interest to the state for development assessment. The site is mapped as containing:

- Coastal erosion prone area;
- Coastal medium storm tide inundation area;
- Coastal – high storm tide inundation area; and
- Area within 25m of a State-controlled road.

Referral is not required for this application, as the premises is not located within 25m of a State controlled road (Macrossan Street).

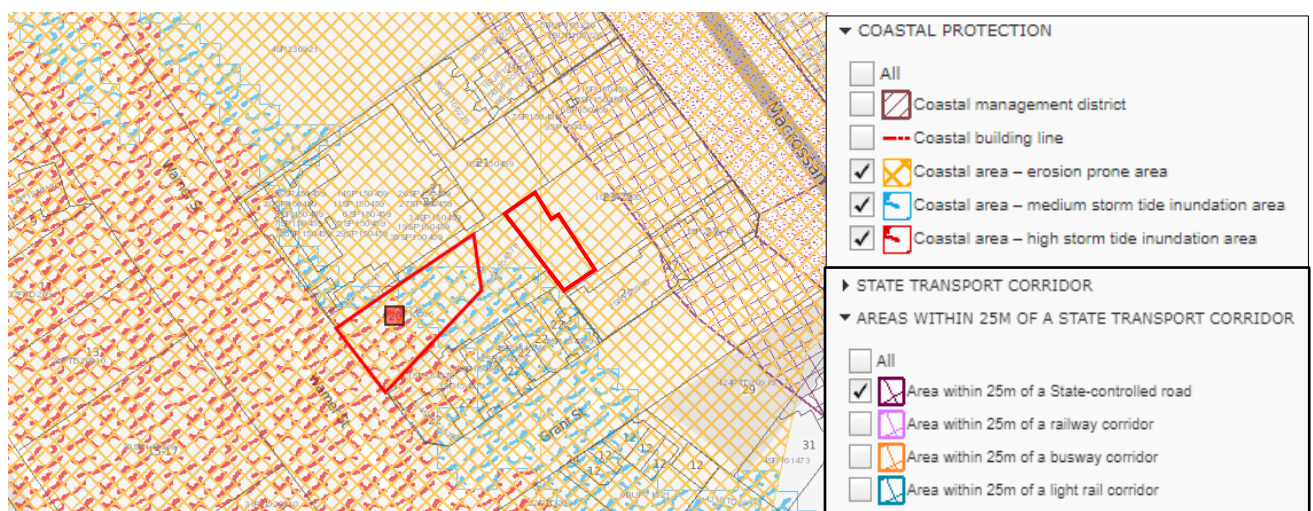


Figure 6: Extract from DA Mapping

2.2 Planning Scheme Assessment

The proposed use is Code Assessable Development against the Douglas Shire Planning Scheme. In considering the proposal against the relevant codes, there are Performance Outcomes and Acceptable Outcomes which are to be considered:

1. Assessable development must demonstrate that the Performance Outcomes can be achieved.
2. The Acceptable Outcomes that are nominated in the Codes are just one means by which the Performance Outcomes may be achieved.

The proposal satisfies the Purpose and Overall Outcomes of the Planning Scheme Codes, as identified in **Appendix 1**. The assessment and compliance table for this development is shown below.

Planning Scheme Assessment Table Codes		Applicability
Zone Code	Centre Zone	✓
Local Plan	Port Douglas / Craiglie Local Plan	✓
Overlay Codes	8.2.1 Acid Sulphate Soils	✓
	8.2.3 Coastal Environment	✓
	8.2.4 Flood and storm tide hazard	✓
	8.2.10 Transport Network	✓
Use Codes	9.3.13 Multiple dwelling, short-term accommodation and retirement facility	✓
Other Development Codes	9.4.1 Access, parking and servicing	✓
	9.4.3 Environmental performance	✓
	9.4.4 Filling and Excavation	✓
	9.4.5 Infrastructure works	✓
	9.4.6 Landscaping	✓
	9.4.9 Vegetation management	✓

2.3 Compliance

The proposal satisfies the Purpose and Overall Outcomes of the applicable Planning Scheme Codes, as identified in **Appendix 1**. Specific code compliance with the performance outcomes is detailed below under the appropriate heading.

The main compliance considerations for the assessment are:

- site area and coverage;
- landscaping and recreation / open space requirements;
- building height; and
- carparking.

Site Area

AO1.1 and 1.2 of the Multiple dwelling, short term accommodation and retirement facility code requires a minimum site area of 1000m² and frontage of 25m. The site has a total area of 853m² with a 20m frontage to Warner Street. The site is significantly constrained and represents an infill site. It is currently used for informal carparking and is an eyesore in the Warner St streetscape.

The site is sufficient in size and frontage to accommodate the proposal, making the best use of land. The proposed development is compatible with and complementary to surrounding development, with regard to scale, bulk, and streetscape patterns. The development has been designed for the tropical climate of Port Douglas and creates pleasant environments suitable for short-term visitors. The site adjoins motel / resort developments and the proposal is consistent and complimentary to the surrounding land uses. Impacts of the development on adjoining premises are appropriately managed.

The site is a constrained site and the proposed development has been cleverly designed to ensure there is sufficient space available to cater for services, landscaping and on-site parking.

Landscaping and Recreation / Open Space Requirements

Acceptable Outcome 1.10 of the Multiple dwelling, short term accommodation and retirement facility code specifies a minimum of 35% of the site is allocated as landscaping and recreation area. Due to the constraints of the site, the minimum cannot be achieved. The development concept is for a new-style boutique 'Micro Hotel'. 'Micro Hotels' is a new global trend that delivers compact hotel rooms, with the provision of communal areas on each level and a generous lobby combining as a bar / café and lounge area. The open air lounges situated on each level would be landscaped and provide semi-internal functional recreation spaces for guests. The development provides accessible and functional landscaping and recreation area for the benefit of guests, and the unique solution to landscaping contributes positively to the amenity of the area and Warner Street streetscape.

Building height

Acceptable Outcome AO9 of the Port Douglas / Craiglie local plan code states that buildings and structures are not more than 3 storeys and 13.5 metres in height, with a roof height of not less than 3 metres. The proposed building is 4 storeys and 13.5m in height for the first 7.5m setback from Warner Street. The building increases in height to the rear of the site to 14.1m, however, this is not

visible from either Warner or Macrossan Streets, and is consistent with existing adjoining development.

The building height would not dominate the streetscape or town centre, and will offer a high quality appearance when viewed from the street.

The building has been cleverly designed to maximise the use of the constrained site, providing a viable development solution. Whilst incorporating 4 storeys, the building conforms generally with the height requirements and maintains the minimum 2.7m ceiling height requirements.

The development achieves the Purpose of the code which is to facilitate development outcomes consistent with community values, the local tropical built-form and protection of the natural environment within the Port Douglas/Craigie local plan area, while providing a platform for investment and prosperity.

Carparking

Acceptable Outcome AO1.1 of the Access, parking and servicing code specifies a carparking requirement for the development of 18 spaces. The proposal provides 10 undercover carspaces on the main lot (lot 1 RP718896) and 7 carspaces on part of Lot 1 SP267838, which are accessed via a shared driveway and reciprocal access easement. An additional 7 on-street carparking spaces can be provided immediately adjacent the site in Warner Street.

Given the tourist nature of the use, 17 on-site carspaces is considered sufficient to cater for the demand generated by the development.

The site is highly constrained by its size and shape, which would represent a challenge to any form of development on the site. The site has a high level of accessibility to Macrossan Street and the services offered.

The consultant traffic engineer has undertaken swept path analysis for a B99 vehicle and concluded that the majority of carparks can accommodate this size vehicle, in accordance with relevant Australian Standards. Refer to **Appendix 3**.

No large commercial vehicles are anticipated to enter the site. The proposed development can be adequately serviced by smaller service vehicles on site or from the street, as with the majority of all other Macrossan Street and Warner Street properties. Laundry services and refuse collection will occur outside peak traffic hours to avoid congestion, as per surrounding hotel properties.

It is not feasible for the proposed development to accommodate the loading and unloading of large refuse trucks and other commercial vehicles, given the size and shape of the site. It is noted that previous development approval on the site did not accommodate on-site refuse collection. The site is an infill site, and the proposed development will provide a desirable outcome for the streetscape than the existing vacant lot.

Storm Tide Inundation

It is acknowledged that this development is located in a part of Port Douglas that may be affected by flooding in certain events. The recently approved 'Quicksilver' development at 19 Warner Street, located directly across from the subject site, has an approved FFL of RL 3.1m and carpark level of approx. RL 2.2m (ground level). It is considered reasonable for the proposed development to achieve the same design level.

Accordingly, the proposed development has been re-designed with a floor level of RL 3.2m for the hotel reception area (refer amended plans at **Appendix 1**). This is consistent with nearby development, and helps to achieve better integration with the footpath and create an attractive pedestrian-friendly environment. It should be acknowledged that anything above this level will result in impenetrable and undesirable development within the pedestrian environment.

The car parking area will have a floor level range in height from RL2.65m to RL3.6m. The communications and electrical boards will be installed on concrete hobs to avoid any possible inundation.

It is considered that the proposed development can mitigate the impact of inundation to within acceptable levels. The applicant accepts a condition of approval to acknowledge in writing that the building FFL of RL3.2m may not achieve full Q100 flood immunity and devise an action plan, prior to the issue of a Development Permit for Building Work, to manage and prevent flood water from entering the building in an extreme weather event.

3 INFRASTRUCTURE

All urban services are available to the site.

3.1 Water Supply, Effluent Disposal and Stormwater Drainage

Water supply and sewerage services are available with sufficient capacity to meet the demands generated by the proposed development.

The development site is located in a dense, infill urban setting. On-site detention and other such initiatives will be catered for in a future civil design to the satisfaction of the Council. The consultant engineer's advice in regards to the development states: *"the stormwater design will include measures to ensure a non-worsening of the Warner Street drainage due to this development. Stormwater drainage detention will be incorporated with this development to ensure that the stormwater discharge from this development is not greater than from the existing undeveloped site."* Refer to advice contained in **Appendix 3**.

The consultant hydraulic engineer has advised that the existing 100mm diameter Council water main and 150mm diameter Council sewer main which exist in the footpath fronting the property and are available for connection, which is adequate for the needs of the development. Refer to advice contained in **Appendix 6**.

The planters and open deck area drainage will be separated from the roof drainage systems where possible, in order to provide independent stormwater drainage systems. This design will allow for the efficient removal of rainwater from the site. Refer to advice contained in **Appendices 4 and 6**.

3.3 Excavation and Fill

The proposed development does not require filling the site. Finished floor levels will be achieved with suspended concrete slab.

3.4 Electricity Infrastructure

Advice from Ergon Energy indicates that the existing electricity infrastructure available to the site is sufficient to meet the electrical demands of the development. Refer **Appendix 5**.

APPENDIX 1: ASSESSMENT AGAINST THE PLANNING SCHEME

Table 5.6.a– Centre zone (continued)

Column 1 Development	Column 2 Level of Assessment	Column 3 Assessment Criteria																														Column 4 Notes								
		Whole of the Douglas Shire Planning Scheme	Centre zone code	Cape Tribulation and Daintree Coast Local plan code ^	Coastal communities local plan code ^	Mossman local plan code ^	Port Douglas / Craiglie local plan code ^	Return to Country local plan code ^	Acid sulphate soils overlay code *	Bushfire hazard overlay code *	Coastal environment overlay code *	Flood and storm tide hazard overlay code *	Hill slopes overlay code *	Landscape values overlay code *	Natural areas overlay code *	Places of significance overlay code *	Potential landslide hazard overlay code *	Transport network overlay code *	Caretaker's accommodation code	Centre activities code	Child care centre code	Community facilities code	Dual occupancy code	Dwelling unit code	Home based business code	Home based business code	Multiple dwelling, short term accommodation and y codes/retirement facility code	Telecommunications facility code	Access, parking and servicing code x	Advertising devices code x	Environmental performance code x	Filling and excavation code x	Infrastructure works code x	Landscaping code x	Reconfiguring a lot code x	Ship sourced pollutants reception facilities in marinas code x	Vegetation management code x			
Material change of use (continued)																																								
Multiple dwelling	I	a																																						
IF within Sub-precinct 1a of Precinct 1 Town Centre Precinct of the Port Douglas / Craiglie local plan	C	a		a	a	a			a	a	a	a			a	a		a									a		a										a	
Park	E																																							
Short-term accommodation	I	a																											a											a
IF within Sub-precinct 1a of Precinct 1 Town Centre Precinct of the Port Douglas / Craiglie local plan	C	a		a	a	a			a	a	a	a			a	a		a									a													
Telecommunications facility	C	a		a	a	a			a	a	a	a			a	a		a										a	a											a
Utility installation	C	a		a	a	a			a	a					a	a																								

E

S

C

I

IU

a

Exempt

Self assessable

Code assessable

Impact assessable

Impact assessable (Inconsistent use)

Applicable code

E	Exempt
S	Self assessable
C	Code assessable
I	Impact assessable
IU	Impact assessable (Inconsistent use)
a	Applicable code

6.2.1 Centre zone code

- (1) The purpose of the Centre zone code is to provide for a mix of land uses and activities.
 - (a) These uses include, but are not limited to, business, retail, professional, administrative, community, entertainment, cultural and residential activities.
 - (b) Centres are found at a variety of scales based on their location and surrounding activities.
- (2) The local government purpose of the code is to:
 - (a) implement the policy direction set in the Strategic Framework, in particular:
 - (i) Theme 1 : Settlement pattern, Element 3.4.3 Activity Centres.
 - (ii) Theme 4 : Strong communities and identity, Element 3.7.4 Sense of place, community and identity, Element 3.7.6 Arts and Culture
 - (iii) Theme 5 : Economy, Element 3.8.2 – Economic growth and diversification, Element 3.8.3 Tourism.
 - (b) provide for a mix of uses and level of economic and social activity to serve community needs.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) Development creates a range of retail, commercial, community and residential uses.
 - (b) Development is consistent with any location specific provisions contained within a Local Plan.
 - (c) Development provides activation and surveillance at ground level where adjoining roads or other public spaces.
 - (d) Development is integrated and coordinated both within the site and in relation to surrounding land uses and activities.
 - (e) Development provides a built form that establishes a cohesive streetscape and continuous pedestrian connections and shelters.
 - (f) Development is sensitively designed and managed to mitigate impacts on surrounding sensitive land uses.
 - (g) Development has access to infrastructure and services.

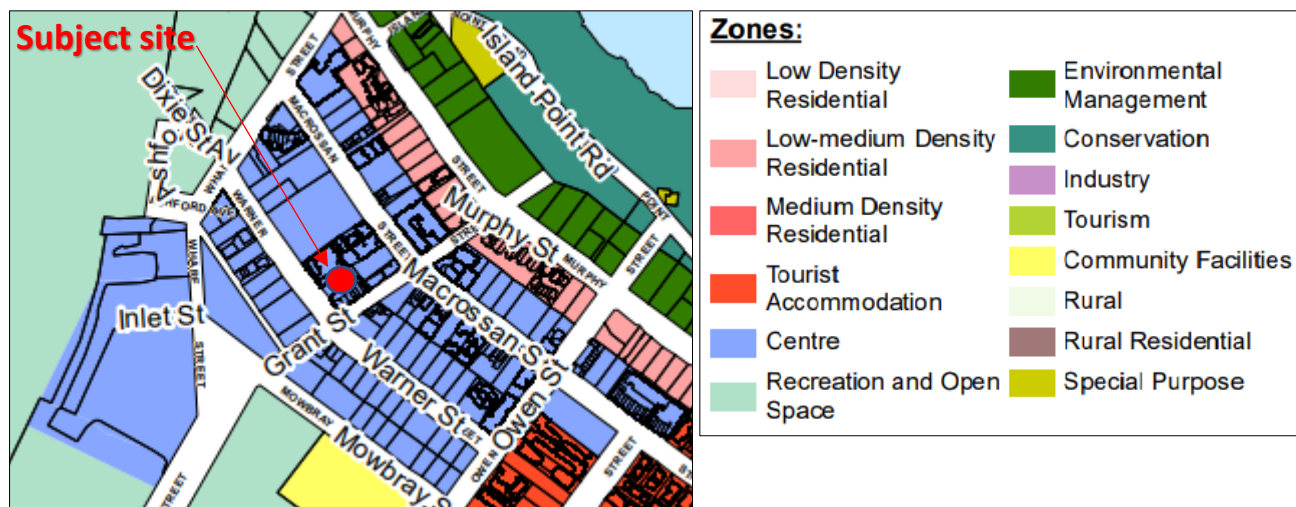


Figure 7: Extract from Planning Scheme Zone Map

Table 6.2.1.3.a – Centre zone – assessable development

Performance Outcomes	Acceptable Outcomes	Applicant Response
For self-assessable and assessable development		
PO1 The height of all buildings is in keeping with the character of the surrounding residential neighbourhoods and must not adversely affect the amenity of the neighbourhood.	AO1.1 The maximum height of buildings and structures is: (a) in accordance with the provisions of any applicable local plan; (b) if no local plan applies, not more than 8.5 metres and two storeys in height. Note – Height is inclusive of the roof height.	Complies with Performance Outcome This is further addressed in the Port Douglas / Craiglie local plan code.
PO2 The siting of buildings contributes to the use of the land, desired amenity and character of the area and protects the amenity of other land uses.	AO2.1 Buildings and structures are setback to road frontages:	Complies with Performance Outcome This is further addressed in the Port Douglas / Craiglie local plan code.

Performance Outcomes	Acceptable Outcomes	Applicant Response
	(a) in accordance with the provisions of any applicable local plan; (b) a minimum of 6 metres where no local plan applies or there are no particular provisions specified in the local plan for the site.	
	AO2.2 Where adjoining land in the Industry zone, buildings are setback: (a) 0 metres from the side and rear boundaries; or (b) 2.5 metres or $\frac{1}{4}$ of the height of the building, whichever is the greater; and (c) not any distance between 0 metres and 2.5 metres.	Not applicable The site adjoins land within the Centre zone.
	AO2.3 Where adjoining land in any other zone, buildings are setback 3 metres or $\frac{1}{4}$ of the height of the building, whichever is the greater and are provided with an acoustic barrier in accordance with the recommendations of a qualified acoustic expert.	Not applicable The site adjoins land within the Centre zone.
	AO2.4 Setback areas are provided with a 2 metre landscaped strip capable of deep planting, which is kept clear of service equipment and storage areas: (a) adjacent to the road frontage in all areas not required for pedestrian or vehicular access for the setback area nominated in AO2.1(b) above; (b) adjacent to the boundary with the other zone for the setback area nominated in AO2.3 above.	Not applicable
PO3	AO3 Site coverage does not exceed 80%, unless otherwise specified in a Local plan.	Complies The development proposes a site coverage of approx. 70% over the combined sites. The site is a

Performance Outcomes	Acceptable Outcomes	Applicant Response
The site coverage of buildings ensures that there is sufficient space available to cater for services, landscaping and on-site parking.		constrained site and the proposed development has been cleverly designed to ensure there is sufficient space available to cater for services, landscaping and on-site parking.
For assessable development		
PO4 The establishment of uses is consistent with the outcomes sought for the Centre zone and protects the zone from the intrusion of inconsistent uses.	A04 Inconsistent uses as identified in Table 6.2.1.3.b are not established in the Centre zone.	Complies The proposal is for Short-term accommodation, which is not identified as an inconsistent use in the Centre zone.
PO5 Development provides a range of convenient goods and services for the daily needs of discrete residential communities.	A05 Development complies with the requirements specified in a local plan.	Complies Refer to Port Douglas / Craiglie local plan code
PO6 Development does not lower the standard of amenity in terms of air, noise, odour, electrical interference and vibrations at any land use associated with the: (a) the Accommodation activity group, located outside the Centre zone; (b) the Sensitive land use activity group, located outside the Centre zone.	A06 No acceptable outcomes are prescribed.	Not applicable
	A05.2 Buildings and structures and associated infrastructure are not located on slopes greater than 1 in 6 (16.6%) or on a ridgeline.	Complies The proposed new building is located on an existing level site.
PO7 Reconfiguration of land results in (a) a practical layout for centre land use activities, generally consisting of regular rectangular-shaped lots. (b) lots no less than 600m ² in area.	A07 No acceptable outcomes are prescribed.	Not applicable Reconfiguring a lot is not proposed.

Table 6.2.1.3.b — Inconsistent uses within the Centre zone

Inconsistent Uses		
<ul style="list-style-type: none"> • Air services • Animal husbandry • Animal keeping • Aquaculture • Brothel • Cemetery • Crematorium • Cropping • Detention facility • Environment facility • Extractive industry • High impact industry • Intensive animal industry • Intensive horticulture 	<ul style="list-style-type: none"> • Major electrical infrastructure • Major sport and entertainment facility • Marine industry, except where located within subprecinct 1b Waterfront North in the Port Douglas / Craigie Local Plan. • Medium impact industry • Motor sport facility • Outstation • Permanent plantation 	<ul style="list-style-type: none"> • Relocatable home park • Renewable energy facility, being a wind farm • Resort complex • Retirement facility • Roadside stall • Rural industry • Rural workers accommodation • Special industry • Tourist park • Transport depot • Utility installation • Winery

Note – This table does not imply that all other uses not listed in the table are automatically consistent uses within the zone. Assessable development must still demonstrate consistency through the assessment process.

7.2.4 Port Douglas/Craigie local plan code

- (1) The purpose of the Port Douglas/Craigie local plan code is to facilitate development outcomes consistent with community values, the local tropical built-form and protection of the natural environment within the Port Douglas/Craigie local plan area, while providing a platform for investment and prosperity.
 - (a) In addition, the purpose of the code is supported by the Port Douglas Waterfront Master Plan which provides a clear strategic direction for the incremental transformation of the Port Douglas Waterfront, including the following objectives:
 - (b) To set out a vision for revitalisation of the waterfront;
 - (c) To protect and enhance the environmental attributes; and
- (2) To provide a flexible framework, expressed through several key strategies that will assist the Council and community in managing change.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) Port Douglas will continue to develop as the premium destination for international and domestic tourists in the Far North Queensland Region, while also acting for permanent residents attracted to the associated lifestyle.
 - (b) Major tourist, retail, dining and entertainment facilities will consolidate in the Town Centre and the Waterfront North sub-precincts, with improved pedestrian connections between the town centre and the waterfront.
 - (c) Craigie will develop as an integrated residential community with some low scale tourism development opportunities in appropriate locations. Craigie will also function as small scale commercial and light industry node, providing employment opportunities for the Shire's permanent resident population.
 - (d) All forms of development will complement the tropical image of the town through distinctive tropical vernacular, urban design and landscaping.
 - (e) Character will be enhanced through the identification of gateway sites, landmarks, main approach routes and pedestrian thoroughfares and view corridors;
 - (f) The Flagstaff Hill, Dickson Inlet, Four Mile Beach and other areas of scenic and environmental significance will be protected from development. Vegetation cover will dominate over built form.
 - (g) Vegetation, iconic to the character of Port Douglas, including the avenues of Oil Palms, is retained and where appropriate supplemented.
 - (h) Development will be indistinguishable from view from Four Mile Beach. In addition, any development on Flagstaff Hill will be indistinguishable when viewed from vantage points in Port Douglas.

- (i) Residential areas are designed as pleasant, functional and distinctive, in visually well defined areas.
- (4) The purpose of the code will be further achieved through the following overall outcomes:
 - (a) Precinct 1 – Port Douglas precinct
 - (i) Sub-precinct 1a – Town Centre sub-precinct
 - (ii) Sub-precinct 1b – Waterfront North sub-precinct
 - (iii) Sub-precinct 1c – Waterfront South sub-precinct
 - (iv) Sub-precinct 1d – Limited Development sub-precinct
 - (v) Sub-precinct 1e – Community and recreation sub-precinct
 - (vi) Sub-precinct 1f – Flagstaff Hill sub-precinct
 - (b) Precinct 2 – Integrated Resort precinct
 - (c) Precinct 3 – Craiglie Commercial and Light Industry precinct
 - (d) Precinct 4 – Old Port Road / Mitre Street precinct.

Precinct 1 – Port Douglas precinct

- (5) In addition to the overall outcomes, the outcomes sought for the precinct are to ensure that:
 - (a) development will contribute to the incremental transformation of the township, preserving and enhancing maritime activities and environmental areas, delivering tropical open spaces and a high quality public realm, and allowing for tourism opportunities and investment.
 - (b) development contributes to the enhancement of the Port Douglas precinct through the following development outcomes:
 - (i) access and connectivity throughout the township is enhanced through a series of improvements to circulation and mobility, including:
 - (A) access to, and connectivity along, the waterfront and foreshore areas is maintained and, where appropriate, enhanced;
 - (B) reducing reliance on the waterfront as a car parking resource.
 - (ii) the use of land in the Port Douglas precinct improves the cohesive layout of the township through:

- (A) the establishment of distinct sub-precincts that reinforce the character and built form of the Port Douglas local plan area including:
 - (a) • Port Douglas centre sub-precinct 1a – Town Centre sub-precinct;
 - (b) • Port Douglas centre sub-precinct 1b – Waterfront North sub-precinct;
 - (c) • Port Douglas centre sub-precinct 1c – Waterfront South sub-precinct;
 - (d) • Port Douglas centre sub-precinct 1d – Limited development subprecinct;
 - (e) • Port Douglas centre sub-precinct 1e – Community and recreation precinct;
 - (f) • Port Douglas centre sub-precinct 1f – Flagstaff Hill sub-precinct;
 - (B) facilitating marina facilities and supporting marine industry uses as a key part of the local economy;
 - (C) reducing conflict between industry, community and commercial activities in the waterfront, without diminishing the marine industry capacity in the Port Douglas precinct;
- (i) environment and sustainability is integrated into the township through:
- (A) preservation and enhancement of the qualities and characteristics of environmental areas of the township;
 - (B) water sensitive urban design is considered as a means of water quality improvement and management of overland flow to ensure hard infrastructure solutions in Warner Street can be mitigated;
 - (C) design of buildings and access way improvements prioritises walking and cycling modes of transport.
- (ii) the tropical character of the Port Douglas precinct is enhanced by ensuring development:
- (A) maintains and enhances the built form, local character, streetscapes and natural elements of the township;
 - (B) is compatible with the desired character and amenity of local places and neighbourhoods;
 - (C) does not exceed the height of buildings designations which contribute to the desired form of the township which contains three storey development heights in sub-precinct 1a – Town Centre sub-precinct and part of subprecinct 1b – Waterfront North sub-precinct;
 - (D) implements high quality landscaped environments around buildings and on streets;
 - (E) protects the recognisable character and locally significance sites throughout the precinct.
- (iii) public spaces and the streetscape are enhanced through:
- (A) an increase in the quantity and quality of public land and places throughout the precinct;

- (B) consolidating community recreation and sporting uses to create a precinct of community focussed activity between Mudlo Street and Wharf Street;
 - (C) improved connections between the town centre and the waterfront marina, including an investigation of a plaza on the waterfront;
 - (D) improved streetscapes with high quality landscaping, surface treatments and shaded pedestrian environments;
 - (E) the creation of a sense of place through aesthetic streetscapes and built form character;
 - (F) managing vegetation to ensure succession of planting and the ongoing presence of significant trees.
- (iv) advertising signage is small scale, low-key and complements the tropical character of the town.

Sub-precinct 1a – Town Centre sub-precinct

- (6) In addition to other overall development outcomes, development in the Town Centre subprecinct facilitates the following development outcomes:
- (a) tourist, retail, dining and entertainment activities are facilitated at an appropriate pedestrian scale;
 - (b) drive-through developments, bulky goods showrooms, outdoor sales, saleyards and other big-box retailing or entertainment facilities are not established;
 - (c) development contributes to a high quality public realm;
 - (d) parking (and associated infrastructure) does not undermine the relationship between buildings and street or pedestrian circulation patterns;
 - (e) consolidation of community and cultural land use activities along Mowbray Street between Wharf Street and Mudlo Street;
 - (f) active street frontages are established along Macrossan and Wharf Streets and other nearby streets as shown on the Port Douglas Centre Active Frontages and Pedestrian and Cycle Network Plan;
 - (g) Live entertainment activities are concentrated within the Live Entertainment Precinct and are subject to the recommendations of a suitably qualified acoustic engineer.

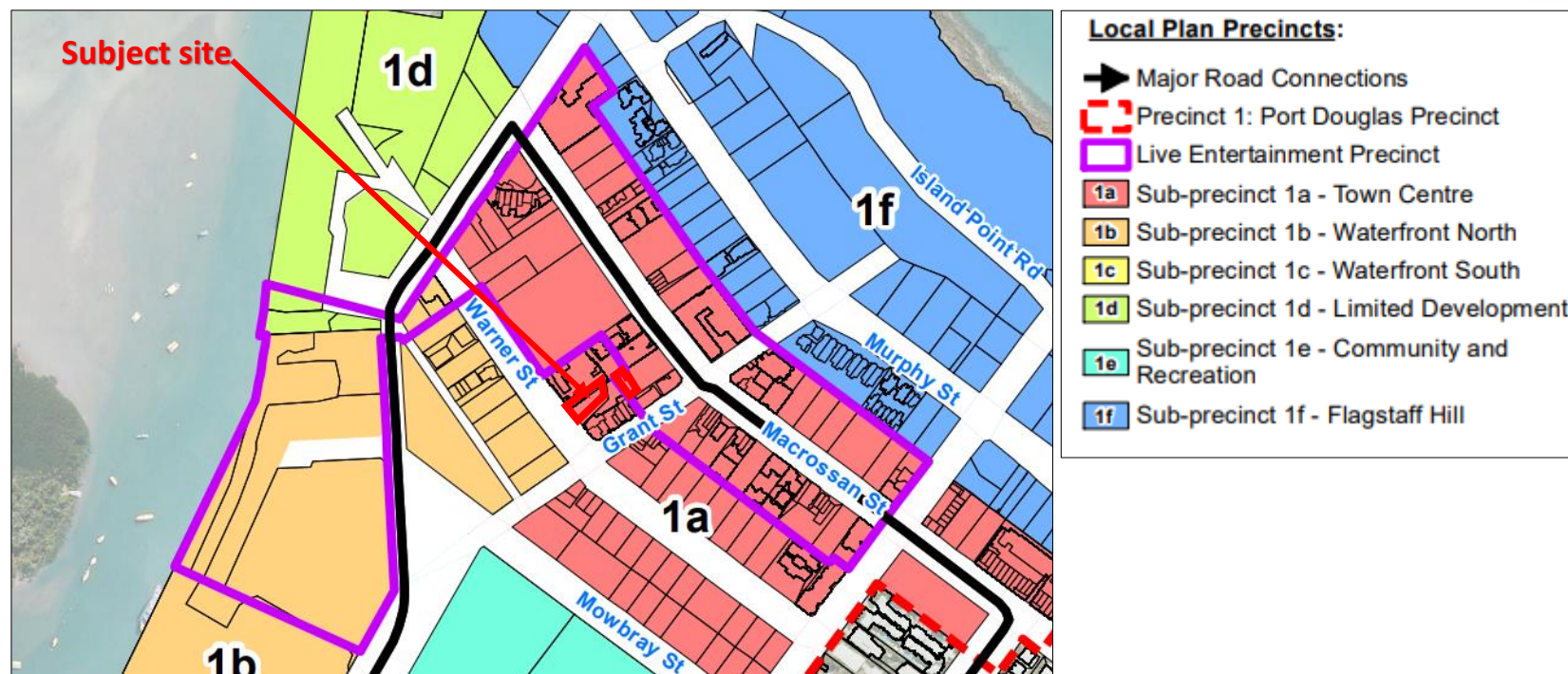


Figure 8: Extract from Port Douglas / Craigie Local Plan Precinct 1

Performance Outcomes	Acceptable Outcomes	Applicant Response
For self-assessable and assessable development		
Development in the Port Douglas / Craigie local plan area generally		
PO1 Pedestrians, cyclists, motorists and public transport users can easily move into and through the precinct along planned connectivity routes, identified on the Port Douglas / Craigie local plan maps contained in Schedule 2.	AO1 A pedestrian and cycle movement network is integrated and delivered through development.	Complies The development will provide for an active street frontage, providing for the movement of pedestrians along the frontage of the site.

Performance Outcomes	Acceptable Outcomes	Applicant Response
PO2 Development retains and enhances key landscape elements including character trees and areas of significant vegetation contributing to the character and quality of the local plan area and significant views and vistas and other landmarks important to the context of Port Douglas / Craigie (as identified on the Port Douglas/ Craigie Townscape Plan map contained in Schedule 2).	AO2.1 Development provides for the retention and enhancement of existing mature trees and character vegetation that contribute to the lush tropical character of the town, including: (a) the tree covered backdrop of Flagstaff Hill; (b) natural vegetation along watercourses, in particular the Mowbray River, Beor Creek and Dickson Inlet; (c) the tidal vegetation along the foreshore; (d) beachfront vegetation along Four Mile Beach, including the fringe of Coconut Palms; (e) the oil palm avenues along the major roads; (f) the lush landscaping within major roundabouts at key nodes; (g) Macrossan Street and Warner Street; (h) Port Douglas waterfront.	Complies No mature trees exist on the site, however some are located on the adjacent Easement to the rear. These trees will be retained. Further planting within the building will enhance the landscape character of the street.
	AO2.2 Development protects and does not intrude into important views and vistas as identified on the Port Douglas Townscape Plan map contained in Schedule 2, in particular: (a) Flagstaff Hill; (b) Four Mile Beach; (c) Across to the ranges over Dickson Inlet; (d) Mowbray Valley.	Complies The development does not protrude into important views and vistas.
	AO2.3 Important landmarks, memorials and monuments are retained.	Complies No important landmarks, memorials or monuments exist on the site.
PO3 Development contributes to the protection, reinforcement and where necessary enhancement	AO3 Development adjacent to the gateways and nodes as identified on the Port Douglas / Craigie local	Not applicable

Performance Outcomes	Acceptable Outcomes	Applicant Response
of gateways and key intersections identified on the Port Douglas / Craigie local plan maps contained in Schedule 2.	plan maps contained in Schedule 2 incorporates architectural features and landscaping treatments and design elements that enhance the sense of arrival and way finding within the town.	The development does not adjoin gateways and nodes identified on the Port Douglas / Craigie local plan maps.
PO4 Landscaping of development sites complements the existing tropical character of Port Douglas and Craigie.	AO4 Landscaping incorporates the requirements of Planning scheme policy SC6.7 – Landscaping, in particular landscaping should be capable of achieving a 60% screening of development within 5 years and predominantly consists of endemic vegetation.	Complied with Performance Outcomes The development seeks to integrate landscape elements within the building itself, providing screening and enhancement of the tropical landscape character of Port Douglas.
PO5 Development does not compromise the safety and efficiency of the State-controlled road network.	AO5 Direct access is not provided to a State-controlled road where legal and practical access from another road is available.	Not applicable
For assessable development		
Additional requirements in Precinct 1 – Port Douglas precinct		
PO6 The views and vistas identified on the Port Douglas / Craigie local plan maps contained in Schedule 2 are maintained.	AO6.1 Development does not impede continued views to scenic vistas and key streetscapes within the local plan area.	Complies The development does not impede views as identified on the local plan maps.
	AO6.2 Unless otherwise specified within this Local Plan, buildings are set back not less than 6 metres from the primary street frontage.	Complies with Performance Outcomes The development does not impede views or vistas as identified on the local plan maps.
PO7 Vehicle access, parking and service areas: (a) do not undermine the relationship between buildings and street or dominate the streetscape;	AO7.1 For all buildings, parking is: (a) to the side of buildings and recessed behind the main building line; or (b) behind buildings; or	Complies The carparking for the development is located at the rear and under the proposed building.

Performance Outcomes	Acceptable Outcomes	Applicant Response
(b) are designed to minimise pedestrian vehicle conflict; (c) are clearly identified and maintain ease of access at all times.	(c) wrapped by the building façade, and not visible from the street.	
	A07.2 Ground level parking incorporates clearly defined pedestrian routes.	Complies Pedestrian access from the carparking area will be internal and the existing shared vehicle access driveway will be retained.
	A07.3 Any porte-cocheres, disabled and pedestrian accesses are accommodated within the boundary of new or refurbished development.	Will be complied with The building common areas and lobbies are design to the Disability Discrimination Act AS standards up to the room door entries. This accessibility design is subject to a future access consultant's review.
	A07.4 Where the development is an integrated mixed use development incorporating short term accommodation or multiple dwellings and either food and drink outlet or hotel or shop or shopping centre or office, on-site parking spaces are provided as per the number prescribed in the Parking and access code with a relaxation of 30% of spaces required for the non-residential uses.	Not applicable The use will be for a boutique hotel, with ground floor frontage utilised for reception and guest services.
	A07.5 On-site car parking available for public use is clearly signed at the site frontage.	Not applicable
	A07.6 Boom gates, pay machines or other regulatory devices to control access to a publicly available car parking area are not constructed or installed.	Not applicable
PO8 Precinct 1 – Port Douglas precinct is not characterised by a proliferation of advertising signs.	A08 No acceptable outcomes are prescribed.	Complies Signage will be compatible with existing signage within the street.

Performance Outcomes	Acceptable Outcomes	Applicant Response
Additional requirements for Sub-precinct 1a – Town Centre sub-precinct		
PO9 Building heights: (a) do not overwhelm or dominate the town centre; (b) respect the desired streetscape; (c) ensure a high quality appearance when viewed from both within the town centre subprecinct and external to the town centre subprecinct; (d) remain subservient to the natural environment and the backdrop of Flagstaff Hill. (e) do not exceed 3 storeys.	AO9 Buildings and structures are not more than 3 storeys and 13.5 metres in height, with a roof height of not less than 3 metres. Note – Height is inclusive of the roof height.	Complies with Purpose The proposed building is 4 storeys and 13.5m in height for the first 7.5m setback from Warner Street. The building increases in height to the rear of the site to 14.1m; however, this is not visible from either Warner or Macrossan Streets, and is consistent with existing adjoining development. The front façade has been angled so as to conform with adjoining buildings. The building height would not dominate the streetscape or town centre, and will offer a high quality appearance when viewed from the street. The building has been cleverly designed to maximise the use of the constrained site, providing a viable development solution. Whilst incorporating 4 storeys, the building conforms generally with the height requirements and maintains the minimum 2.7m ceiling height requirements. Modern design and landscape solutions will contribute to the streetscape, offering a high quality development.
PO10 Building design, the streetscape, pedestrian paths and street front spaces promote integration with the surrounding area and the rest of Precinct 1 – Port Douglas Precinct.	AO10 No acceptable outcomes are prescribed	Complies The building has been designed to include an active street frontage.

Performance Outcomes	Acceptable Outcomes	Applicant Response
PO11 Buildings: (a) address street frontages; (b) ensure main entrances front the street or public spaces; (c) do not focus principally on internal spaces or parking areas.	AO11 No acceptable outcomes are prescribed.	Complies The development provides an open and active frontage to Warner Street at ground level.
PO12 Setbacks at ground level provide for: (a) connection between pedestrian paths and public places; (b) areas for convenient movement of pedestrians; (c) changes in gradient of the street.	AO12 Setbacks at ground level: (a) are clear of columns and other obstructions; (b) have pavement matching the gradient of adjoining footpaths and connecting pedestrian areas on adjoining sites; (c) connect without any lip or step to adjoining footpaths.	Complies
PO13 Buildings do not result in a reduction of views and vistas from public places to: (a) Flagstaff Hill; (b) Dickson Inlet; (c) public open space; (d) places of significance	AO13 No acceptable outcomes are prescribed.	Complies The building will not restrict views to Flagstaff Hill, Dickson Inlet, public open space or any place of significance.
PO14 Development enhances the distinctive tropical resort town and identity of Port Douglas and encourages pedestrian activity at street level including shade protection across the footpath for the length of the building.	AO14 Development is built up to the street frontage/s at the street level and incorporates a light frame awning, a minimum of 3 metres in width for the length of the street frontage/s; or If a development includes an outdoor dining area at ground/footpath level, the dining area has a maximum setback of 3 metres and the required awning is still maintained along the length of the street frontage/s. Note – PO24 provides more detail on awning design.	Complies The development is built to the boundary and incorporates an awning for the full length of the street frontage.

Performance Outcomes	Acceptable Outcomes	Applicant Response
PO15 Development is predominantly commercial in nature with any tourist accommodation having a secondary focus and not located on the street level frontage where active frontages are encouraged as identified the Port Douglas local plan maps contained in Schedule 2.	AO15.1 Centre activities establish: at street level on active street frontages; a maximum of one level above street level.	Complies Active street frontages are encouraged at the site, and the development provides for a reception and guest facilities at ground level, providing for an active frontage.
	AO15.2 Any residential development activities or short term accommodation is located above street level of the active frontage, but not on or up to the street frontage in any development, including mixed use development.	Complies with Performance Outcomes The hotel rooms will be located on the upper levels, with the hotel reception and guest facilities located on the ground level along Warner Street.
PO16 Detailed building design: (a) enhances the visual amenity of the streetscape; (b) has a legible and attractive built form that is visually enhanced by architectural elements; (c) contributes to a distinctive tropical north Queensland, seaside tourist town character; (d) integrates major landscaping elements to maximise their aesthetic value to ensure that the lush, vegetated character of the Town Centre sub-precinct is maintained.	AO16 No acceptable outcomes are prescribed.	Complies The building has been designed to a high quality and will contribute and enhance the visual amenity of the streetscape. The design incorporates architectural and landscape features that will add aesthetic value to the area. The innovative landscape elements proposed will add a valuable tropical aspect to Warner Street.
PO17 Buildings exhibit variations to their external appearance and the shape of the built form to provide visual interest through: (a) surface decoration; (b) wall recesses and projections; (c) a variation in wall finishes; windows, balconies, awnings and other visible structural elements. (d) differentiating between the lower, middle and upper parts of the building by varying the façade	AO17 No acceptable outcomes are prescribed.	Complies Variation to the external appearance of the building will be provided by the vertical landscape elements incorporated into the building. The building has been designed to a high quality and will contribute and enhance the visual amenity of the streetscape.

Performance Outcomes	Acceptable Outcomes	Applicant Response
and/or the shape of the built form, where comprised of more than two storeys.		
PO18 Roofs are not characterised by a cluttered display of plant and equipment, in particular: (a) building caps and rooftops contribute to the architectural distinction of the building and create a coherent roofscape for the Town Centre sub-precinct; (b) service structures, lift motor rooms and mechanical plant and equipment are designed as an architectural feature of the building or are screened from public view; (c) rooftops are not used for advertising.	AO18 No acceptable outcomes are prescribed.	Complies Rooftop plant and equipment will not be visible from Warner Street.
PO19 Windows and sun/rain control devices are used in the building form, in particular, sun shading devices are provided to: (a) shade windows; (b) reduce glare; (c) assist in maintaining comfortable indoor temperatures; (d) minimising heat loads; (e) enrich the North Queensland tropical character of the Town Centre sub-precinct; (f) provide architectural interest to building façades.	AO19 No acceptable outcomes are prescribed.	Complies The building incorporates shaded balconies and vertical trellis to provide shade and tropical architectural interest to the development.
PO20 Buildings are finished with high quality materials, selected for: (a) their ability to contribute the character of Town Centre sub-precinct;	AO20 No acceptable outcomes are prescribed.	Complies The building will be finished with high-quality materials, as outlined on the architectural drawings.

