

9 December 2020

**Enquiries:** Jenny Elphinstone  
**Our Ref:** EXEM 2020\_3873/1 (Doc 986595)  
**Your Ref:** 20204954

Administration Office  
64 - 66 Front St Mossman  
P 07 4099 9444  
F 07 4098 2902

Jason Pearce  
PO Box 813  
MOSSMAN QLD 4873

Email: [jasonpearce5@icloud.com](mailto:jasonpearce5@icloud.com)

Dear Sir

## EXEMPTION CERTIFICATE

Council refers to your request for an exemption certificate for the following premises received on 8 December 2020.

### Summary of Exempt Development

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New carport to the existing dwelling.

### Location details

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Street Address: 14 Jacaranda Close Cooya Beach

Real Property Description: Lot 19 on RP740921

Local Government Area: Douglas Shire Council

### Decision

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Council advises that an exemption certificate has been granted on 8 December 2020 for development as detailed in Attachment 1.

### Referral agencies

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Not Applicable

### Reasons for giving exemption certificate

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The development is exempt under this certificate under s46(3)(b) of the *Planning Act 2016* for the following reason(s):

- The effects of the development would be minor or inconsequential, considering the circumstances under which the development was categorised as assessable development.

**When exemption certificate ceases to have effect**

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This exemption certificate does not lapse.

**Other**

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Please quote Council's application number: EXEM 2020\_ 3873/1 in all subsequent correspondence relating to this request.

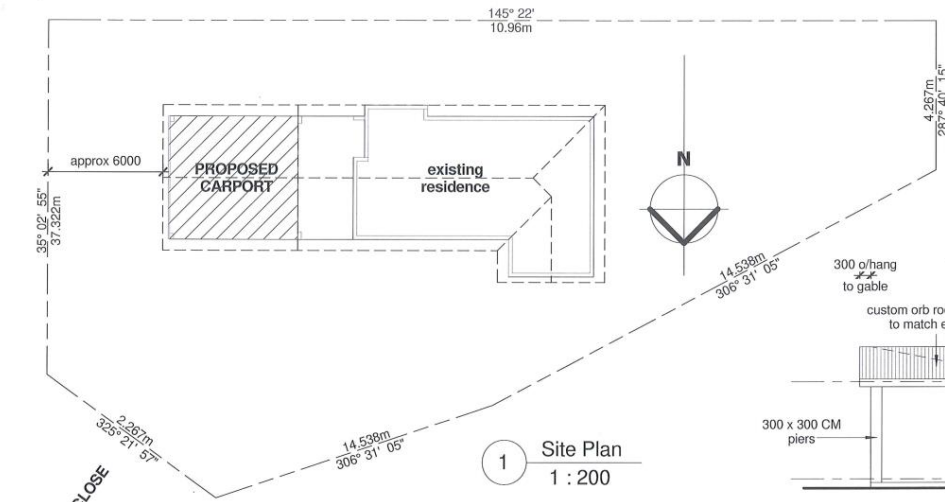
Should you require any clarification regarding this matter, please contact Jenny Elphinstone on telephone 07 4099 9444.

Yours faithfully

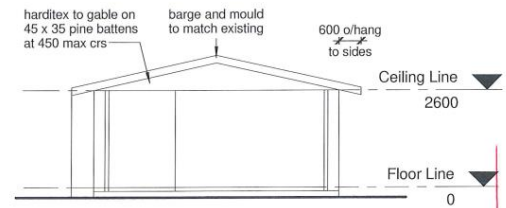
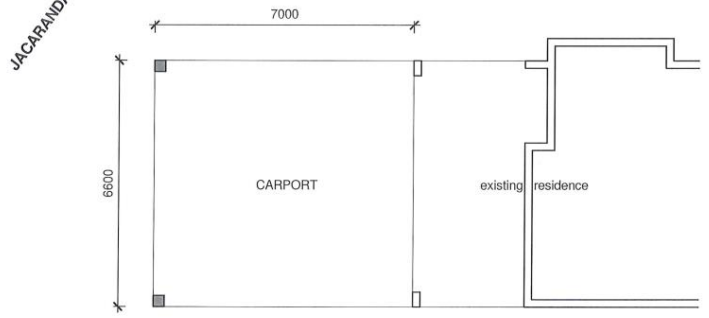
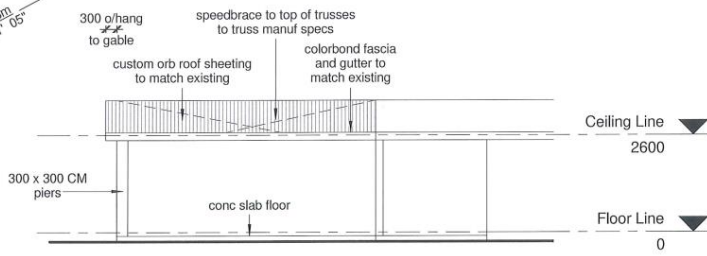


