

18 January 2021

Enquiries: Rebecca Taranto
Our Ref: EXEM 2021_3929/1
Your Ref: 20210155

Administration Office
64 - 66 Front St Mossman
P 07 4099 9444
F 07 4098 2902

J C Eagle-Rowe & K J Sorensen
50 Anchor Crt
KILLALOE QLD 4877

Emailed:admin@nqhomes.com.au

Dear Sir / Madam

EXEMPTION CERTIFICATE

Council refers to your request for an exemption certificate for the following premises received on 13/01/2021.

Summary of Exempt Development

Construction of new dwelling house.

Location details

Street Address: 82 Cooya Beach Road, BONNIE DOON

Real Property Description: Lot 103 on SP285536

Local Government Area: Douglas Shire Council

Decision

Council advises that an exemption certificate has been granted on 18 January 2021 for development as detailed in Attachment 1.

Referral agencies

Not Applicable

Reasons for giving exemption certificate

The development is exempt under this certificate under s46(3)(b) of the *Planning Act 2016* for the following reason(s):

- The effects of the development would be minor or inconsequential, considering the circumstances under which the development was categorised as assessable development.

When exemption certificate ceases to have effect

This exemption certificate does not lapse.

Other

Please quote Council's application number: EXEM 2021_ 3929/1 in all subsequent correspondence relating to this request.

Should you require any clarification regarding this matter, please contact Rebecca Taranto on telephone 07 4099 9444.