Performance Outcomes	Acceptable Outcomes	Applicant Response
(b) easy maintenance, durability and an ability not to readily stain, discolour or deteriorate.		
PO21 Buildings do not incorporate any type of glass or other materials that are likely to reflect the sun's rays in a manner that may create a nuisance, discomfort or a hazard.	AO21 No acceptable outcomes are prescribed.	Complies Refer to materials schedule in Appendix 1.
PO22 Façades and elevations do not include large blank walls. Openings and setbacks are used to articulate vertical building surfaces.	AO22.1 Development has a maximum length of unbroken building facade of 20 metres and a maximum extent of overall development in the same style/design along the street frontage/s of 40 metres.	Complies The building is built to boundary along both side boundaries, consistent with adjoining properties. The frontage of the site is less than 40m.
	AO22.2 Any break in the building façade varies the alignment by a 1 metre minimum deviation.	Complies The building facades are varied by balconies along all sides.
	AO22.3 A minimum of three of the following building design features and architectural elements detailed below are incorporated to break the extended facade of a development: (a) a change in roof profile; (b) a change in parapet coping; (c) a change in awning design; (d) a horizontal or vertical change in the wall plane; or (e) a change in the exterior finishes and exterior colours of the development.	Complies The building has been designed to provide variation in the facades through the use of balconies and vertical planting, and the upper level awning is angled to provide variation and integration with adjoining buildings. The design does not include large blank walls that would be visible.
PO23 Building facades that face public spaces at ground level:	AO23	Complies The building incorporates various architectural elements and includes an open reception and guest

Performance Outcomes	Acceptable Outcomes	Applicant Response
<ul style="list-style-type: none"> (a) complement the appearance of the development and surrounding streetscape; (b) enhance the visual amenity of the public place; (c) include a variety of human scale architectural elements and details; (d) provide an opportunity for the casual and convenient surveillance of public space from within the development. 	<p>Building facades at the ground floor of development that face public space are designed to ensure:</p> <ul style="list-style-type: none"> (a) a minimum of 70% of the façade area is comprised of windows, wall openings or shop fronts that permit the casual surveillance of the public space from the development; (b) a visually prominent main entrance that faces the principal public place; (c) vertical architectural elements and features are incorporated at 3 metre or less intervals along the length of the façade. 	<p>facilities area at street level, providing for casual surveillance of the public spaces and an attractive street frontage.</p>
<p>PO24</p> <p>Awnings for pedestrian shelter are consistent with the character setting of the Town Centre sub-precinct and:</p> <ul style="list-style-type: none"> (a) extend and cover the footpath to provide protection from the sun and rain; (b) include lighting under the awning; (c) are continuous across the frontage of the site; (d) align to provide continuity with existing or future awnings on adjoining sites; (e) are a minimum of 3.0 metres in width and generally not more than 3.5 metres above pavement height; (f) do not extend past a vertical plane, 1.2 metres inside the kerb-line to enable street trees to be planted and grow; (g) are cantilevered from the main building with any posts within the footpath being non loadbearing. 	<p>AO24</p> <p>No acceptable outcomes are prescribed.</p>	<p>Complies</p> <p>The awning design will achieve the outcomes stated. Posts will be consistent with adjoining properties.</p>

Performance Outcomes	Acceptable Outcomes	Applicant Response
PO25 Development integrates with the streetscape and landscaping improvements for Port Douglas.	AO25 Development fronting Davidson Street, Macrossan Street, Wharf Street, Mowbray Street and Warner Street is designed to integrate with the on-street landscaping and design improvements as outlined within the Port Douglas landscape master plan contained within Planning scheme policy SC6.7 – Landscaping. Note - Planning scheme policy SC6.7 - Landscaping provides guidance on meeting the Performance Outcome.	Will be complied with
Additional requirements for Sub-precinct 1b – Waterfront North sub-precinct – PO26 – PO51 Not applicable		
Additional requirements for Sub-precinct 1c – Waterfront South sub-precinct - PO52 – PO60 Not applicable		
Additional requirements for Sub-precinct 1d – Limited Development sub-precinct – PO61 Not applicable		
Additional requirements for Sub-precinct 1e – Community and recreation sub-precinct – PO62 Not applicable		
Additional requirements for Sub-precinct 1f – Flagstaff Hill sub-precinct – PO63 – PO64 Not applicable		
Additional requirements for Precinct 3 – Craiglie Commercial and Light Industry precinct – PO65 – PO66 Not applicable		
Additional requirements for Precinct 6 – Very Low Residential Density / Low Scale Recreation / Low Scale Educational / Low Scale Entertainment Uses precinct – PO67 – PO68 Not applicable		

8.2.1 Acid sulfate soils overlay code

The purpose of the acid sulfate soils overlay code is to:

- (a) implement the policy direction in the Strategic Framework, in particular:
 - (i) Theme 2: Environment and landscape values, Element 3.5.4 Coastal zones.
 - (ii) Theme 3: Natural resource management, Element 3.6.2 land and catchment management, Element 3.6.3 Primary production, forestry and fisheries.
- (b) enable an assessment of whether development is suitable on land within the Acid sulfate soils overlay sub-categories.

The purpose of the code will be achieved through the following overall outcomes:

- (a) Development ensures that the release of any acid and associated metal contaminant is avoided by not disturbing acid sulfate soils when excavating, removing soil or extracting ground water or filling land;
- (b) Development ensures that disturbed acid sulfate soils, or drainage waters, are treated and, if required, on-going management practices are adopted that minimise the potential for environmental harm from acid sulfate soil and protect corrodible assets from acid sulfate soil.

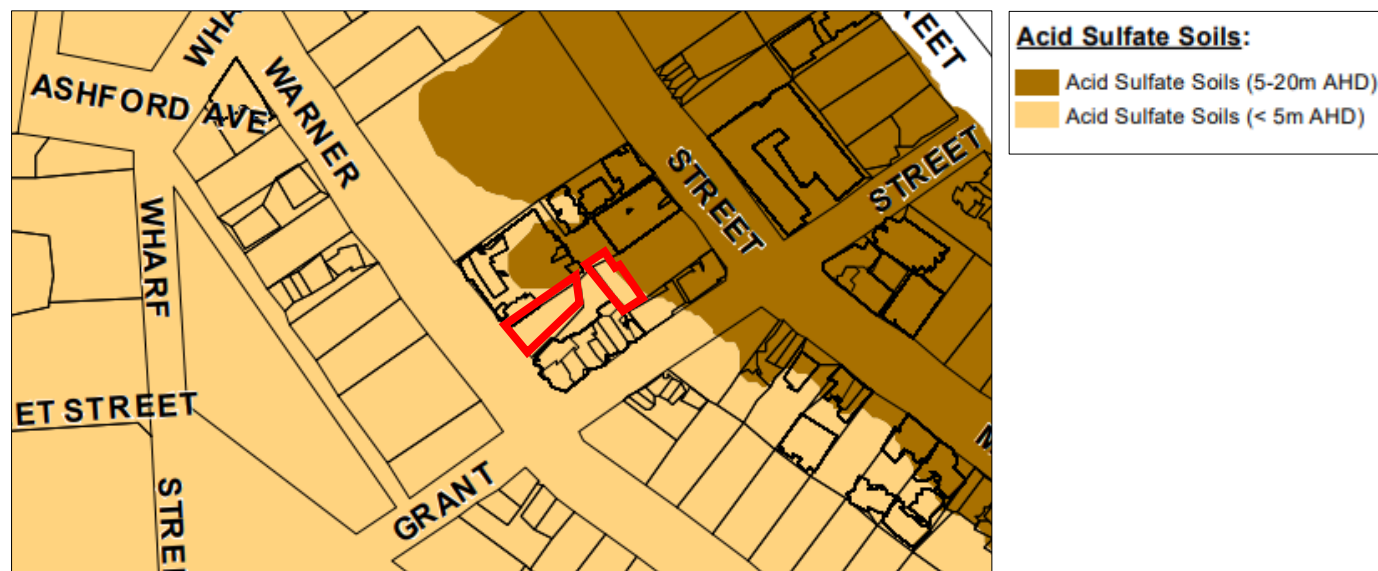


Figure 9: Extract from Acid Sulphate Soils Overlay Map

Table 8.2.1.3.a – Acid sulfate soils overlay code – assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For assessable development		
PO1 The extent and location of potential or actual acid sulfate soils is accurately identified.	AO1.1 No excavation or filling occurs on the site. or AO1.2 An acid sulfate soils investigation is undertaken. Note - Planning scheme policy SC 6.12– Potential and actual acid sulfate soils provides guidance on preparing an acid sulfate soils investigation.	Will be complied with The site is on land below 5m AHD. An acid sulfate soils investigation will be undertaken at the time of construction.

Performance outcomes	Acceptable outcomes	Applicant response
PO2 Development avoids disturbing potential acid sulfate soils or actual acid sulfate soils, or is managed to avoid or minimise the release of acid and metal contaminants.	AO2.1 The disturbance of potential acid sulfate soils or actual acid sulfate soils is avoided by: <ul style="list-style-type: none"> (a) not excavating, or otherwise removing, soil or sediment identified as containing potential or actual acid sulfate soils; (b) not permanently or temporarily extracting groundwater that results in the aeration of previously saturated acid sulfate soils; (c) not undertaking filling that results in: (d) actual acid sulfate soils being moved below the water table; (e) previously saturated acid sulfate soils being aerated. or AO2.2 The disturbance of potential acid sulfate soils or actual acid sulfate soils is undertaken in accordance with an acid sulfate soils management plan and avoids the release of metal contaminants by: <ul style="list-style-type: none"> (f) neutralising existing acidity and preventing the generation of acid and metal contaminants; (g) preventing the release of surface or groundwater flows containing acid and metal contaminants into the environment; (h) preventing the in situ oxidation of potential acid sulfate soils and actual acid sulfate soils through ground water level management; (i) appropriately treating acid sulfate soils before disposal occurs on or off site; (j) documenting strategies and reporting requirements in an acid sulfate soils 	Will be complied with

Performance outcomes	Acceptable outcomes	Applicant response
	<p>environmental management plan.</p> <p>Note - Planning scheme policy SC 6.12 – Acid sulfate soils provides guidance on preparing an acid sulfate soils management plan.</p>	
<p>P03</p> <p>No environmental harm is caused as a result of exposure to potential acid sulfate soils or actual acid sulfate soils.</p>	<p>A03</p> <p>No acceptable outcomes are prescribed.</p>	<p>Will be complied with</p>

8.2.3 Coastal environment overlay code

The purpose of the Coastal environment overlay code is to:

- (a) implement the policy direction in the Strategic Framework, in particular:
 - (i) Theme 1 Settlement pattern: Element 3.4.7 Mitigation of hazards;
 - (ii) Theme 2 Environment and landscape values: Element 3.5.4 Coastal zones;
 - (iii) Theme 3 Natural resource management: Element 3.6.2 Land and catchment management.
- (b) enable an assessment of whether development is suitable on land within the Coastal processes sub-categories.

The purpose of the code will be achieved through the following overall outcomes:

- (a) facilitate the protection of both coastal processes and coastal resources;
- (b) facilitating coastal dependent development on the foreshore over other development;
- (c) public access to the foreshore protects public safety;
- (d) maintain the erosion prone area as a development free buffer zone (other than for coastal dependent, temporary or relocatable development);
- (e) require redevelopment of existing permanent buildings or structures in an erosion prone area to avoid coastal erosion risks, manage coastal erosion risks through a strategy of planned retreat or mitigate coastal erosion risks;
- (f) require development to maintain or enhance natural processes and the protective function of landforms and vegetation that can mitigate risks associated with coastal erosion;
- (g) locate and design community infrastructure to maintain the required level of functionality during and immediately after a coastal hazard event.

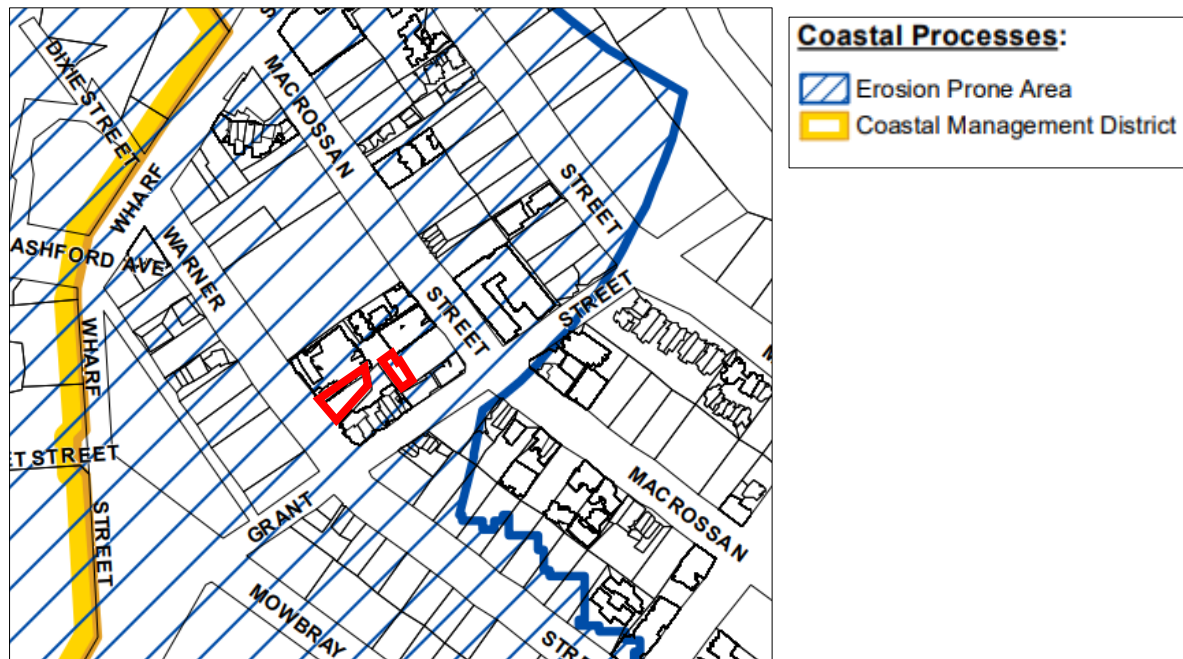


Figure 10: Extract from Coastal Processes Overlay Map

Performance outcomes	Acceptable outcomes	Applicant response
For self- assessable and assessable development		
PO1 No works other than coastal protection works extend seaward of the coastal building line.	A01.1 Development (including all buildings and other permanent structures such as swimming pools and retaining walls) does not extend seaward of a coastal building line. Note – Coastal building lines are declared under the Coastal Protection and Management Act 1995 and are administered by the State Department of Environment and Heritage Protection.	Not applicable
	A01.2 Coastal protection works are only undertaken as a last resort where coastal erosion presents an immediate threat to public safety or existing buildings or structures and the property cannot be relocated or abandoned.	Not applicable
	A01.3 Coastal protection works are as far landward as practicable on the lot containing the property to the maximum extent reasonable.	Not applicable
	A01.4 Coastal protection work mitigates any increase in the coastal hazard.	Not applicable
PO2 Where a coastal building line does not exist on a lot fronting the coast or a reserve adjoining the coast, development is setback to maintain the amenity	A02 Where a coastal building line does not exist on a lot fronting the coast or a reserve adjoining the coast, development (including all buildings and structures	Not applicable

Performance outcomes	Acceptable outcomes	Applicant response
and use of the coastal resource.	such as swimming pools) and retaining walls are set back not less than 6 metres from the seaward boundary of the lot.	
For assessable development		
Erosion prone areas		
PO3 Development identifies erosion prone areas (coastal hazards).	AO3 No acceptable outcomes are prescribed.	Complies The development site is located on land included in the Erosion Prone Area as shown on the Coastal Processes Overlay Map.
PO4 Erosion prone areas are free from development to allow for natural coastal processes.	AO4.1 Development is not located within the Erosion prone area, unless it can be demonstrated that the development is for: (a) community infrastructure where no suitable alternative location or site exists for this infrastructure; or (b) development that reflects the preferred development outcomes in accordance with the zoning of the site (i.e. in the Low density residential zone, a dwelling house is a preferred development outcome in accordance with the zoning of the site)	Complies The development is consistent with the zoning of the land.
	AO4.2 Development involving existing permanent buildings and structures within an erosion prone area does not increase in intensity of its use by: (a) adding additional buildings or structures; or (b) incorporating a land use that will result in an increase in the number of people or employees occupying the site.	Not applicable The subject site is currently vacant / carpark. The land and surrounding properties are all included in the Erosion Prone Area.

Performance outcomes	Acceptable outcomes	Applicant response
Coastal management districts		
P05 Natural processes and protective functions of landforms and vegetation are maintained.	A05.1 Development within the coastal management district: <ul style="list-style-type: none"> (a) maintains vegetation on coastal land forms where its removal or damage may: <ul style="list-style-type: none"> (i) destabilise the area and increase the potential for coastal erosion, or (ii) interrupt the natural sediment trapping processes or dune or land building processes; (b) maintains sediment volumes of dunes and near-shore coastal landforms, or where a reduction in sediment volumes cannot be avoided, increased risks to development from coastal erosion are mitigated by location, design and construction and operating standards; (c) minimises the need for erosion control structures or riverine hardening through location, design and construction standards; (d) maintains physical coastal processes outside the development footprint for the development, including longshore transport of sediment along the coast; (e) reduces the risk of shoreline erosion for areas adjacent to the development footprint to the maximum extent feasible in the case of erosion control structures. 	Not applicable The development site is not located within a Coastal Management District.

Performance outcomes	Acceptable outcomes	Applicant response
	PO5.2 Where development proposes the construction of an erosion control structure: <ul style="list-style-type: none"> (a) it is demonstrated that it is the only feasible option for protecting permanent structures from coastal erosion; and (b) those permanent structures cannot be abandoned or relocated in the event of coastal erosion occurring. 	Not applicable
	AO5.3 Development involving reclamation: <ul style="list-style-type: none"> (a) does not alter, or otherwise minimises impacts on, the physical characteristics of a waterway or the seabed near the reclamation, including flow regimes, hydrodynamic forces, tidal water and riverbank stability; (b) is located outside active sediment transport area, or otherwise maintains sediment transport processes as close as possible to their natural state; (c) ensures activities associated with the operation of the development maintain the structure and condition of vegetation communities and avoid wind and water runoff erosion. 	Not applicable
PO6 Development avoids or minimises adverse impacts on coastal resources and their values to the maximum extent reasonable.	AO6.1 Coastal protection work that is in the form of beach nourishment uses methods of placement suitable for the location that do not interfere with the long-term use of the locality, or natural values within or neighbouring the proposed placement	Not applicable

Performance outcomes	Acceptable outcomes	Applicant response
	<p>and</p> <p>AO6.2 Marine development is located and designed to expand on or redevelop existing marine infrastructure unless it is demonstrated that it is not practicable to co-locate the development with existing marine infrastructure;</p> <p>And</p> <p>AO6.3 Measures are incorporated as part of siting and design of the development to maintain or enhance water quality to achieve the environmental values and water quality objectives outlined in the Environmental Protection (Water) Policy 2009.</p> <p>And</p> <p>AO6.4 Development avoids the disturbance of acid sulfate soils, or where it is demonstrated that this is not possible, the disturbance of acid sulfate soils is carefully managed to minimise and mitigate the adverse effects of disturbance on coastal resources.</p> <p>And</p> <p>AO6.5 Design and siting of development protects and retains identified ecological values and underlying ecosystem processes within the development site to the greatest extent practicable.</p>	

Performance outcomes	Acceptable outcomes	Applicant response
P07 Development is to maintain access to and along the foreshore for general public access.	A07.1 Development provides for regular access points for pedestrians including approved walking tracks, boardwalks and viewing platforms. and A07.2 Development provides for regular access points for vehicles including approved roads and tracks. or A07.3 Development demonstrates an alternative solution to achieve an equivalent standard of performance.	Not applicable
P08 Public access to the coast is appropriately located, designed and operated.	A08.1 Development maintains or enhances public access to the coast. Or A08.2 Development is located adjacent to state coastal land or tidal water and minimises and offsets any loss of access to and along the foreshore within 500 metres. or A08.3 Development adjacent to state coastal land or tidal water demonstrates an alternative solution to achieve an equivalent standard and quality of access.	Not applicable

Performance outcomes	Acceptable outcomes	Applicant response
PO9 Development adjacent to state coastal land or tidal water is located, designed and operated to: <ul style="list-style-type: none"> (a) maintain existing access to and along the foreshore; (b) minimise any loss of access to and along the foreshore, or (c) offset any loss of access to and along the foreshore by providing for enhanced alternative access in the general location. 	AO9.1 Development adjacent to state coastal land or tidal water: <ul style="list-style-type: none"> (a) demonstrates that restrictions to public access are necessary for: <ul style="list-style-type: none"> (i) the safe and secure operation of development; (ii) the maintenance of coastal landforms and coastal habitat; or (b) maintains public access (including public access infrastructure that has been approved by the local government or relevant authority) through the site to the foreshore for: <ul style="list-style-type: none"> (i) pedestrians via access points including approved walking tracks, boardwalks and viewing platforms; (ii) vehicles via access points including approved roads or tracks. 	Not applicable
	AO9.2 Development adjacent to state coastal land or tidal water: <ul style="list-style-type: none"> (a) is located and designed to: <ul style="list-style-type: none"> (i) allow safe unimpeded access to, over, under or around built infrastructure located on, over or along the foreshore, for example through the provision of esplanades or easement corridors to preserve future access; (ii) ensure emergency vehicles can access the area near the development. <p>Or</p>	Not applicable

Performance outcomes	Acceptable outcomes	Applicant response
	<p>(a) minimises and offsets any loss of access to and along the foreshore within 500m of existing access points and development is located and designed to:</p> <p>(i) allow safe unimpeded access to, over, under or around built infrastructure located on, over or along the foreshore, and</p> <p>(ii) ensure emergency vehicles can access the area near the development</p>	
<p>PO10 Development that involves reconfiguring a lot for urban purposes adjacent to the coast is designed to ensure public access to the coast in consideration of public access demand from a whole-of-community basis and the maintenance of coastal landforms and coastal habitat.</p>	<p>AO10.1 Development complies if consideration of public access demand from a whole-of-community basis and the maintenance of coastal landforms and coastal habitat is undertaken.</p> <p>or</p> <p>AO10.2 Development demonstrates an alternative solution to achieve an equivalent standard and quality of access.</p>	Not applicable
<p>PO11 Development maintains public access to State coastal land by avoiding private marine development attaching to, or extending across, non-tidal State coastal land.</p>	<p>AO11 Private marine access structures and other structures such as decks or boardwalks for private use do not attach to or extend across State coastal land that is situated above high water mark.</p>	Not applicable
<p>PO12 Development in connection with an artificial waterway enhances public access to coastal waters.</p>	<p>AO12 The artificial waterway avoids intersecting with or connection to inundated land or leased land where the passage, use or movement of vessels in water on the land could be restricted or prohibited by the</p>	Not applicable

Performance outcomes	Acceptable outcomes	Applicant response
	registered proprietor of the inundated land or leased land.	
Coastal landscapes, views and vistas		
PO13 Development maintains and / or enhances natural coastal landscapes, views and vistas.	AO13 No acceptable outcomes are prescribed.	Not applicable The development will not impact on coastal landscapes, view or vistas.
PO14 Coastal settlements are consolidated through the concentration of development within the existing urban areas through infill and conserving the natural state of the coastal area outside existing urban areas.	AO14 No acceptable outcomes are prescribed.	Complies The development represents infill development.
Private marine development		
PO15 Private marine development is to avoid attaching to, or extending across, non-tidal State coastal land.	AO15 Private marine development and other structures such as decks or boardwalks for private use do not attach to, or extend across, State coastal land that is situated above high water mark. Note – For occupation permits or allocations of State land, refer to the Land Act 1994.	Not applicable The development does not involve private marine development.
PO16 The location and design of private marine development does not adversely affect the safety of members of the public access to the foreshore.	AO16 Private marine development does not involve the erection or placement of any physical barrier preventing existing access, along a public access way to the foreshores.	Not applicable
PO17	AO17	Not applicable

Performance outcomes	Acceptable outcomes	Applicant response
Private marine development is of a height and scale and size compatible with the character and amenity of the location.	<p>Private marine development has regard to:</p> <ul style="list-style-type: none"> (a) the height, scale and size of the natural features of the immediate surroundings and locality; (b) the height, scale and size of existing buildings or other structures in the immediate surroundings and the locality; (c) if the relevant planning scheme states that desired height, scale or size of buildings or other structures in the immediate surroundings or locality – the stated desired height, scale or size. <p>Note – The prescribed tidal works code in the Coastal Protection and Management Regulation 2003 outlines design and construction requirements that must be complied with.</p>	
PO18 Private marine development avoids adverse impacts on coastal landforms and coastal processes.	AO18 Private marine development does not require the construction of coastal protection works, shoreline or riverbank hardening or dredging for marine access.	Not applicable
For dry land marinas and artificial waterways		
PO19 Dry land marinas and artificial waterways: <ul style="list-style-type: none"> (a) avoid impacts on coastal resources; (b) do not contribute to the degradation of water quality; (c) do not increase the risk of flooding; (d) do not result in the degradation or loss of MSES; (e) do not result in an adverse change to the tidal prism of the natural waterway to which development is connected. 	AO19 No acceptable solutions are prescribed.	Not applicable The development does not involve dry land marinas or artificial waterways.

Performance outcomes	Acceptable outcomes	Applicant response
(f) does not involve reclamation of tidal land other than for the purpose of: (i) coastal dependent development, public marine development; or (ii) community infrastructure, where there is no feasible alternative; or (iii) strategic ports, boat harbours or strategic airports and aviation facilities in accordance with a statutory land use plan; or (iv) coastal protection works or works necessary to protect coastal resources and processes.		

8.2.4 Flood and storm tide hazard overlay code

The purpose of the Flood and storm tide hazard overlay code is to:

- (a) implement the policy direction in the Strategic Framework, in particular:
 - (i) Theme 1 Settlement pattern: Element 3.4.7 Mitigation of hazards;
 - (ii) Theme 6 Infrastructure and transport: Element 3.9.2 Energy.
- (b) enable an assessment of whether development is suitable on land within the Flood and storm tide hazard sub-categories.

The purpose of the code will be achieved through the following overall outcomes:

- (a) development siting, layout and access responds to the risk of the natural hazard and minimises risk to personal safety;
- (b) development achieves an acceptable or tolerable risk level, based on a fit for purpose risk assessment;
- (c) the development is resilient to natural hazard events by ensuring siting and design accounts for the potential risks of natural hazards to property;
- (d) the development supports, and does not unduly burden disaster management response or recovery capacity and capabilities;
- (e) the development directly, indirectly and cumulatively avoids an unacceptable increase in severity of the natural hazards and does not significantly increase the potential for damage on site or to other properties;
- (f) the development avoids the release of hazardous materials as a result of a natural hazard event;
- (g) natural processes and the protective function of landforms and/or vegetation are maintained in natural hazard areas;
- (h) community infrastructure is located and designed to maintain the required level of functionality during and immediately after a hazard event.

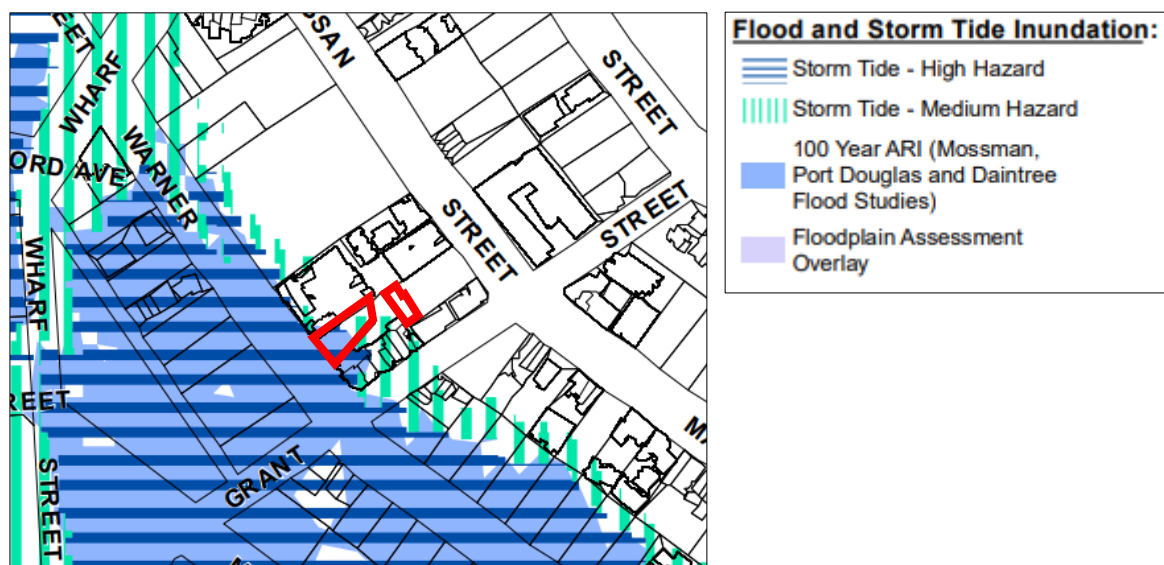


Figure 11: Extract from Flood and Storm Tide Inundation Overlay Map

Table 8.2.4.3.a – Flood and storm tide hazards overlay code –assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For assessable development and self-assessable development		
PO1 Development is located and designed to: ensure the safety of all persons; minimise damage to the development and contents of buildings; provide suitable amenity; minimise disruption to residents, recovery time, and rebuilding or restoration costs after inundation events. Note – For assessable development within the flood plain	AO1.1 Development is sited on parts of the land that is not within the Flood and Storm tide hazards overlay maps contained in Schedule 2; or For dwelling houses, AO1.2	Complies with Performance Outcomes The main development site (20 Warner St) is included in the medium and high storm tide hazard area, as well as partially within the 100 year ARI. Similar conditions exist on adjoining developed properties. The building will be designed to meet acceptable flood immunity. The second part of the site is constructed with carparking and is above the identified flood area.

Performance outcomes	Acceptable outcomes	Applicant response
assessment sub-category, a flood study by a suitably qualified professional is required to identify compliance with the intent of the acceptable outcome.	<p>Development within the Flood and Storm Tide hazards overlay maps (excluding the Flood plain assessment sub-category) is designed to provide immunity to the Defined Inundation Event as outlined within Table 8.2.4.3.b plus a freeboard of 300mm.</p> <p>AO1.3 New buildings are: (a) not located within the overlay area; (b) located on the highest part of the site to minimise entrance of flood waters; (c) provided with clear and direct pedestrian and vehicle evacuation routes off the site.</p> <p>AO1.4 In non urban areas, buildings and infrastructure are set back 50 metres from natural riparian corridors to maintain their natural function of reducing velocity of floodwaters.</p>	
For assessable development		
<p>PO2 The development is compatible with the level of risk associated with the natural hazard.</p>	<p>AO2 The following uses are not located in land inundated by the Defined Flood Event (DFE) / Storm tide: (a) Retirement facility; (b) Community care facility; (c) Child care centre.</p>	<p>Complies The development does not include the uses listed.</p>
<p>PO3 Development siting and layout responds to flooding potential and maintains personal safety</p>	<p>For Material change of use</p> <p>AO3.1</p>	<p>Complies The development includes a number of areas above the highest known flood inundation level which can</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>New buildings are: (d) not located within the overlay area; (e) located on the highest part of the site to minimise entrance of flood waters; (f) provided with clear and direct pedestrian and vehicle evacuation routes off the site.</p> <p>or</p> <p>A03.2 The development incorporates an area on site that is at least 300mm above the highest known flood inundation level with sufficient space to accommodate the likely population of the development safely for a relatively short time until flash flooding subsides or people can be evacuated.</p> <p>or</p> <p>A03.3 Where involving an extension to an existing dwelling house that is situated below DFE /Storm tide, the maximum size of the extension does not exceed 70m² gross floor area.</p> <p>Note – If part of the site is outside the Hazard Overlay area, this is the preferred location of all buildings.</p>	<p>safely accommodate staff and guests in a flood event.</p> <p>The ground floor of the hotel (reception / café) will have a FFL of 3.2 RL, with the carparking area a minimum of RL2.65. This is considered appropriate for the site and proposed use. This matter is further discussed in section 2.3.</p>
	<p>For Reconfiguring a lot</p> <p>A03.4 Additional lots: (a) are not located in the hazard overlay area; or</p>	<p>Not applicable</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>(b) are demonstrated to be above the flood level identified for the site.</p> <p>Note - If part of the site is outside the Hazard Overlay area, this is the preferred location for all lots (excluding park or other open space and recreation lots).</p> <p>Note – Buildings subsequently developed on the lots will need to comply with the relevant building assessment provisions under the Building Act 1975.</p> <p>A03.5 Road and/or pathway layout ensures residents are not physically isolated from adjacent flood free urban areas and provides a safe and clear evacuation route path:</p> <p>(a) by locating entry points into the reconfiguration above the flood level and avoiding culs-de-sac or other non-permeable layouts; and</p> <p>(b) by direct and simple routes to main carriageways.</p>	

Performance outcomes	Acceptable outcomes	Applicant response
	<p>A03.6 Signage is provided on site (regardless of whether the land is in public or private ownership) indicating the position and path of all safe evacuation routes off the site and if the site contains, or is within 100m of a floodable waterway, hazard warning signage and depth indicators are also provided at key hazard points, such as at floodway crossings or entrances to low-lying reserves.</p> <p>Or</p> <p>A03.7 There is no intensification of residential uses within the flood affected areas on land situated below the DFE/Storm tide.</p>	Will be complied with
<p>PO4 Development is resilient to flood events by ensuring design and built form account for the potential risks of flooding.</p>	<p>For Material change of use (Residential uses)</p> <p>A04.1 The design and layout of buildings used for residential purposes minimise risk from flooding by providing:</p> <p>(a) parking and other low intensive, nonhabitable uses at ground level;</p> <p>Note - The high-set 'Queenslander' style house is a resilient low-density housing solution in floodplain areas. Higher density residential development should ensure only nonhabitable rooms (e.g. garages, laundries) are located on the ground floor.</p>	Complies
	<p>For Material change of use (Non-residential uses)</p> <p>A04.2 Non residential buildings and structures allow for the flow through of flood waters on the ground floor.</p>	Not applicable

Performance outcomes	Acceptable outcomes	Applicant response
	<p>Note - Businesses should ensure that they have the necessary contingency plans in place to account for the potential need to relocate property prior to a flood event (e.g. allow enough time to transfer stock to the upstairs level of a building or off site).</p> <p>Note - The relevant building assessment provisions under the Building Act 1975 apply to all building work within the Hazard Area and need to take into account the flood potential within the area.</p>	
	<p>AO4.3 Materials are stored on-site:</p> <ul style="list-style-type: none"> (a) are those that are readily able to be moved in a flood event; (b) where capable of creating a safety hazard by being shifted by flood waters, are contained in order to minimise movement in times of flood. <p>Notes –</p> <ul style="list-style-type: none"> (a) Businesses should ensure that they have the necessary contingency plans in place to account for the potential need to relocate property prior to a flood event (e.g. allow enough time to transfer stock to the upstairs level of a building or off site). (b) Queensland Government Fact Sheet 'Repairing your House after a Flood' provides information about water resilient products and building techniques. 	Will be complied with
<p>PO5 Development directly, indirectly and cumulatively avoids any increase in water flow velocity or flood level and does not increase the potential flood damage either on site or on other properties.</p> <p>Note – Berms and mounds are considered to be an undesirable built form outcome and are not supported.</p>	<p>For Operational works AO5.1 Works in urban areas associated with the proposed development do not involve:</p> <ul style="list-style-type: none"> (a) any physical alteration to a watercourse or floodway including vegetation clearing; or (b) a net increase in filling (including berms and mounds). 	Will be complied with

Performance outcomes	Acceptable outcomes	Applicant response
	<p>A05.2 Works (including buildings and earthworks) in non urban areas either:</p> <ul style="list-style-type: none"> (a) do not involve a net increase in filling greater than 50m³ ; or (b) do not result in any reductions of on-site flood storage capacity and contain within the subject site any changes to depth/duration/velocity of flood waters; or (c) do not change flood characteristics outside the subject site in ways that result in: <ul style="list-style-type: none"> (i) loss of flood storage; (ii) loss of/changes to flow paths; (iii) acceleration or retardation of flows or any reduction in flood warning times elsewhere on the flood plain. 	
	<p>For Material change of use</p> <p>A05.3 Where development is located in an area affected by DFE/Storm tide, a hydraulic and hydrology report, prepared by a suitably qualified professional, demonstrates that the development maintains the flood storage capacity on the subject site; and</p> <ul style="list-style-type: none"> (g) does not increase the volume, velocity, concentration of flow path alignment of stormwater flow across sites upstream, downstream or in the general vicinity of the subject site; and (h) does not increase ponding on sites upstream, downstream or in the general vicinity of the 	<p>Complies with performance outcomes The development site lies at the outer edge of storm tide hazard and 100 year ARI. No filling is required for the development. Therefore, development of the site will not significantly affect the hydrology of storm tide or flood.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>subject site.</p> <p>For Material change of use and Reconfiguring a lot A05.4 In non urban areas, buildings and infrastructure are set back 50 metres from natural riparian corridors to maintain their natural function of reducing velocity of floodwaters.</p> <p>Note – Fences and irrigation infrastructure (e.g. irrigation tape) in rural areas should be managed to minimise adverse the impacts that they may have on downstream properties in the event of a flood.</p>	<p>Not applicable The development is within an urban area.</p>
<p>PO6 Development avoids the release of hazardous materials into floodwaters.</p>	<p>For Material change of use A06.1 Materials manufactured or stored on site are not hazardous or noxious, or comprise materials that may cause a detrimental effect on the environment if discharged in a flood event;</p> <p>Or</p> <p>A06.2 If a DFE level is adopted, structures used for the manufacture or storage of hazardous materials are: (a) located above the DFE level; or (b) designed to prevent the intrusion of floodwaters.</p>	<p>Will be complied with No hazardous or noxious materials will be stored on site in the areas affected by flood.</p>
	<p>A06.3 Infrastructure is designed and constructed to resist hydrostatic and hydrodynamic forces as a result of inundation by the DFE.</p>	<p>Will be complied with</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>AO6.4 If a flood level is not adopted, hazardous materials and their manufacturing equipment are located on the highest part of the site to enhance flood immunity and designed to prevent the intrusion of floodwaters.</p> <p>Note – Refer to Work Health and Safety Act 2011 and associated Regulation and Guidelines, the Environmental Protection Act 1994 and the relevant building assessment provisions under the Building Act 1975 for requirements related to the manufacture and storage of hazardous materials.</p>	Not applicable
<p>PO7 The development supports, and does not unduly burden, disaster management response or recovery capacity and capabilities.</p>	<p>AO7 Development does not:</p> <ul style="list-style-type: none"> (a) increase the number of people calculated to be at risk of flooding; (b) increase the number of people likely to need evacuation; (c) shorten flood warning times; and (d) impact on the ability of traffic to use evacuation routes, or unreasonably increase traffic volumes on evacuation routes. 	<p>Complies with Performance Outcomes The proposal represents infill development, and is consistent with surrounding development. Port Douglas is well serviced by emergency services. The proposed use will not unduly burden disaster management response or recovery capacity and capabilities.</p>
<p>PO8 Development involving community infrastructure:</p> <ul style="list-style-type: none"> (a) remains functional to serve community need during and immediately after a flood event; (b) is designed, sited and operated to avoid adverse impacts on the community or environment due to impacts of flooding on infrastructure, facilities or access and egress routes; (c) retains essential site access during a flood 	<p>AO8.1 The following uses are not located on land inundated during a DFE/Storm tide:</p> <ul style="list-style-type: none"> (a) community residence; and (b) emergency services; and (c) residential care facility; and (d) utility installations involving water and sewerage treatment plants; and (e) storage of valuable records or items of historic or cultural significance (e.g. archives, 	<p>Not applicable The proposed development does not involve community infrastructure or include any of the uses listed.</p>

Performance outcomes	Acceptable outcomes	Applicant response
<p>event;</p> <p>(d) is able to remain functional even when other infrastructure or services may be compromised in a flood event.</p>	<p>museums, galleries, libraries).</p> <p>Or</p> <p>A08.2</p> <p>The following uses are not located on land inundated during a 1% AEP flood event:</p> <p>(a) community and cultural facilities, including facilities where an education and care service under the Education and care Services National law (Queensland) is operated or child care service under the Child Care Act 2002 is conducted,</p> <p>(b) community centres;</p> <p>(c) meeting halls;</p> <p>(d) galleries;</p> <p>(e) libraries.</p> <p>The following uses are not located on land inundated during a 0.5% AEP flood event.</p> <p>(a) emergency shelters;</p> <p>(b) police facilities;</p> <p>(c) sub stations;</p> <p>(d) water treatment plant.</p> <p>The following uses are not located on land inundated during a 0.2% AEP flood event:</p> <p>(a) correctional facilities;</p> <p>(b) emergency services;</p> <p>(c) power stations;</p> <p>(d) major switch yards.</p> <p>and/or</p>	

Performance outcomes	Acceptable outcomes	Applicant response
	<p>A08.3 The following uses have direct access to low hazard evacuation routes as defined in Table 8.2.4.3.c:</p> <ul style="list-style-type: none"> (a) community residence; and (b) emergency services; and (c) hospitals; and (d) residential care facility; and (e) sub stations; and (f) utility installations involving water and sewerage treatment plants. <p>A08.4 Any components of infrastructure that are likely to fail to function or may result in contamination when inundated by flood, such as electrical switch gear and motors, telecommunications connections, or water supply pipeline air valves are:</p> <ul style="list-style-type: none"> (a) located above DFE/Storm tide or the highest known flood level for the site; (b) designed and constructed to exclude floodwater intrusion / infiltration. <p>A08.5 Infrastructure is designed and constructed to resist hydrostatic and hydrodynamic forces as a result of inundation by a flood.</p>	

8.2.10 Transport network overlay code

The purpose of the Transport network overlay code is to:

- (a) implement the policy direction of the Strategic Framework, in particular:
 - (i) Theme 1: Settlement pattern Element 3.4.2 Urban settlement, Element 3.4.3 Activity centres;
 - (ii) Theme 6: Infrastructure and transport Element 3.9.4 Transport;
- (b) enable an assessment of whether development is suitable on land within the Transport network overlay.