**For**  
**Paul Hoyer**  
**Manager Environment & Planning**

cc Emailed to GMA Certification Group Pty Ltd – adminpd@gmacert.com.au



Sheet List	
Sheet Number	Sheet Name
1 of 2	Plan Views, Elevations, Sheet List
2 of 2	Foundation and Roof Framing Plans, Details, Notes



STRUCTURAL DETAILS ADEQUATE AS CERTIFIED

*Greg Skyring*

RODGERS CONSULTING ENGINEERS

JOB NO: 200691 DATE: 17/11/2020

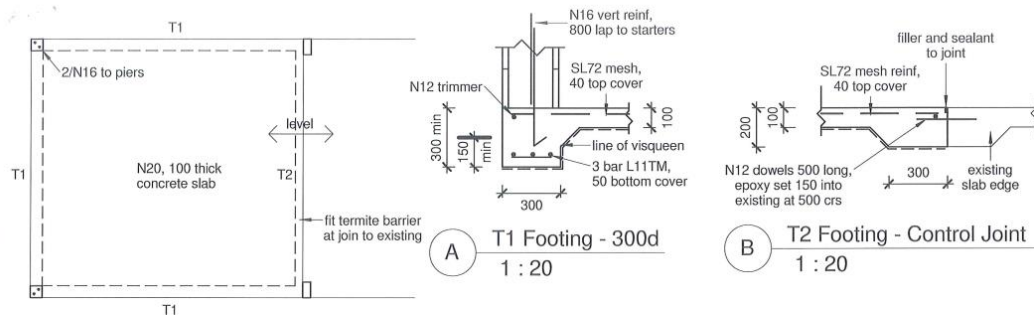
**GREG SKYRING**  
Design and DRAFTING Pty. Ltd.

Lic: Under QBSA Act 1991 - No 1040371 dining Phone/Fax: (07) 40982061  
11 Noli Close, Mossman Q. 4873 Email: greg@skyringdesign.com.au

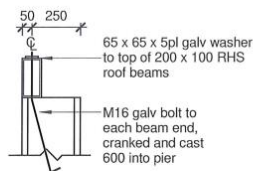
PROJECT  
Proposed Carport,  
14 Jacaranda Close,  
L19 RP740921  
COOYA BEACH

CLIENT L. Pearce	WIND CLASS C2	PLAN NUMBER 111-20	SHEET 1 of 2
SCALES As indicated	PLAN TITLE Plan Views, Elevations, Sheet List	DATE OF ISSUE 11.11.20	REV