Yours faithfully

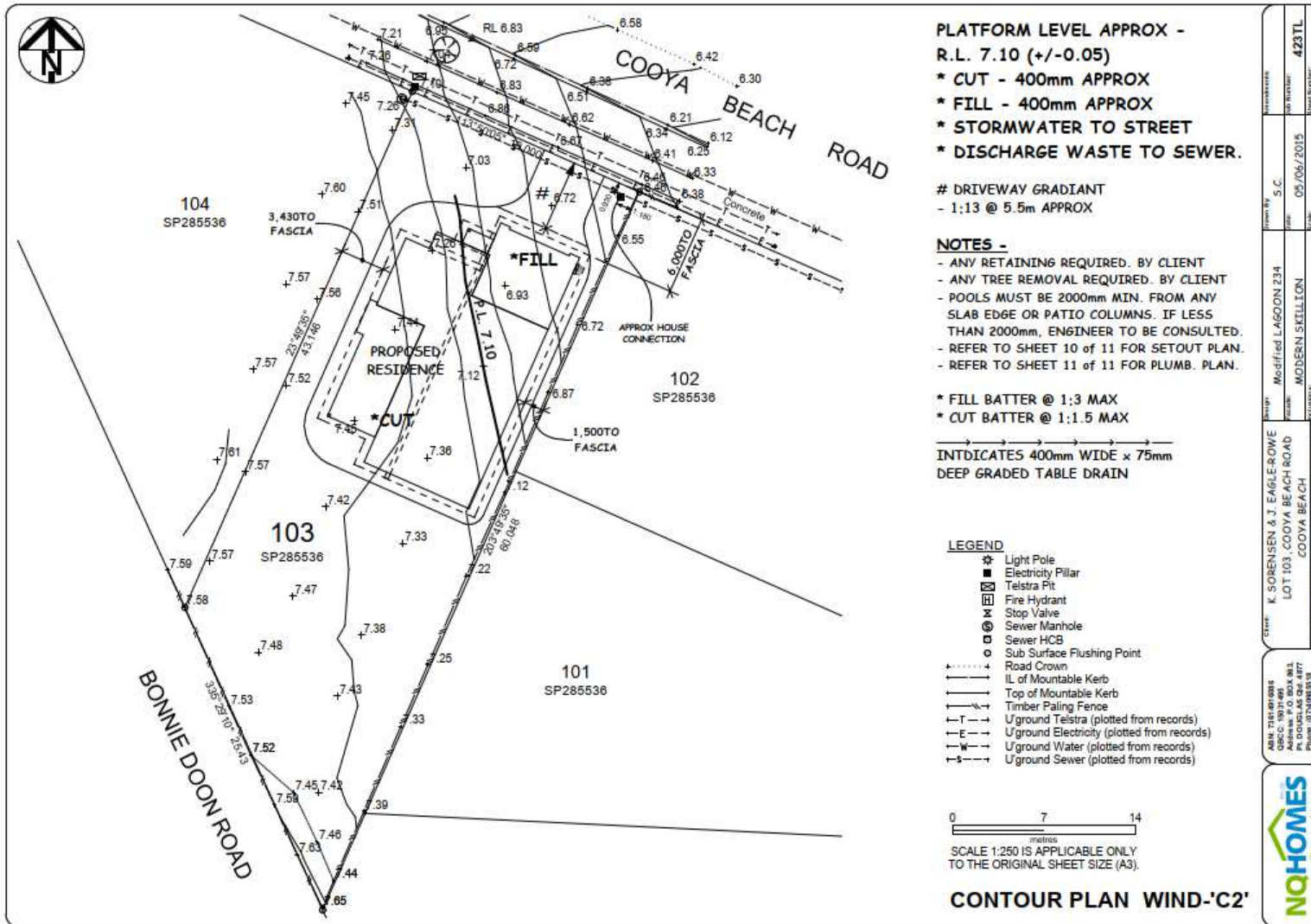


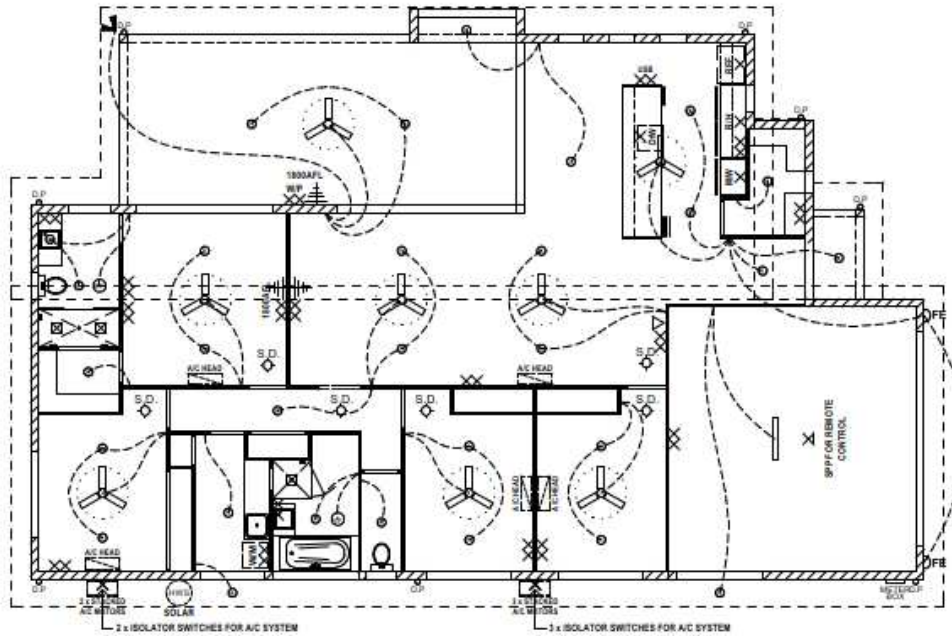
For
Paul Hoyer
Manager Environment & Planning