The purpose of the code will be achieved through the following overall outcomes:

- (a) development provides for transport infrastructure (including active transport infrastructure);
- (b) development contributes to a safe and efficient transport network;
- (c) development supports the existing and future role and function of the transport network;
- (d) development does not compromise the safety and efficiency of major transport infrastructure and facilities.

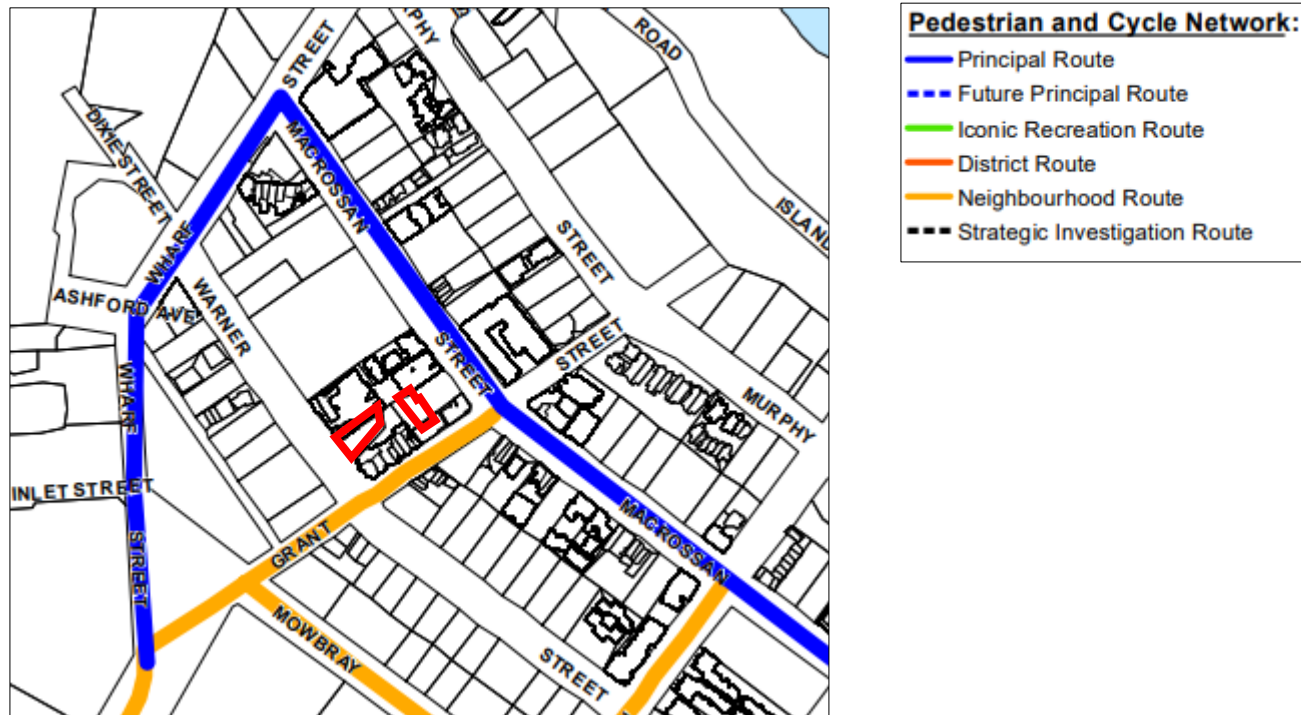


Figure 12: Extract from Transport Network (Pedestrian and Cycle) Overlay Map

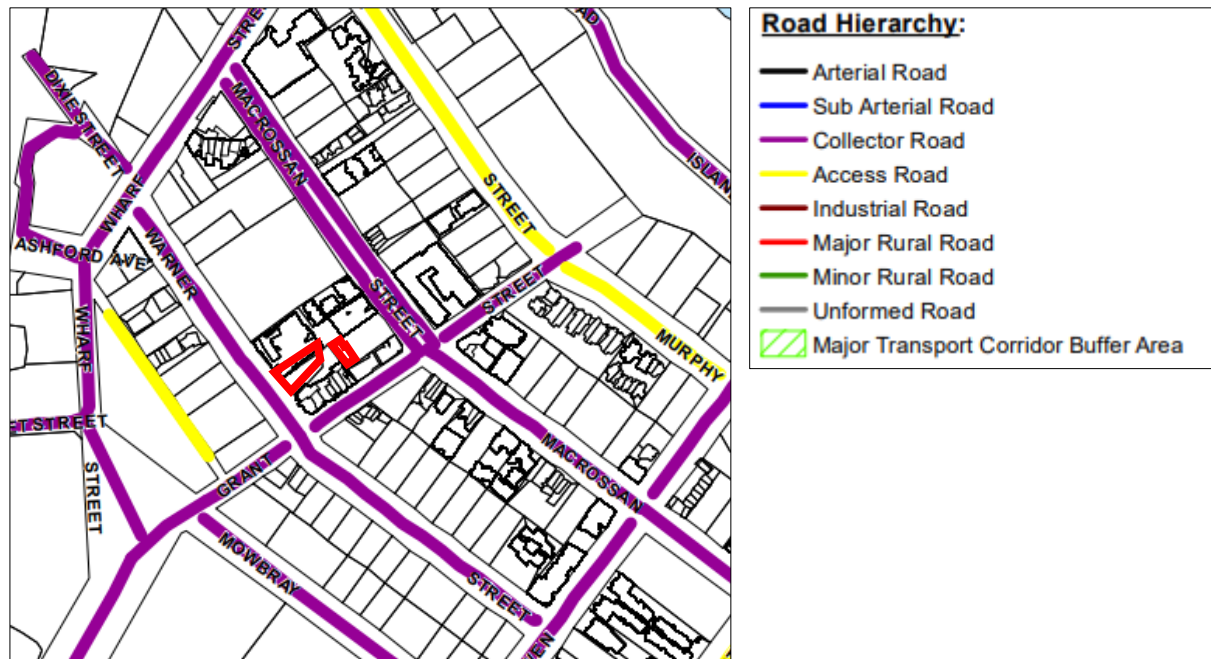


Figure 13: Extract from Transport Network (Road Hierarchy) Overlay Map

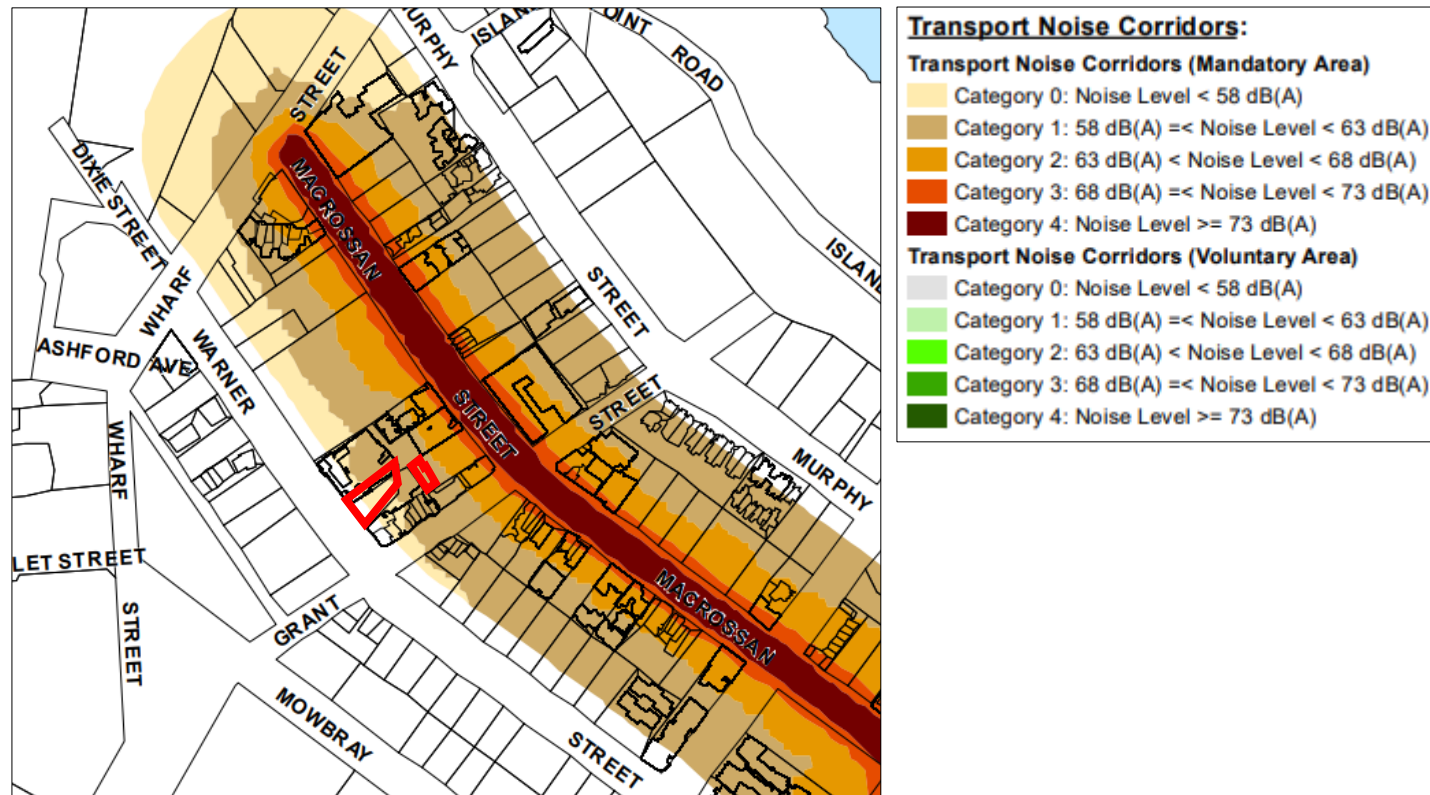


Figure 14: Extract from Transport Network Overlay Map 1:15,000 Map

Table 8.2.10.3.a – Transport network overlay code – assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For assessable development		
PO1 Development supports the road hierarchy for the region. Note -A Traffic impact assessment report prepared in accordance with Planning scheme policy SC6.10 - Parking and access is one way to demonstrate achievement of the Performance Outcomes.	AO1.1 Development is compatible with the intended role and function of the transport network as identified on the Transport network overlay maps contained in Schedule 2.	Complies Warner Street is a collector road, which supports the type and scale of the proposed development.
	AO1.2 Development does not compromise the safety and efficiency of the transport network.	Complies Access to the development site is via an existing crossover and shared access easement. The development will not compromise the safety and efficiency of the transport network.
	AO1.3 Development is designed to provide access via the lowest order road, where legal and practicable access can be provided to that road.	Not applicable The site is only accessible from Warner Street.
PO2 Transport infrastructure is provided in an integrated and timely manner. Note - A Traffic impact assessment report prepared in accordance with Planning scheme policy SC6.10 - Parking and access is one way to demonstrate achievement of the Performance Outcomes.	AO2 Development provides infrastructure (including improvements to existing infrastructure) in accordance with: (a) the Transport network overlay maps contained in Schedule 2; (b) any relevant Local Plan. Note – The Translink Public Transport Infrastructure Manual provides guidance on the design of public transport facilities.	Not applicable Access to the development site is via an existing crossover and shared access easement. The development will not generate the need for additional infrastructure.
PO3 Development involving sensitive land uses within a major transport corridor buffer area is located,	AO3 No acceptable outcomes are prescribed.	Will be complied with The primary development site is located within Category 0 and partially within Category 1. The

Performance outcomes	Acceptable outcomes	Applicant response
designed and maintained to avoid or mitigate adverse impacts on amenity for the sensitive land use.	Note – Part 4.4 of the Queensland Development Code provides requirements for residential building design in a designated transport noise corridor.	building will be designed in accordance with the Queensland Development Code.
PO4 Development does not compromise the intended role and function or safety and efficiency of major transport corridors. Note - A Traffic impact assessment report prepared in accordance with Planning scheme policy SC6.10 - Parking and access is one way to demonstrate achievement of the Performance Outcomes.	AO4.1 Development is compatible with the role and function (including the future role and function) of major transport corridors.	Complies The development site does not directly access a major transport corridor.
	AO4.2 Direct access is not provided to a major transport corridor where legal and practical access from another road is available.	Complies
	AO4.3 Intersection and access points associated with major transport corridors are located in accordance with: (a) the Transport network overlay maps contained in Schedule 2; and (b) any relevant Local Plan.	Complies
	AO4.4 The layout of development and the design of the associated access is compatible with existing and future boundaries of the major transport corridor or major transport facility.	Complies The development site does not access a major transport corridor.
PO5 Development retains and enhances existing vegetation between a development and a major transport corridor, so as to provide screening to potential noise, dust, odour and visual impacts emanating from the corridor.	AO5 No acceptable outcomes are prescribed.	Complies Existing vegetation between the site and major transport corridor will be retained.

Performance outcomes	Acceptable outcomes	Applicant response
Pedestrian and cycle network		
PO6 Lot reconfiguration assists in the implementation of the pedestrian and cycle movement network to achieve safe, attractive and efficient pedestrian and cycle networks.	AO6.1 Where a lot is subject to, or adjacent to an element of the pedestrian and cycle Movement network (identified on the Transport network overlay maps contained in Schedule 2) the specific location of this element of the pedestrian and cycle network is incorporated in the design of the lot layout.	Not applicable
	AO6.2 The element of the pedestrian and cycle network is constructed in accordance with the Design Guidelines set out in Sections D4 and D5 of the Planning scheme policy SC6.5 – FNQROC Regional Development Manual.	Not applicable

9.3.13 Multiple dwelling, short term accommodation and retirement facility code

The purpose of the Multiple dwelling, short term accommodation and retirement facility code is to assess the suitability of development to which this code applies.

The purpose of the code will be achieved through the following overall outcomes:

- (a) development is compatible with and complementary to surrounding development, with regard to scale, bulk, and streetscape patterns;
- (b) master planning is undertaken for larger developments to ensure connectivity and integration with adjoining uses and the wider neighbourhood;
- (c) development does not adversely impact on the natural features on the site;
- (d) the design of development creates a pleasant living environment and is appropriate for the tropical climate of the region;
- (e) the impacts of development on adjoining premises are managed.

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable development		
PO1 The site has sufficient area and frontage to: <ul style="list-style-type: none"> (a) accommodate the scale and form of buildings considering site features; (b) achieve communal open space areas and private outdoor spaces; (c) deliver viable areas of deep planting and landscaping to retain vegetation and protect or establish tropical planting; (d) achieve safe and convenient vehicle and pedestrian access; (e) accommodate on-site car parking and manoeuvring for residents, visitors and service 	AO1.1 The site has a minimum area of 1000m ² . AO1.2 The site has a minimum frontage of 25 metres	Complies with Performance Outcomes The primary development site has an area of 610m ² with a 20m frontage to Warner Street. With the second part, the total area is 853m ² . However, it also has a shared access easement along the side boundary, which provides additional area for driveway access. The site is sufficient in size to accommodate the proposal, making the best use of land. A number of easements exist to the rear of the property, which will retain mature vegetation. The site has a suitable frontage to accommodate the proposed use.

Performance outcomes	Acceptable outcomes	Applicant response								
providers.										
PO2 Development for large-scale multiple dwellings, short term accommodation and retirement villages contributes to the neighbourhood structure and integrates with the existing neighbourhood through: (a) the establishment and extension of public streets and pathways; (b) the provision of parks and other public spaces as appropriate to the scale of the development; (c) inclusion of a mix of dwelling types and tenures and forms; (d) buildings that address the street; (e) building height and setback transitions to adjoining development of a lower density or scale.	AO2 Development on a site 5,000m ² or greater is in accordance with a structure plan. Note – Guidance on preparing a structure plan is provided within Planning scheme policy SC6.14 – Structure planning.	Not applicable								
PO3 Development ensures that the proportion of buildings to open space is: (a) in keeping with the intended form and character of the local area and immediate streetscape; (b) contributes to the modulation of built form; (c) supports residential amenity including access to breezes, natural light and sunlight; (d) supports outdoor tropical living; (e) provides areas for deep tropical planting and / or for the retention of mature vegetation.	AO3.1 The site cover is not more than 40%.	Complies Site coverage requirements are stated in Local Area Plan of 80%. Site coverage of the proposed development is less than 80% over the total site. The development offers the following attributes: <ul style="list-style-type: none">the adjoining easements provide for the retention of mature trees and open spaces around the building, ensuring the form and scale of the proposed development is consistent with the urban character of the area;When viewed from Warner Street, the development will present a consistent urban streetscape, in keeping with adjoining								
	AO3.2 The development has a gross floor area of not more than: <table><thead><tr><th>Zone</th><th>Maximum GFA</th></tr></thead><tbody><tr><td>Low-medium density residential</td><td>0.8 x site area</td></tr><tr><td>Medium density residential</td><td>1.2 x site area</td></tr><tr><td>Tourist accommodation</td><td>1.2 x site area</td></tr><tr><td>All other zones</td><td>No acceptable outcome specified</td></tr></tbody></table>		Zone	Maximum GFA	Low-medium density residential	0.8 x site area	Medium density residential	1.2 x site area	Tourist accommodation	1.2 x site area
Zone	Maximum GFA									
Low-medium density residential	0.8 x site area									
Medium density residential	1.2 x site area									
Tourist accommodation	1.2 x site area									
All other zones	No acceptable outcome specified									

Performance outcomes	Acceptable outcomes	Applicant response
		<p>developments.</p> <ul style="list-style-type: none"> The building will enjoy access to breezes, natural light and offers substantial private outdoor spaces for each room, and the design of the internal spaces promotes tropical living. The modern approach to vertical planting will ensure the tropical character of Port Douglas is reflected and the high quality of building design will make a positive contribution to the streetscape.
PO4 Development is sited so that the setback from boundaries: <ul style="list-style-type: none"> (a) provides for natural light, sunlight and breezes; (b) minimises the impact of the development on the amenity and privacy of neighbouring residents; (c) provides for adequate landscaping. 	AO4.1 Buildings and structures are set back not less than 6 metres from a road frontage.	Complies with Performance Outcomes The development is built to the property boundaries, in keeping with adjoining properties. The design of the building and the location of the easements to the side and rear, provide for natural light, sunlight and breezes to access the development. The style of development is similar to neighbouring Mantra developments, and does not adversely affect the amenity and privacy of adjoining properties.
	AO4.2 Buildings and structures are setback not less than 4 metres to the rear boundary.	
	AO4.3 The side boundary setback for buildings and structures is: <ul style="list-style-type: none"> (a) for buildings up to 2 storeys not less than 2.5 metres for the entire building; (b) for buildings up to 3 storeys not less than 3.5 metres for the entire building. 	
PO5 Building depth and form must be articulated to <ul style="list-style-type: none"> (a) ensure that the bulk of the development is in keeping with the form and character intent of the area; (b) provide adequate amenity for residents in terms 	AO5.1 <ul style="list-style-type: none"> (a) The maximum length of a wall in any direction is 30 metres with substantial articulation provided every 15 metres. (b) The minimum distance between buildings on a site is not less than 6 metres; 	Complies with Performance Outcomes The elevations of the proposed building are substantially articulated with balconies and vertical planting. The development has been designed to be in keeping with the form and character of the area. The design of the building and the location of

Performance outcomes	Acceptable outcomes	Applicant response
<p>of natural light and ventilation.</p> <p>Note – Planning scheme policy SC6.1 – Building design and architectural elements provides guidance on reducing building bulk</p>	<p>AO5.2 The length of any continuous eave line does not exceed 18 metres.</p>	<p>the easements to the side and rear, provide for natural light, sunlight and breezes to access the development.</p>
<p>PO6 Development reduces the appearance of building bulk, ensures a human-scale, demonstrates variations in horizontal and vertical profile and supports streetscape character.</p>	<p>AO6.1 Development incorporates a number of the following design elements: (a) balconies; (b) verandahs (c) terraces; (d) recesses.</p>	<p>Complies The development incorporates balconies for each room and incorporates vertical planting to provide articulation to facades.</p>
	<p>AO6.2 Development reduces building bulk by: (a) variation in building colours, materials and textures; (b) the use of curves, recesses, projections or variations in plan and elevation; (c) recession and projection of rooflines and the inclusion of interesting roof forms, such as cascading roof levels, gables, skillions or variations in pitch; (d) use of sun-shading devices and other façade features; (e) use of elements at a finer scale than the main structural framing of the building.</p>	<p>Complies The development incorporates a number of architectural elements to reduce the bulk of the building, including:</p> <ul style="list-style-type: none"> • Variation to the external appearance of the building will be provided by the vertical landscape elements incorporated into the building. • The building has been designed to a high quality and will contribute and enhance the visual amenity of the streetscape. • Incorporation of balconies to each room.
<p>PO7 Development provides a building that must define the street to facilitate casual surveillance and enhance the amenity of the street through: (a) orientation to the street;</p>	<p>AO7.1 Development provides a building that is not set back further than 2m beyond the minimum required street front setback.</p>	<p>Complies The building is built to the boundary, consistent with adjoining developments.</p>

Performance outcomes	Acceptable outcomes	Applicant response
(b) front boundary setback; (c) balconies and windows to provide overlooking and casual surveillance; (d) building entrances.	AO7.2 Development provides balconies and windows from the primary living area that face and overlook the street or public space.	Complies Balconies are located on the front façade, overlooking Warner Street.
PO8 Buildings exhibit tropical design elements to support Douglas Shire's tropical climate, character and lifestyle.	AO8.1 Development has floor to ceiling heights of 2.7 metres;	Complies Each floor has a ceiling height of 2.7m.
	AO8.2 Buildings include weather protection and sun shading to all windows to all external doors and windows of habitable rooms.	Complies Each room opens onto a covered balcony, providing weather and sun protection to habitable rooms.
	AO8.3 Development incorporates deep recesses, eaves and sun-shading devices.	Complies The facades include covered balconies.
	AO8.4 Western orientated facades are shaded using building and landscape elements, such as adjustable screens, awnings or pergolas or dense tropical planting.	Complies The front and side boundaries face west. The front façade includes deep covered balconies and vertical trellis planting to provide adequate shade to these front-facing rooms. The side boundary is partly shaded by the adjoining property, and the remainder of this façade also includes deep, covered balconies to provide sun protection.
	AO8.5 Individual dwelling units are not located on both sides of an enclosed central corridor (i.e. not double banked).	Complies with Performance Outcomes The central corridor has been designed to encourage breezes into the building, with open planters at each end. Screen doors are proposed for each room, in order to allow cross ventilation through the rooms (refer to Cross Ventilation Diagram Plan in Appendix 1). Sizeable balconies are

Performance outcomes	Acceptable outcomes	Applicant response
		provided to encourage outdoor tropical living.
PO9 Development minimises direct overlooking between buildings through appropriate building layout, location and the design of windows and balconies or screening devices. Note—Siting and building separation is used to minimise privacy screening requirements.	AO9.1 Development where the dwelling is located within 2 metres at ground level or 9 metres above ground level of a habitable room window or private open space of an existing dwelling house, ensures habitable rooms and any private outdoor spaces have: <ul style="list-style-type: none"> (a) an offset from the habitable room or private open space of the existing dwelling to limit direct outlook; or (b) sill heights a minimum of 1.5m above floor level; or (c) fixed obscure glazing in any part of the window below 1.5m above floor level; or (d) fixed external screens; or (e) in the case of screening for a ground floor level unit, fencing to a minimum 1.8m above the ground storey floor level. 	Complies with Performance Outcomes The development site adjoins two hotel developments, Mantra 'Heritage' and Mantra 'In the Village'. To the rear of the site is a new commercial development containing restaurant and shopping facilities. Fixed screens have been included to the balconies of the affected rooms to prevent direct overlooking between the proposed building and the adjoining Mantra development.
	AO9.2 Development where a direct view is available from balconies, terraces, decks or roof decks into windows of habitable rooms, balconies, terraces or decks in an adjacent existing dwelling house, is screened from floor level to a height above 1.5m above floor level.	As above
	AO9.3 Development provides screening devices that are solid translucent screens, perforated or slatted panels or fixed louvres that have a maximum of 25% openings, with a maximum opening dimension of	As above

Performance outcomes	Acceptable outcomes	Applicant response
	<p>50mm, and that are permanent and durable.</p> <p>Note—The screening device is offset a minimum of 0.3m from the wall around any window. Note—Screening devices are hinged or otherwise attached to facilitate emergency egress</p>	
<p>PO10</p> <p>Development provides accessible and functional landscaping and recreation area for the benefit of residents/guests.</p>	<p>AO10</p> <p>A minimum of 35% of the site is allocated as landscaping and recreation area.</p>	<p>Complies with Performance Outcomes</p> <p>The development concept is for a new-style boutique 'Micro Hotel'. 'Micro Hotels' is a new global trend that delivers compact hotel rooms, with the provision of communal areas on each level and a generous lobby combining as a bar / café and lounge area. The open air lounges situated on each level would be landscaped and provide semi-internal functional recreation spaces for guests.</p>
<p>PO11</p> <p>Landscaping must contribute positively to the amenity of the area, streetscape and public spaces.</p>	<p>AO11</p> <p>Development provides landscaping as follows:</p> <ul style="list-style-type: none"> (a) A dense landscape planting strip of at least 2 metres width suitable for deep planting is provided and maintained along all street frontages; (b) A dense landscape planting strip of at least 1.5 metres width suitable for deep planting is provided along all side and rear boundaries. 	<p>Complies with Performance Outcomes</p> <p>The proposed development incorporates vertical landscaping elements which is a more effective solution to an urban setting than the traditional planting buffer. The proposed vertical trellis planting will contribute to the visual amenity and tropical character of the street.</p>
<p>PO12</p> <p>The landscaping and recreation area provides for functional communal open space for all developments exceeding five dwellings on one site.</p>	<p>AO12.1</p> <p>Communal open space is provided at:</p> <ul style="list-style-type: none"> (a) a minimum of 5% of site area or 50m² whichever is the greater; and (b) a minimum dimension of 5 metres. 	<p>Complies with Performance Outcomes</p> <p>Refer to PO10 comments above.</p>
	<p>AO12.2</p> <p>Development provides communal open space that:</p> <ul style="list-style-type: none"> (a) is consolidated into one useable space; 	

Performance outcomes	Acceptable outcomes	Applicant response
	<p>(b) where communal open space exceeds 100m², the communal open space may be split into two, and so forth incrementally.</p> <p>AO12.3 Communal open space: (a) is a minimum of 50% open to the sky; (b) achieves 25% shading by trees in 5 years; (c) does not include vehicle driveways and manoeuvring; (d) does not contain surface structures such as rainwater tanks, fire hydrants, transformers or water boosters.</p> <p>AO12.4 Communal open space is designed to provide for a range of facilities, typically including some, or all, of the following elements: (a) seating; (b) barbecue; (c) play equipment; (d) swimming pool; (e) communal clothes drying; (f) vegetable garden.</p> <p>AO12.5 Development involving 5 or fewer dwellings on one lot can allocate additional private open space to a ground storey dwelling instead of providing communal open space.</p>	
<p>PO13 Development must provide attractive and functional private open space for residents and</p>	<p>AO13.1 Development provides private open space which: (a) for ground storey dwellings, comprises of a</p>	<p>Complies with Performance Outcomes Each room is provided with a sizeable balcony (ranging from 11m² - 12m²) with a minimum width</p>

Performance outcomes	Acceptable outcomes	Applicant response
guests.	minimum area of 35m ² with a minimum dimension of 3 metres; (b) for dwellings above ground storey, comprises of a balcony with minimum area of 12m ² and a minimum dimension of 3 metres.	of 3m, which is functional private open space for guests.
	AO13.2 Development provides private open space areas that are: (a) directly accessible from internal primary living area of the dwelling (not bedrooms); (b) provided with a screened area of 2m ² minimum dimension capable of screening air conditioning plant, private clothes drying etc... (c) provided with adjustable, moveable or operable privacy screening where appropriate.	Complies Balconies are located adjacent to the rooms and incorporate privacy screens.
	AO13.3 Development provides balconies that are located to the front or rear of the building except where adequate building separation can be achieved to maintain privacy.	Complies Balconies are located adjacent to the rooms and have been designed to minimise overlooking of neighbouring motel / resort developments.
	AO13.4 Where secondary balconies are provided to a side of a building for additional amenity or services, such as clothes drying or to articulate facades, the setback may be reduced to the minimum setback, but these areas are not included in the calculation of private open space requirements.	Not applicable
	AO13.5 Private open space: (a) does not include vehicle driveways and	Complies

Performance outcomes	Acceptable outcomes	Applicant response
	manoeuvring; (b) does not contain surface structures such as rainwater tanks, fire hydrants, transformers or water boosters.	
PO14 Development provides front fencing and retaining walls that must: (a) facilitate casual surveillance of the street and public space; (b) enable use of private open space; (c) assist in highlighting entrances to the property; (d) provide a positive interface to the streetscape.	AO14.1 Development ensures that, where fencing is provided, the height of any new fence located on any common boundary to a street or public space is a maximum of: (a) 1.2m, where fence construction is solid or less than 50% transparent; (b) 1.5m, where fence construction is at least 50% transparent; (c) 1.8m and solid only where the site is on an arterial road or higher order road.	Not applicable Fencing to the front boundary is not proposed.
	AO14.2 Development incorporating solid front fences or walls that front the street or other public spaces and are longer than 10m, indentations, material variation or landscaping is provided to add visual interest and soften the visual impact.	Not applicable
	AO14.3 Development for a retaining wall is: (a) stepped to minimise impact on the streetscape and pedestrian environment; (b) a maximum of 0.6m in height if directly abutting the edge of the adjoining road reserve verge	Not applicable
PO15 Development minimises light nuisances.	AO15 Outdoor lighting is in accordance with AS 4282-1997 Control of the obtrusive effects of outdoor	Will be complied with

Performance outcomes	Acceptable outcomes	Applicant response
	lighting.	
PO16 Waste and recyclable material storage areas are: (a) convenient and accessible to residents and waste and recyclable material collection services; (b) located and designed to mitigate adverse impacts: (i) within the site; (ii) on adjoining properties; (iii) to the street.	AO16 Waste and recyclable material storage areas: (a) are located on site; (b) are sited and designed to be unobtrusive and screened from view from the street frontage; (c) are imperviously sealed roofed and bunded, and contain a hose down area draining to Council's sewer network; (d) are of a sufficient size to accommodate bulk (skip) bins; (e) have appropriate access and sufficient on site manoeuvrability area for waste and recyclable material collection services. Note - The Environmental performance code contains requirements for waste and recyclable material storage.	Complies with Performance Outcome A suitable waste and recyclable material storage area is provided within the carparking area.
PO17 Development provides a secure storage area for each dwelling.	AO17 A secure storage area for each dwelling: (a) is located to enable access by a motor vehicle or be near to vehicle parking; (b) has a minimum space of 3.5m ² per dwelling; (c) has a minimum height of 2 metres; (d) is weather proof; (e) is lockable; (f) has immunity to the 1% AEP inundation event. Note – A cupboard within a unit will not satisfy this requirement.	Complies with the Purpose of the Code The requirement to provide secure storage areas for hotel rooms is not consistent with world-wide trends. Luggage storage is provided within the rooms or at reception. Such a requirement is useful only to permanent residential dwellings. The development has been cleverly designed to provide a viable commercial option for this constrained, infill site. The design of the development creates a pleasant living environment for short-term guests and incorporates elements that are appropriate for the tropical climate of the region.
Additional requirements for a Retirement facility PO18 – PO21 not applicable to this development		

9.4.1 Access, parking and servicing code

The purpose of the Access, parking and servicing code is to assess the suitability of access, parking and associated servicing aspects of a development.

The purpose of the code will be achieved through the following overall outcomes:

- (a) sufficient vehicle parking is provided on-site to cater for all types of vehicular traffic accessing and parking on-site, including staff, guests, patrons, residents and short term delivery vehicles;
- (b) sufficient bicycle parking and end of trip facilities are provided on-site to cater for customer and service staff;
- (c) on-site parking is provided so as to be accessible and convenient, particularly for any short term uses;
- (d) development provides walking and cycle routes through the site which link the development to the external walking and cycling network;
- (e) the provision of on-site parking, loading / unloading facilities and the provision of access to the site do not impact on the efficient function of street network or on the area in which the development is located;
- (f) new vehicular access points are safely located and are not in conflict with the preferred ultimate streetscape character and local character and do not unduly disrupt any current or future on-street parking arrangements.

Table 9.4.1.3.a – Access, parking and servicing code – assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable and assessable development		
PO1 Sufficient on-site car parking is provided to cater for the amount and type of vehicle traffic expected to be generated by the use or uses of the site, having particular regard to: <ul style="list-style-type: none"> (a) the desired character of the area; (b) the nature of the particular use and its specific characteristics and scale; (c) the number of employees and the likely number of visitors to the site; 	AO1.1 The minimum number of on-site vehicle parking spaces is not less than the number prescribed in Table 9.4.1.3.b for that particular use or uses. Note - Where the number of spaces calculated from the table is not a whole number, the number of spaces provided is the next highest whole number.	Complies with Performance Outcomes The carparking required under the planning scheme is for 18 spaces. The proposal provides 10 undercover carspaces and 7 carspaces on the second part of the site, providing a total of 17 carspaces for the hotel. Given the tourist nature of the use, 17 spaces is considered sufficient to cater for the demand generated by the development. This matter is further discussed in section 2.3.
	AO1.2	Complies

Performance outcomes	Acceptable outcomes	Applicant response
(d) the level of local accessibility; (e) the nature and frequency of any public transport serving the area; (f) whether or not the use involves the retention of an existing building and the previous requirements for car parking for the building (g) whether or not the use involves a heritage building or place of local significance; (h) whether or not the proposed use involves the retention of significant vegetation.	Car parking spaces are freely available for the parking of vehicles at all times and are not used for external storage purposes, the display of products or rented/sub-leased.	The carparking on site is dedicated solely for carparking purposes.
	AO1.3 Parking for motorcycles is substituted for ordinary vehicle parking to a maximum level of 2% of total ordinary vehicle parking.	Not applicable
	AO1.4 For parking areas exceeding 50 spaces parking, is provided for recreational vehicles as a substitute for ordinary vehicle parking to a maximum of 5% of total ordinary vehicle parking rate.	Not applicable
PO2 Vehicle parking areas are designed and constructed in accordance with relevant standards.	AO2 Vehicle parking areas are designed and constructed in accordance with Australian Standard: (a) AS2890.1; (b) AS2890.3; (c) AS2890.6.	Can be complied with
PO3 Access points are designed and constructed: (a) to operate safely and efficiently; (b) to accommodate the anticipated type and volume of vehicles (c) to provide for shared vehicle (including cyclists) and pedestrian use, where appropriate; (d) so that they do not impede traffic or pedestrian movement on the adjacent road	AO3.1 Access is limited to one access cross over per site and is an access point located, designed and constructed in accordance with: (a) Australian Standard AS2890.1; (b) Planning scheme policy SC6.5 – FNQROC Regional Development Manual - access crossovers.	Complies The development does not propose any changes to the existing access point from Warner Street.
	AO3.2 Access, including driveways or access crossovers:	Not applicable The development does not propose any changes to

Performance outcomes	Acceptable outcomes	Applicant response
<p>area;</p> <p>(e) so that they do not adversely impact upon existing intersections or future road or intersection improvements;</p> <p>(f) so that they do not adversely impact current and future on-street parking arrangements;</p> <p>(g) so that they do not adversely impact on existing services within the road reserve adjacent to the site;</p> <p>(h) so that they do not involve ramping, cutting of the adjoining road reserve or any built structures (other than what may be necessary to cross over a stormwater channel).</p>	<p>(a) are not placed over an existing:</p> <ul style="list-style-type: none"> (i) telecommunications pit; (ii) stormwater kerb inlet; (iii) sewer utility hole; (iv) water valve or hydrant. <p>(b) are designed to accommodate any adjacent footpath;</p> <p>(c) adhere to minimum sight distance requirements in accordance with AS2980.1.</p>	<p>the existing access point from Warner Street.</p>
	<p>AO3.3 Driveways are:</p> <ul style="list-style-type: none"> (a) designed to follow as closely as possible to the existing contours, but are no steeper than the gradients outlined in Planning scheme policy SC6.5 – FNQROC Regional Development Manual; (b) constructed such that where there is a grade shift to 1 in 4 (25%), there is an area with a grade of no more than 1 in 6 (16.6%) prior to this area, for a distance of at least 5 metres; (c) on gradients greater than 1 in 6 (16.6%) driveways are constructed to ensure the cross-fall of the driveway is one way and directed into the hill, for vehicle safety and drainage purposes; (d) constructed such that the transitional change in grade from the road to the lot is fully contained within the lot and not within the road reserve; (e) designed to include all necessary associated drainage that intercepts and directs storm water runoff to the storm water drainage 	<p>Not applicable The development does not propose any changes to the existing driveway access. A reciprocal access easement will be created to access the new Macrossan Street lot carparking area.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	system.	
	A03.4 Surface construction materials are consistent with the current or intended future streetscape or character of the area and contrast with the surface construction materials of any adjacent footpath.	Not applicable
P04 Sufficient on-site wheel chair accessible car parking spaces are provided and are identified and reserved for such purposes.	A04 The number of on-site wheel chair accessible car parking spaces complies with the rates specified in AS2890 Parking Facilities.	Can be complied with
P05 Access for people with disabilities is provided to the building from the parking area and from the street.	A05 Access for people with disabilities is provided in accordance with the relevant Australian Standard.	Can be complied with where relevant Access for people with disabilities can be achieved from the carpark to the proposed new building.
P06 Sufficient on-site bicycle parking is provided to cater for the anticipated demand generated by the development.	A06 The number of on-site bicycle parking spaces complies with the rates specified in Table 9.4.1.3.b.	Complies Sufficient space is available on the site to accommodate bicycle parking.

Performance outcomes	Acceptable outcomes	Applicant response
PO7 Development provides secure and convenient bicycle parking which: <ul style="list-style-type: none"> (a) for visitors is obvious and located close to the building's main entrance; (b) for employees is conveniently located to provide secure and convenient access between the bicycle storage area, end-of-trip facilities and the main area of the building; (c) is easily and safely accessible from outside the site. 	A07.1 Development provides bicycle parking spaces for employees which are co-located with end-of-trip facilities (shower cubicles and lockers); A07.2 Development ensures that the location of visitor bicycle parking is discernible either by direct view or using signs from the street. A07.3 Development provides visitor bicycle parking which does not impede pedestrian movement.	Complies with performance outcomes
PO8 Development provides walking and cycle routes through the site which: <ul style="list-style-type: none"> (a) link to the external network and pedestrian and cyclist destinations such as schools, shopping centres, open space, public transport stations, shops and local activity centres along the safest, most direct and convenient routes; (b) encourage walking and cycling; (c) ensure pedestrian and cyclist safety. 	AO8 Development provides walking and cycle routes which are constructed on the carriageway or through the site to: <ul style="list-style-type: none"> (a) create a walking or cycle route along the full frontage of the site; (b) connect to public transport and existing cycle and walking routes at the frontage or boundary of the site. 	Complies Walking and cycle routes exist along Warner Street.
PO9 Access, internal circulation and on-site parking for service vehicles are designed and constructed: <ul style="list-style-type: none"> (a) in accordance with relevant standards; (b) so that they do not interfere with the amenity of the surrounding area; (c) so that they allow for the safe and convenient movement of pedestrians, cyclists and other 	AO9.1 Access driveways, vehicle manoeuvring and onsite parking for service vehicles are designed and constructed in accordance with AS2890.1 and AS2890.2.	Can be complied with
	AO9.2 Service and loading areas are contained fully within the site.	Complies

Performance outcomes	Acceptable outcomes	Applicant response
vehicles.	AO9.3 The movement of service vehicles and service operations are designed so they: <ul style="list-style-type: none"> (a) do not impede access to parking spaces; (b) do not impede vehicle or pedestrian traffic movement. 	Complies The site is constrained and could not provide for access or manoeuvrability of a LRV service vehicle. It is noted that the existing hotels on either side of the development site do not meet this requirement. However, the hotel can be adequately serviced by smaller vehicles which can access the site without interfering with the amenity or affect the safety of users.
PO10 Sufficient queuing and set down areas are provided to accommodate the demand generated by the development.	AO10.1 Development provides adequate area on-site for vehicle queuing to accommodate the demand generated by the development where drive through facilities or drop-off/pick-up services are proposed as part of the use, including, but not limited to, the following land uses: <ul style="list-style-type: none"> (a) car wash; (b) child care centre; (c) educational establishment where for a school; (d) food and drink outlet, where including a drivethrough facility; (e) hardware and trade supplies, where including a drive-through facility; (f) hotel, where including a drive-through facility; (g) service station. 	Not applicable
	AO10.2 Queuing and set-down areas are designed and constructed in accordance with AS2890.1.	Not applicable

9.4.3 Environmental performance code

The purpose of the Environmental performance code is to ensure development is designed and operated to avoid or mitigate impacts on sensitive receiving environments.

The purpose of the code will be achieved through the following overall outcomes:

- (a) activities that have potential to cause an adverse impact on amenity of adjacent and surrounding land, or environmental harm is avoided through location, design and operation of the development;
- (b) sensitive land uses are protected from amenity related impacts of lighting, odour, airborne particles and noise, through design and operation of the development;
- (c) stormwater flowing over, captured or discharged from development sites is of a quality adequate to enter receiving waters and downstream environments;
- (d) development contributes to the removal and ongoing management of weed species.

Table 9.4.3.3.a – Environmental performance code – assessable development

Performance outcomes	Acceptable outcomes	Applicant response
Lighting		
PO1 Lighting incorporated within development does not cause an adverse impact on the amenity of adjacent uses and nearby sensitive land uses.	AO1.1 Technical parameters, design, installation, operation and maintenance of outdoor lighting comply with the requirements of Australian standard AS4282-1997 Control of the obtrusive effects of outdoor lighting.	Can be complied with
	AO1.2 Development that involves flood lighting is restricted to a type that gives no upward component of light where mounted horizontally.	Not applicable Flood lighting is not proposed.
	AO1.3 Access, car parking and manoeuvring areas are	Complies Access, parking and manoeuvring areas are

Performance outcomes	Acceptable outcomes	Applicant response
	designed to shield nearby residential premises from impacts of vehicle headlights.	buffered from neighbouring properties.
Noise		
PO2 Potential noise generated from the development is avoided through design, location and operation of the activity. Note – Planning Scheme Policy SC6.4 – Environmental management plans provides guidance on preparing a report to demonstrate compliance with the purpose and outcomes of the code.	AO2.1 Development does not involve activities that would cause noise related environmental harm or nuisance; or AO2.2 Development ensures noise does not emanate from the site through the use of materials, structures and architectural features to not cause an adverse noise impact on adjacent uses.	Complies The proposed development does not involve activities that would cause noise-related environmental harm or nuisance.
	AO2.3 The design and layout of development ensures car parking areas avoid noise impacting directly on adjacent sensitive land uses through one or more of the following: (a) car parking is located away from adjacent sensitive land uses; (b) car parking is enclosed within a building; (c) a noise ameliorating fence or structure is established adjacent to car parking areas where the fence or structure will not have a visual amenity impact on the adjoining premises; (d) buffered with dense landscaping. Editor's note - <i>The Environmental Protection (Noise) Policy 2008</i> , Schedule 1 provides guidance on acoustic quality	Complies The access and parking areas are buffered from neighbouring properties.