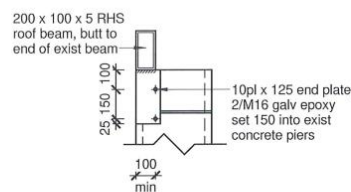
Attachment 1



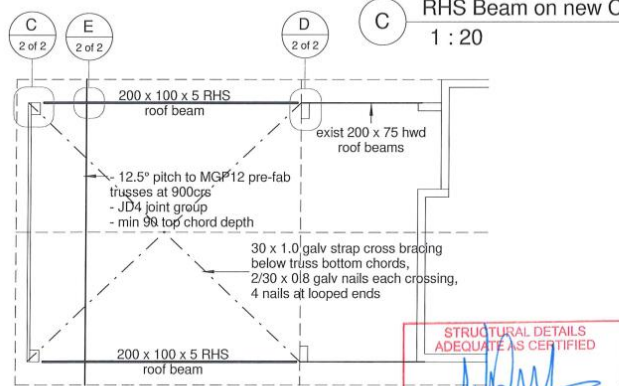
1 Foundation Plan  
1 : 100



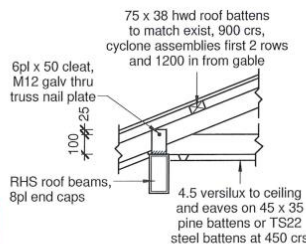
RHS Beam on new CM Pier  
1 : 20



RHS Beam to exist CM Pier  
1 : 20



2 Roof Framing Plan  
1 : 100



Truss Heel to RHS Beam  
1 : 20

STRUCTURAL DETAILS  
ADEQUATE AS CERTIFIED  
RODGERS  
CONSULTING ENGINEERS  
JOB NO: 200691 DATE: 17/11/2020

**REFER ALSO TO RODGERS CONSULTING ENGINEERS NOTES (Engineer Notes take precedence)**

**FOOTING AND SLAB NOTES**

- Remove grass and topsoil (min. 100 mm), from new slab locations.
- Clear site of all tree stumps and roots. Fill grub holes with approved fill of a low plastic cohesive soils, compacted in 150mm max deep layers to min 95% standard density, and for non-cohesive soils compacted in 200 min deep layers to 70% density index.
- Any localised loose or soft soil encountered in footing trenches shall be excavated to a depth where soil becomes firm.
- Compact sub-base to min 95% standard density.
- Compact approved non-plastic fill in max 200 mm deep layers and test to AS 3798.
- Provide adequate site drainage to ensure natural runoff is directed away from the building.
- Concrete to slab and footings to be N20, 80 mm slump, and 20 mm max aggregate.
- SL72 mesh reinforcing to slab, 40 top cover, lap all mesh by two cross wires.
- N12 trimmer all around to slab perimeters, 50 min edge cover, 500 laps.
- 200 um visqueen below slab, lap minimum 200 and tape.
- Minimum 100 mm deep sand bedding below slab, compacted to 70% density index.
- Vibrate all concrete, cure slabs for 14 days minimum.
- Use expansive glues below all floor tiles, min 3 months after slab pour.
- Footings have been designed to conform to a minimum Class 'M' site. Refer to plan Author or Engineer should site conditions vary.
- Materials and construction requirements to AS 3600.

**GENERAL**

All construction is to comply with C2 building standards, Building Code of Australia, all relevant legislation, and Council By-Laws.  
Builders are to ensure that all materials nominated on this plan are used and fixed strictly in accordance with the manufacturers specifications, also taking into consideration all site conditions applicable to the materials allowable and recommended use. Substitution of any structural members, or variation to any part of the design without seeking approval prior to changing will void any responsibility of the Designer and Engineer for the structural integrity and performance of the building. Only Australian Standards compliant steel members are to be used in this building. All nominated fixings, reinforcing, timber sizes and grades etc are the minimum requirements.  
All dimensions must to be checked by the Builder prior to commencing any work – written dimensions take precedence over scaled.  
Any alterations or discrepancies are to be clarified with the plan Author or Engineer prior to carrying out the work.  
This plan has been prepared for building approval only and is not intended to be read as a complete specification of the work and finishes to be carried out on this project.

**ROOF SHEETING & BATTEN FIXINGS**

All roof sheeting and batten fixings are to be in accordance with the manufacturer's specification for the required wind speed. The fixing systems for metal roof assemblies supplied by the manufacturer, are to comply with the Low-High-Low Cyclic testing requirements of the 'Building Code of Australia' (Specification B1.2 Volume 1 for Class 2 to 9 buildings) or (Section 3.10.1 Volume 2 for Class 1 & 10 buildings). A 'Compliance Certificate' will be requested from the 'Manufacturer' & the 'Installer'.

**TRUSS NAIL PLATES**

At bolt fixings nominated as through truss nail plates, the bolt must pass through the nail plate within 20 mm clear of plate sides and top, and 40 mm of plate bottom. Use of cup-head bolts is not allowed.  
If these clearances are not achieved, a 65 x 3 mm galv strap is to be fitted, tight over truss and fixing bracket (wedge if reqd.)

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CLIENT	L. Pearce	WIND CLASS	C2	PLAN NUMBER	111-20	SHEET	2 of 2
SCALES	As indicated	PLAN TITLE	Foundation and Roof Framing Plans, Details, Notes		DATE OF ISSUE	11.11.20	REV