cc Emailed to GMA Certification Group Pty Ltd – adminpd@gmacert.com.au

cc Emailed to J C Eagle-Rowe & K J Sorensen-Jeagle10@gmail.com

Attachment 1



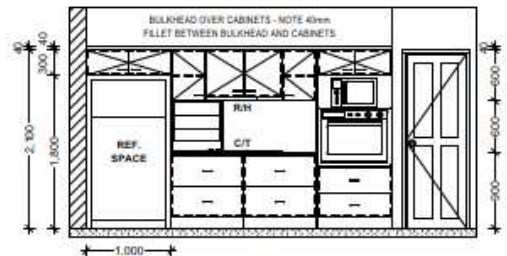


ELECTRICAL LEGEND	
SINGLE G.P.O. 300mm AFL	⊗
SINGLE G.P.O. 1050mm AFL	⊗
DOUBLE G.P.O. 300mm AFL	⊗⊗
DOUBLE G.P.O. 1050mm AFL	⊗⊗
CEILING LIGHT(BATTEN HOLD)	○
RECESSED DOWNLIGHTS	⊙
WALL MOUNTED LIGHT	△
RECESSED LED LIGHTS	○
FLUORESCENT LIGHT	—
TWIN SPOT or FLOODLIGHT	⋈
EXHAUST FAN	⊙
CEILING FAN	⋈
SMOKE DETECTOR	⊙
T.V. POINT 300mm AFL U.N.O.	⊕
PHONE POINT 300mm AFL U.N.O.	▽
HOT WATER SYSTEM	⊙
METER BOX	⊙
SWITCH	—
DIMMER SWITCH	—

NOTE : THIS LAYOUT HAS BEEN DESIGNED TO SHOW 100% ENERGY EFFICIENT LIGHTING. (INTERNAL, INCLUDING GARAGE).

NOTE - TV ANTENNA TO BE INSTALLED. POSITION TO BE CONFIRMED ON SITE.

NOTE : A/C HEADS AND OUT DOOR UNIT POSITIONS TO BE CONFIRMED ON SITE BY AIR-CON INSTALLER.



Kitchen Elevation 1
1 : 50



Kitchen Elevation 2
1 : 50



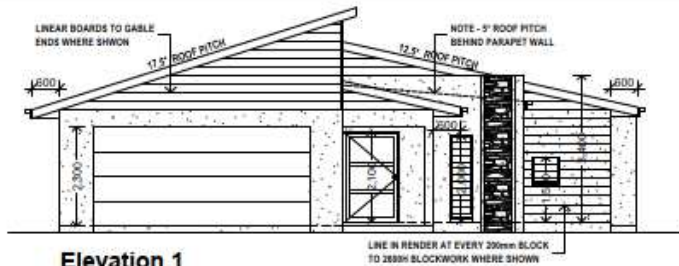
ABN: 73614916288
 QBCC: 15031495
 Address: P.O. BOX 983,
 Pt. DOUGLAS QLS. 4877
 Phone: (07)4995518
 Fax: (07)4995512

ELECTRICAL PLAN WIND-'C2'
 N.B. ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES - THIS DESIGN IS THE EXCLUSIVE PROPERTY OF NQ HOMES Pty. Ltd.

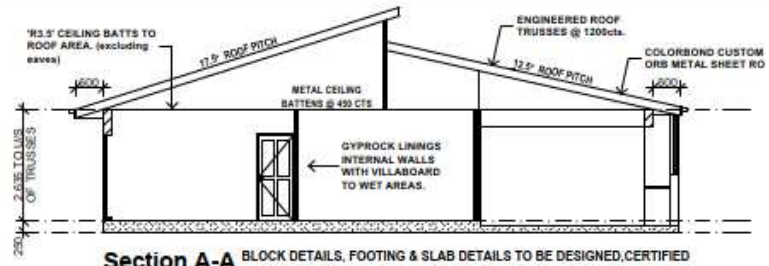
Client:
 K. SORENSON & J. EAGLE-ROWE
 LOT 103, COOYA BEACH ROAD
 COOYA BEACH

Design:	Modified LAGOON 234	Drawn By:	S.C.
Facade:	MODERN SKILLION	Date:	09/12/2020
Model:	PREMIUM	Scale:	1 : 100

Attachments:	
Job Number:	423TL
Sheet Number:	9 of 11



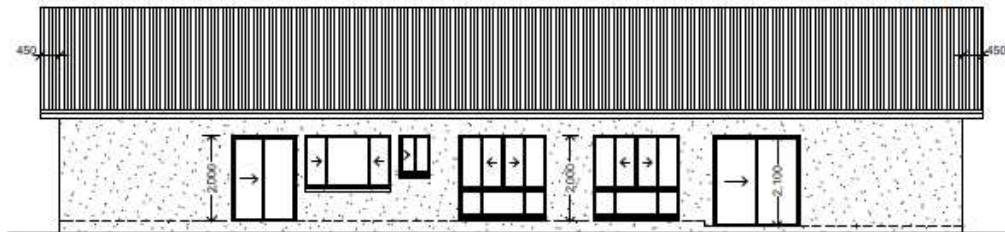
Elevation 1



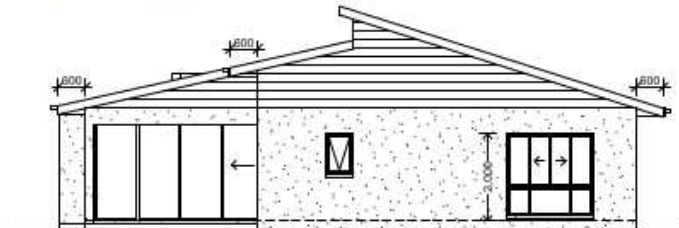
Section A-A
N.T.S.