Performance outcomes	Acceptable outcomes	Applicant response
	objectives to ensure environmental harm (including nuisance) is avoided.	
Airborne particles and other emissions		
<p>PO3 Potential airborne particles and emissions generated from the development are avoided through design, location and operation of the activity.</p> <p>Note – Planning Scheme Policy SC6.4 – Environmental management plans provides guidance on preparing a report to demonstrate compliance with the purpose and outcomes of the code.</p>	<p>AO3.1 Development does not involve activities that will result in airborne particles or emissions being generated;</p> <p>or</p> <p>AO3.2 The design, layout and operation of the development activity ensures that no airborne particles or emissions cause environmental harm or nuisance.</p> <p>Note - examples of activities which generally cause airborne particles include spray painting, abrasive blasting, manufacturing activities and car wash facilities.</p> <p>Examples of emissions include exhaust ventilation from basement or enclosed parking structures, air conditioning/refrigeration ventilation and exhaustion.</p> <p>The <i>Environmental Protection (Air) Policy 2008</i>, Schedule 1 provides guidance on air quality objectives to ensure environmental harm (including nuisance) is avoided.</p>	<p>Complies The development does not involve activities that would result in emissions.</p>
Odours		
<p>PO4 Potential odour causing activities associated with the development are avoided through design, location and operation of the activity.</p>	<p>AO4.1 The development does not involve activities that create odorous emissions;</p>	<p>Complies The development does not involve activities that would result in emissions.</p>

Performance outcomes	Acceptable outcomes	Applicant response
Note – Planning Scheme Policy SC6.4 – Environmental management plans provides guidance on preparing a report to demonstrate compliance with the purpose and outcomes of the code.	or AO4.2 The use does not result in odour that causes environmental harm or nuisance with respect to surrounding land uses.	
Waste and recyclable material storage		
PO5 Waste and recyclable material storage facilities are located and maintained to not cause adverse impacts on adjacent uses.	AO5.1 The use ensures that all putrescent waste is stored in a manner that prevents odour nuisance and is disposed of at regular intervals.	Complies
Note – Planning Scheme Policy SC6.4 – Environmental management plans provides guidance on preparing a report to demonstrate compliance with the purpose and outcomes of the code.	AO5.2 Waste and recyclable material storage facilities are located, designed and maintained to not cause an adverse impact on users of the premises and adjacent uses through consideration of: (a) the location of the waste and recyclable material storage areas in relation to the noise and odour generated; (b) the number of receptacles provided in relation to the collection, maintenance and use of the receptacles; (c) the durability of the receptacles, sheltering and potential impacts of local climatic conditions; (d) the ability to mitigate spillage, seepage or leakage from receptacles into adjacent areas and sensitive receiving waters and environments. Editor's note - the <i>Environmental Protection (Waste Management) Policy 2008</i> provides guidance on the design of	Complies

Performance outcomes	Acceptable outcomes	Applicant response
	waste containers (receptacles) to ensure environmental harm (including nuisance) is avoided.	
Sensitive land use activities		
PO6 Sensitive land use activities are not established in areas which will receive potentially incompatible impacts on amenity from surrounding, existing development activities and land uses.	AO6.1 Sensitive land use activities are not established in areas that will be adversely impacted upon by existing land uses, activities and potential development possible in an area; or AO6.2 Sensitive land activities are located in areas where potential adverse amenity impacts mitigate all potential impacts through layout, design, operation and maintenance.	Complies The development will adjoin other accommodation facilities, and is compatible with surrounding land uses.
Stormwater quality		
PO7 The quality of stormwater flowing over, through or being discharged from development activities into watercourses and drainage lines is of adequate quality for downstream environments, with respect to: (a) the amount and type of pollutants borne from the activity; (b) maintaining natural stream flows; (c) the amount and type of site disturbance; (d) site management and control measures.	AO7.1 Development activities are designed to ensure stormwater over roofed and hard stand areas is directed to a lawful point of discharge.	Will be complied with
	AO7.2 Development ensures movement of stormwater over the site is not impeded or directed through potentially polluting activities.	Will be complied with
	AO7.3 Soil and water control measures are incorporated into the activity's design and operation to control sediment and erosion potentially entering	Will be complied with

Performance outcomes	Acceptable outcomes	Applicant response
	<p>watercourses, drainage lines and downstream receiving waters.</p> <p>Note - Planning scheme policy - FNQROC Regional Development Manual provides guidance on soil and water control measures to meet the requirements of the <i>Environmental Protection Act 1994</i>.</p> <p>During construction phases of development, contractors and builders are to have consideration in their work methods and site preparation for their environmental duty to protect stormwater quality.</p>	
Pest plants (for material change of use on vacant land over 1,000m²)		
<p>PO8 Development activities and sites provide for the removal of all pest plants and implement ongoing measures to ensure that pest plants do not reinfest the site or nearby sites.</p> <p>Editor's note - This does not remove or replace all land owner's obligations or responsibilities under the <i>Land Protection (Pest and Stock Route Management) Act 2002</i>.</p>	<p>AO8.1 The land is free of declared pest plants before development establishes new buildings, structures and practices;</p> <p>or</p> <p>AO8.2 Pest plants detected on a development site are removed in accordance with a management plan prepared by an appropriately qualified person prior to construction of buildings and structures or earthworks.</p> <p>Note - A declaration from an appropriately qualified person validates the land being free from pest plants.</p> <p>Declared pest plants include locally declared and State declared pest plants.</p>	<p>Will be complied with</p>

9.4.4 Filling and excavation code

The purpose of the Filling and excavation code is to assess the suitability of development for filling or excavation.

The purpose of the code will be achieved through the following overall outcomes:

- (a) filling or excavation does not impact on the character or amenity of the site and surrounding areas;
- (b) filling and excavation does not adversely impact on the environment;
- (c) filling and excavation does not impact on water quality or drainage of upstream, downstream or adjoining properties;
- (d) filling and excavation is designed to be fit for purpose and does not create land stability issues;
- (e) filling and excavation works do not involve complex engineering solutions.

Table 9.4.4.3.a – Filling and excavation code – for self-assessable and assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable and assessable development		
Filling and excavation - General		
PO1 All filling and excavation work does not create a detrimental impact on the slope stability, erosion potential or visual amenity of the site or the surrounding area.	AO1.1 The height of cut and/or fill, whether retained or not, does not exceed 2 metres in height. and Cuts in excess of those stated in A1.1 above are separated by benches/ terraces with a minimum width of 1.2 metres that incorporate drainage provisions and screen planting.	Complies The development does not propose any substantial filling or excavation works.
	AO1.2 Cuts are supported by batters, retaining or rock walls and associated benches/terraces are capable of supporting mature vegetation.	Not applicable Cuts, batters, berms and terraces are not required.

Performance outcomes	Acceptable outcomes	Applicant response
	A01.3 Cuts are screened from view by the siting of the building/structure, wherever possible.	Not applicable As above
	A01.4 Topsoil from the site is retained from cuttings and reused on benches/terraces.	Not applicable As above
	A01.5 No crest of any cut or toe of any fill, or any part of any retaining wall or structure is closer than 600mm to any boundary of the property, unless the prior written approval of the adjoining landowner has been obtained.	Not applicable As above
	A01.6 Non-retained cut and/or fill on slopes are stabilised and protected against scour and erosion by suitable measures, such as grassing, landscaping or other protective/aesthetic measures.	Not applicable As above
Visual Impact and Site Stability		
P02 Filling and excavation are carried out in such a manner that the visual/scenic amenity of the area and the privacy and stability of adjoining properties is not compromised.	A02.1 The extent of filling and excavation does not exceed 40% of the site area, or 500m ² whichever is the lesser, except that A02.1 does not apply to reconfiguration of 5 lots or more.	Complies The development does not require filling or excavation.
	A02.2 Filling and excavation does not occur within 2 metres of the site boundary.	

Performance outcomes	Acceptable outcomes	Applicant response
Flooding and drainage		
P03 Filling and excavation does not result in a change to the run off characteristics of a site which then have a detrimental impact on the site or nearby land or adjacent road reserves.	A03.1 Filling and excavation does not result in the ponding of water on a site or adjacent land or road reserves.	Complies Filling and excavation is not required and the construction of the new building will not result in a change to the run off characteristics of the site.
	A03.2 Filling and excavation does not result in an increase in the flow of water across a site or any other land or road reserves.	As above
	A03.3 Filling and excavation does not result in an increase in the volume of water or concentration of water in a watercourse and overland flow paths.	As above
	A03.4 Filling and excavation complies with the specifications set out in Planning Scheme Policy No SC5 – FNQROC Development Manual.	As above
Water quality		
P04 Filling and excavation does not result in a reduction of the water quality of receiving waters.	A04 Water quality is maintained to comply with the specifications set out in Planning Scheme Policy No SC5 – FNQROC Development Manual.	Will be complied with Filling and excavation is not required and the construction of the new building will not result in a change to the run off characteristics of the site or water quality of receiving waters.
Infrastructure		
P05 Excavation and filling does not impact on Public Utilities.	A05 Excavation and filling is clear of the zone of influence of public utilities.	Not applicable There are no public utilities on the site.

9.4.5 Infrastructure works code

The purpose of the Infrastructure works code is to ensure that development is safely and efficiently serviced by, and connected to, infrastructure.

The purpose of the code will be achieved through the following overall outcomes:

- (a) the standards of water supply, waste water treatment and disposal, stormwater drainage, local electricity supply, telecommunications, footpaths and road construction meet the needs of development and are safe and efficient;
- (b) development maintains high environmental standards;
- (c) development is located, designed, constructed and managed to avoid or minimise impacts arising from altered stormwater quality or flow, wastewater discharge, and the creation of non-tidal artificial waterways;
- (d) the integrity of existing infrastructure is maintained;
- (e) development does not detract from environmental values or the desired character and amenity of an area.

Table 9.4.5.3.a – Infrastructure works code –assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable and assessable development		
Works on a local government road		
PO1 Works on a local government road do not adversely impact on footpaths or existing infrastructure within the road verge and maintain the flow, safety and efficiency of pedestrians, cyclists and vehicles.	AO1.1 Footpaths/pathways are located in the road verge and are provided for the hierarchy of the road and located and designed and constructed in accordance with Planning scheme policy SC5 – FNQROC Regional Development Manual.	Complies
	AO1.2 Kerb ramp crossovers are constructed in accordance with Planning scheme policy SC 5 – FNQROC Regional Development Manual.	Not applicable Existing access driveway will be retained.

Performance outcomes	Acceptable outcomes	Applicant response
	A01.3 New pipes, cables, conduits or other similar infrastructure required to cross existing footpaths: <ul style="list-style-type: none"> (a) are installed via trenchless methods; or (b) where footpath infrastructure is removed to install infrastructure, the new section of footpath is installed to the standard detailed in the Planning scheme policy SC5 – FNQROC Regional Development Manual, and is not less than a 1.2 metre section. 	Will be complied with
	A01.4 Where existing footpaths are damaged as a result of development, footpaths are reinstated ensuring: <ul style="list-style-type: none"> (a) similar surface finishes are used; (b) there is no change in level at joins of new and existing sections; (c) new sections are matched to existing in terms of dimension and reinforcement. <p>Note – Figure 9.4.5.3.a provides guidance on meeting the outcomes.</p>	Will be complied with
	A01.5 Decks, verandahs, stairs, posts and other structures located in the road reserve do not restrict or impede pedestrian movement on footpaths or change the level of the road verges.	Not applicable
Accessibility structures		
PO2 Development is designed to ensure it is accessible for people of all abilities and accessibility features	A02.1 Accessibility structures are not located within the road reserve.	Complies

Performance outcomes	Acceptable outcomes	Applicant response
<p>do not impact on the efficient and safe use of footpaths.</p> <p>Note – Accessibility features are those features required to ensure access to premises is provided for people of all abilities and include ramps and lifts.</p>	<p>A02.2 Accessibility structures are designed in accordance with AS1428.3.</p>	Will be complied with
	<p>A02.3 When retrofitting accessibility features in existing buildings, all structures and changes in grade are contained within the boundaries of the lot and not within the road reserve.</p>	Not applicable
Water supply		
<p>PO3 An adequate, safe and reliable supply of potable, fire fighting and general use water is provided.</p>	<p>A03.1 The premises is connected to Council’s reticulated water supply system in accordance with the Design Guidelines set out in Section D6 of the Planning scheme policy SC5 – FNQROC Regional Development Manual;</p> <p>or</p> <p>A03.2 Where a reticulated water supply system is not available to the premises, on site water storage tank/s with a minimum capacity of 10,000 litres of stored water, with a minimum 7,500 litre tank, with the balance from other sources (e.g. accessible swimming pool, dam etc.) and access to the tank/s for fire trucks is provided for each new house or other development. Tank/s are to be fitted with a 50mm ball valve with a camlock fitting and installed and connected prior to occupation of the house and sited to be visually unobtrusive.</p>	Will be complied with

Performance outcomes	Acceptable outcomes	Applicant response
Treatment and disposal of effluent		
PO4 Provision is made for the treatment and disposal of effluent to ensure that there are no adverse impacts on water quality and no adverse ecological impacts as a result of the system or as a result of increasing the cumulative effect of systems in the locality.	AO4.1 The site is connected to Council's sewerage system and the extension of or connection to the sewerage system is designed and constructed in accordance with the Design Guidelines set out in Section D7 of the Planning scheme policy SC5 – FNQROC Regional Development Manual; or AO4.2 Where not in a sewerage scheme area, the proposed disposal system meets the requirements of Section 33 of the <i>Environmental Protection Policy (Water) 1997</i> and the proposed on site effluent disposal system is designed in accordance with the <i>Plumbing and Drainage Act (2002)</i> .	Will be complied with
Stormwater quality		
PO5 Development is planned, designed, constructed and operated to avoid or minimise adverse impacts on stormwater quality in natural and developed catchments by: <ul style="list-style-type: none"> (a) achieving stormwater quality objectives; (b) protecting water environmental values; (c) maintaining waterway hydrology. 	AO5.1 A connection is provided from the premises to Council's drainage system; or AO5.2 An underground drainage system is constructed to convey stormwater from the premises to Council's drainage system in accordance with the Design Guidelines set out in Sections D4 and D5 of the Planning scheme policy SC5 – FNQROC Regional	Will be complied with

Performance outcomes	Acceptable outcomes	Applicant response
	Development Manual.	
	A05.3 A stormwater quality management plan is prepared, and provides for achievable stormwater quality treatment measures meeting design objectives listed in Table 9.4.5.3.b and Table 9.4.5.3.c, reflecting land use constraints, such as: <ul style="list-style-type: none"> (a) erosive, dispersive and/or saline soil types; (b) landscape features (including landform); (c) acid sulfate soil and management of nutrients of concern; (d) rainfall erosivity. 	Not applicable The proposed development will connect with the existing on-site drainage system.
	A05.4 Erosion and sediment control practices are designed, installed, constructed, monitored, maintained, and carried out in accordance with an erosion and sediment control plan.	Will be complied with
	A05.5 Development incorporates stormwater flow control measures to achieve the design objectives set out in Table 9.4.5.3.b and Table 9.4.5.3.c, including management of frequent flows, peak flows, and construction phase hydrological impacts. Note – Planning scheme policy SC5 – FNQROC Regional Development Manual provides guidance on soil and water control measures to meet the requirements of the <i>Environmental Protection Act 1994</i> . Note – During construction phases of development, contractors and builders are to have consideration in their work methods and site preparation for their environmental duty to protect	Will be complied with

Performance outcomes	Acceptable outcomes	Applicant response
	stormwater quality.	
Non-tidal artificial waterways		
PO6 Development involving non-tidal artificial waterways is planned, designed, constructed and operated to: <ul style="list-style-type: none"> (a) protect water environmental values; (b) be compatible with the land use constraints for the site for protecting water environmental values; (c) be compatible with existing tidal and non-tidal waterways; (d) perform a function in addition to stormwater management; (e) achieve water quality objectives. 	AO6.1 Development involving non-tidal artificial waterways ensures: <ul style="list-style-type: none"> (a) environmental values in downstream waterways are protected; (b) any ground water recharge areas are not affected; (c) the location of the waterway incorporates low lying areas of the catchment connected to an existing waterway; (d) existing areas of ponded water are included. 	Not applicable The proposed development does not involve non-tidal artificial waterways.
	AO6.2 Non-tidal artificial waterways are located: <ul style="list-style-type: none"> (a) outside natural wetlands and any associated buffer areas; (b) to minimise disturbing soils or sediments; (c) to avoid altering the natural hydrologic regime in acid sulfate soil and nutrient hazardous areas. 	Not applicable
	AO6.3 Non-tidal artificial waterways located adjacent to, or connected to a tidal waterway by means of a weir, lock, pumping system or similar ensures: <ul style="list-style-type: none"> (a) there is sufficient flushing or a tidal range of >0.3 m; or (b) any tidal flow alteration does not adversely impact on the tidal waterway; or (c) there is no introduction of salt water into 	Not applicable

Performance outcomes	Acceptable outcomes	Applicant response
	freshwater environments.	
	A06.4 Non-tidal artificial waterways are designed and managed for any of the following end-use purposes: (a) amenity (including aesthetics), landscaping or recreation; or (b) flood management, in accordance with a drainage catchment management plan; or (c) stormwater harvesting plan as part of an integrated water cycle management plan; or (d) aquatic habitat.	Not applicable
	A06.5 The end-use purpose of the non-tidal artificial waterway is designed and operated in a way that protects water environmental values.	Not applicable
	A06.6 Monitoring and maintenance programs adaptively manage water quality to achieve relevant water quality objectives downstream of the waterway.	Not applicable
	A06.7 Aquatic weeds are managed to achieve a low percentage of coverage of the water surface area, and pests and vectors are managed through design and maintenance.	Not applicable
Wastewater discharge		
PO7 Discharge of wastewater to waterways, or off site: (a) meets best practice environmental	A07.1 A wastewater management plan is prepared and addresses:	Not applicable

Performance outcomes	Acceptable outcomes	Applicant response
management; (b) is treated to: (i) meet water quality objectives for its receiving waters; (ii) avoid adverse impact on ecosystem health or waterway health; (iii) maintain ecological processes, riparian vegetation and waterway integrity; (iv) offset impacts on high ecological value waters.	(a) wastewater type; (b) climatic conditions; (c) water quality objectives; (d) best practice environmental management.	
	A07.2 The waste water management plan is managed in accordance with a waste management hierarchy that: (a) avoids wastewater discharge to waterways; or (b) if wastewater discharge cannot practicably be avoided, minimises wastewater discharge to waterways by re-use, recycling, recovery and treatment for disposal to sewer, surface water and ground water.	
	A07.3 Wastewater discharge is managed to avoid or minimise the release of nutrients of concern so as to minimise the occurrence, frequency and intensity of algal blooms.	

Performance outcomes	Acceptable outcomes	Applicant response
	<p>AO7.4 Development in coastal catchments avoids or minimises and appropriately manages soil disturbance or altering natural hydrology and:</p> <ul style="list-style-type: none"> (a) avoids lowering ground water levels where potential or actual acid sulfate soils are present; (b) manages wastewater so that: <ul style="list-style-type: none"> (i) the pH of any wastewater discharges is maintained between 6.5 and 8.5 to avoid mobilisation of acid, iron, aluminium and other metals; (ii) holding times of neutralised wastewater ensures the flocculation and removal of any dissolved iron prior to release; (iii) visible iron floc is not present in any discharge; (iv) precipitated iron floc is contained and disposed of; (v) wastewater and precipitates that cannot be contained and treated for discharge on site are removed and disposed of through trade waste or another lawful method. 	
Electricity supply		
<p>PO8 Development is provided with a source of power that will meet its energy needs.</p>	<p>AO8.1 A connection is provided from the premises to the electricity distribution network;</p> <p>or</p>	<p>Complies The premises will be connected to the electricity distribution network. Advice from Ergon Energy indicates that the existing electricity infrastructure available to the site is sufficient to meet the electrical demands of the development. Refer Appendix 5.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	A08.2 The premises is connected to the electricity distribution network in accordance with the Design Guidelines set out in Section D8 of the Planning scheme policy SC5 – FNQROC Regional Development Manual. Note - Areas north of the Daintree River have a different standard.	Not applicable
PO9 Development incorporating pad-mount electricity infrastructure does not cause an adverse impact on amenity.	A09.1 Pad-mount electricity infrastructure is: (a) not located in land for open space or sport and recreation purposes; (b) screened from view by landscaping or fencing; (c) accessible for maintenance.	Not applicable
	A09.2 Pad-mount electricity infrastructure within a building, in a Town Centre is designed and located to enable an active street frontage. Note – Pad-mounts in buildings in activity centres should not be located on the street frontage.	
Telecommunications		
PO10 Development is connected to a telecommunications service approved by the relevant telecommunication regulatory authority.	AO10 The development is connected to telecommunications infrastructure in accordance with the standards of the relevant regulatory authority.	Will be complied with
PO11 Provision is made for future telecommunications	AO11 Conduits are provided in accordance with Planning	Not applicable

Performance outcomes	Acceptable outcomes	Applicant response
services (e.g. fibre optic cable).	scheme policy SC5 – FNQROC Regional Development Manual.	
Road construction		
PO12 The road to the frontage of the premises is constructed to provide for the safe and efficient movement of: (a) pedestrians and cyclists to and from the site; (b) pedestrians and cyclists adjacent to the site; (c) vehicles on the road adjacent to the site; (d) vehicles to and from the site; (e) emergency vehicles.	AO12.1 The road to the frontage of the site is constructed in accordance with the Design Guidelines set out in Sections D1 and D3 of the Planning scheme policy SC5 – FNQROC Regional Development Manual, for the particular class of road, as identified in the road hierarchy.	Will be complied with
	AO12.2 There is existing road, kerb and channel for the full road frontage of the site.	Will be complied with
	AO12.3 Road access minimum clearances of 3.5 metres wide and 4.8 metres high are provided for the safe passage of emergency vehicles.	Not applicable Existing access will be retained.
Alterations and repairs to public utility services		
PO13 Infrastructure is integrated with, and efficiently extends, existing networks.	AO13 Development is designed to allow for efficient connection to existing infrastructure networks.	Will be complied with
PO14 Development and works do not affect the efficient functioning of public utility mains, services or installations.	AO14.1 Public utility mains, services and installations are not required to be altered or repaired as a result of the development; or	

Performance outcomes	Acceptable outcomes	Applicant response
	AO14.2 Public utility mains, services and installations are altered or repaired in association with the works so that they continue to function and satisfy the relevant Design Guidelines set out in Section D8 of the Planning scheme policy SC5 – FNQROC Regional Development Manual.	
Construction management		
PO15 Work is undertaken in a manner which minimises adverse impacts on vegetation that is to be retained.	AO15 Works include, at a minimum: (a) installation of protective fencing around retained vegetation during construction; (b) erection of advisory signage; (c) no disturbance, due to earthworks or storage of plant, materials and equipment, of ground level and soils below the canopy of any retained vegetation; (d) removal from the site of all declared noxious weeds.	Will be complied with
PO16 Existing infrastructure is not damaged by construction activities.	AO16 Construction, alterations and any repairs to infrastructure is undertaken in accordance with the Planning scheme policy SC5 – FNQROC Regional Development Manual. Note - Construction, alterations and any repairs to Statecontrolled roads and rail corridors are undertaken in accordance with the <i>Transport Infrastructure Act 1994</i> .	Will be complied with as applicable
For assessable development		
High speed telecommunication infrastructure		

Performance outcomes	Acceptable outcomes	Applicant response
PO17 Development provides infrastructure to facilitate the roll out of high speed telecommunications infrastructure.	AO17 No acceptable outcomes are prescribed.	Will be complied with
Trade waste		
PO18 Where relevant, the development is capable of providing for the storage, collection treatment and disposal of trade waste such that: (a) off-site releases of contaminants do not occur; (b) the health and safety of people and the environment are protected; (c) the performance of the wastewater system is not put at risk.	AO18 No acceptable outcomes are prescribed.	Will be complied with
Fire services in developments accessed by common private title		
PO19 Hydrants are located in positions that will enable fire services to access water safely, effectively and efficiently.	AO19.1 Residential streets and common access ways within a common private title places hydrants at intervals of no more than 120 metres and at each intersection. Hydrants may have a single outlet and be situated above or below ground.	Not applicable
	AO19.2 Commercial and industrial streets and access ways within a common private title serving commercial properties such as factories and warehouses and offices are provided with above or below ground fire hydrants located at not more than 90 metre intervals and at each intersection. Above ground fire hydrants have dual-valved outlets.	Not applicable

Performance outcomes	Acceptable outcomes	Applicant response
PO20 Hydrants are suitably identified so that fire services can locate them at all hours. Note – Hydrants are identified as specified in the Department of Transport and Main Roads Technical Note: 'Identification of street hydrants for fire fighting purposes' available under 'Publications'.	AO20 No acceptable outcomes are prescribed.	Not applicable On-site fire fighting equipment is provided.

9.4.6 Landscaping code

The purpose of the Landscaping code is to assess the landscaping aspects of a development.

The purpose of the code will be achieved through the following overall outcomes:

- (a) The tropical, lush landscape character of the region is retained, promoted and enhanced through high quality landscape works;
- (b) The natural environment of the region is enhanced;
- (c) The visual quality, amenity and identity of the region is enhanced;
- (d) Attractive streetscapes and public places are created through landscape design;
- (e) As far as practical, existing vegetation on site is retained, and protected during works and integrated with the built environment;
- (f) Landscaping is provided to enhance the tropical landscape character of development and the region;
- (g) Landscaping is functional, durable, contributes to passive energy conservation and provides for the efficient use of water and ease of ongoing maintenance;
- (h) Landscaping takes into account utility service protection;
- (i) Weed species and invasive species are eliminated from development sites;
- (j) Landscape design enhances personal safety and incorporates CPTED principles.

Table 9.4.6.3.a – Landscaping code –assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable and assessable development		
Landscape design		
<p>PO1 Development provides landscaping that contributes to and creates a high quality landscape character for the site, street and local areas of the Shire by:</p> <ul style="list-style-type: none"> (a) promoting the Shire’s character as a tropical environment; (b) softening the built form of development; (c) enhancing the appearance of the development from within and outside the development and makes a positive contribution to the streetscape; (d) screening the view of buildings, structures, open storage areas, service equipment, machinery plant and the like from public places, residences and other sensitive development; (e) where necessary, ensuring the privacy of habitable rooms and private outdoor recreation areas; (f) contributing to a comfortable living environment and improved energy efficiency, by providing shade to reduce glare and heat absorption and re-radiation from buildings, parking areas and other hard surfaces; (g) ensuring private outdoor recreation space is useable; (h) providing long term soil erosion protection; (i) providing a safe environment; 	<p>AO1 Development provides landscaping:</p> <ul style="list-style-type: none"> (a) in accordance with the minimum area, dimensions and other requirements of applicable development codes; (b) that is designed and planned in a way that meets the guidelines for landscaping outlined in Planning Scheme Policy SC6.7 – Landscaping; (c) that is carried out and maintained in accordance with a landscaping plan that meets the guidelines for landscaping outlined in Planning Scheme Policy SC6.7 – Landscaping. <p>Note - Planning scheme policy SC6.7 – Landscaping provides guidance on meeting the outcomes of this code. A landscape plan submitted for approval in accordance with the Planning policy is one way to achieve this outcome.</p>	<p>Complies with Performance Outcomes A landscaping plan has been prepared. Refer Appendix 3.</p>

Performance outcomes	Acceptable outcomes	Applicant response
(j) integrating existing vegetation and other natural features of the premises into the development; (k) not adversely affecting vehicular and pedestrian sightlines and road safety.		
For assessable development		
PO2 Landscaping contributes to a sense of place, is functional to the surroundings and enhances the streetscape and visual appearance of the development.	AO2.1 No acceptable outcomes are specified. Note - Landscaping is in accordance with the requirements specified in Planning scheme policy SC6.7 – Landscaping.	Complies The proposed landscaping will incorporate appropriate species and will be designed which enhances the visual values of the site.
	AO2.2 Tropical urbanism is incorporated into building design. Note – ‘Tropical urbanism’ includes many things such as green walls, green roofs, podium planting and vegetation incorporated into the design of a building.	Complies The proposed new building incorporates tropical architectural features, which will contribute and enhance the visual amenity of the site.
PO3 Development provides landscaping that is, as far as practical, consistent with the existing desirable landscape character of the area and protects trees, vegetation and other features of ecological, recreational, aesthetic and cultural value.	AO3.1 Existing vegetation on site is retained and incorporated into the site design, wherever possible, utilising the methodologies and principles outline in AS4970-2009 Protection of Trees on Development Sites.	Not applicable
	AO3.2 Mature vegetation on the site that is removed or damaged during development is replaced with advanced species.	Not applicable
	AO3.3 Where there is an existing landscape character in a	Complies The proposed landscaping will incorporate

Performance outcomes	Acceptable outcomes	Applicant response
	street or locality which results from existing vegetation, similar species are incorporated into new development.	appropriate species which enhance the visual values of the site. A landscaping plan has been prepared. Refer Appendix 3 .
	A03.4 Street trees are species which enhance the landscape character of the streetscape, with species chosen from the Planning scheme policy SC6.7 – Landscaping.	Will be complied with as appropriate
P04 Plant species are selected with consideration to the scale and form of development, screening, buffering, streetscape, shading and the locality of the area.	A04 Species are selected in accordance with Planning scheme policy SC6.7 – Landscaping.	Complies A landscaping plan has been prepared. Refer Appendix 3 .
P05 Shade planting is provided in car parking areas where uncovered or open, and adjacent to driveways and internal roadways.	A05 Species are selected in accordance with Planning scheme policy SC6.7 – Landscaping.	Complies A landscaping plan has been prepared. Refer Appendix 3 .
P06 Landscaped areas are designed in order to allow for efficient maintenance.	A06.1 A maintenance program is undertaken in accordance with Planning scheme policy SC6.7 – Landscaping.	Will be complied with
	A06.2 Tree maintenance is to have regard to the 'Safe Useful Life Expectancy of Trees (SULE). Note – It may be more appropriate to replace trees with a SULE of less than 20 years (as an example), and replant with younger healthy species.	Will be complied with

Performance outcomes	Acceptable outcomes	Applicant response
PO7 Podium planting is provided with appropriate species for long term survival and ease of maintenance, with beds capable of proper drainage.	AO7.1 Podium planting beds are provided with irrigation and are connected to stormwater infrastructure to permit flush out.	Will be complied with
	AO7.2 Species of plants are selected for long term performance designed to suit the degree of access to podiums and roof tops for maintenance.	Will be complied with as appropriate
PO8 Development provides for the removal of all weed and invasive species and implement on-going measures to ensure that weeds and invasive species do not reinfest the site and nearby premises.	AO8 Weed and invasive species detected on a development site are removed in accordance with a management plan prepared by an appropriately qualified person.	Will be complied with
PO9 The landscape design enhances personal safety and reduces the potential for crime and vandalism.	AO9 No acceptable outcomes are specified. Note - Planning scheme policy SC6.3 – Crime prevention through environmental design (CPTED) provides guidance on meeting this outcome.	Complies A landscaping plan has been prepared. Refer Appendix 3.
PO10 The location and type of plant species does not adversely affect the function and accessibility of services and facilities and service areas.	AO10 Species are selected in accordance with Planning scheme policy SC6.7 – Landscaping.	Complies A landscaping plan has been prepared. Refer Appendix 3.

9.4.9 Vegetation management code

The purpose of the Vegetation management code is achieved through the overall outcomes.

The purpose of the code will be achieved through the following overall outcomes:

- (a) vegetation is protected from inappropriate damage;
- (b) where vegetation damage does occur it is undertaken in a sustainable manner;
- (c) significant trees are maintained and protected;
- (d) biodiversity and ecological values are protected and maintained;
- (e) habitats for rare, threatened and endemic species of flora and fauna are protected and maintained;
- (f) landscape character and scenic amenity is protected and maintained;
- (g) heritage values are protected and maintained.

Table 9.4.9.3.a – Vegetation management –assessable development

Note – All vegetation damage is to have regard to the provisions of AS4373-2009 Pruning of Amenity Trees

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable and assessable development		
PO1 Vegetation is protected to ensure that: <ul style="list-style-type: none"> (a) the character and amenity of the local area is maintained; (b) vegetation damage does not result in fragmentation of habitats; (c) vegetation damage is undertaken in a sustainable manner; (d) the Shire's biodiversity and ecological values are maintained and protected; (e) vegetation of historical, cultural and / or visual significance is retained; (f) vegetation is retained for erosion prevention 	AO1.1 Vegetation damage is undertaken by a statutory authority on land other than freehold land that the statutory authority has control over; or AO1.2 Vegetation damage is undertaken by or on behalf of the local government on land controlled, owned or operated by the local government; or	Complies No significant native vegetation exists on the site.

Performance outcomes	Acceptable outcomes	Applicant response
and slope stabilisation.	<p>AO1.3 Vegetation damage, other than referenced in AO1.1 or AO1.2 is the damage of:</p> <ul style="list-style-type: none"> (a) vegetation declared as a pest pursuant to the Land Protection (Pest and Stock Route Management) Act 2002; or (b) vegetation identified within the local government's register of declared plants pursuant to the local government's local laws; or (c) vegetation is located within a Rural zone and the trunk is located within ten metres of an existing building; or (d) vegetation is located within the Conservation zone or Environmental management zone and the trunk is located within three metres of an existing or approved structure, not including a boundary fence;. <p>or</p> <p>AO1.4 Vegetation damage that is reasonably necessary for carrying out work that is:</p> <ul style="list-style-type: none"> (a) authorised or required under legislation or a local law; (b) specified in a notice served by the local government or another regulatory authority; <p>or</p> <p>AO1.5</p>	

Performance outcomes	Acceptable outcomes	Applicant response
	<p>Vegetation damage for development where the damage is on land the subject of a valid development approval and is necessary to give effect to the development approval;</p> <p>or</p> <p>AO1.6 Vegetation damage is in accordance with an approved Property Map of Assessable Vegetation issued under the <i>Vegetation Management Act 1999</i>;</p> <p>Or</p> <p>AO1.7 Vegetation damage is essential to the maintenance of an existing fire break;</p> <p>or</p> <p>AO1.8 Vegetation damage is essential to prevent interference to overhead service cabling;</p> <p>or</p> <p>AO1.9 Vegetation damage is for an approved Forest practice, where the lot is subject to a scheme approved under the <i>Vegetation Management Act 1999</i>;</p>	

Performance outcomes	Acceptable outcomes	Applicant response
	<p>or</p> <p>AO1.10 Vegetation damage is undertaken in accordance with section 584 of the Sustainable Planning Act 2009.</p> <p>AO1.11 Vegetation damage where it is necessary to remove one tree in order to protect an adjacent more significant tree (where they are growing close to one another).</p> <p>AO1.12 Private property owners may only remove dead, dying, structurally unsound vegetation following receipt of written advice from, at minimum, a fully qualified Certificate V Arborist. A copy of the written advice is to be submitted to Council for its records, a minimum of seven business days prior to the vegetation damage work commencing.</p>	
<p>PO2 Vegetation damaged on a lot does not result in a nuisance.</p>	<p>AO2.1 Damaged vegetation is removed and disposed of at an approved site;</p> <p>or</p> <p>AO2.2 Damaged vegetation is mulched or chipped if used onsite.</p>	<p>Will be complied with</p>

Performance outcomes	Acceptable outcomes	Applicant response
For assessable development		
P03 Vegetation damage identified on the Places of significance overlay lot does not result in a negative impact on the site's heritage values.	A03 No acceptable outcomes are prescribed.	Not applicable The site is not identified on the Places of Significance overlay.

APPENDIX 2: PROPOSAL PLAN

Drawing or Document	Reference	Date
Application Package:	P01.02 – 07 P02.01 – 12 P03.01 – 04 P03.11 – 12 P05.02 P06.01 – 02	9/10/2019

APPENDIX 3: CIVIL WORKS

Drawing or Document	Reference	Date
Letters	Rodgers Consulting Engineers	31/01/2019 27/08/2019
B85 Design Vehicle Swept Paths	Dwg No. SK20 P2 Dwg No. SK21 P5	19/08/19 04/09/19
Civil Works Preliminary Carpark Levels	Dwg No. SK30 P1	27/08/19

APPENDIX 4: LANDSCAPE PLAN

APPENDIX 5: ADVICE FROM ERGON ENERGY

APPENDIX 6: HYDRAULIC ENGINEER ADVICE



IMAGE COURTESY OF: PORT DOUGLAS UNCOVERED

PORT DOUGLAS

WOLVERIDGEarchitects

ARCHITECT STATEMENT

TOWN PLANNING
9 / 1 0 / 2 0 1 9

Wolveridge Architects have been associated with Scali Nominees Pty Ltd, the landowner of the subject the site known as 20 Warner Street, Port Douglas since 2009, when we explored bringing a cinema to town. What we quickly learned is that the site was simply not large enough. Eventually, we obtained a permit for a mixed use development on the site, however, the construction of a new apartment building in Port Douglas remains unviable and is likely to continue to do so for the foreseeable future.

Currently this constrained piece of land is a vacant infill site (refer existing condition images on drawing SD01.05).

It slopes upwards gently towards the rear and is dominated at the street frontage by existing development which is built to both boundaries (Mantra either side). Access to the rear of the subject site is shared with access to the rear of the Macrossan Street shops (also developed by our Client with Wolveridge Architects) and the basement to the adjoining Mantra development on the Grant Street corner.

Warner Street exists very much as a secondary thoroughfare and commercial precinct to the town's primary retail strip of Macrossan Street and its north eastern side has been dominated by continuous development which stretches without a break for some 160m from Grant Street to the western extremity of Coles.

Other than the aforementioned dimensional site constrains, it is to be noted that development of the site is further constrained by the flood level, which requires all development to be raised on a podium to a minimum RL of 3.20 AHD. This flood level consideration effectively elevates the starting point for any proposal to the site.

Wolveridge Architects have been re-engaged by the landowner to design a boutique hotel for the site.

It has been some years since a new hotel has been constructed in the town with the bulk of existing hotel stock dated and tired. Given the highly urbanised location, the design approach follows a global phenomenon in the development of 'Micro Hotels'. That is, more compact hotel rooms, that are well designed to meet the needs of a newer breed of social media savvy traveller, that carries less things, a bag and a laptop, is happy to spend money on a well designed space, but does not effectively need a great deal of it. So this project offers a new market, a point of difference from existing stock and something fresh, opening the door to a new segment for the tourist market that does not currently exist.

Where this proposal differs from the concept of Micro Hotels as we know them, is that the rooms, which average from 22 - 29sq. m of internal area, is that they each have generous covered, private balconies (with day beds and facilities) which are all a minimum of 12sq. m each.

The other key consideration for the 'Micro Hotel' is the provision of communal areas. At ground floor, a generous lobby combines as a bar/mini café and lounge/co-working space. A departure from the typically tokenistic ground floor retail space, a working hotel Lobby café/ bar is intended to provide a high degree of activation with Warner Street; the concept of which seeks to return to basic principles of designing for the tropics, with a fully open building face (with lockable roller shutters) and cross ventilation pathways.

Further communal spaces in the form of open/airy lounges with voids and airflow and heavily landscaped are provided at each level, for guests to access conveniently. The quality of these spaces is somewhat inspired by the successful undercroft spaces around Club Tropical which offer lounge, library facilities etc. We consider that an open cinema could exist at one level, with billiards at another for example. The communal lounges will be stacked above one another with an open stair adjacent as well as two generous voids linking the three.

This proposal is for 36 hotel rooms over three levels above a ground floor lobby and carpark/amenity. Please refer to separate information by Planz for a detailed summary of what the project offers.

The building presents itself to Warner street effectively as a latticed deep verandah, that would be constructed to cater for tropical planting with an ultimate aim for the façade to be characterised more by landscape than architecture. A generous street canopy would create the platform for ongoing maintenance. In terms of the street presence, the project therefore provides a much needed and wanted injection of tropical landscape within the context of Warner Street (refer to street montage on drawing 05.01).

Through the use of robust materials, like slate floors and concrete ceilings, we envisage this project to refer to the early days of tourist accommodation to the region, where the emphasis is more on landscape. We have also looked at hotel design models from other tropical climates from Sri Lanka and throughout South East Asia, to ensure the guest experience conforms as best possible with a true tropical experience.

Each room has a screen door in addition to front door, so that, at the occupant's discretion, natural breezes may filter through each room, reducing the load on mechanical ventilation and cooling. Ceiling fans provided over the bed and out on each balcony.

The building envelope is consistent with the approved scheme, however its height has increased, but remains within 13.5m for the first 7.5m set back from the street. We note the increase in height beyond 13.5m is confined to the rear of the site which is not visible from Warner Street or Macrossan Street and is consistent with aspects and features of the two adjoining buildings. These each exceed 13.5m in height as well as Coles, which our surveyor measured at around 17m above street level. Where this proposal exceeds 13.5m in height it is not visible from the street and it is by no more than 600mm, consistent with existing adjoining development.

We believe that, whilst the number of storeys stands at 4, we have been able to design the building so that it conforms to maximum height requirements when viewed from any aspect of the surrounding streets, maintains the minimum 2.7m high ceiling requirements of the planning scheme and presents a fitting contribution to the streetscape both in scale, bulk and quality of design.

The proposal incorporates 10 car spaces on site, an additional 7 carspaces via a proposed land title legal arrangement at 23 Macrossan St lot with a further 7 spaces on the street. Please refer to separate commentary by Planz in relation to carparking.

Given this is a dedicated hotel, the proposal does not provide the kind of planning scheme requirements that is required for an apartment project, where there is prospect of full time occupancy. That is not possible with this proposal, and as such a typical luggage store at ground floor, adjacent the lobby is proposed.

We trust Council will consider the merits of this proposal in conjunction with the aims of the new planning scheme combined with the extensive constraints of the site. Like the construction of the new dive centre across the road, it would be a terrific boost for Port Douglas for a major new construction to take place.

We thank you for considering our proposal and hope look forward to working closely with Council.