BLOCK DETAILS, FOOTING & SLAB DETAILS TO BE DESIGNED, CERTIFIED AND INSPECTED BY A RPEQ ENGINEER PRIOR TO WORK BEING CARRIED OUT FOR A 'S' CLASS SITE AND WIND-'C2' WIND RATING.

ALL STRUCTURAL TIMBER HAS BEEN TREATED IN ACCORDANCE WITH THE AS3600.1 FOR TERMITE PROTECTION.



Elevation 2



Elevation 3



Elevation 4



ABN: 73614916698
QBCC: 15021495
Address: P.O. BOX 863,
PT. DOUGLAS Qld. 4877
Phone: (07)40885518
Fax: (07)40885512

ELEVATIONS

WIND-'C2'

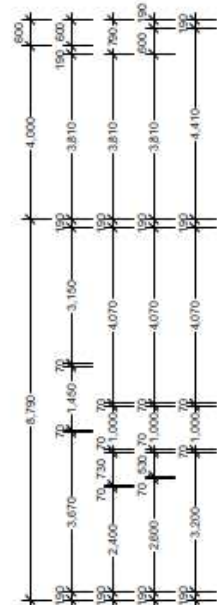
N.B. ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES - THIS DESIGN IS THE EXCLUSIVE PROPERTY OF NQ HOMES Pty. Ltd.

Client: K. SORENSEN & J. EAGLE-ROWE
LOT 103, COOYA BEACH ROAD
COOYA BEACH

Design: Modified LAGOON 234	Drawn By: S.C.	Revisions:
Facade: MODERN SKILLION	Date: 09/12/2020	Job Number: 423TL
Division: PREMIUM	Scale: 1 : 100	Sheet Number: 3 of 11