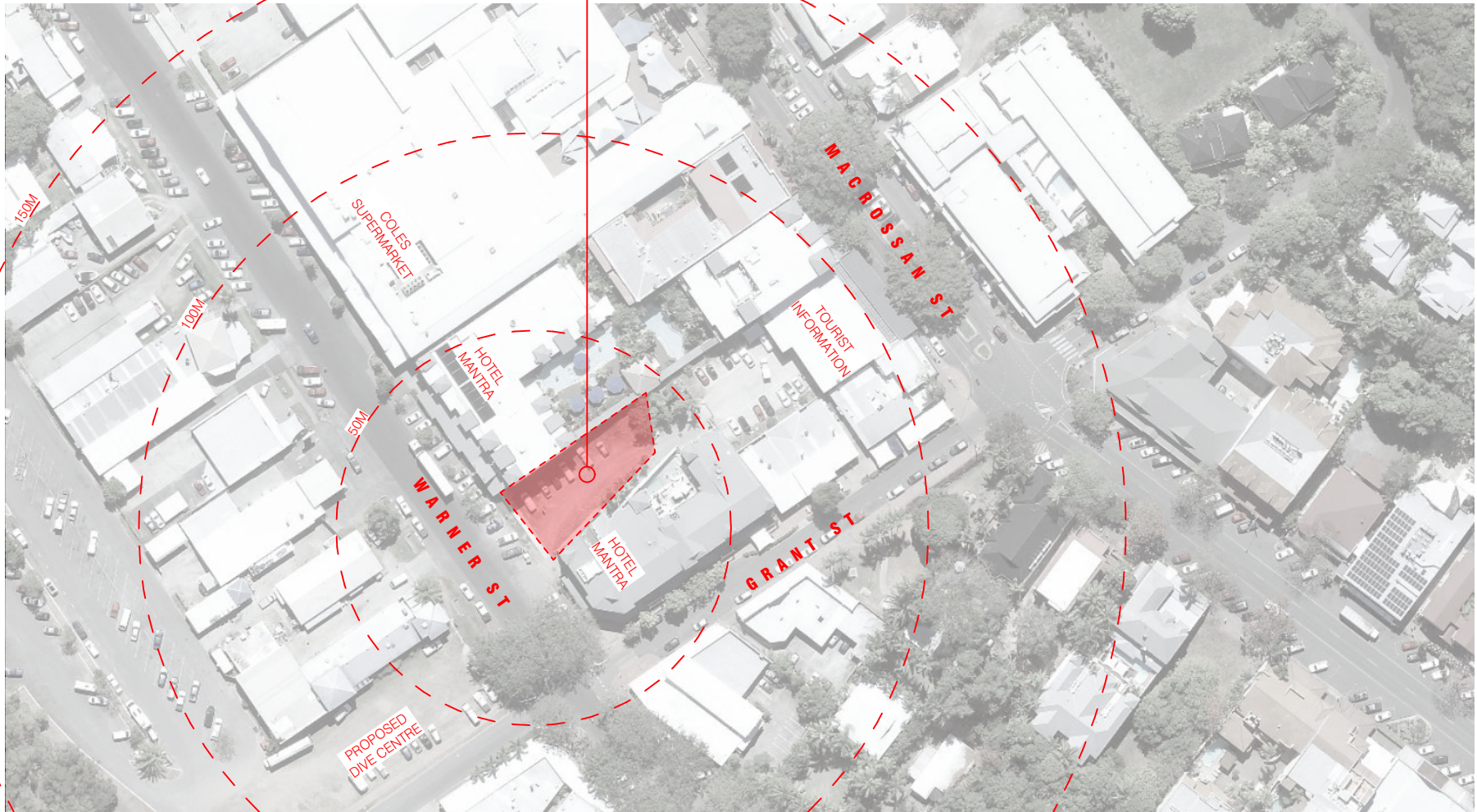
Sincerely

Jerry Wolveridge
Wolveridge Architects

NO.	SHEET	REV
P-01.02	LOCAL ARCHITECT STATEMENT & CONTENTS	
P-01.03	SITE CONTEXT	
P-01.04	SITE SURVEY	
P-01.05	SITE IMAGERY	
P-01.06	SITE SURVEY - ADJOINING BUILDING HEIGHTS	
P-01.07	SITE ANALYSIS	
P-02.01	SITE & ROOF PLAN	
P-02.02	GROUND FLOOR	
P-02.03	FIRST FLOOR	
P-02.04	SECOND FLOOR	
P-02.05	THIRD FLOOR	
P-02.06	MICRO HOTEL - PRECENDENT IMAGES	
P-02.07	MICRO HOTEL - PRECENDENT IMAGES	
P-02.08	MICRO HOTEL - SECTION PERSPECTIVE	
P-02.09	MICRO HOTEL - PLAN & INTERIOR	
P-02.10	MASSING AREAS	
P-02.11	VENTILATION DIAGRAM	
P-02.12	BREEZEWAY GATES ELEVATION & DETAILS	
P-03.01	STREETSCAPE ELEVATION	
P-03.02	ELEVATIONS	
P-03.03	ELEVATION & SECTION - LONGITUDINAL	
P-03.04	MATERIALS SCHEDULE	
P-03.11	REVISED FACADE - EXTERIOR VIEWS	
P-03.12	REVISED FACADE - SECTION	
P-05.02	PERSPECTIVES	
P-06.01	ABOUT THE ARCHITECT	
P-06.02	EXAMPLES OF TROPICAL INTERNAL COURTYARDS	



LOCATION PLAN



SITE CONTEXT PLAN



STREETSCAPE - WARNER STREET EXISTING CONDITION

SCALE: 1:500

LEGEND

DENOTES STREET AWNING BUILDING HEIGHT, ON TITLE BUILDING BUILDING MASS BEYOND

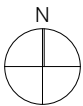
A - EGL
DENOTES HEIGHT ABOVE EXISTING GROUND LINE

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DATE:
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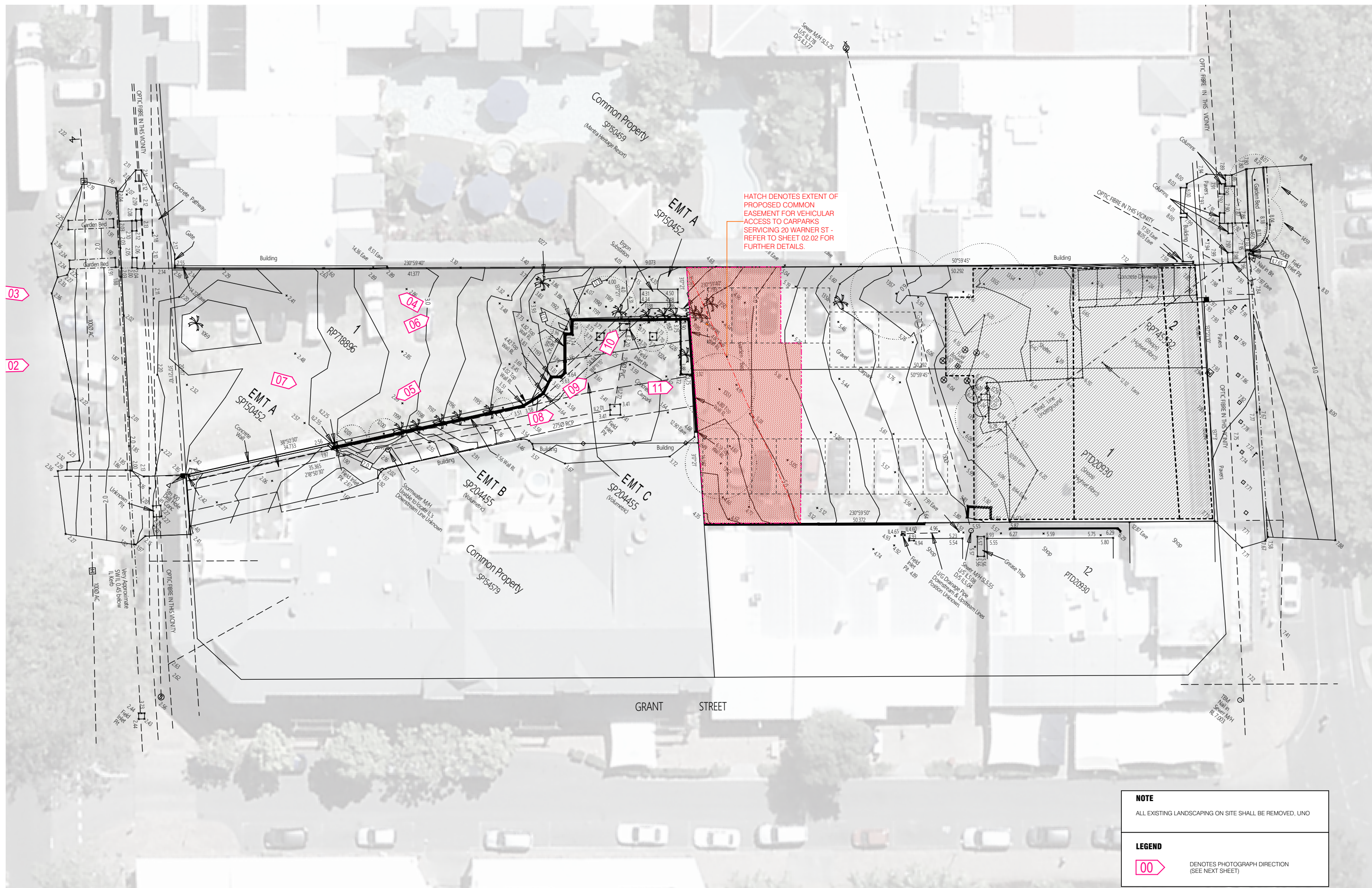
PRELIMINARY
NOT FOR CONSTRUCTION



DWG. TITLE:	SITE CONTEXT	
PLOT DATE:	9/10/2019	
SCALE:	AS SHOWN AT A3	
DWG. NO.:	P-01.03	REV: P1

PROJECT:	WARNER STREET HOTEL 20 WARNER STREET PORT DOUGLAS
CLIENT:	SCALI NOMINEES PTY LTD
PROJ NO:	18 007

WOLVERIDGEarchitects
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DWG. TITLE:	SITE SURVEY	
PLOT DATE:	9/10/2019	
SCALE:	AS SHOWN AT A3	
DWG. NO.:	P-01.04	REV: P1

PROJECT: **WARNER STREET HOTEL
20 WARNER STREET
PORT DOUGLAS**

CLIENT: SCALI NOMINEES PTY LTD

PROJ NO: 18 007

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01



02



03



04



05



06



07



08



09



10



11

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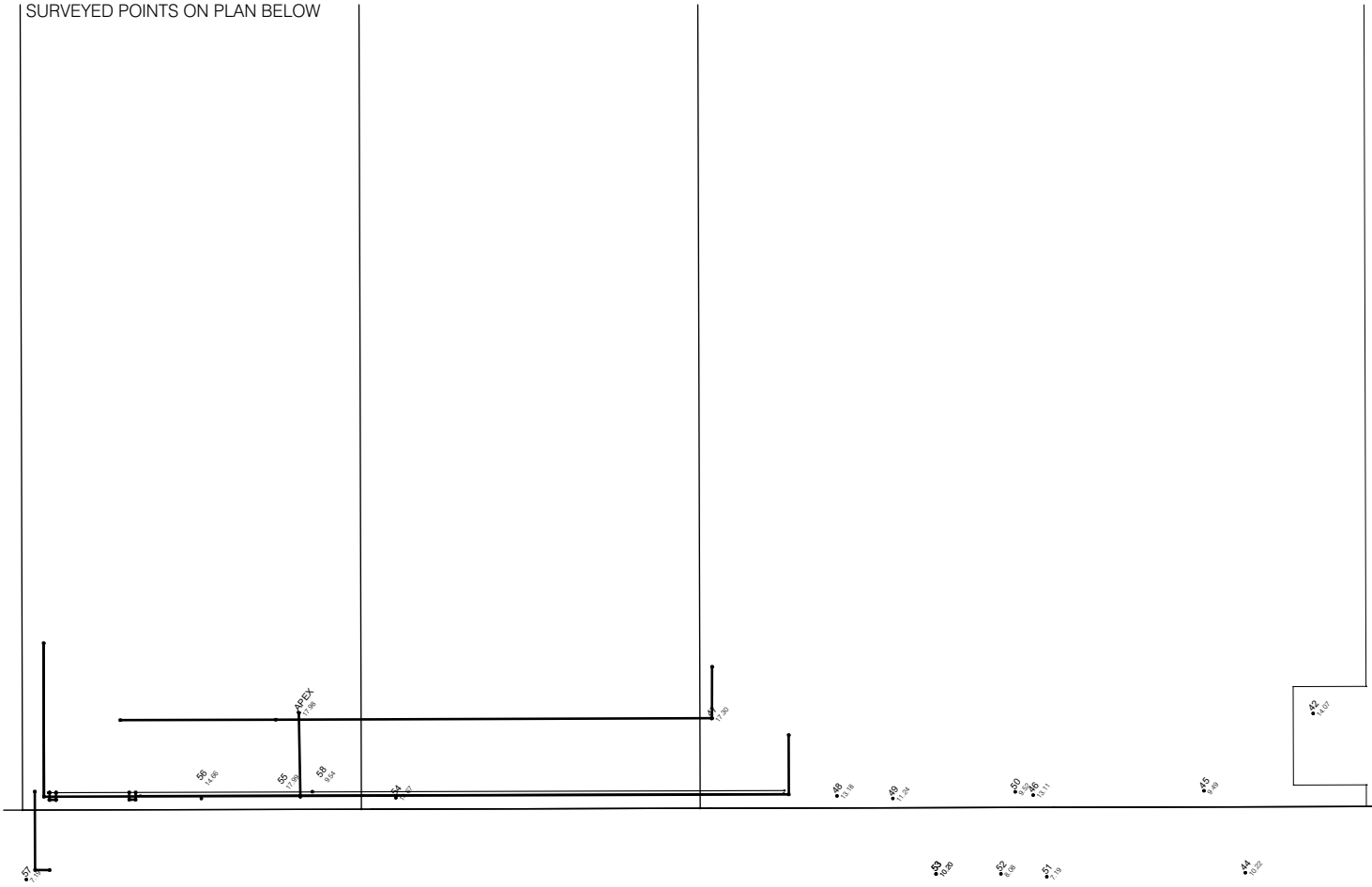
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PLOT DATE: 9/10/2019
SCALE: AS SHOWN AT A3
DWG. NO.: P-01.05 REV: P1

PROJECT: **WARNER STREET HOTEL
20 WARNER STREET
PORT DOUGLAS**
CLIENT: SCALI NOMINEES PTY LTD
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NOTE: PHOTOGRAPH SHOWS KEY TO SURVEYED POINTS ON PLAN BELOW

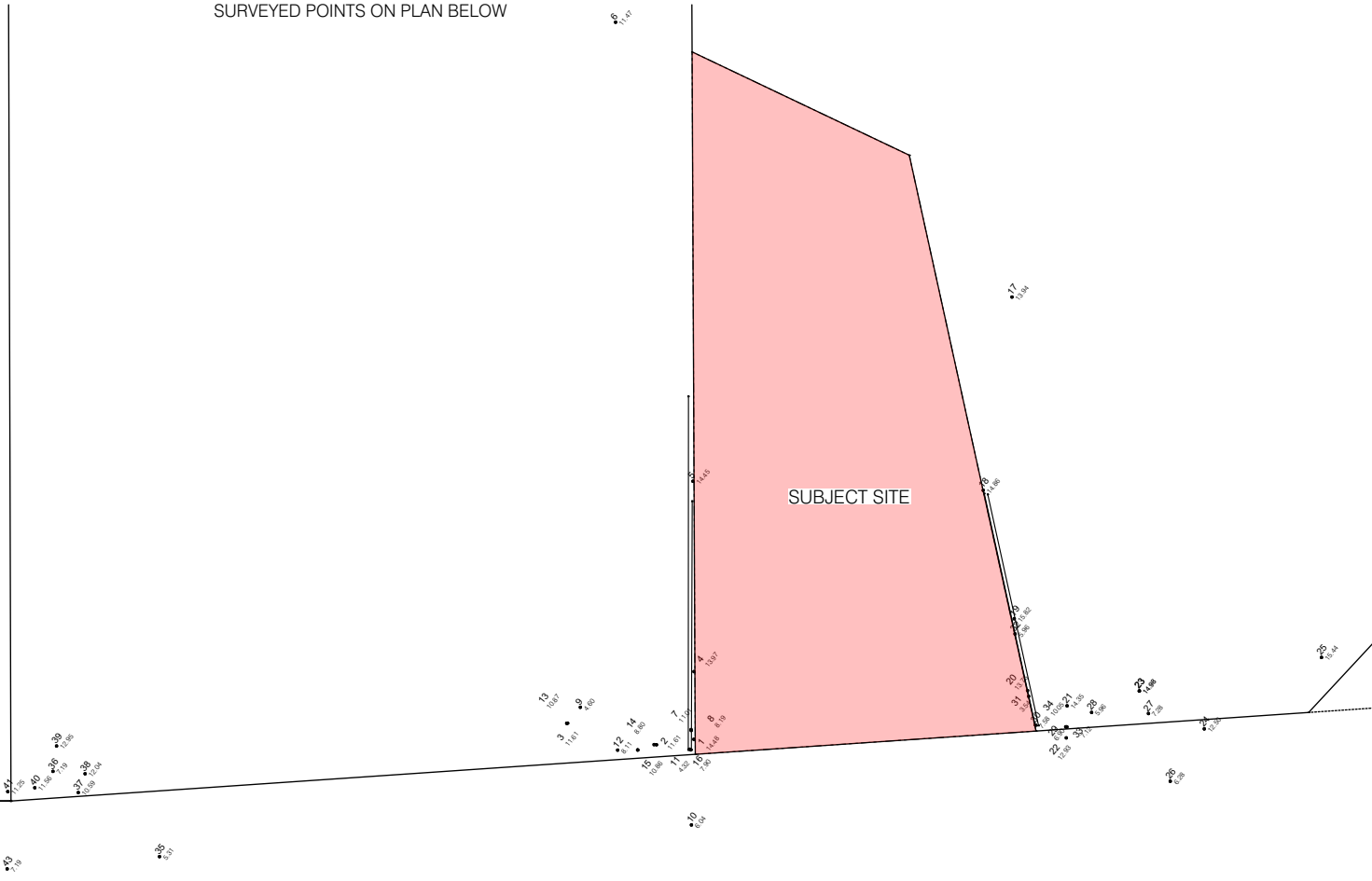


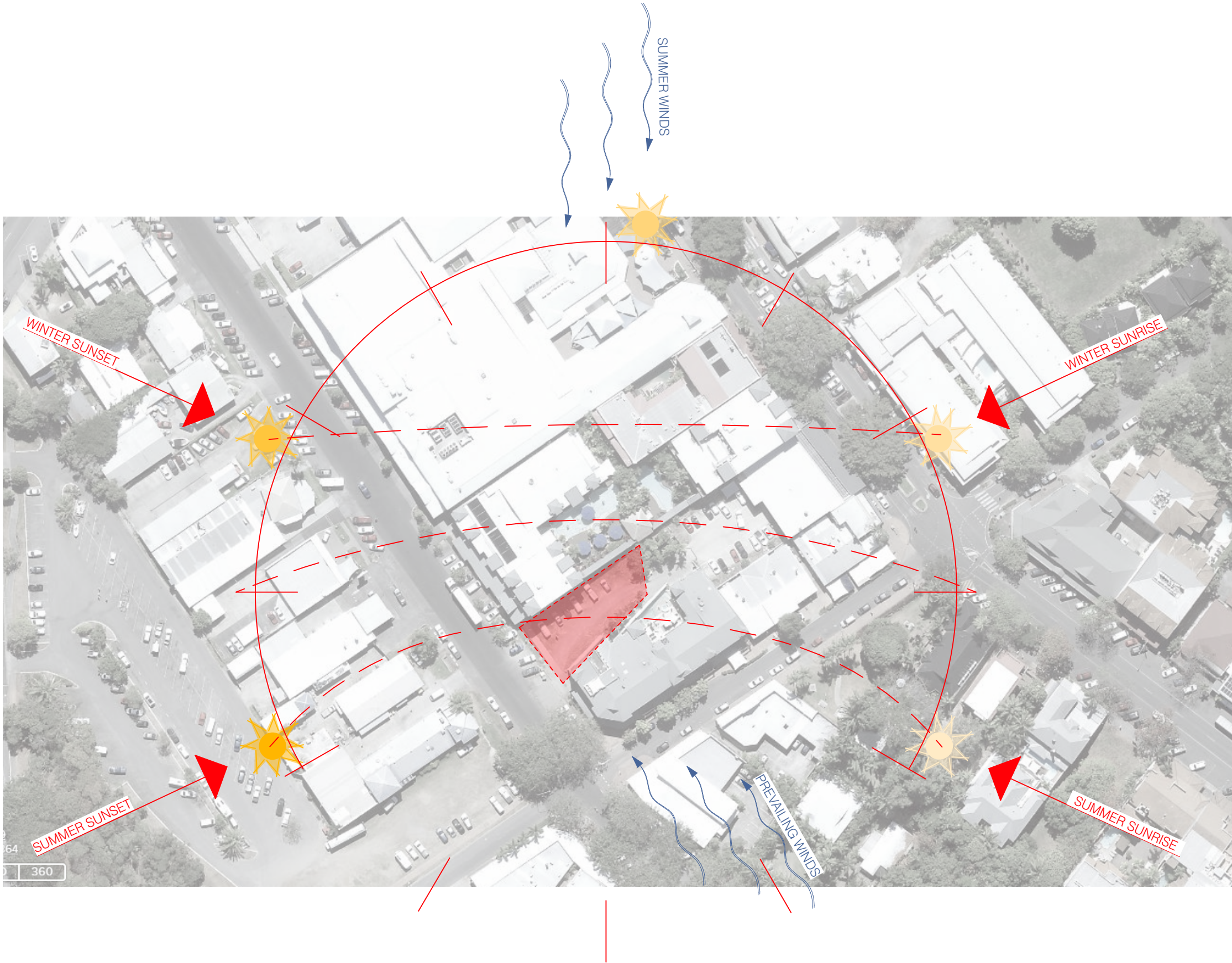
SITE SURVEY - ADJOINING BUILDING HEIGHTS

NOTE: ADJOINING HEIGHTS PROVIDED BY RPS GROUP, REGISTERED LAND SURVEYORS

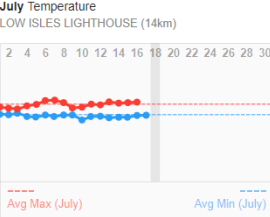


NOTE: PHOTOGRAPH SHOWS KEY TO SURVEYED POINTS ON PLAN BELOW

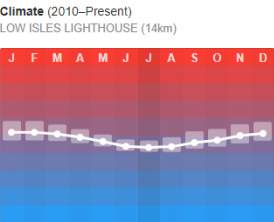




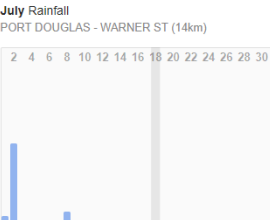
Port Douglas Temperature Statistics



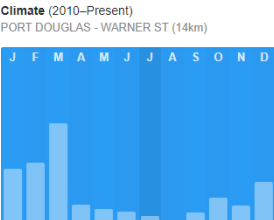
2018	June	July
Lowest 20 June, 2018 19.4 °C		
Average 2018 25.9 °C		
Highest 4 January, 2018 37.1 °C		



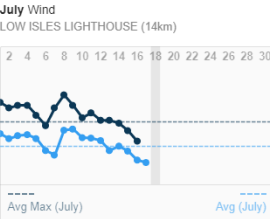
Port Douglas Rainfall Statistics



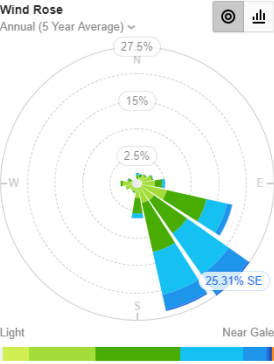
2018	June	July
Total Rainfall 2018 2093mm		
Daily Average 2018 12mm		
Wettest Day 26 March, 2018 593mm		
Wet Days 2018 69/199 (35%)		



Port Douglas Wind Statistics



2018	June	July
Strongest 31 March, 2018 79.6km/h SSE		
Average 2018 26.5km/h		

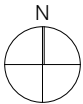


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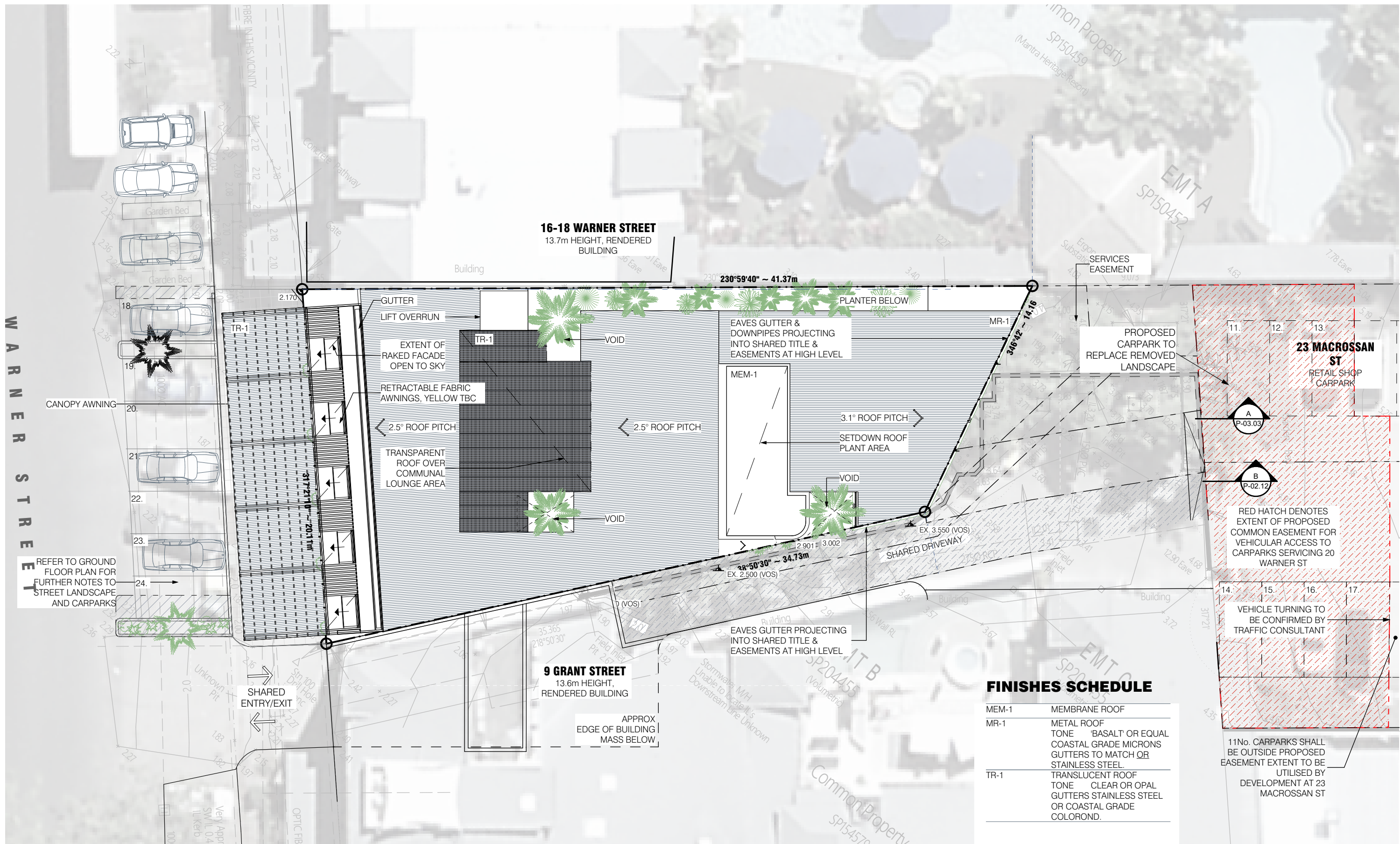
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DWG. TITLE: SITE ANALYSIS
PLOT DATE: 9/10/2019
SCALE: AS SHOWN AT A3
DWG. NO.: P-01.07 REV: P1

PROJECT: **WARNER STREET HOTEL
20 WARNER STREET
PORT DOUGLAS**
CLIENT: SCALI NOMINEES PTY LTD
PROJ NO: 18 007

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ROOF LEVEL
SCALE: 1:200

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DATE:
09/10/2019

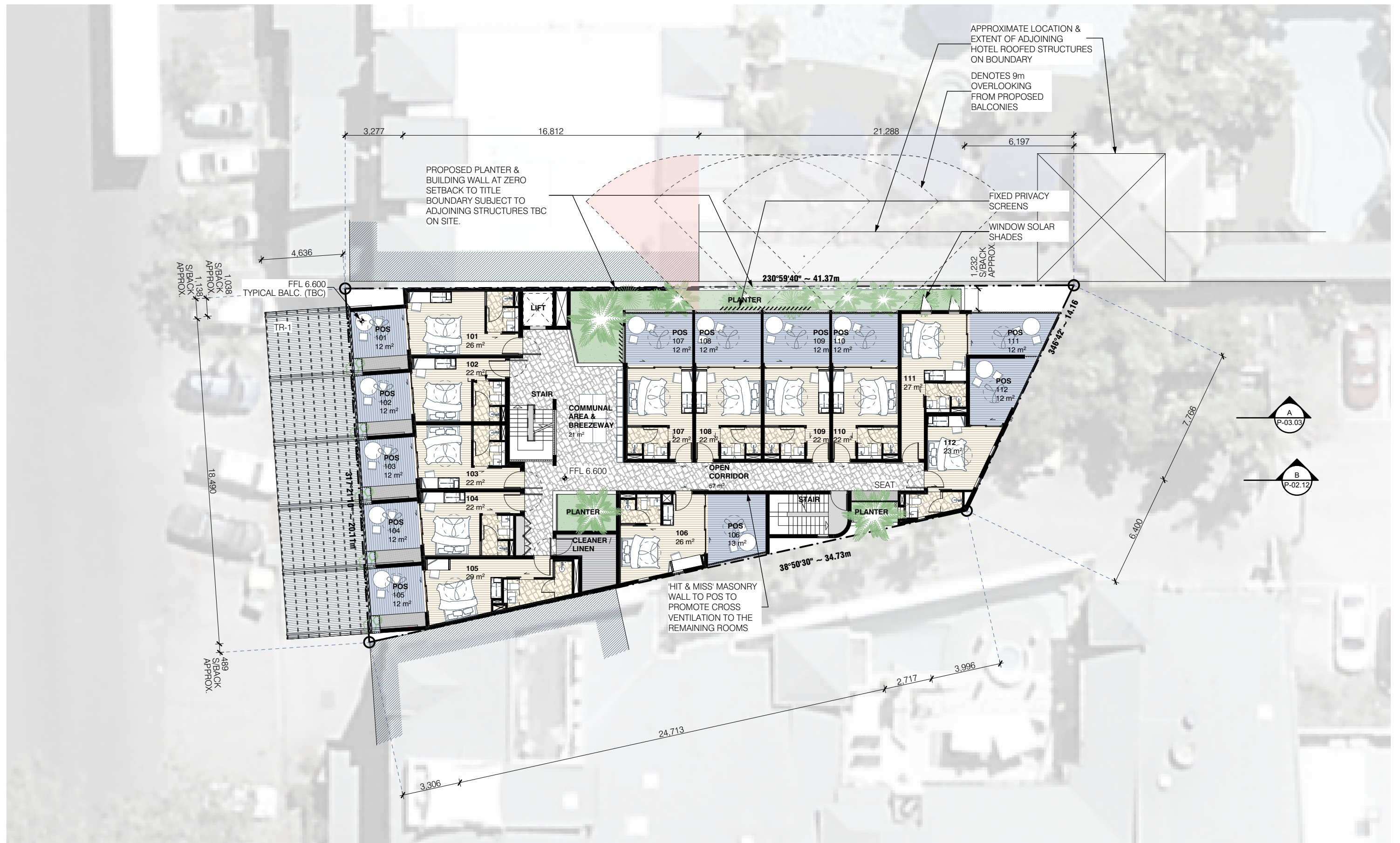
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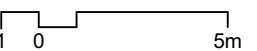
DWG. TITLE: SITE & ROOF PLAN
PLOT DATE: 9/10/2019
SCALE: AS SHOWN AT A3
DWG. NO.: P-02.01 REV: P1

PROJECT: **WARNER STREET HOTEL
20 WARNER STREET
PORT DOUGLAS**
CLIENT: SCALI NOMINEES PTY LTD
PROJ NO: 18 007

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FIRST LEVEL
SCALE: 1:200



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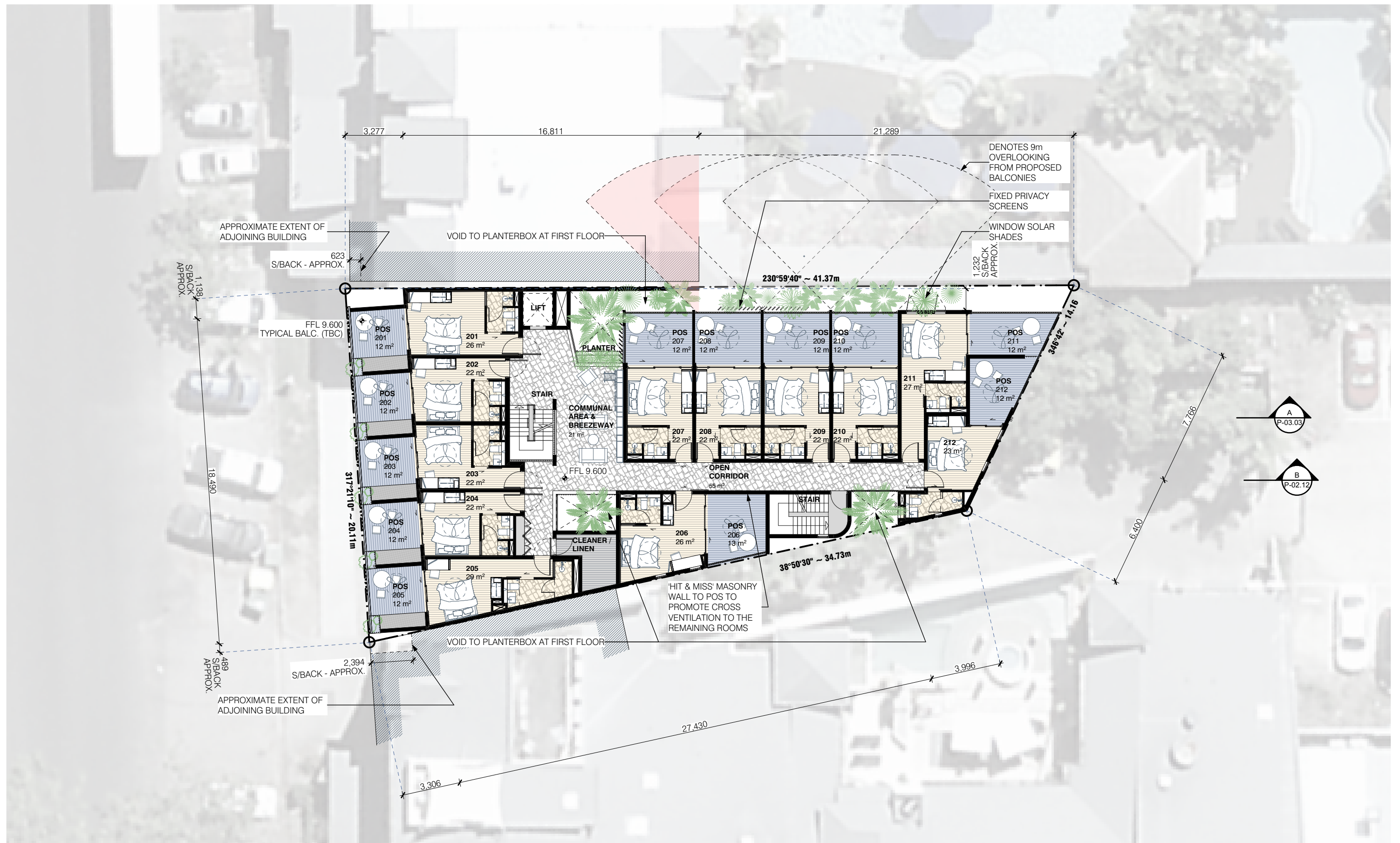
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DWG. TITLE: FIRST FLOOR
PLOT DATE: 9/10/2019
SCALE: AS SHOWN AT A3
DWG. NO.: P-02.03 REV: P1

PROJECT: **WARNER STREET HOTEL**
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SECOND LEVEL

SCALE: 1:200

1 0 5m

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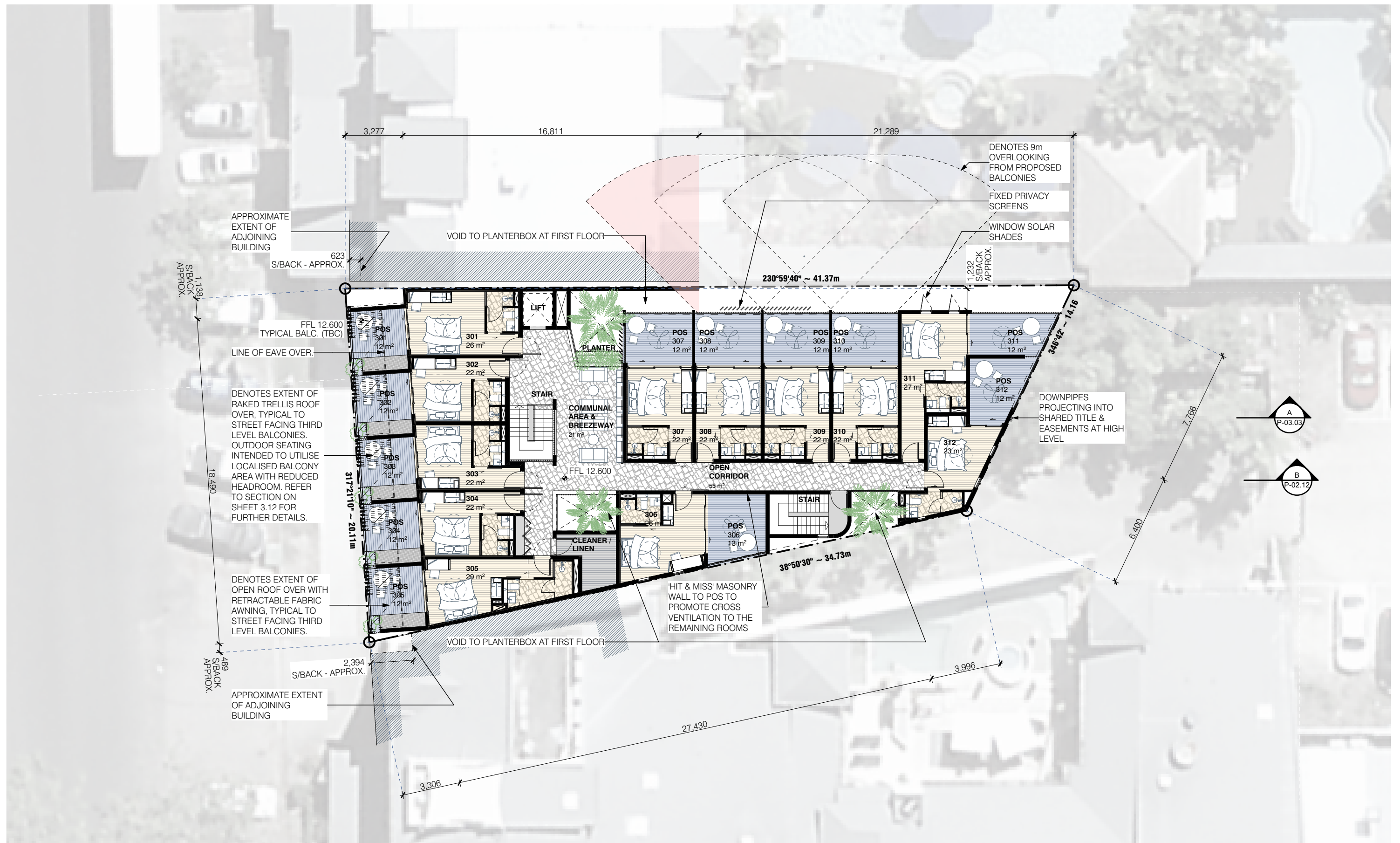
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DWG. TITLE: SECOND FLOOR
PLOT DATE: 9/10/2019
SCALE: AS SHOWN AT A3
DWG. NO.: P-02.04 REV: P1

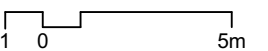
PROJECT: **WARNER STREET HOTEL**
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CLIENT: SCALI NOMINEES PTY LTD
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THIRD LEVEL

SCALE: 1:200



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DWG. TITLE: THIRD FLOOR
PLOT DATE: 9/10/2019
SCALE: AS SHOWN AT A3
DWG. NO.: P-02.05 REV: P1

PROJECT: **WARNER STREET HOTEL**
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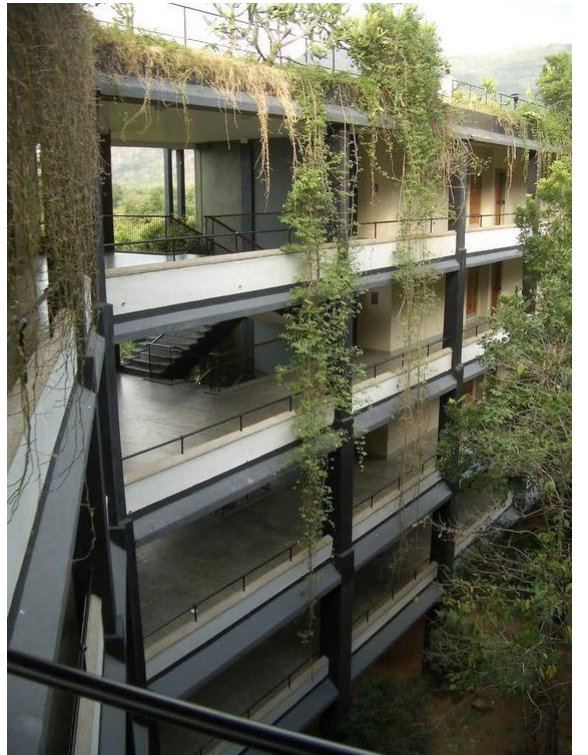
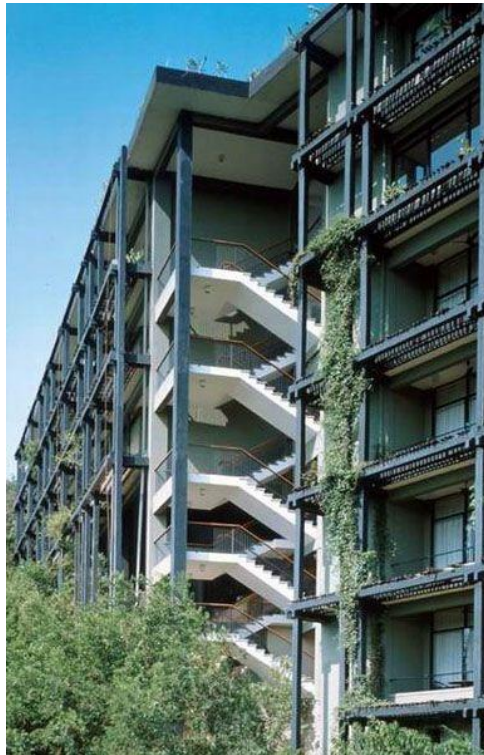
DATE:
09/10/2019