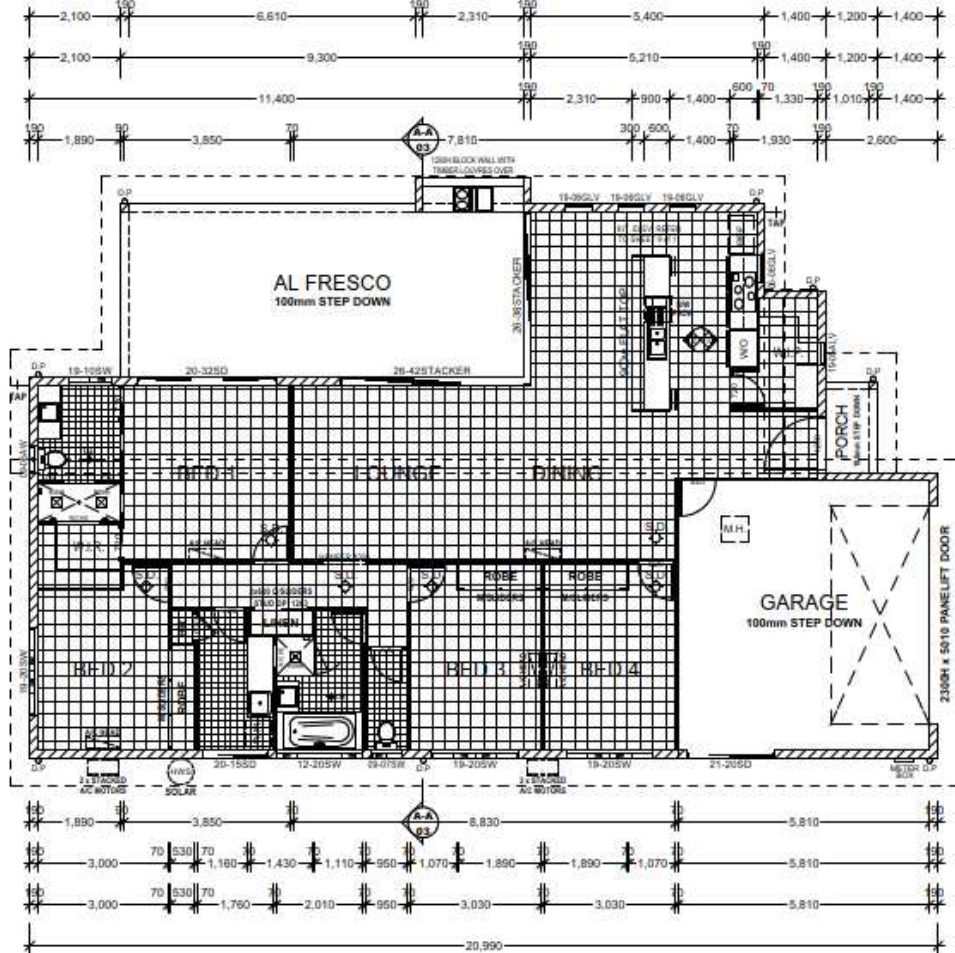


ELEVATION KEY

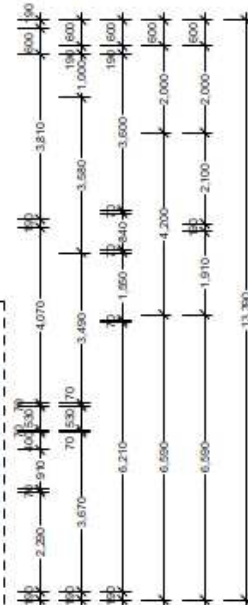


FLOOR AREAS
 LIVING - 165.05
 GARAGE - 38.89
 AL FRESCO - 38.81
 PORCH - 2.52
 TOTAL - 245.28m²
 26.34 SQUARES

NOTE : ADDITIONAL BRACING WILL BE REQUIRE TO VANITY WALLS. (FLOATING VANTIES)



ENERGY EFFICIENCY NOTES:
 : ALL TAPWARE & SHOWERS TO BE 3 STAR min.
 : ALL TOILETS TO BE 4 STAR min.
 : SOLAR HOT WATER SYSTEM TO BE INSTALLED.



GENERAL NOTES :
 : Solar block 2 to all alum. framed glass windows and doors.
 : Dishwasher prov. with SPP and cold water plumb.
 : Lift off hinges to wc.
 : Mechanical exhaust to wc with no external opening.
 : Niches - 900H base with a 2100H head U.N.O.
 : Hampers and Openings - 2100H head U.N.O.
 : Bulkheads - 2100H U.N.O.

WIND-'C2'

FLOOR PLAN

Client: K. SORENSEN & J. EAGLE-ROWE LOT 303, COOYA BEACH ROAD COOYA BEACH	Project: Modified LAGOON 234	Drawn By: S.C.	Project Number: 423 TL
Architect: NQ HOMES 18/11/2015	Issue: 05/06/2015	Scale: 1:100	Sheet Number: 2 of 11
PREMIUM			