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DWG. TITLE: MICRO HOTEL - PRECEDENT IMAGES
PLOT DATE: 9/10/2019
SCALE: AS SHOWN AT A3
DWG. NO.: P-02.06 REV: P1

PROJECT: **WARNER STREET HOTEL**
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LANDSCAPED 'LIVING TRELLIS'



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DWG. TITLE: MICRO HOTEL - PRECEDENT IMAGES
PLOT DATE: 9/10/2019
SCALE: AS SHOWN AT A3
DWG. NO.: P-02.07 REV: P1

PROJECT: **WARNER STREET HOTEL**
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SECTIONAL PERSPECTIVE

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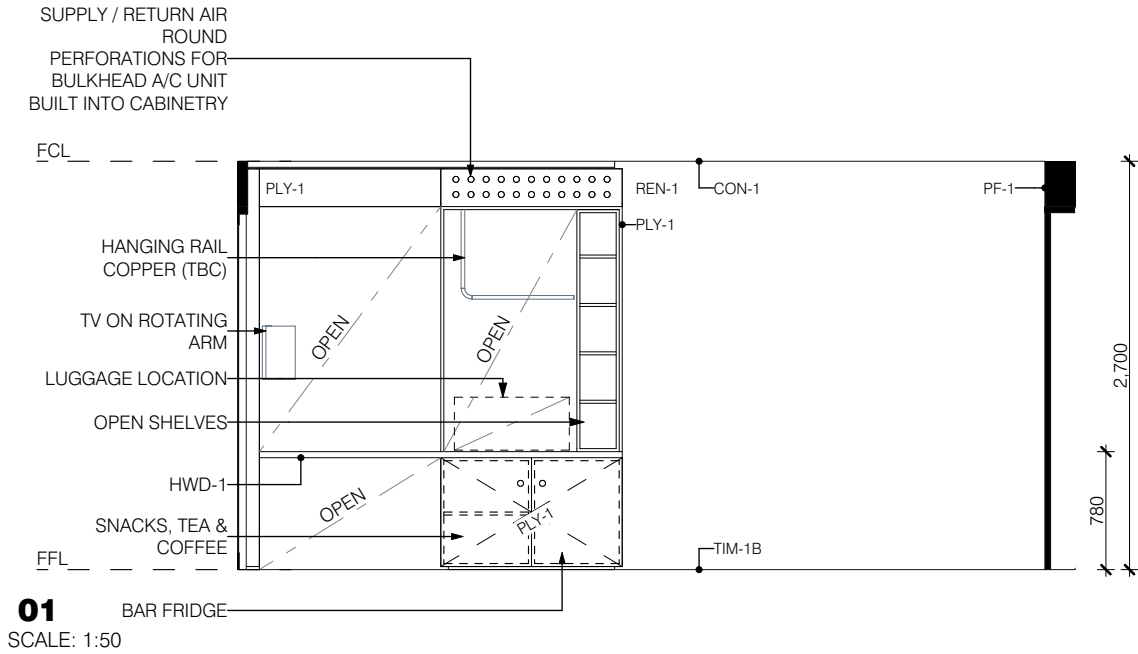
DWG. TITLE: MICRO HOTEL - SECTION
PLOT DATE: 9/10/2019
SCALE: AS SHOWN AT A3
DWG. NO.: P-02.08 REV: P1

PROJECT: **WARNER STREET HOTEL
20 WARNER STREET
PORT DOUGLAS**
CLIENT: SCALI NOMINEES PTY LTD
PROJ NO: 18 007

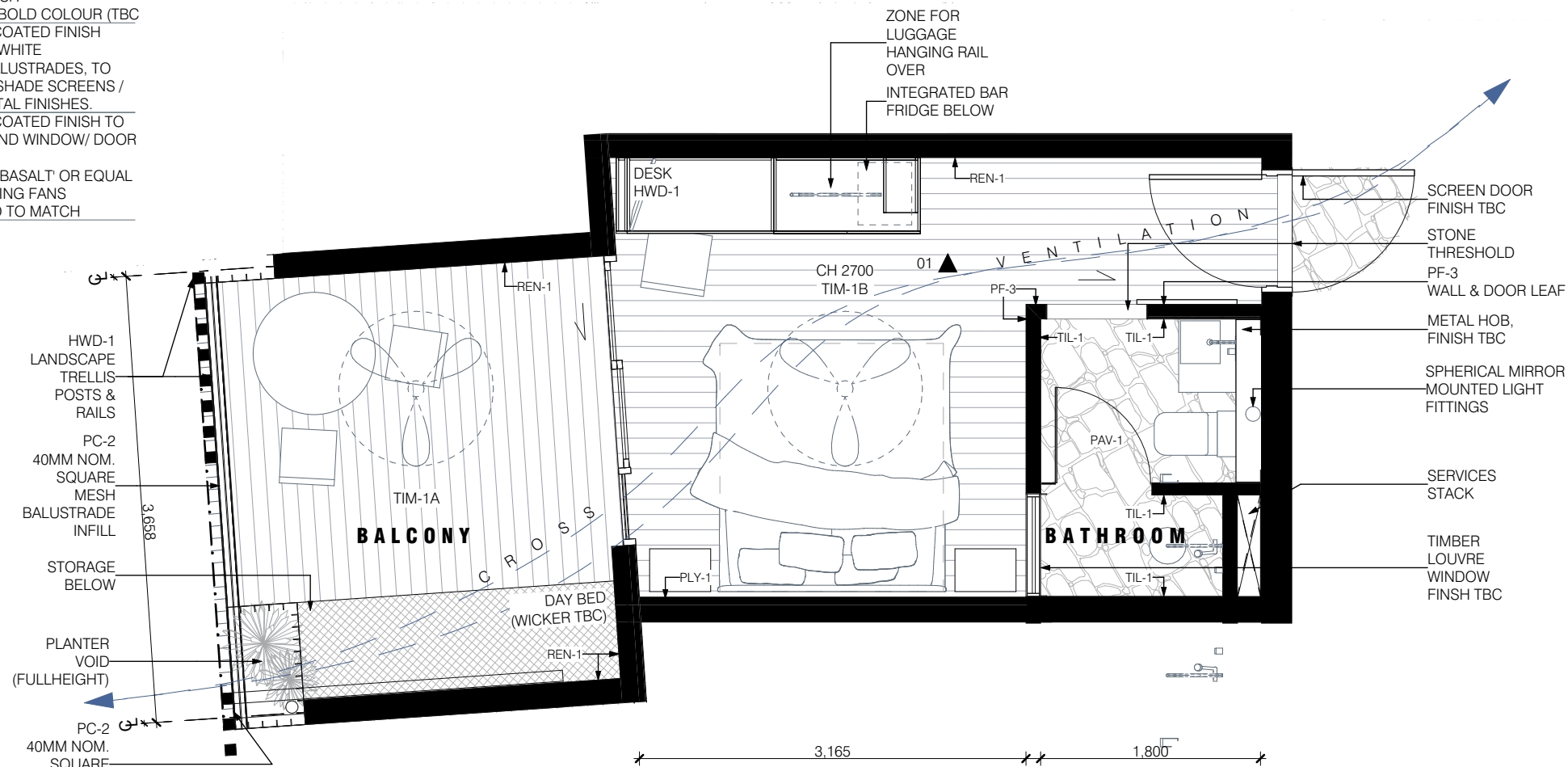
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FINISHES SCHEDULE

CODE	DESCRIPTION
TIM-1A	TIMBER DECKING SPECIES LOCAL HARDWOOD TONE TBC
TIM-1B	TIMBER FLOOR BOARDS SPECIES LOCAL HARDWOOD TONE TBC
PAV-1	SLATE PAVING - LOCAL STONE FORMAT - 'CRAZY PAVING'
REN-1	SMOOTH RENDER FINISH COLOUR - WHITE
CON-1	CONCRETE QUALITY FINISH COLOUR - NATURAL GREY EXPOSED SLAB SOFFITS
PLY-1	PLYWOOD PANELS SPECIES BIRCH TONE BLOND (LIGHT)
HWD-1	TIMBER DESK SPECIES LOCAL HARDWOOD TONE TBC
TIL-1	TILE FINISH TONE WHITE
PF-1	PAINT FINISH TONE WHITE
PF-2	PAINT FINISH TONE 'BASALT' OR EQUAL
PF-3	PAINT FINISH TONE BOLD COLOUR (TBC)
PC-1 / SCR-1 SCR-1A / SCR-1B	POWDERCOATED FINISH TONE WHITE TO ALL BALUSTRADES, TO WINDOW SHADE SCREENS / MESH METAL FINISHES.
PC-2	POWDERCOATED FINISH TO METALS AND WINDOW/ DOOR FRAMES TONE 'BASALT' OR EQUAL WITH CEILING FANS SELECTED TO MATCH



JOINERY UNIT



TYPICAL ROOM LAYOUT
SCALE: 1:50



BATHROOM

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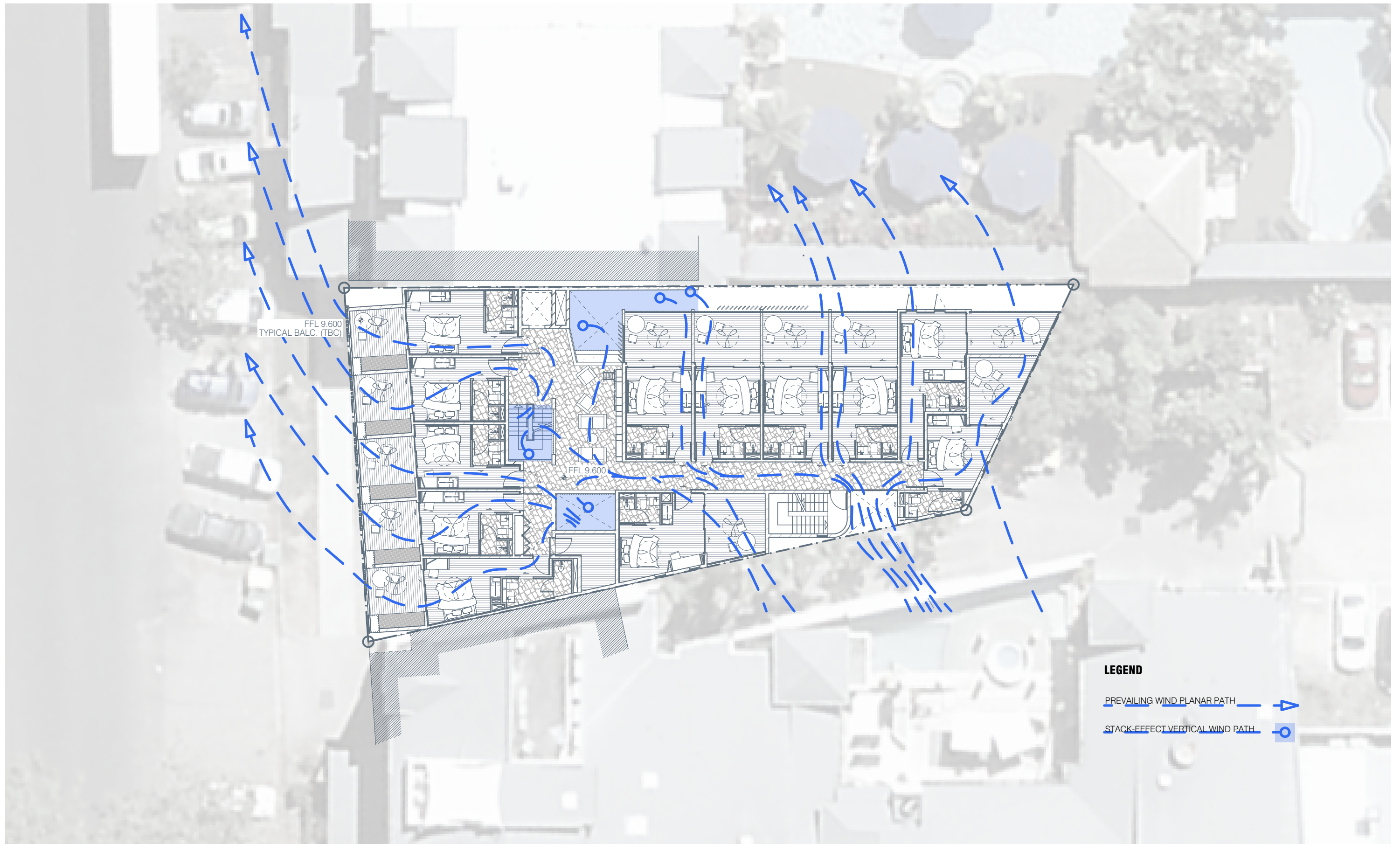
DATE:
09/10/2019

PRELIMINARY
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DWG. TITLE: MICRO HOTEL - PLAN & INTERIOR
PLOT DATE: 9/10/2019
SCALE: AS SHOWN AT A3
DWG. NO.: P-02.09 REV: P1

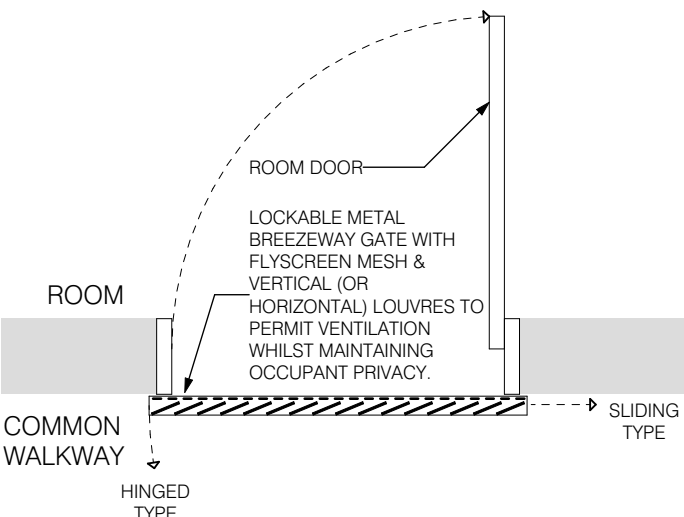
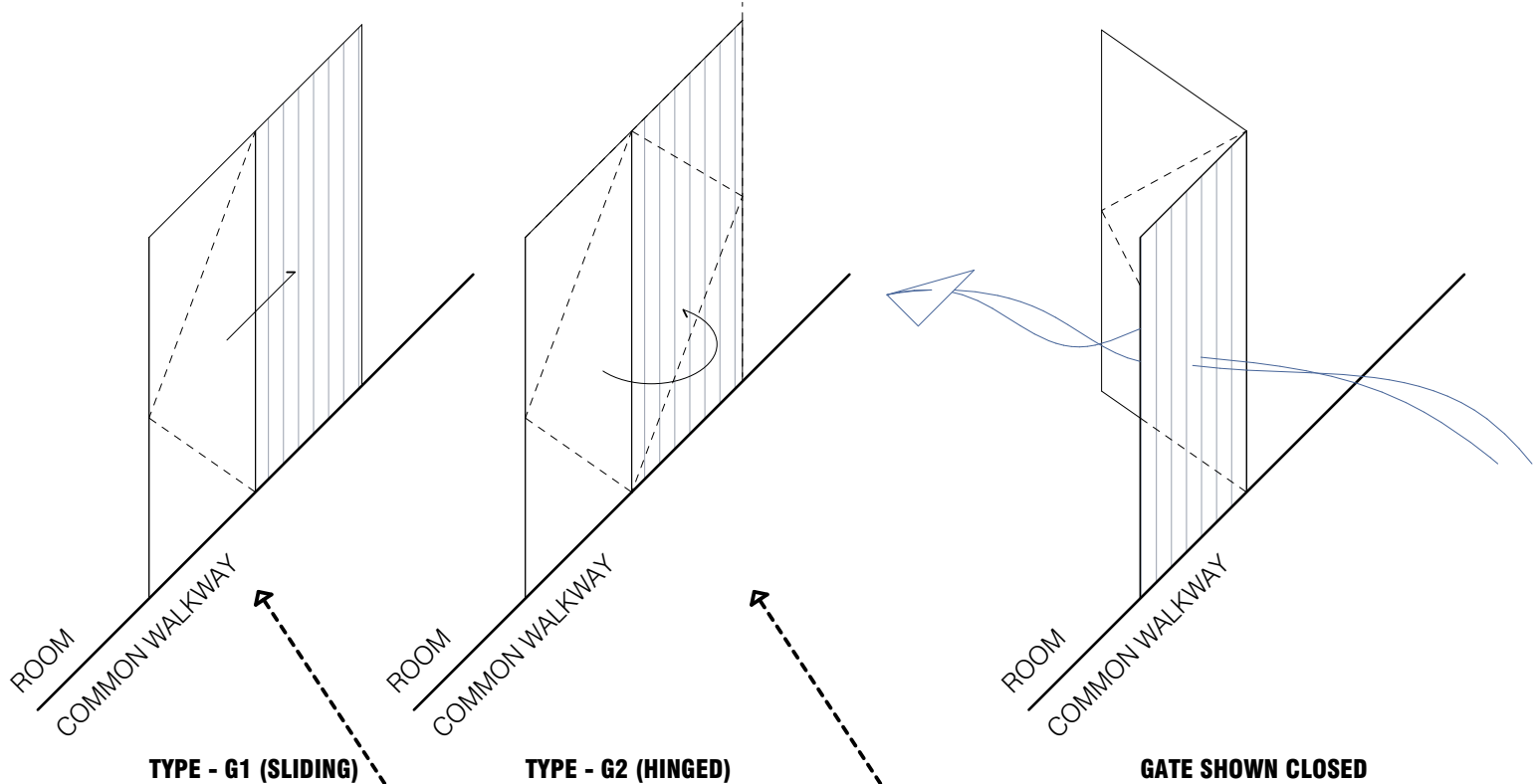
PROJECT: WARNER STREET HOTEL
20 WARNER STREET
PORT DOUGLAS
CLIENT: SCALI NOMINEES PTY LTD
PROJ NO: 18 007

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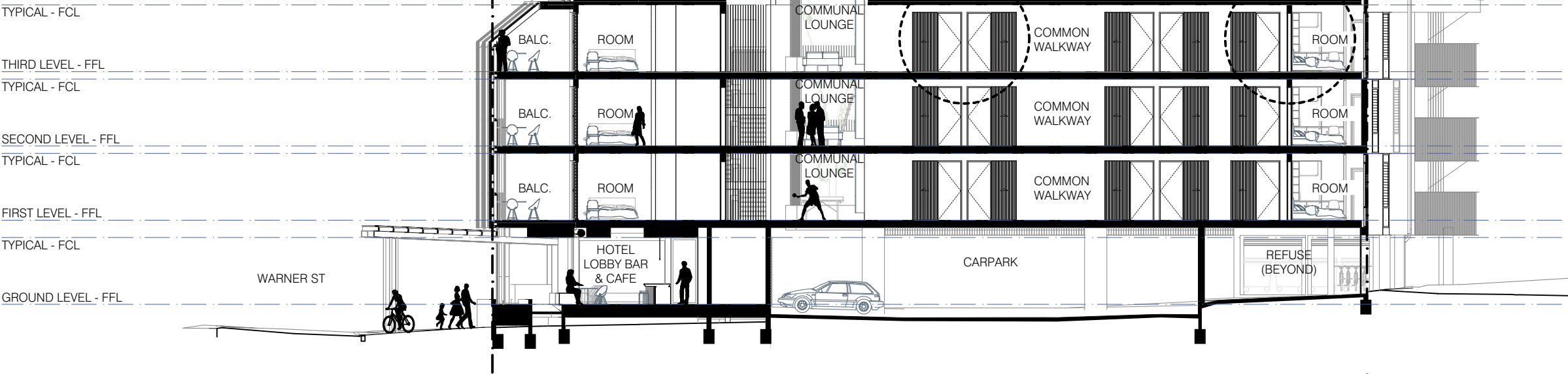


CROSS VENTILATION DIAGRAM PLAN
SCALE: 1:200

BREEZEWAY GATES
SCALE: 1:50



BREEZEWAY GATE PLAN DETAIL (INDICATIVE)
SCALE: 1:20



SECTION B
SCALE: 1:200

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DATE:
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DWG. TITLE: BREEZEWAY GATES ELEVATION & DETAILS
PLOT DATE: 9/10/2019
SCALE: AS SHOWN AT A3
DWG. NO.: P-02.12 REV: P1

PROJECT: **WARNER STREET HOTEL
20 WARNER STREET
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PROJ NO: 18 007

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STREETSCAPE - WARNER STREET EXISTING CONDITION

SCALE: 1:500



STREETSCAPE - WARNER STREET

SCALE: 1:500

LEGEND

--- DENOTES STREET AWNING BUILDING HEIGHT, ON TITLE BUILDING BUILDING MASS BEYOND

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DWG. TITLE: STREETSCAPE ELEVATION
PLOT DATE: 9/10/2019
SCALE: AS SHOWN AT A3
DWG. NO.: P-03.01 REV: P1

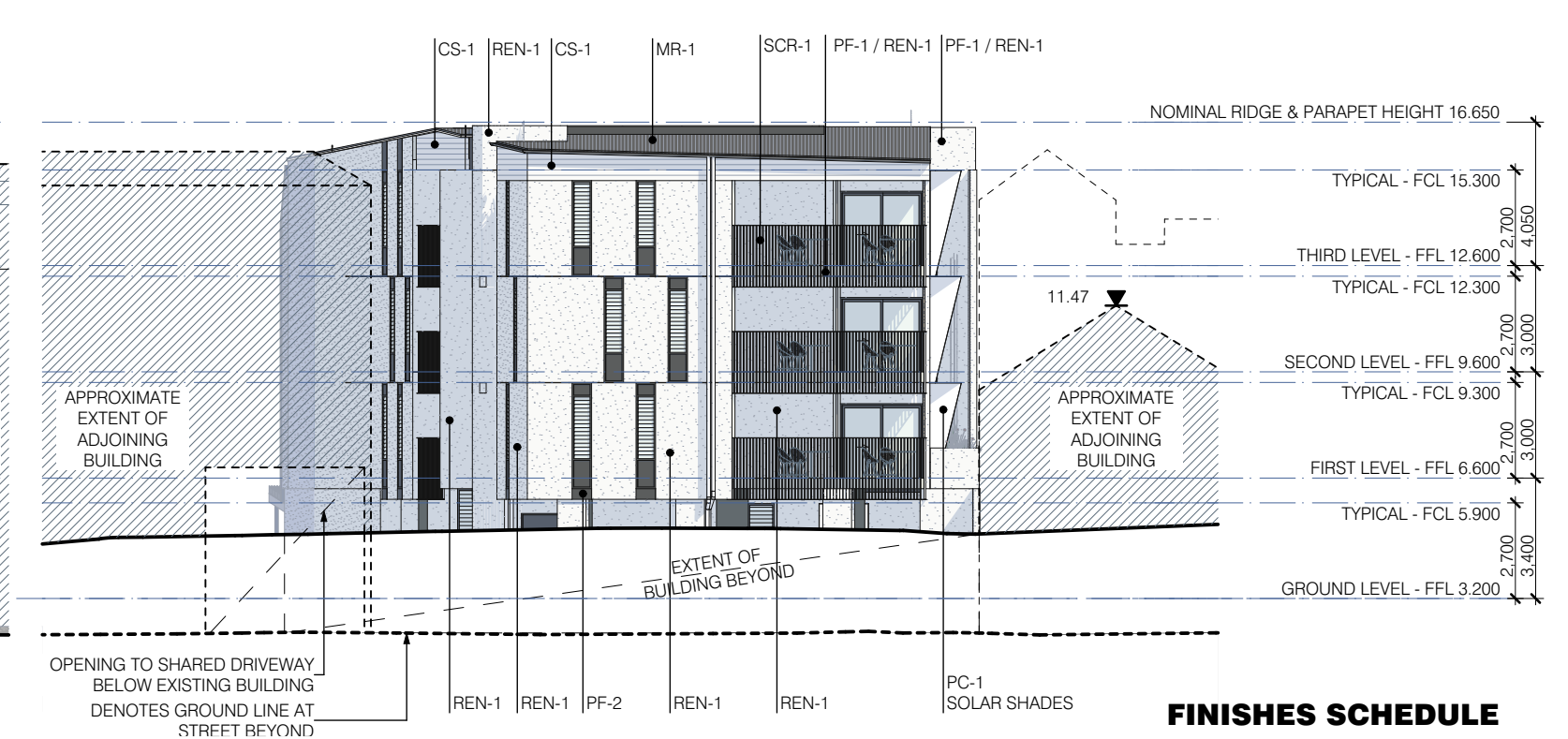
PROJECT: **WARNER STREET HOTEL
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PORT DOUGLAS**
CLIENT: SCALI NOMINEES PTY LTD
PROJ NO: 18 007

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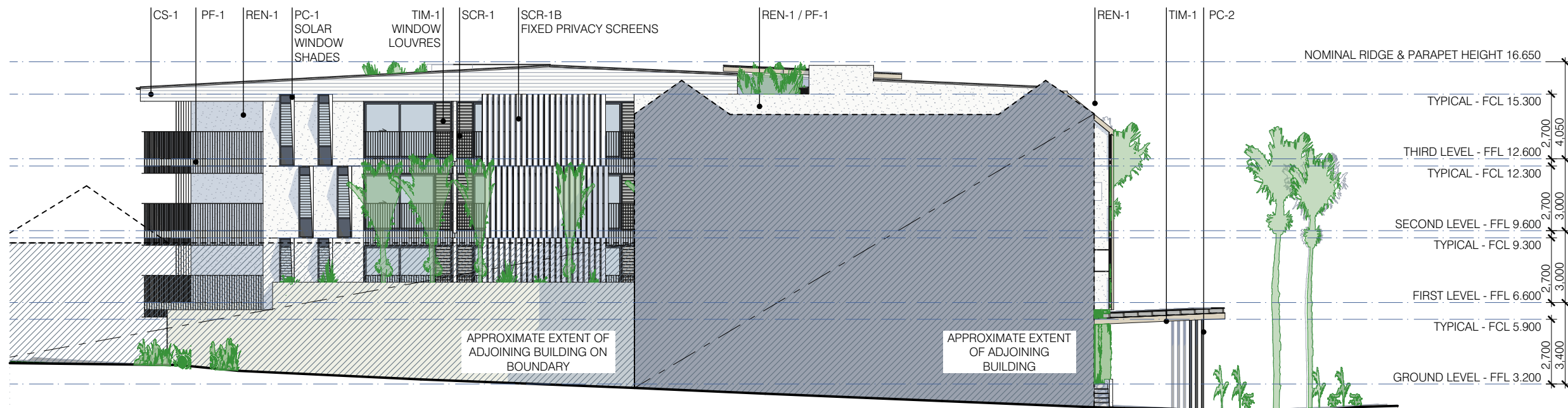
E-01 SOUTH WEST ELEVATION

SCALE: 1:200



E-03 NORTH EAST ELEVATION

SCALE: 1:200



E-02 NORTH WEST ELEVATION

SCALE: 1:200

FINISHES SCHEDULE

CODE	DESCRIPTION
TIM-1 / TIM-1A	TIMBER SCREEN TRELLIS POSTS & DECKING SPECIES LOCAL HARDWOOD TONE TBC
PAV-1	SLATE PAVING - LOCAL STONE FORMAT - 'CRAZY PAVING'
PAV-2	STREET PAVEMENT TO COUNCIL'S SPECIFICATION
REN-1	SMOOTH RENDER FINISH COLOUR - WHITE
CON-1	CONCRETE QUALITY FINISH COLOUR - NATURAL GREY EXPOSED SLAB SOFFITS
PF-1	PAINT FINISH TONE WHITE
PF-2	PAINT FINISH TONE 'BASALT' OR EQUAL
PC-1 / SCR-1 SCR-1A / SCR-1B	POWDERCOATED FINISH TONE WHITE TO ALL BALUSTRADES, TO WINDOW SHADE SCREENS / MESH METAL FINISHES.
PC-2	POWDERCOATED FINISH TO METALS AND WINDOW/ DOOR FRAMES TONE 'BASALT' OR EQUAL WITH CEILING FANS SELECTED TO MATCH
CS-1	WEATHERBOARD CLADDING PAINT FINISH TONE WHITE
MEM-1	MEMBRANE ROOF
MR-1	METAL ROOF TONE 'BASALT' OR EQUAL COASTAL GRADE MICRONS GUTTERS TO MATCH OR STAINLESS STEEL.
TR-1	TRANSLUCENT ROOF TONE CLEAR OR OPAL GUTTERS STAINLESS STEEL OR COASTAL GRADE COLOROND.

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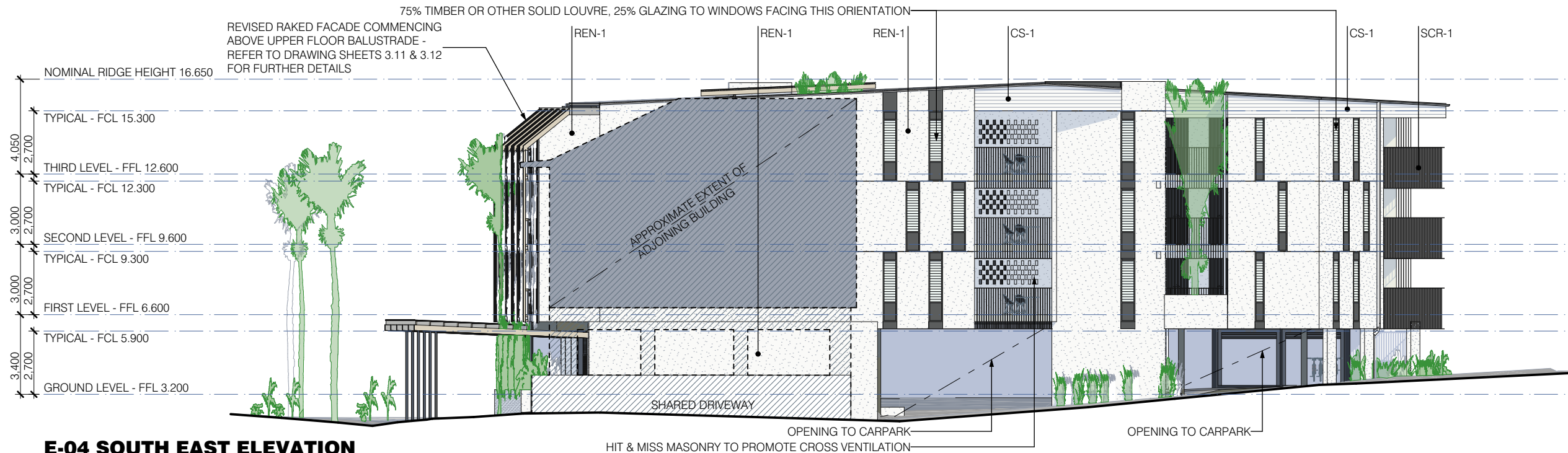
DATE:
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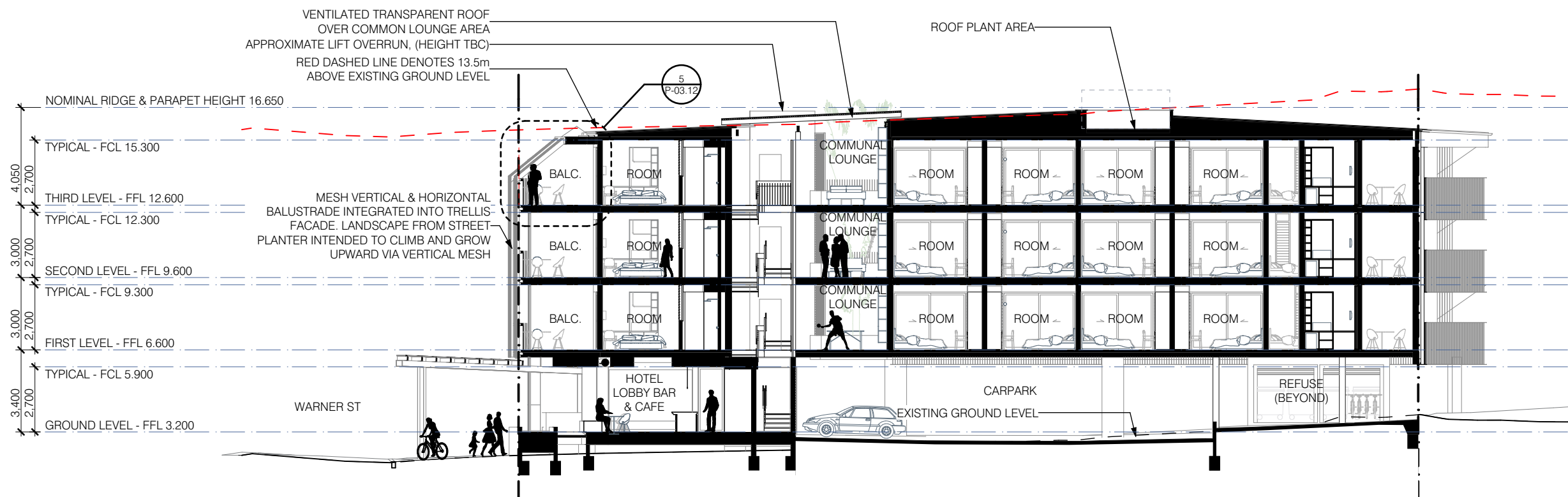
DWG. TITLE: ELEVATIONS
PLOT DATE: 9/10/2019
SCALE: AS SHOWN AT A3
DWG. NO.: P-03.02 REV: P1

PROJECT: **WARNER STREET HOTEL
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E-04 SOUTH EAST ELEVATION
SCALE: 1:200



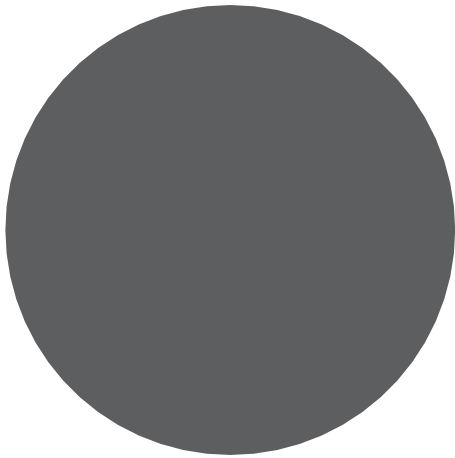
SECTION A
SCALE: 1:200

FINISHES SCHEDULE

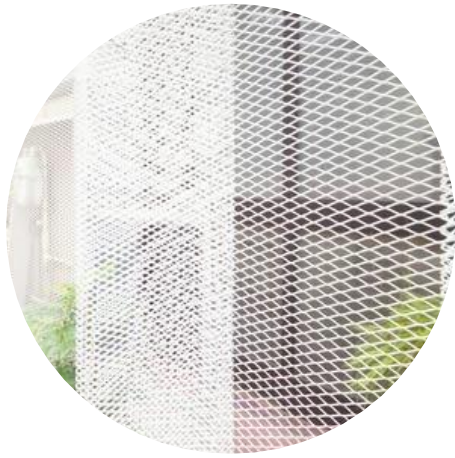
CODE	DESCRIPTION
TIM-1 / TIM-1A	TIMBER SCREEN TRELLIS POSTS & DECKING SPECIES LOCAL HARDWOOD TONE TBC
PAV-1	SLATE PAVING - LOCAL STONE FORMAT - 'CRAZY PAVING'
PAV-2	STREET PAVEMENT TO COUNCIL'S SPECIFICATION
REN-1	SMOOTH RENDER FINISH COLOUR - WHITE
CON-1	CONCRETE QUALITY FINISH COLOUR - NATURAL GREY EXPOSED SLAB SOFFITS
PF-1	PAINT FINISH TONE WHITE
PF-2	PAINT FINISH TONE 'BASALT' OR EQUAL
PC-1 / SCR-1 SCR-1A / SCR-1B	POWDERCOATED FINISH TONE WHITE TO ALL BALUSTRADES, TO WINDOW SHADE SCREENS / MESH METAL FINISHES.
PC-2	POWDERCOATED FINISH TO METALS AND WINDOW/ DOOR FRAMES TONE 'BASALT' OR EQUAL WITH CEILING FANS SELECTED TO MATCH
CS-1	WEATHERBOARD CLADDING PAINT FINISH TONE WHITE
MEM-1	MEMBRANE ROOF
MR-1	METAL ROOF TONE 'BASALT' OR EQUAL COASTAL GRADE MICRONS GUTTERS TO MATCH OR STAINLESS STEEL.
TR-1	TRANSLUCENT ROOF TONE CLEAR OR OPAL GUTTERS STAINLESS STEEL OR COASTAL GRADE COLOROND.



CON-1



PC-2 / PF-2



SCR-1A



REN-1



CS-1



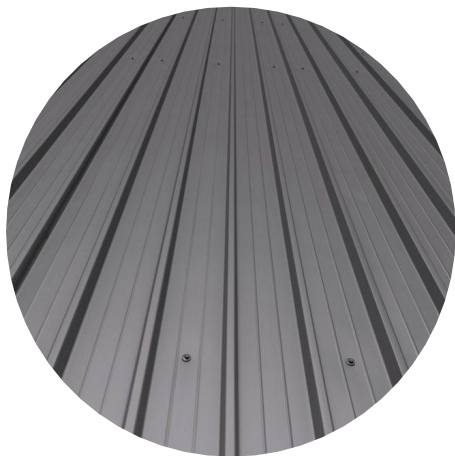
SCR-1B



TIM-1 / TIM-1A



PAV-1



MR-1

FINISHES SCHEDULE

CODE	DESCRIPTION
TIM-1 / TIM-1A	TIMBER SCREEN TRELLIS POSTS & DECKING SPECIES LOCAL HARDWOOD TONE TBC
PAV-1	SLATE PAVING - LOCAL STONE FORMAT - 'CRAZY PAVING'
PAV-2	STREET PAVEMENT TO COUNCIL'S SPECIFICATION
REN-1	SMOOTH RENDER FINISH COLOUR - WHITE
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PF-2	PAINT FINISH TONE 'BASALT' OR EQUAL
PC-1 / SCR-1 SCR-1A / SCR-1B	POWDERCOATED FINISH TONE WHITE TO ALL BALUSTRADES, TO WINDOW SHADE SCREENS / MESH METAL FINISHES.
PC-2	POWDERCOATED FINISH TO METALS AND WINDOW/ DOOR FRAMES TONE 'BASALT' OR EQUAL WITH CEILING FANS SELECTED TO MATCH
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MEM-1	MEMBRANE ROOF
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TR-1	TRANSLUCENT ROOF TONE CLEAR OR OPAL GUTTERS STAINLESS STEEL OR COASTAL GRADE COLOROND.

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DWG. TITLE: MATERIALS SCHEDULE
PLOT DATE: 9/10/2019
SCALE: AS SHOWN AT A3
DWG. NO.: P-03.04 REV: P1

PROJECT: **WARNER STREET HOTEL
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STREET VIEW LOOKING DUE NORTH WEST



STREET VIEW LOOKING DUE EAST

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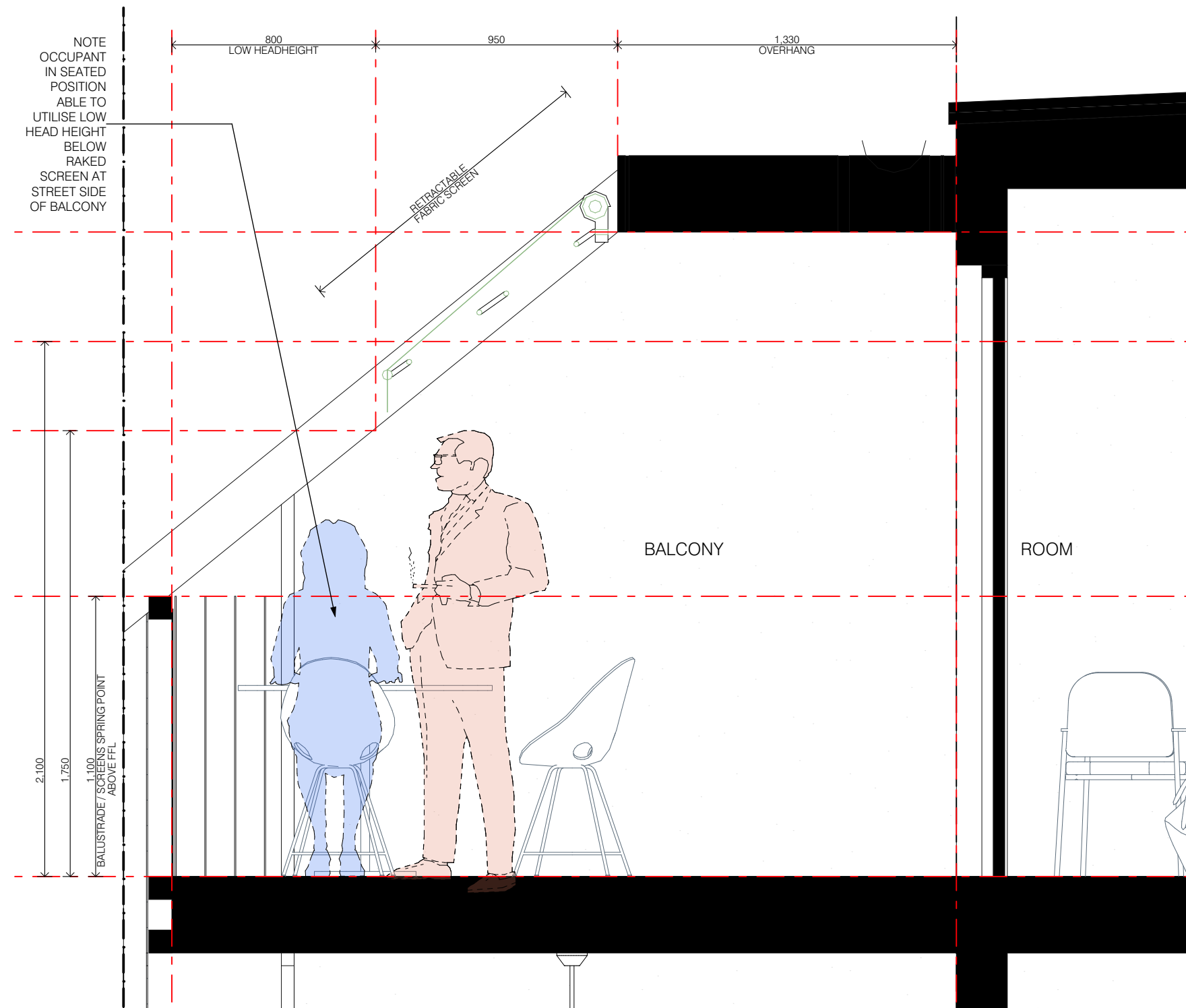
DATE:
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DWG. TITLE: REVISED FACADE - EXTERIOR
PLOT DATE: 9/10/2019
SCALE: AS SHOWN AT A3
DWG. NO.: P-03.11 REV

PROJECT: **WARNER STREET HOTEL**
20 WARNER STREET
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FACADE SECTION

SCALE: 1:20

D.01

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DWG. TITLE: REVISED FACADE - SECTION
PLOT DATE: 9/10/2019
SCALE: AS SHOWN AT A3
DWG. NO.: P-03.12 REV

PROJECT: **WARNER STREET HOTEL
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DWG. TITLE: PERSPECTIVES
PLOT DATE: 9/10/2019
SCALE: AS SHOWN AT A3
DWG. NO.: P-05.02 REV: P1

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WOLVERIDGE ARCHITECTS HAVE BEEN IN PRACTICE SINCE 2000 AND ALTHOUGH BASED IN MELBOURNE, HAVE MAINTAINED A PRESENCE IN PORT DOUGLAS SINCE ITS PRINCIPAL, JERRY WOLVERIDGE COMMENCED UNDERTAKING PROJECTS IN THE REGION AROUND 2003. PRIOR TO THAT TIME, WOLVERIDGE WORKED IN THE LOCAL OFFICE OF GARY HUNT FROM 1993-96 WHERE HE GAINED INSIGHT AND EXPERIENCE IN DESIGNING FOR THE TROPICAL CONDITIONS.

WOLVERIDGE ARCHITECTS HAVE DESIGNED NUMEROUS LANDMARK PROJECTS IN PORT DOUGLAS INCLUDING THE STRIP OF SHOPS AT 23-25 MACROSSAN STREET, INTERNATIONALLY RENOWNED VILLAS AT 59-63 MURPHY STREET, ITS NEIGHBOURS AT 65-67 MURPHY STREET, TWO OF THE TIMELESS BATU JIMBA LAKESIDE RESIDENCES, 3 PREMIUM HOMES WITHIN THE BEACHFRONT MIRAGE ESTATE AND RECENTLY, THE NEW HEMINGWAY'S BREWERY AT CAIRNS WHARF SHED 2.

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DWG. TITLE: ABOUT THE ARCHITECT
PLOT DATE: 9/10/2019
SCALE: AS SHOWN AT A3
DWG. NO.: P-06.01 REV: P1

PROJECT: **WARNER STREET HOTEL
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PORT DOUGLAS**
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PROJ NO: 18 007

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IN TROPICAL CLIMATES WE SEEK RESPITE FROM THE BLISTERING HEAT. THE MAIN THING WE NEED IS SHELTER, IN THE FORM OF A ROOF. GROTTO STYLE UNDERCROFT SPACES THAT MAY BE LOFTY WITH ACCESS TO LIGHT FROM ABOVE AND THE SIDE PROVIDE SUCH COMFORTABLE CONDITIONS IN THE EXTREMES OF THE WET SEASON. CLUB TROPICAL IN PORT DOUGLAS HAS CREATED SUCH SPACES THAT ARE SUCCESSFUL. GUESTS PASS THROUGH ON THEIR WAY TO THE POOL AND HAVE THE OPPORTUNITY TO PAUSE AND ENJOY A BOOK IN NICELY FURNISHED SURROUNDINGS. THESE SPACES CAN BE WELL RECESSED FROM THE HEAT OF THE SUN, HOWEVER, OPENINGS ON AT LEAST TWO SIDES ARE ESSENTIAL TO CAPTURE BREEZES AND CONTRIBUTE TO THE COMFORT. WHEN COMPLEMENTED WITH TROPICAL PLANTING, WHICH MAY ENCOURAGE BIRD LIFE WITHIN THE SPACE, A SERENE EXPERIENCE IS LIKELY. SO RATHER THAN CREATE SEPARATE ROOMS AND SPACES FOR COMMUNAL AREAS, WHY NOT EXPAND THOSE SPACES THAT GUESTS PASS THROUGH SEVERAL TIMES A DAY – STAIRWELLS AND LIFTS FOR EXAMPLE TO INCLUDE WELL DESIGNED SPACES TO SIT, RELAX, READ OR PLAY. THESE ARE THE SUBTLE ASPECTS THAT WE FIRMLY BELIEVE WILL INCREASE THE OPPORTUNITY FOR INTERACTION BETWEEN GUESTS AND ENCOURAGE THE SENSE OF COMMUNAL OFFERINGS THAT WILL BRING LIFE TO EACH LEVEL OF THE HOTEL.

THESE IMAGES HAVE ALL BEEN CAPTURED FROM EXISTING BUILDINGS IN TROPICAL CLIMATES, SUCH AS SRI LANKA, BALI, BRAZIL. IN MANY CASES THESE KIND OF SPACES WORK EVEN BETTER IN BUILT UP URBAN AREAS, THAT ALSO SERVE TO EXCLUDE ROAD NOISES AND SMELLS AND CREATE A SENSE OF PRIVACY FOR THE OCCUPANT.

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REVISION:
P1 - TOWN PLANNING PACKAGE TO COUNCIL

DATE:
09/10/2019

PRELIMINARY
NOT FOR CONSTRUCTION

DWG. TITLE: EXAMPLES OF TROPICAL INTERNAL
COURTYARDS
PLOT DATE: 9/10/2019
SCALE: AS SHOWN AT A3
DWG. NO.: P-06.02 REV: P1

PROJECT: **WARNER STREET HOTEL**
20 WARNER STREET
PORT DOUGLAS
CLIENT: SCALI NOMINEES PTY LTD
PROJ NO: 18 007

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To Whom It May Concern

Re: 20 Warner Street, Port Douglas

Further to our Douglas Shire Council comment, from meeting 14th March 2019 we write to clarify and illustrate carparking requirements.

We confirm the new driveway matches to existing levels of the driveway servicing the basement carpark on the adjacent lot. There was a triangulation error in the survey data provided where the toe of the retaining wall on the existing driveway side was not properly triangulated as a breakline. As a consequence, there was an error in the survey contours. The triangulation error has since been corrected and the current civil design (SK30 attached) shows correct contours to the existing driveway. The existing retaining wall along the edge of the driveway that is to be removed is located outside of the property title and works will need to be performed outside of the title to remove this wall. Our new design matches to the existing levels along the edge of the driveway at the base of the demolished wall.

We confirm the new carpark has been graded for compliance with AS 2890.1 and AS 2890.6 (refer SK30 attached).

Regarding flood immunity of carparking spaces item 4 of council feedback. All carparking space levels are above the range noted in Item 4a. (RL 2.6 or 2.7) and all parking spaces are above RL 2.6 with the majority located above RL 2.8. A flood level of RL2.7 would mean that 2 parking spaces may experience between 30 and 50mm inundation in one corner. This is considered acceptable immunity to RL 2.7.

Item 5 of council feed back. The design vehicle for the service area has been changed from a small Rigid Vehicle (SRV) to a AS2890.1 99 percentile design vehicle (see loading zone swept path SK20 attached).

Item 6 – see attached SK20 and SK21 showing vehicle swept paths

Proposed easement on 23 Macrossan Street. See attached SK21 showing swept paths within proposed easement.

Should you require clarification of any of the above matters raised please don't hesitate to contact this office.

RODGERS CONSULTING ENGINEERS

A handwritten signature in blue ink, appearing to read 'H. Rodgers', with a long horizontal flourish extending to the right.

Heath P Rodgers

B E(Hons) MIE Aust RPEQ 7859

Attachments – SK20, SK21 and SK30

To Whom It May Concern

RE: Development Application MCUC 2915/2018, 20 Warner St, Pt Douglas. RFI 18007CL

The proposed hotel development at 20 Warner Street, Port Douglas incorporates 12 on-site carparking spaces at ground level. Access to the parking spaces has been assessed by undertaking a review of AS2890.1 requirements for off-street carparking and B99 swept path analysis for entry and egress movements to each parking space. AutoTurn 10.2 software on an AutoCad 2019 platform was used to perform the swept path analysis.

The ground floor carparking is shown on Wolveridge Architects drawing P-02.02 (14/01/19) and is summarised as follows:

- Spaces 1 to 9 - 9 x 90 degree angle parking spaces separated by a central aisle. The parking spaces are 2.4m wide with a 6.5m central aisle and includes provision for 1 x PWD parking space. These parking dimensions comply with AS2890.1 (Table 1.1) user class 1 & 1A for all day commuter & employee parking.
- Spaces 10 to 12 - 3 x 90 degree angle parking spaces located on one side of the existing shared driveway to an existing carpark at the rear of a Macrossan Street site. The parking spaces are 2.4m wide and the shared driveway is approximately 7.4m wide at this location. These parking dimensions comply with AS2890.1 (Table 1.1) user class 1 & 1A for all day commuter & employee parking.
- Parking spaces 3, 4, 5, 7, 8, 9 & 10 require a B99 design vehicle to reverse into the parking space. Parking spaces 1, 4, 5 & 11 will require three point turns for entry or egress as allowed for in AS2890.1 Table 1.1 for user class 1A parking.
- Parking spaces 1 to 9, 11 and 12 comply with AS2890.1 Figure 5.2 with columns and other obstructions clear of the required parking envelope. Parking space 10 has a column within the parking envelope although it can be demonstrated that the parking space can be accessed by a B99 design vehicle albeit within the 300mm vehicle clearances normally used for swept path design.
- B99 swept paths for entry and egress to each parking space is shown on Rodgers Consulting 180307-SK1 to SK12. Autoturn standard templates were modified for the minimum turning radius allowed for in AS2890.1 Fig B3 & B5.
- The Wolveridge architects hotel drawings show a clearance of 2.8m for the ground floor to FFL 3.10 to RL 5.90 (first floor soffit). This complies with AS2890.1 5.3 for a minimum headroom of 2.3m (PWD access) and 2.5m (AS2890.6) for the PWD parking space. Carparks 1 to 9 will generally have greater headroom due to the grades and falls required to match the existing shared driveway and this can be confirmed during final design.

Proposed carpark levels range from RL2.5 to RL 3.0. Carparks 10 to 12 range in level between 3.40 and 3.70 and meet the 2.2m minimum head requirement (no PWD access).

- The proposed carpark levels are compliant with AS2890.1 in terms of grade and crossfall including PWD access. This can be confirmed during final design.
- An MRV laundry service vehicle will attend the development kerbside. The laundry from the proposed hotel is intended to be transported to the kerbside in caged trolleys on castors and loaded in a medium ridged vehicle parked kerbside in front of the development. Pickup/ dropoff times will be early morning to avoid traffic congestion.

It is acknowledged that this development is located in a part of Port Douglas that may be affected by flooding in certain events. This is evidenced by the floor level of 3.10 (set by the local flood level) and existing kerb invert level of 1.87 in Warner Street. The stormwater design will include measures to ensure a non-worsening of the Warner Street drainage due to this development. Stormwater drainage detention will be incorporated with this development to ensure that the stormwater discharge from this development is not greater than from the existing undeveloped site. Because of the difference in height between the Hotel ground floor level and the Warner Street kerb, a stormwater detention tank can be built under the first floor. The tank can approximately 1.0m deep and can discharge to the Warner Street kerb with 100 dia max. pipes. Preliminary calculations in accordance with the recommendations of the Queensland Urban Drainage Manual (QUDM) are attached with the following average basin sizes:

Q2 3.26 m3

Q5 4.54 m3

Q10 5.33 m3

Q20 6.39 m3

Q100 8.03 m3

Adopting the Q100 storage volume for the worst case scenario will require a sub floor tank 4.0m long x 2.0m wide x 1.0m deep or 2.8m x 2.8m x 1.0m deep. The tank will require a sealed cover to the ground floor for maintenance access and will have an overflow outlet at the top of the tank to Warner Street. These calculations assume a fraction impervious of 0.9 for the entire site and is considered conservative due to the fact that numerous planter beds will be discharged to Warner Street directly bypassing the detention tank.

Final stormwater drainage detention details can be confirmed during final design.

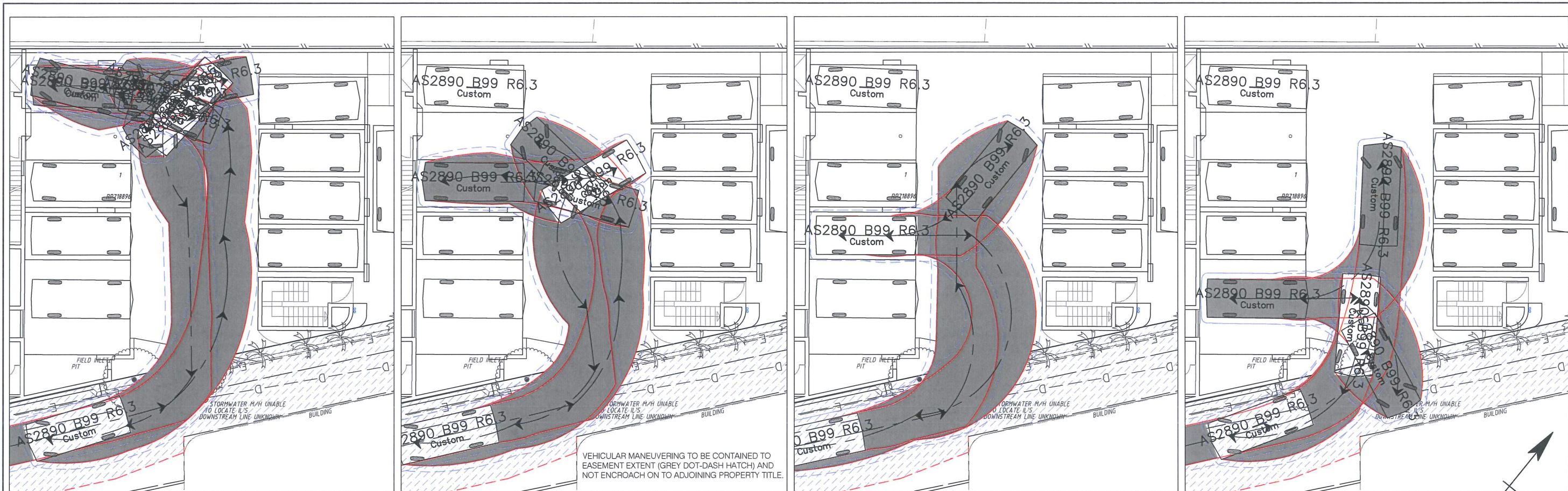
Yours faithfully

RODGERS CONSULTING ENGINEERS



Heath P Rodgers

B E (Hons) MIE Aust RPEQ 7859

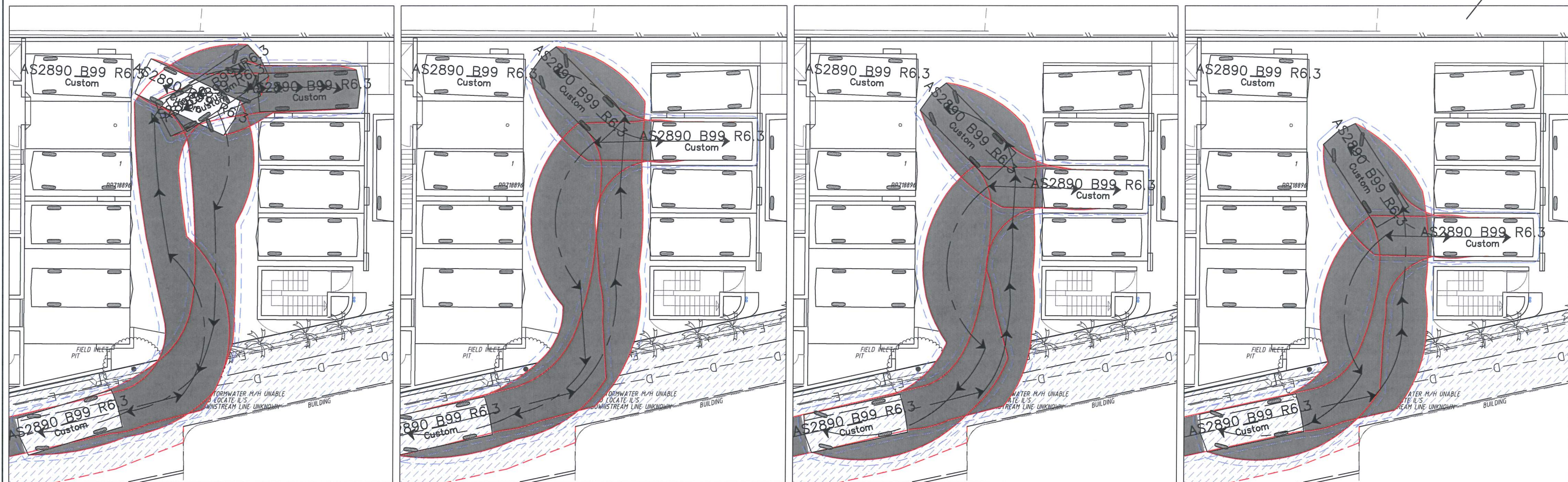


CARPARK 1

CARPARK 2

CARPARK 3

LOADING ZONE



CARPARK 4

CARPARK 5

CARPARK 6

CARPARK 7

P2	SWEPT PATHS REVISED	19/06/19			
P1	PRELIMINARY ISSUE	25/07/19			
REV	DESCRIPTION	APP'D	DATE	REV	DESCRIPTION

THE ENGINEERING NOTES ATTACHED TO THE CERTIFICATE FOR THIS JOB NUMBER ARE PART OF THE DRAWINGS, AND ARE TO BE ATTACHED TO EACH SET OF DRAWINGS TO BE WORKED FROM.

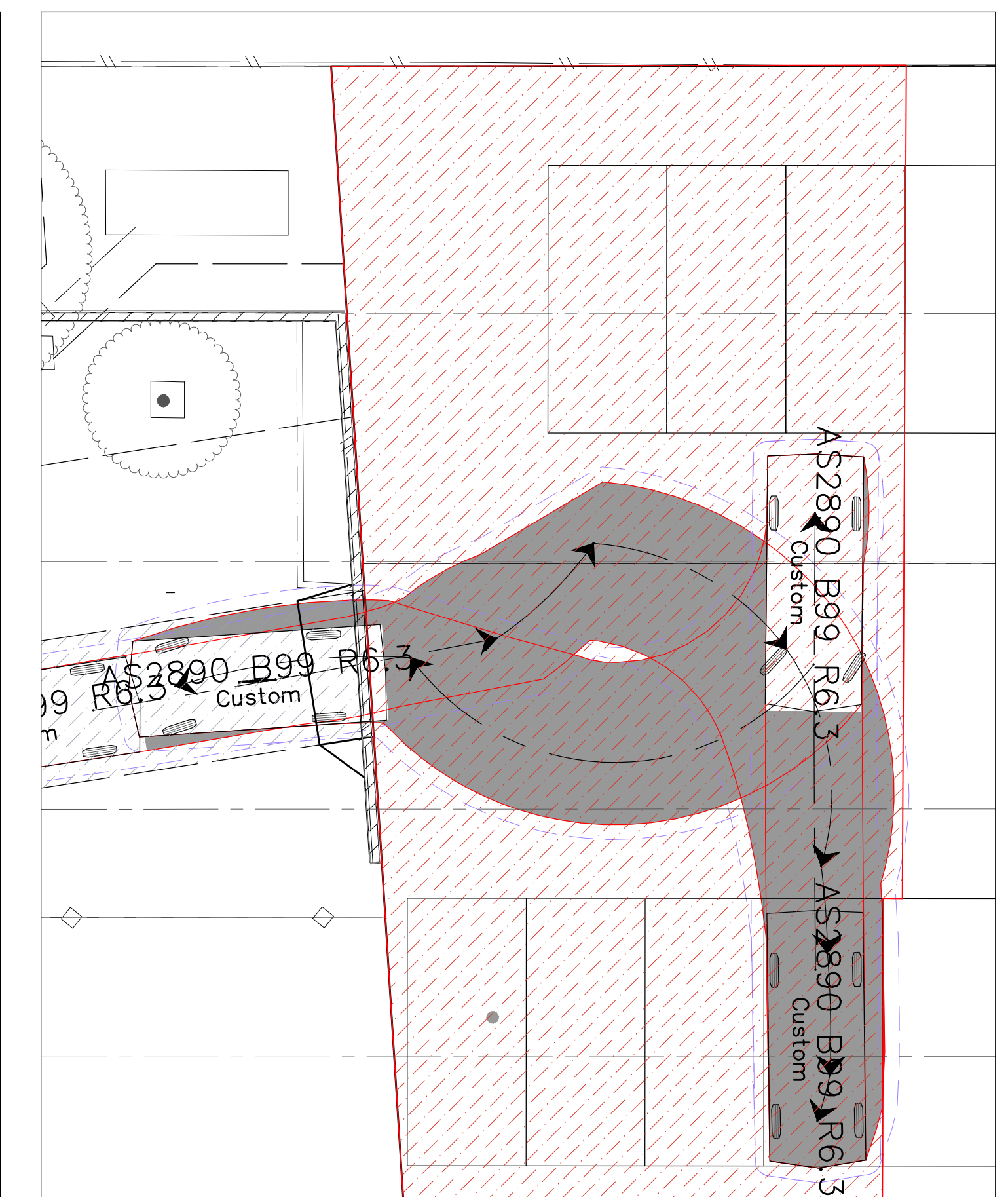
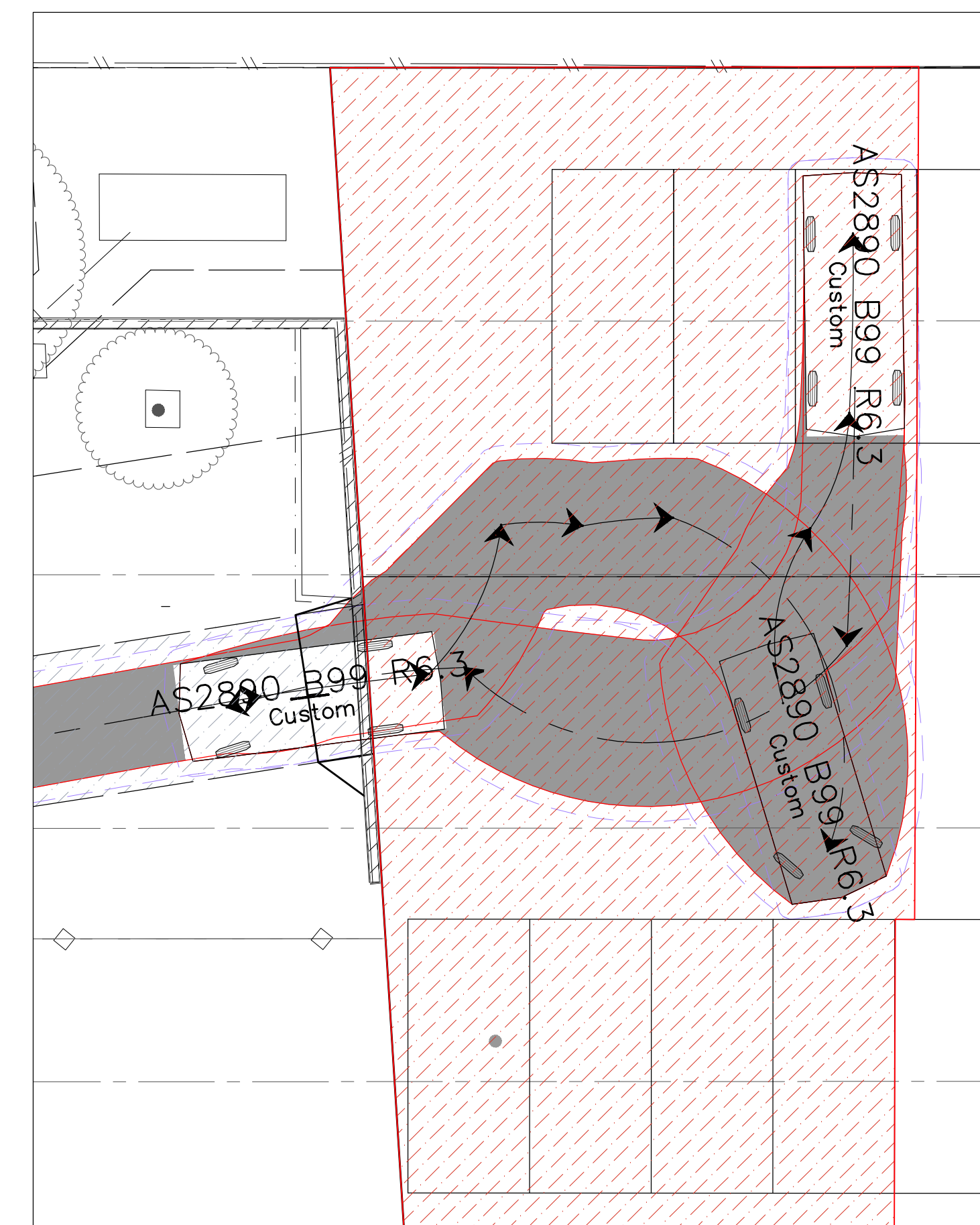
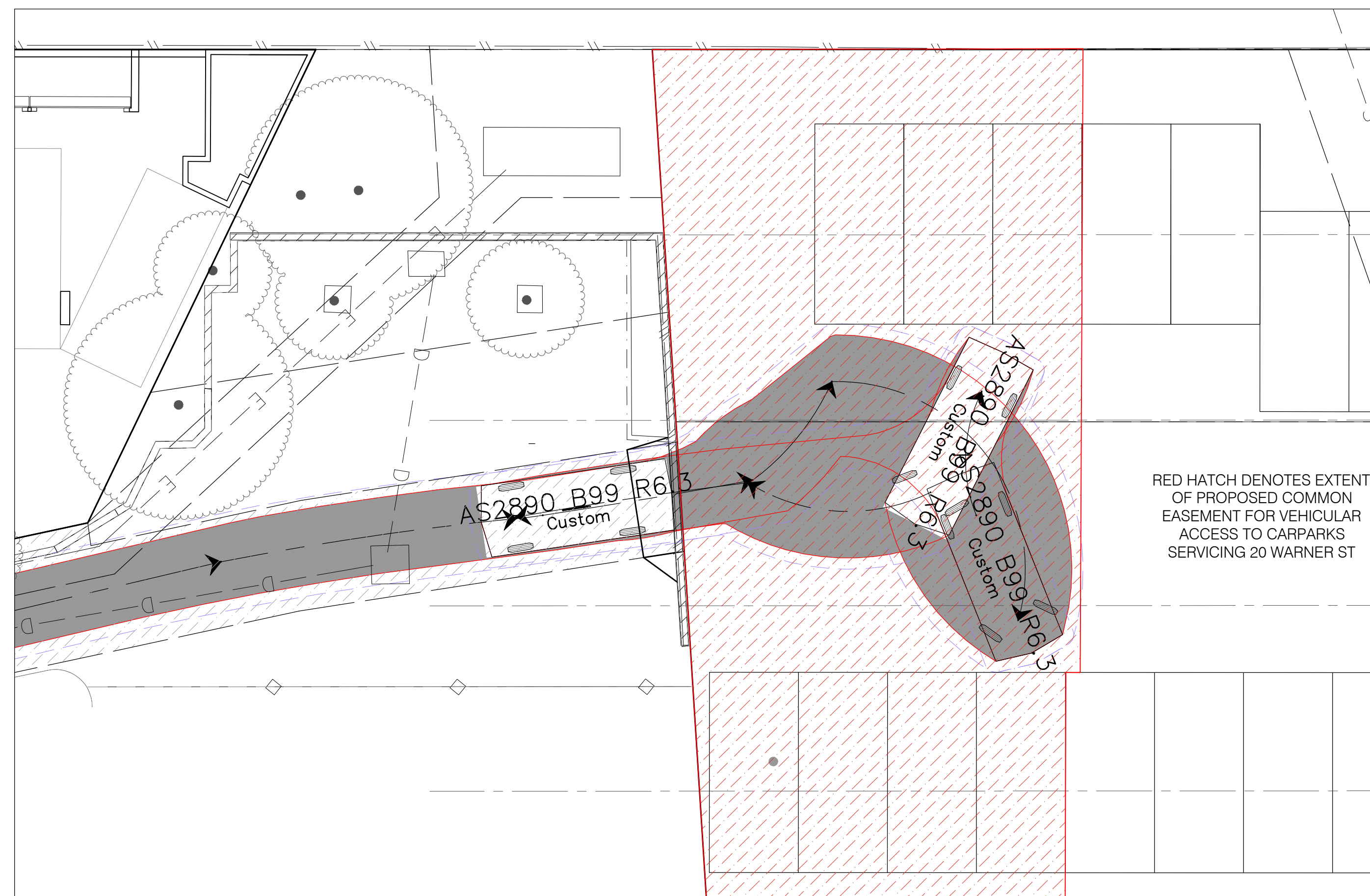
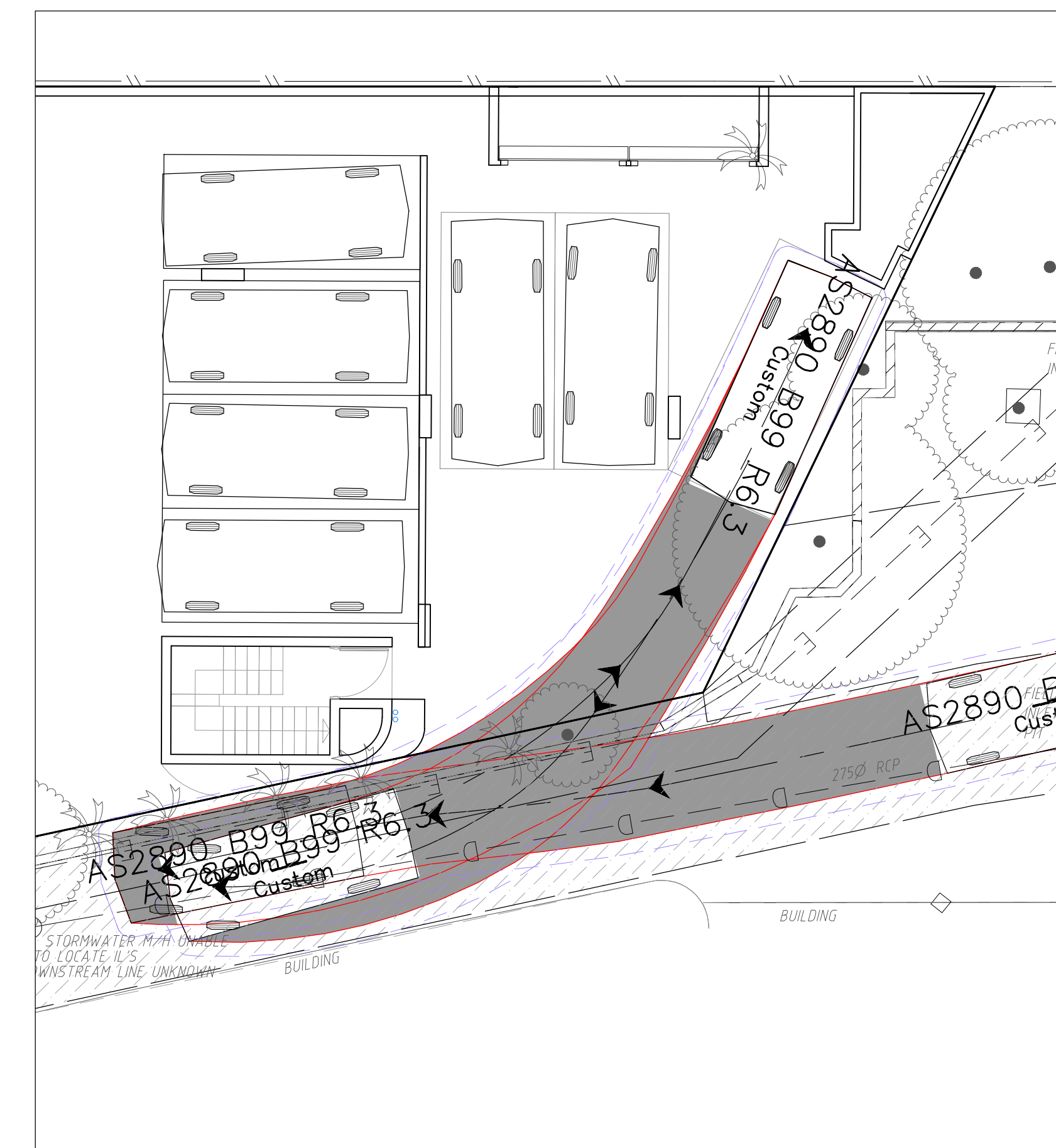
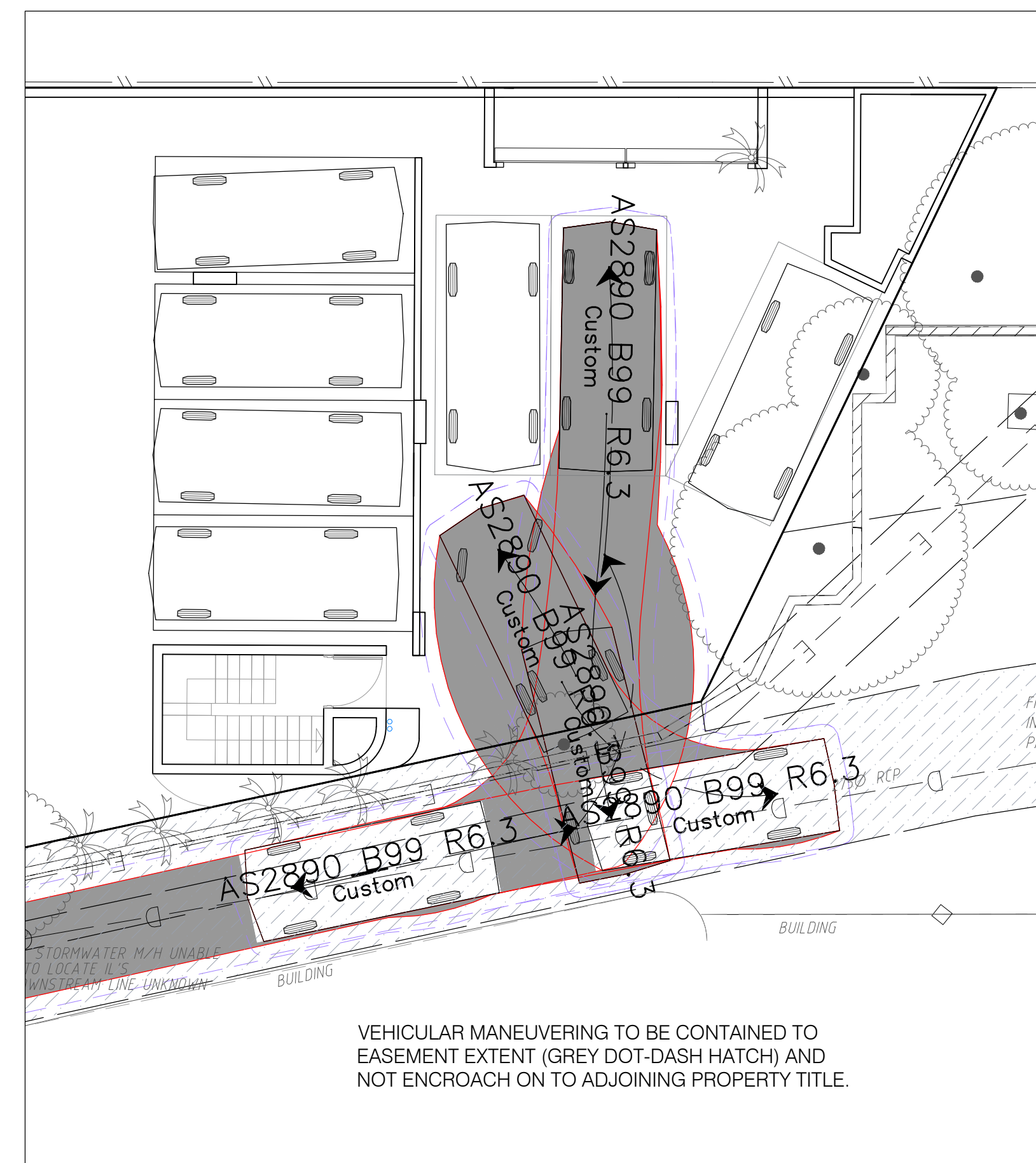
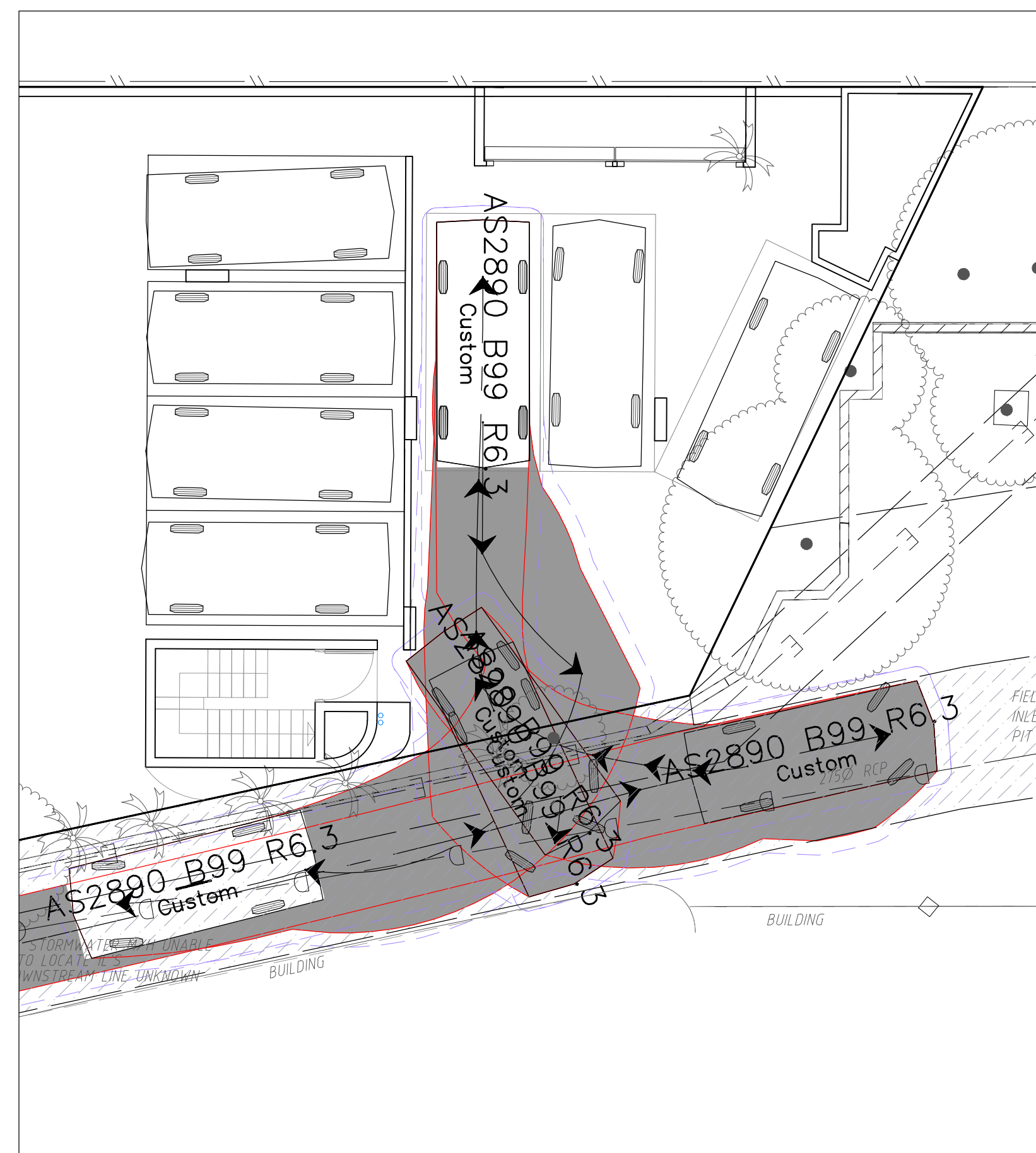
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CLIENT: SCALI NOMINEES PTY LTD
 PROJECT: WARNER STREET HOTEL
 20 WARNER STREET
 PORT DOUGLAS

RODGERS CONSULTING ENGINEERS
 124 SPENCE STREET
 P.O. BOX 1769
 CAIRNS 4870
 admin@roddgersconsulting.com.au
 PHONE: 07 4051 9466
 FAX: 07 4051 9477

TITLE: AS2890.1 B99 DESIGN VEHICLE SWEEP PATHS - SHEET 1 OF 2			
DRAFTED: EWK	REVIEWED:	APPROVED:	
DESIGNED: EWK	A1 PLAN		
SCALE: 1:100 (A1)	PROJECT NO: 180307	DWG NO: SK20	REV: P2



P5	REAR CARPARKS REVISED	04/09/19				<p>THE ENGINEERING NOTES ATTACHED TO THE CERTIFICATE FOR THIS JOB NUMBER ARE PART OF THE DRAWINGS, AND ARE TO BE ATTACHED TO EACH SET OF DRAWINGS TO BE WORKED FROM.</p> <p>THIS DRAWING IS COPYRIGHT AND MUST NOT BE COPIED OR USED WITHOUT THE AUTHORITY OF RODGERS CONSULTING. DO NOT SCALE FROM THIS DRAWING. THE CONTRACTS ARE TO VERIFY ALL DIMENSIONS BEFORE MAKING SHOP DRAWINGS OR COMMENCING MANUFACTURE. THE CONTRACTOR IS TO BRING TO THE NOTICE OF THE DESIGNER ANY DISCREPANCIES PRIOR TO COMMENCING RELATED WORK.</p>	
P4	CARPARK 10 REVISED	28/08/19					
P3	CARPARK 8 SWEPT PATH REVISED	27/08/19					
P2	SWEPT PATHS REVISED	19/08/19					
P1	PRELIMINARY ISSUE	25/07/19					
REV	DESCRIPTION	APP'D	DATE	REV	DESCRIPTION	APP'D	DATE



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CLIENT: SCALI NOMINEES PTY LTD