ARCH: 73814919008
 ADDRESS: P.O. BOX 861
 P. DOUGLAS QLD 4877
 Phone: (07)49995518
 Fax: (07)49995512



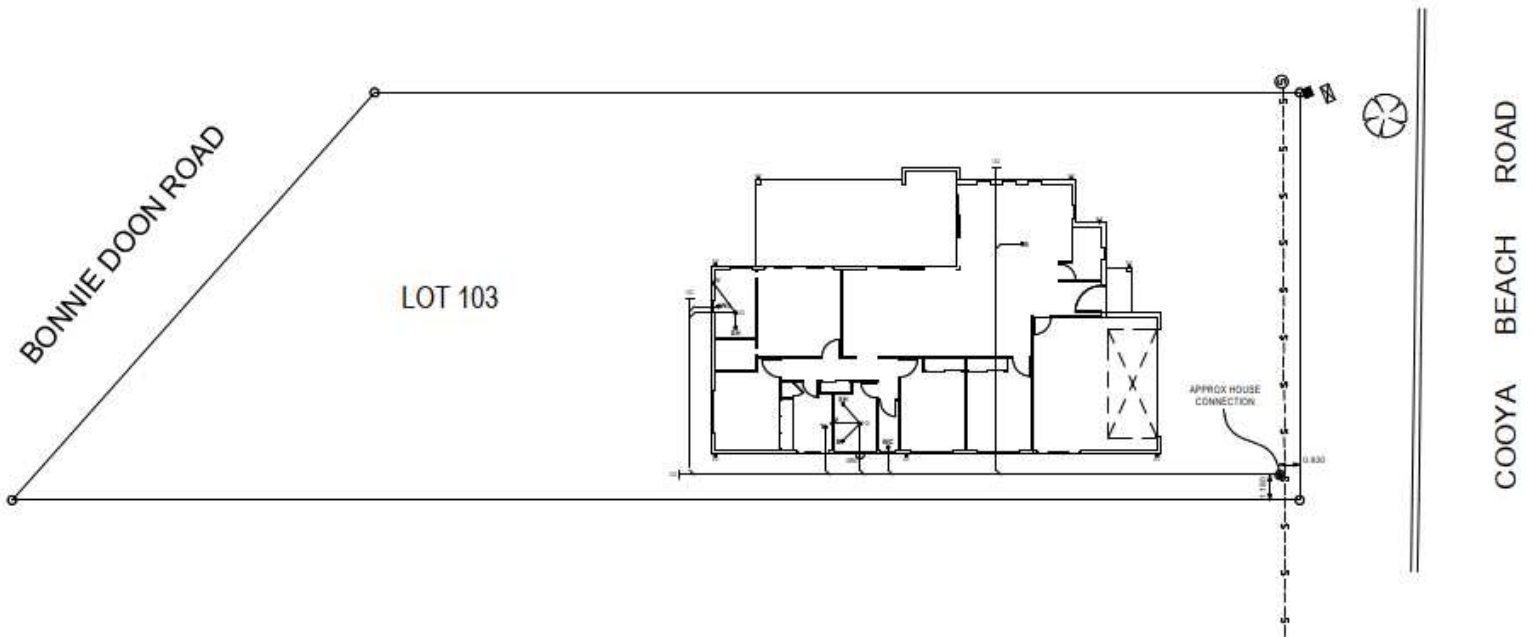
NOTES :

: THIS PLAN IS INDICATIVE ONLY AND WILL DIFFER ON SITE. PLUMBER TO SUBMIT AS CONSTRUCTED PLAN TO COUNCIL.

: INSPECTION OPENINGS AND VENTS ARE TO BE INSTALLED WHERE REQUIRED. ALL PLUMBING WORKS AS PER AUSTRALIAN STANDARDS.

LEGEND

S - SINK
 V - VANITY BASIN
 SH - SHOWER
 B - BATH
 SB - SPA BATH
 WC - WATER CLOSET
 T - TUB
 I.G. - INSPECTION GULLY
 FW - DRY FLOOR WASTE
 I.O. - INSPECTION OPENING
 ORG. - OVERFLOW RELIEF GULLY



ABN: 73214018098
 QBCC: 15031495
 Address: P.O. BOX 863,
 Pt. DOUGLAS Qld. 4877
 Phone: (07)40985518
 Fax: (07)40985512

PLUMBING PLAN WIND-'C2'

N.B. ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES - THIS DESIGN IS THE EXCLUSIVE PROPERTY OF NQ HOMES Pty. Ltd.

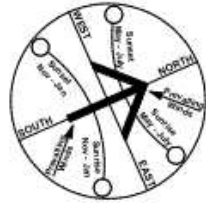
Client:
 K. SORENSEN & J. EAGLE-ROWE
 LOT 103, COOYA BEACH ROAD
 COOYA BEACH

Design:
 Modified LAGOON 234
 Facade:
 MODERN SKILLION
 Inclusions:
 PREMIUM

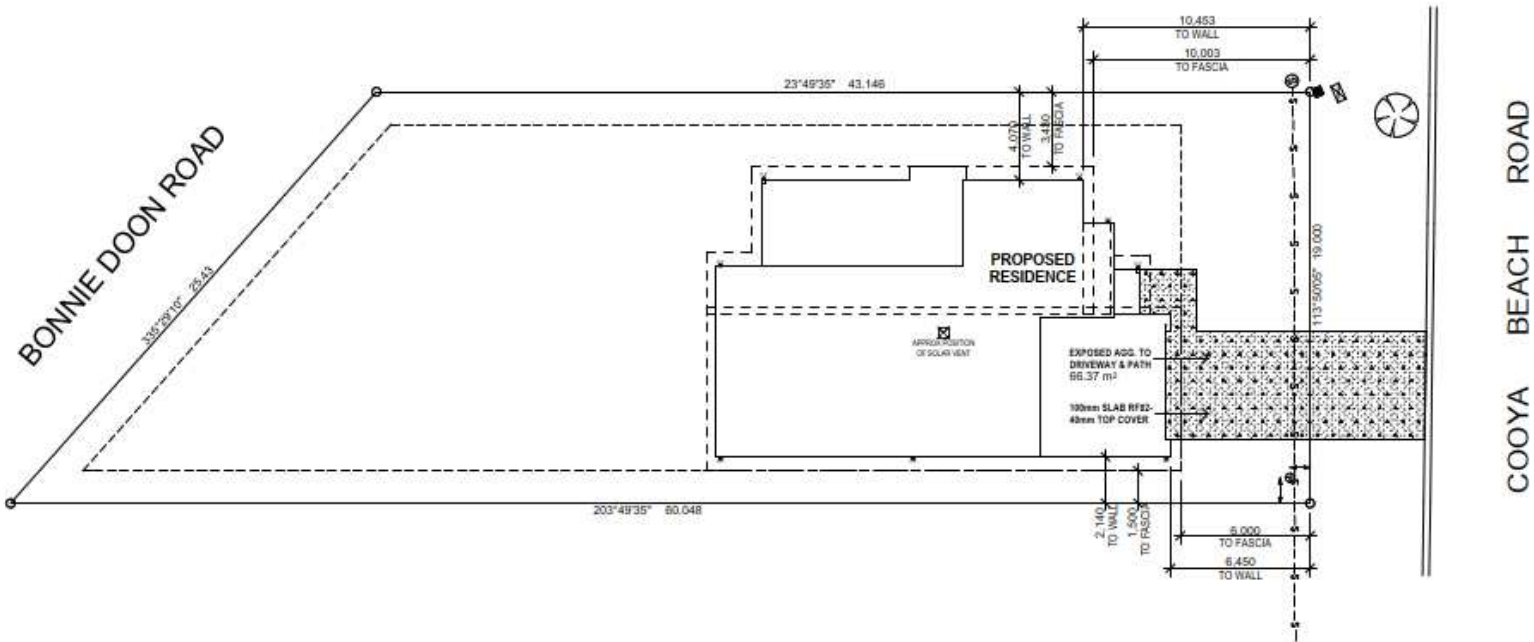
Drawn By:
 S.C.
 Date:
 09/12/2020
 Scale:
 1 : 200

Approved:
 Job Number:
 423TL
 Sheet Number:
 11 of 11

LOT 103 ON SP285536
COOYA BEACH ROAD
COOYA BEACH



SC - 35mm DEEP SAWCUT WITHIN
8 HOURS OF CONCRETE POUR
- CUTOUT EVERY 2nd MESH BAR
ACROSS JOINT



COOYA BEACH ROAD



ABN: 73614916086
QBCC: 15031485
Address: P.O. BOX 663,
PL DOUGLAS Qld. 4877
Phone: (07)40985518
Fax: (07)40985512

SETOUT PLAN **WIND-'C2'**
N.B. ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES - THIS DESIGN IS THE EXCLUSIVE PROPERTY OF NQ HOMES Pty. Ltd.

Client: **K. SORENSEN & J. EAGLE-ROWE**
LOT 103, COOYA BEACH ROAD
COOYA BEACH

Project: **Modified LAGOON 234**
Facade: **MODERN SKILLION**
Inclusions: **PREMIUM**

Drawn By: **S.C.**
Date: **09/12/2020**
Scale: **1 : 200**

Sheet Number: **423TL**
Sheet Number: **10 of 11**