PROJECT: WARNER STREET HOTEL
20 WARNER STREET
PORT DOUGLAS

RODGERS CONSULTING ENGINEERS

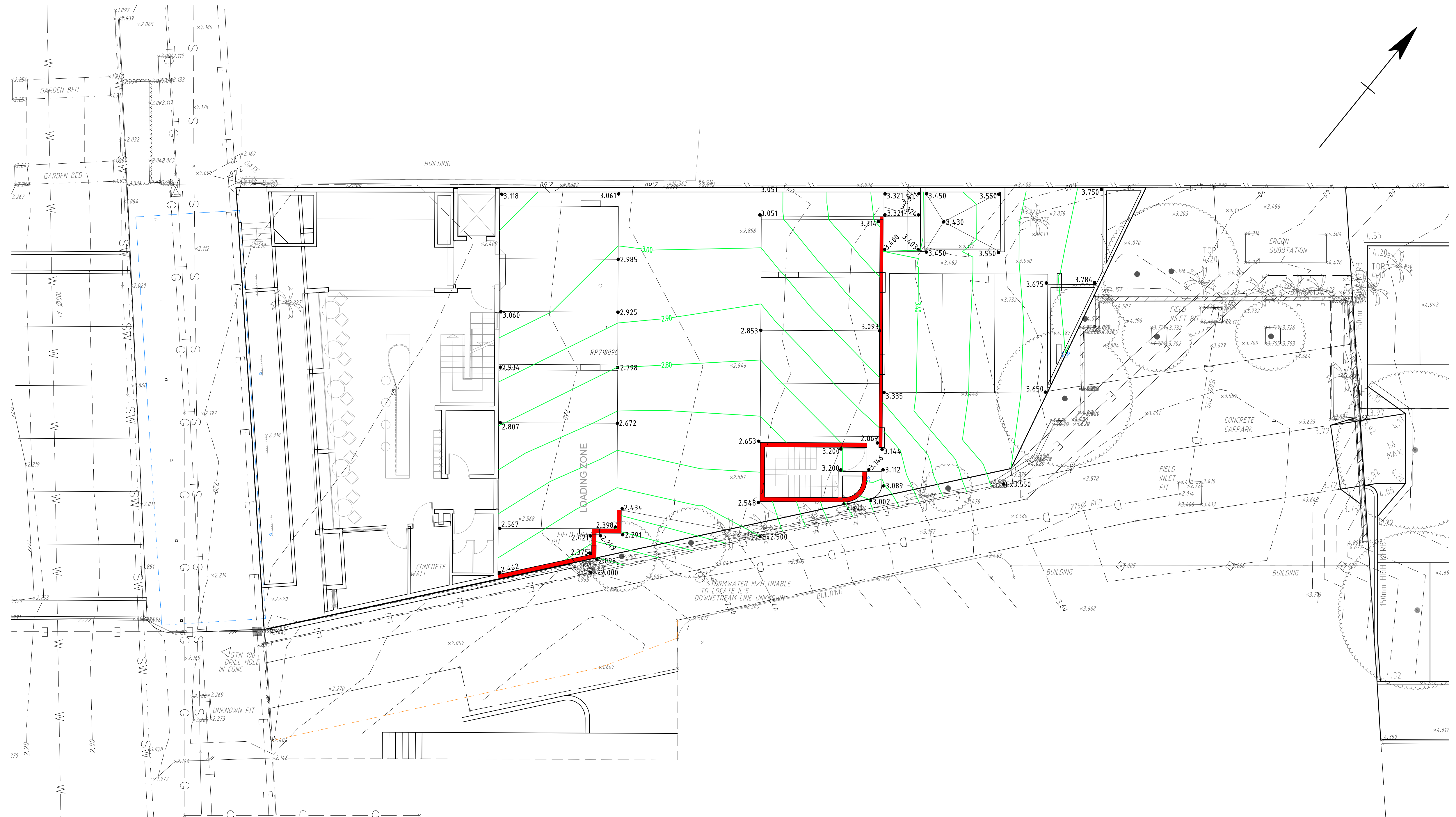
124 SPENCE STREET
P.O. BOX 1769
CAIRNS 4870

PHONE: 07 4051 9466
FAX: 07 4051 9477

admin@rogersconsulting.com.au

TITLE: AS2890.1 B99 DESIGN VEHICLE
SWEPT PATHS – SHEET 2 OF 2

DRAFTED: EWK	REVIEWED:	APPROVED:
DESIGNED: EWK	A1 PLAN	
SCALE: 1:100 (A1)	PROJECT NO: 180307	DWG NO: SK21
		REV: P5



PLAN
SCALE: 1:100 (A1)

P1	PRELIMINARY ISSUE	27/08/19				
REV	DESCRIPTION	APP'D	DATE	REV	DESCRIPTION	APP'D
DATE						

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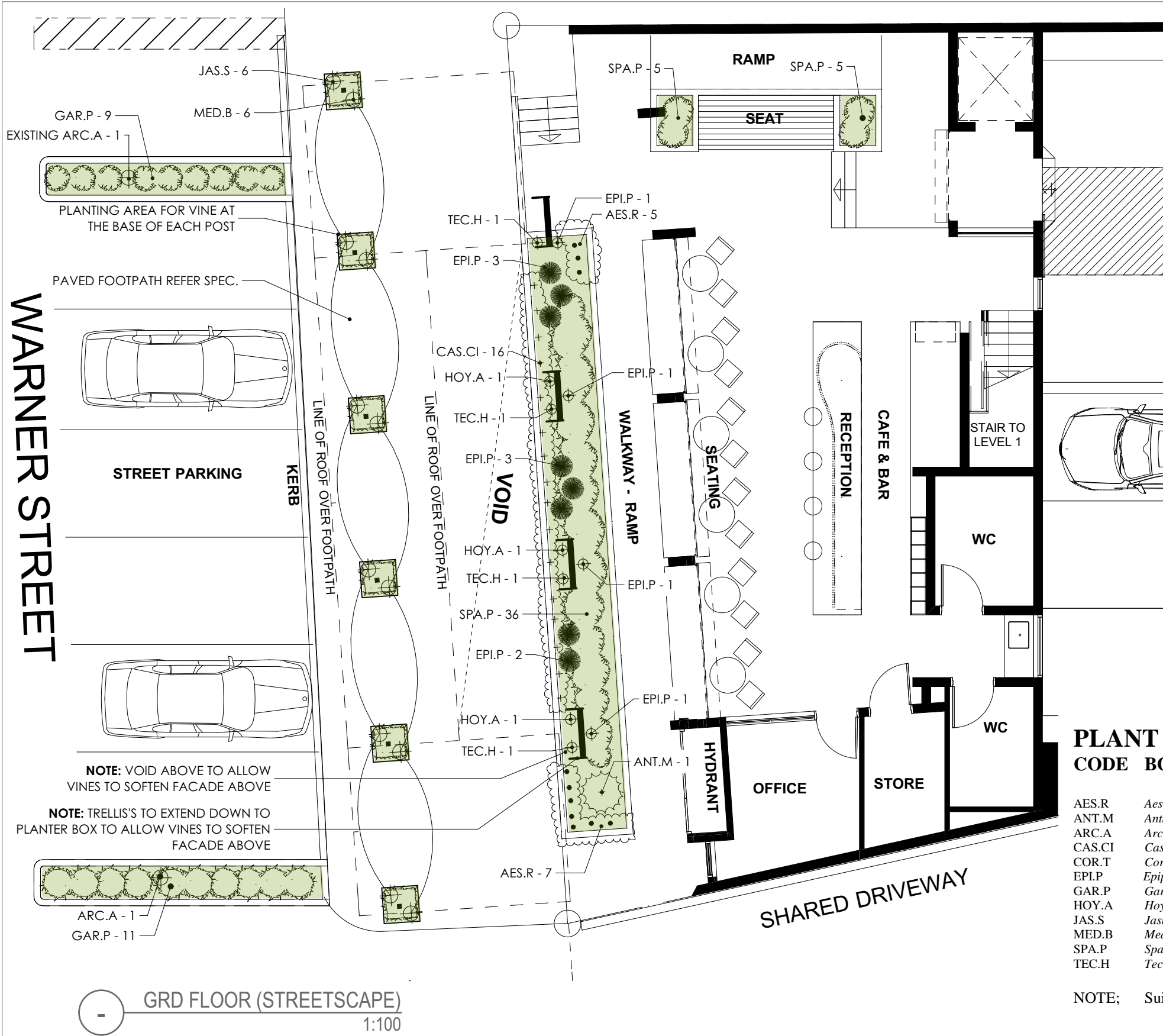
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CLIENT:	SCALI NOMINEES PTY LTD
PROJECT:	WARNER STREET HOTEL 20 WARNER STREET PORT DOUGLAS

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P.O. BOX 1769
CAIRNS 4870
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PHONE: 07 4051 9466
FAX: 07 4051 9477

TITLE:				CIVIL WORKS PRELIMINARY CARPARK LEVELS	
DRAFTED:		EWK		REVIEWED:	
DESIGNED:		EWK		APPROVED:	
		A1 PLAN			
SCALE:		1:100 (A1)		PROJECT NO:	
		180307		DWG NO:	
				SK30	
				REV:	
				P1	



LANDSCAPE SPECIFICATION;

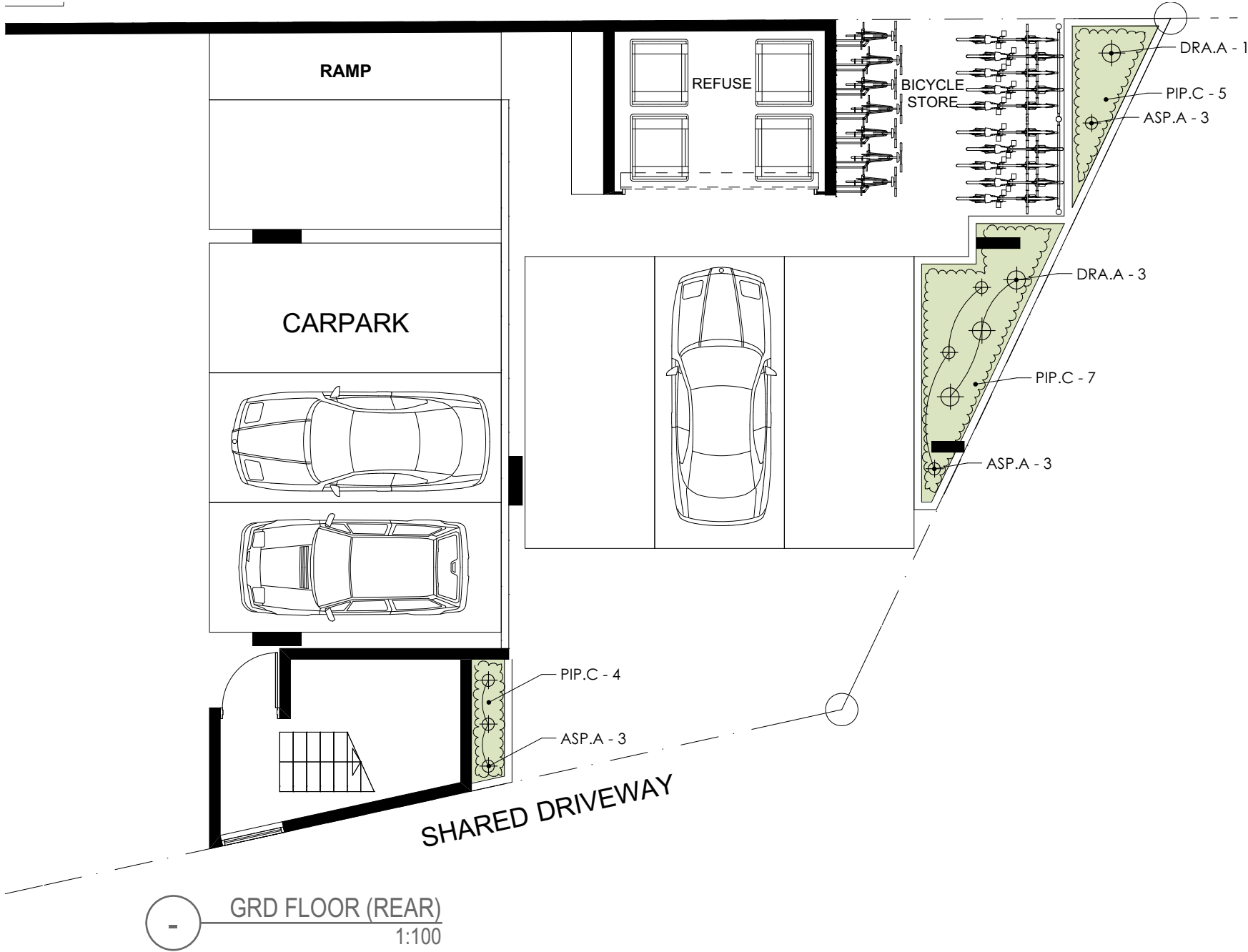
- Footpath Paving:** To be clay brick pavers to match existing footpath, with colour and laying pattern to be approved by Council in accordance with FNQROC, and Australian Standards.
- Trellis:** are proposed to be suitable 100mm square mesh, framed with 75mm square metal tubing before powder coating and mounting 100mm off and solid wall, to allow plants to climb throughout the mesh. All trellising to Architects detail and Engineering standards.
- Irrigation:** All planting areas to be irrigated with an automated system. All street plantings will use drip irrigation and be connected to the proposed buildings automated irrigation system. Planter boxes to be irrigated with spray heads. Irrigation to be installed in accordance with Council regulations and Australian Standards.
- Natural ground soil:** is to be cultivated to a depth of 300mm and amended with 50% aged compost, with 500g/m2 of gypsum and suitable organic fertiliser at recommended rate.
- Planter Boxes/drainage:** to architect's detail. Internal areas are to be sealed with a suitable waterproof flexible membrane before covering with coreflute, & biddum geofabric to protect the surface. Drainage cell is to be applied to the base and any walls that adjoin any internal area. Apply biddum geofabric over drainage cell prior to filling area with approved soil mix. Drainage to be connected to a separate storm water system (NOT ROOF SYSTEM) and allow for an overflow pit (250mm) in each bed set 100mm below the top of the planter box wall.
- Planter Box soil:** is to be a suitable podium mix of 50% approved potting mix with 50% Quincan pebble (10mm), and pH adjusted. Allow for 30% compaction in boxes over the first 12 months by loading the soil height above required. Mulch with Quincan pebble (10mm) to 75mm deep.
- Plants:** Have been chosen to enhance the natural character of the Port Douglas area. All plant material is to be of a high quality, in correct pot size or larger and approved by landscape designer prior to planting.

PLANT LIST; Streetscape Planting

CODE	BOTANICAL NAME	COMMON NAME	NO.	POT SIZE	TYPE	H&W.
AES.R	<i>Aeschynanthus radicans</i>	Lipstick Plant	12	140mm	C	0.3x2
ANT.M	<i>Antherium magnificum</i>		1	200mm	S	1x1
ARC.A	<i>Archontophoenix alexandrae</i>	Alexander palm	1	45ltr	P	10x4
CAS.CI	<i>Casuarina glauca</i> "Cousin it"		16	200mm	GC	0.3x 2
COR.T	<i>Cordyline terminalis</i>	Cordyline	9	200mm	S	2x1
EPI.P	<i>Epipremnum pinnatum</i>	Native Monstera	5	200mm	C	10x1
GAR.P	<i>Gardenia psidioides</i>	Glennie River Gardenia	20	140mm	GC	0.5x2
HOY.A	<i>Hoya australis</i>	Native Hoya Vine	3	200mm	C	8x2
JAS.S	<i>Jasminum simplicifolium subsp. australiense</i>	Native Jasmin	6	140mm	S	3x3
MED.B	<i>Medinilla balls-headleyi</i>	Daintree Medinilla	6	200mm	C	6x3
SPA.P	<i>Spathophyllum "Pablo"</i>	Peace lily	46	140mm	S	0.6x0.6
TEC.H	<i>Tecomanthe hillii</i>	Fraser Island Creeper	4	200mm	C	8x4

NOTE; Suitable substitutions may be made depending on the availability of the species and pot size.

KEY; C = Climber F = Fern GC = Ground Cover
G = Ginger P = Palm S = Shrub
Se= Sedge T = Tree

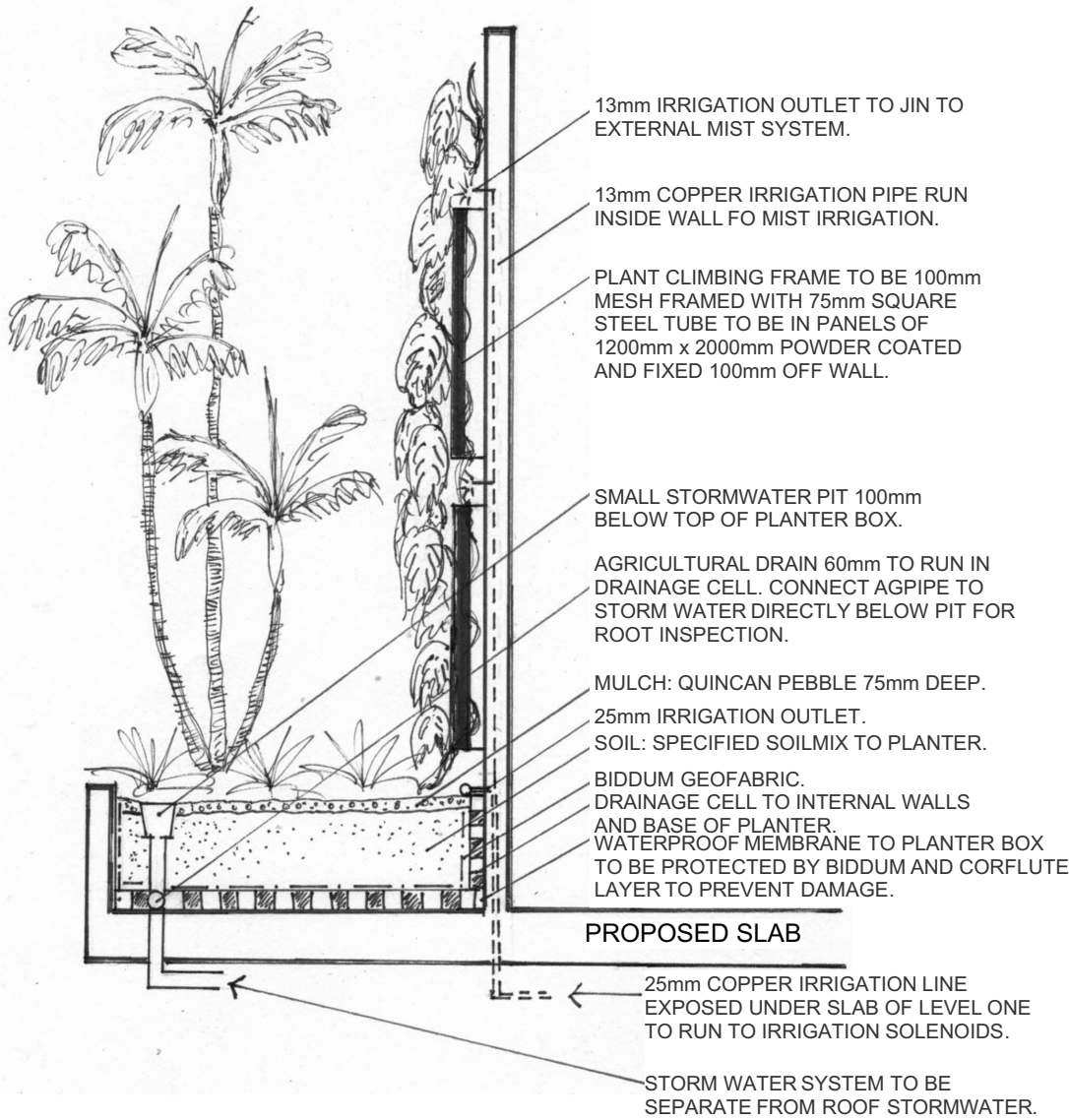


PLANT LIST; Carpark Planters

CODE	BOTANICAL NAME	COMMON NAME	NO.	POT SIZE	TYPE	H&W.
ASP.A	<i>Asplenium australasicum</i>	Birds Nest Fern	7	200mm	F	1x1
DRA.A	<i>Draceana angustifolia</i>	Native Draceana	4	300mm	S	6x4
PIP.C	<i>Piper caninum</i>	Native Pepper	16	140mm	C	6x4

NOTE; Suitable substitutions may be made depending on the availability of the species and pot size.

KEY; C = Climber
G = Ginger
Se= Sedge
F = Fern
P = Palm
T = Tree
GC = Ground Cover
S = Shrub



TYPICAL PLANTER BOX SECTION

NTS

LANDSCAPE PLAN



HORTULUS
LANDSCAPE DESIGN & MANAGEMENT
HORTULUS AUSTRALIA PTY LTD
ABN NO 84 105 194 821

Consultant: John Sullivan
B.App.Sc.Hort, M.A.I.H

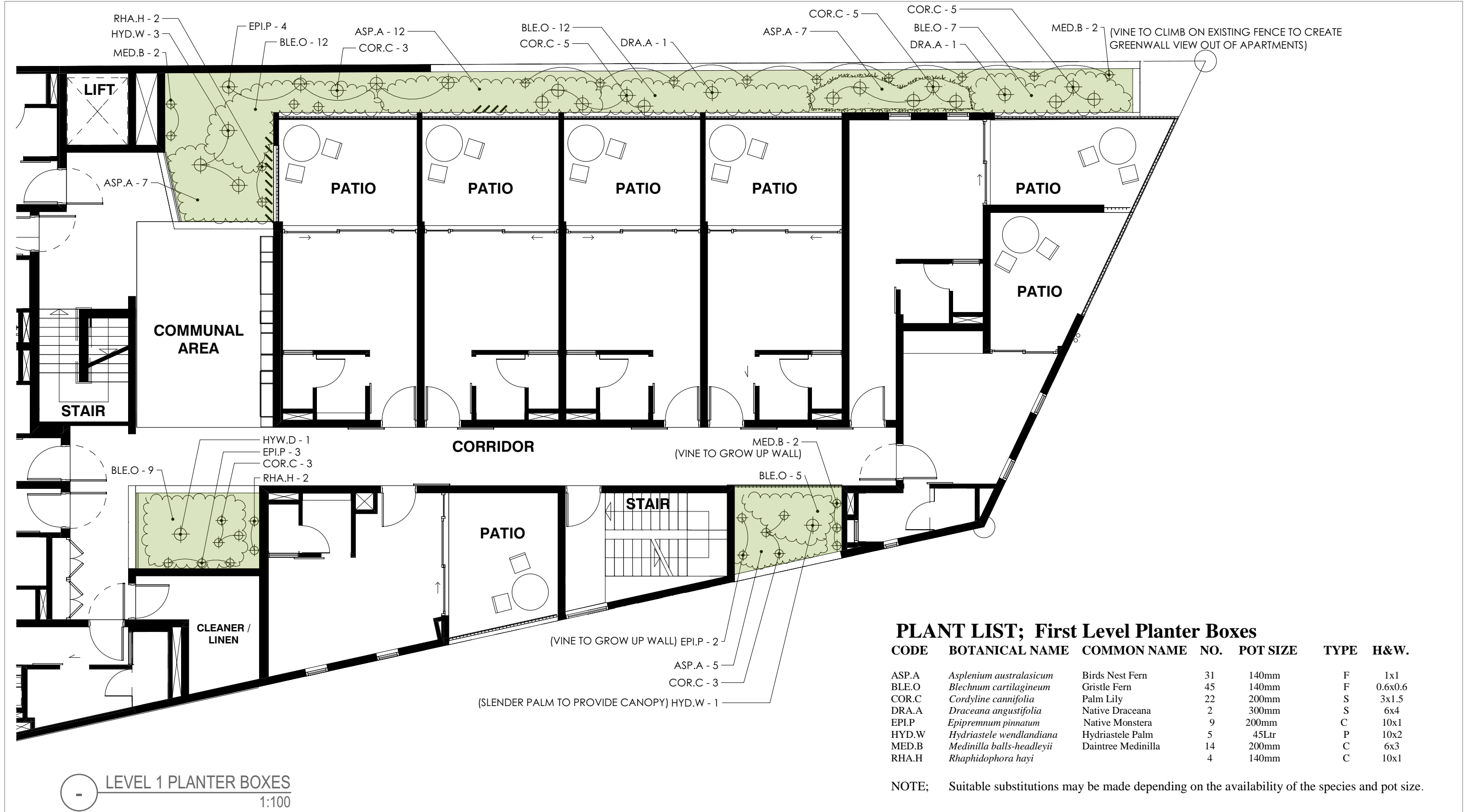
Client: Scali Nominees P/L

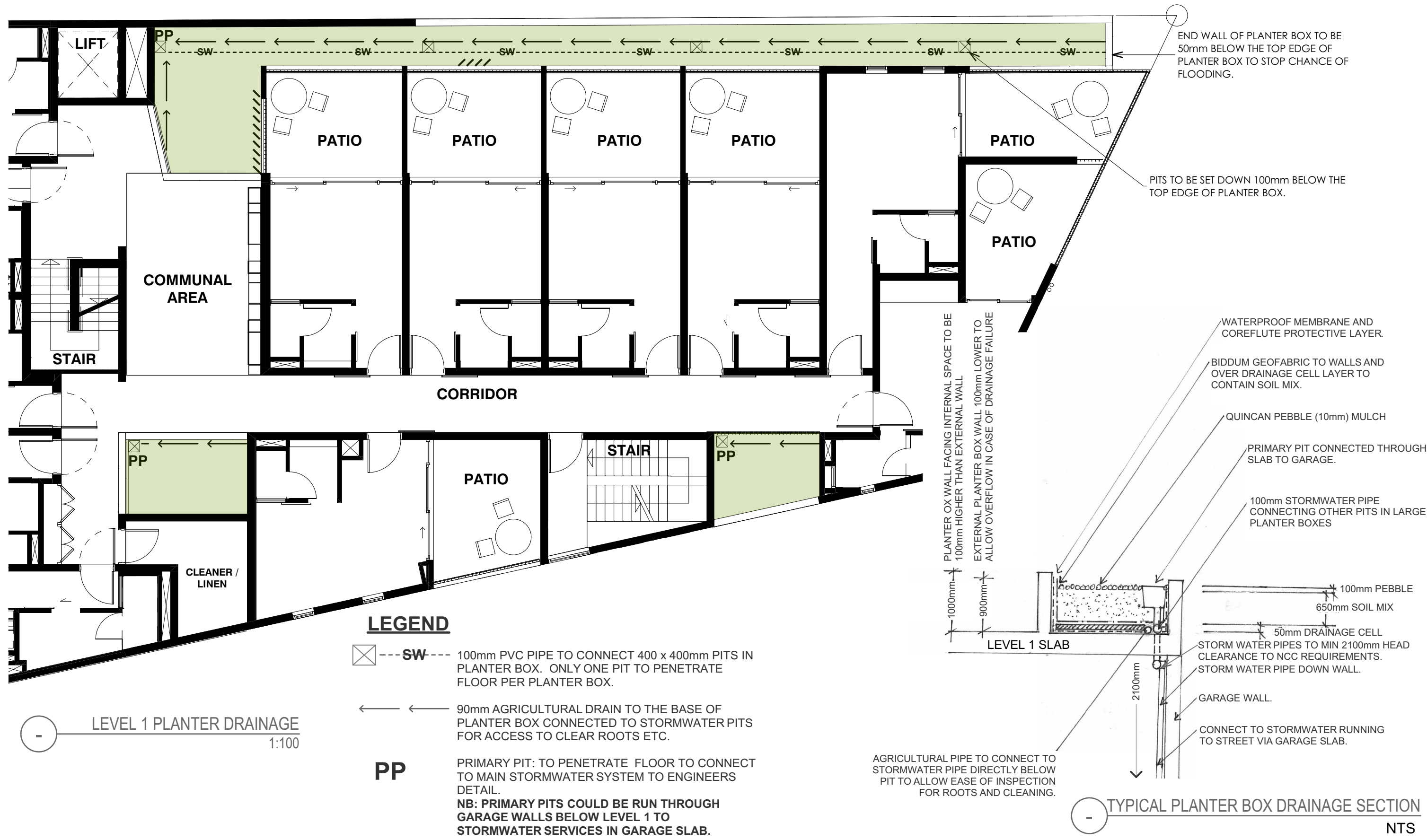
Project: PROPOSED LANDSCAPING
20 Warner Street
Port Douglas, QLD 4877

Job No: SN-D18_A

Drawn by: DV Checked by: JAS

Scale: 1:100 A3 sheet	Date: 25-01-19	Dwg no: LS_02	Issue: B
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LANDSCAPE PLAN



HORTULUS
LANDSCAPE DESIGN & MANAGEMENT
HORTULUS AUSTRALIA PTY LTD
ABN NO 84 105 194 821

Consultant: John Sullivan B.App.Sc.Hort, M.A.I.H		Job No: SN-D18_A			
Client: Scali Nominees P/L		Drawn by: DV	Checked by: JAS		
Project: PROPOSED LANDSCAPING 20 Warner Street Port Douglas, QLD 4877	Scale: 1:100 A3 sheet	Date: 25-01-19	Dwg no: LS_04	Issue: B	

25/01/2019

Douglas Shire Council
PO Box 723
Mossman
Qld 4873

Dear Sir/Madam,

RESPONSE TO INFORMATION REQUEST (Council Ref. MCUC
2915/2018(DocID881197) dated 22 Nov.2018 FOR 20 WARNER STREET,
PORT DOUGLAS; LANDSCAPE.

Please find attached Revision B of Landscape Drawings that now include a Level1 Planter Box Drainage Sheet (LS_04) and a corrected plant species notation on Sheet LS_01. The summary below is in response to points 7a. and 8a. of the above information request.

7a. Please review the Landscape Sheet LS_04. It is proposed;

1. that each planter box contains a Primary Storm Water Pit, which is connected to a separate storm water system only connected to planter boxes and NOT to the roof run-off storm water system.
2. Each primary pit is connected directly through the Level 1 slab and attached to a garage wall, running vertically to the garage slab to be directed to approved discharge area. This will eliminate any encroachment of storm water pipes into headspace on the parking level.
3. In the long planter box on the north-western boundary a series of secondary storm water pits would be connected to the primary pit by running the pipes on top of the floor of the planter box.
4. The base of the planter box and sides of the planter box connected to internal walls shall have plastic 50mm Drainage Cell to allow the free movement of moisture to collection points.
5. Agricultural pipe beside the Drainage cell will be connected to 100mm PVC Storm Water pipe, directly below the pits to allow ease of inspection for debris and plant roots. This will also allow for ease of cleaning of the system.

8a. Please see the revised Landscape Sheet LS_01. The notation "CAR.P" has been corrected & now reads "GAR.P" for *Gardenia psidioides*.

Please don't hesitate to contact me for any further information.

Kind Regards,

John Sullivan
HORTULUS LANDSCAPES



GILBOY HYDRAULIC SOLUTIONS

GJ & TL GILBOY PTY LTD / ACN: 85 105 215 432 / ABN: 105 215 432

Unit 4/131 Scott Street, Bungalow, Cairns

PO Box 857N, North Cairns. 4870

Phone: (07) 4051 5116 Fax: (07) 4051 5016 Mobile: 0439 664623

Email: greg@gilboy.com.au

4th February 2019

The Chief Executive Officer
Douglas Shire Council
PO Box 723,
Mossman. 4873

Attention: Building / Planning Department

Re:

MICRO HOTEL, 20 WARNER STREET – PORT DOUGLAS
DEVELOPMENT APPLICATION MCUC 2915/2018

We wish to advise that we have been commissioned by Wolveridge Architects to assist them with providing answers to the hydraulic services queries raised by Douglas Shire Council Request for Information in Development Application MCUC2915/2018 dated 22nd November 2018.

We have specifically been asked to provide commentary to Item 1 – Storm Tide Inundation and Item 2 – Other Engineering Infrastructure and the below forms the basis of our assessment or calculations relative to this matters and this proposed development.

1.0 Building Stormwater:

Whilst the detailed site information will ultimately come from a qualified RPEQ Engineer, the following information has been formulated to assist with the calculations of stormwater discharge from this site.

For the purposes of our calculations we have used a site rainfall catchment area of 664m² and a runoff coefficient of 1.0.

Roof sheeting will generally be colorbond steel screw fixed at pitches to suit building height limitations and manufacturers installation instructions.

Gutters are proposed to be eaves style, with material selection to be either colorbond steel to match the roof sheeting or stainless steel to suit the harsh marine beachfront location.

Downpipes will generally be painted PVC connecting to an in-ground gravity drainage system throughout the site.

Planters and open deck area drainage will be separated from roof drainage systems where possible to provide independent stormwater drainage systems facilitating quick removal of rainwater from site.

Planters will be fitted with in planter sock covered agricultural drainage to drain the bottom of the planters, with high level planter grates installed at high level to deal with large storm events or slow drainage through the planter soil system.

The anticipated volume of stormwater discharging from this property in a 1:20 year storm is 52 lit/sec with 66 lit/sec discharging from the site in a 1:100 year storm event.

Generally stormwater will be discharged from site using 4 x 150mm diameter stormwater pipes or 2 x 225mm diameter pipes discharging to front boundary grated surge pits, depending on the availability of pipe cover and connection point invert levels.

Grated pits will be installed where possible, both internal and external of the site to provide surge relief in the system in the event of high tide or large storm events. This will relieve the system of surcharge in large volume events and will prevent the back up of stormwaters internal of the property, minimising damage to building finishes and localised flooding within the building.

2.0 Other Engineering Infrastructure:

For the purposes of water usage and sewerage generation we have assumed the following parameters:

- Ground Floor Arrival Area including Café and Bar – No allowance for any tenancy space or retail facilities,
- First Floor consisting of 12 x 1 Bedroom Suites,
- Second Floor consisting of 12 x 1 Bedroom Suites,
- Third Floor consisting of 12 x 1 Bedroom Suites,
- Each Suite containing 1 x Basin, 1 x WC and 1 x Shower – No allowance for baths, laundries or sinks,
- Maximum occupancy of 72 persons plus 10 day staff.

2.1 Anticipated Water Demand:

Based on the above we have calculated the domestic water flow required to service this development of 2.2 litres/sec equating to 7,920 litres per hour. The calculated fire flow demand will be 10.0 litres/second to meet AS2419 hydrant codes.

This results in a 100mm diameter water main connection for the fire system and a 50mm diameter connection for the domestic water system. It is anticipated that a single dual supply 100mm diameter magflow water meter will be required to be provided to service this development.

The water meter will be located at the boundary and include for the appropriate backflow prevention requirements relative to the Australian Standards and local authority requirements.

An existing 100mm diameter council water main exists in the footpath in front of this property and is available for connection. At this stage preliminary testing of the water mains for flow and pressure analysis has not been undertaken, so it is assumed that the mains will deliver the requirements to meet the codes similar to the adjoining building services.

2.2 Anticipated Sewer Inflow:

Using the above site occupancy numbers, we have calculated that the proposed development will generate 246 Fixture Units across this site in accordance with AS3500.

This equates to a maximum dry weather flow rate into the existing sewer of approximately 4.66 litres/sec.

An existing 150mm diameter council sewer main exists in the roadway on Warner Street in front of this property. It is an end of line sewer that appears to service one upstream unit development before transgressing west and picking up the downstream adjoining properties.

Should you require further information or clarification on this matter, please do not hesitate to contact the undersigned on (07) 4051 5116.

Yours faithfully
GILBOY HYDRAULIC SOLUTIONS



.....
G.J. GILBOY

From: [COSSAR-SMITH Peter \(FN\)](#)
To: [Joe Catalano](#)
Subject: RE: 20 Warner Street Port Douglas Transformer
Date: Wednesday, 23 January 2019 12:59:48 PM
Attachments: [image008.png](#)
[image009.png](#)
[image010.png](#)
[image011.png](#)
[image012.jpg](#)
[image002.jpg](#)
Importance: High

Joe,

Presently an over view of the load on this unit would indicate that there is sufficient capacity for your proposed load providing it does not exceed the 160 amps / phase as indicated.
If full load studies need to be undertaken they will take at least another 2 weeks and it would be best if a formal application was made so that all investigations and associate costs can be linked to a specific project such as that indicated by yourself.

Peter Cossar-Smith

Area Asset Officer - RAMN

Ergon Energy Network/Energex

11 Grant Street, Atherton QLD 4883

P 07 4091 8513 **M** 0427 699 582 **F** 07 40914 911

E peter.cossar-smith@ergon.com.au

www.ergon.com.au | www.energex.com.au | www.energyq.com.au



From: Joe Catalano [<mailto:joe@consultsequal.com.au>]
Sent: Tuesday, 22 January 2019 3:57 PM
To: COSSAR-SMITH Peter (FN)
Subject: 20 Warner Street Port Douglas Transformer

Hi Peter,

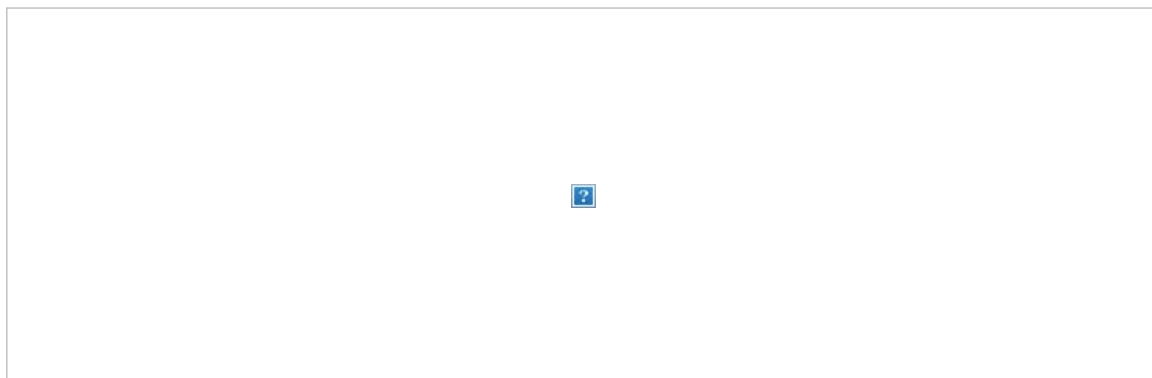
I understand you look after the Port Douglas Area.

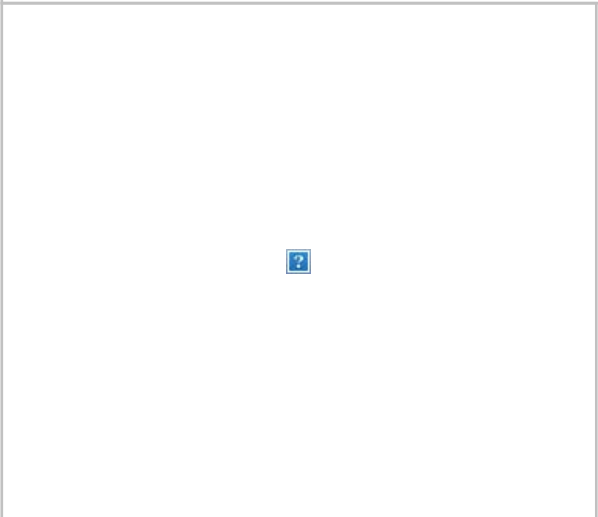
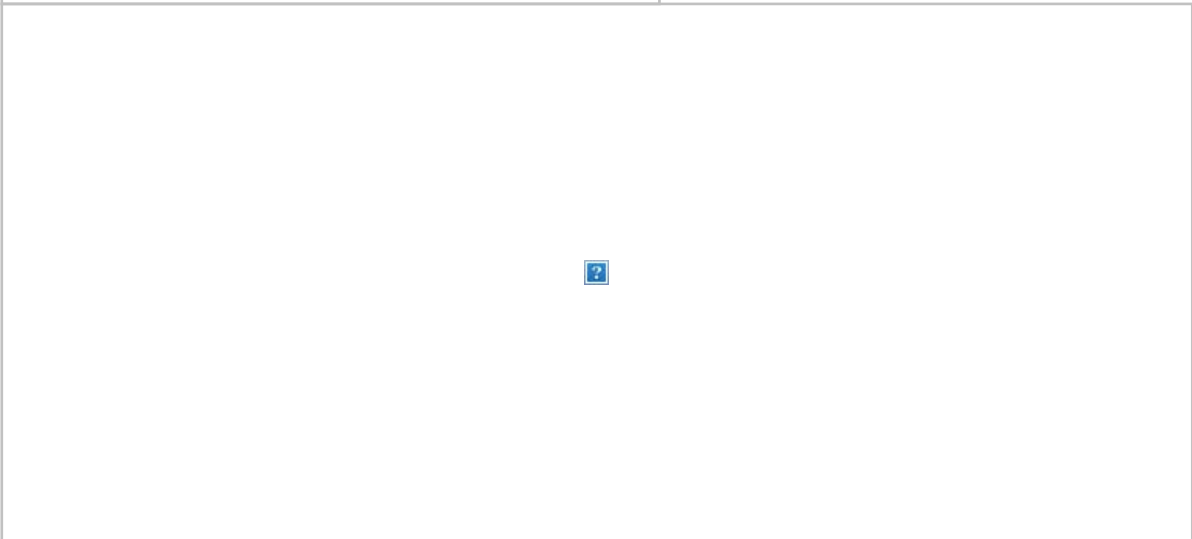
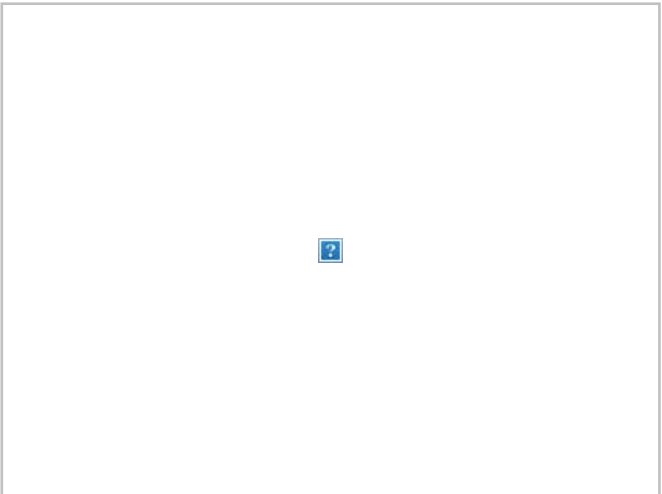
The Douglas council have a condition in the DA which needs confirmation if a padmount transform is required for this development.

The development includes a 36 room motel and reception café area and carp[ark on the ground floor.

We note that there already is a padmount at the rear of this block. Could you please indicate if there is spare capacity to cover approx. 160Amp/ph.

We have prepare the below Max Demand Calc.





I will be able to submit a formal application shortly, but was hoping you could provide some preliminary advise for this submission to council.

Happy to discuss if you require any additional information.
Regards,

Joe Catalano
PRINCIPAL ELECTRICAL ENGINEER



