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13 December 2022

Enquiries: Neil Beck

Our Ref: EXEM 2022\_5204/1 (Doc:1128750)

Your Ref:

C S Jones & E Travers PO Box 106 Port Douglas QLD 4877

Dear Sir / Madam

## **EXEMPTION CERTIFICATE**

Council refers to your request for an exemption certificate for the following premises received on 09/12/2022.

# **Summary of Exempt Development**

Additions to the dwelling as detailed in Attachment 1

## Location details

Street Address: 3 Mountain View Drive Shannonvale

Real Property Description: LOT: 8 RP: 748130

Local Government Area: Douglas Shire Council

## **Decision**

Council advises that an exemption certificate has been granted on 13 December 2022 as detailed in Attachment 1.

# Referral agencies

None Applicable

# Reasons for giving exemption certificate

The development is exempt under this certificate under s46(3)(b) of the *Planning Act 2016* for the following reason(s):

• The effects of the development would be minor or inconsequential, considering the circumstances under which the development was categorised as assessable development.

# When exemption certificate ceases to have effect

This exemption certificate does not lapse.

# Other

Please quote Council's application number: EXEM 2022\_5204/1 in all subsequent correspondence relating to this request.

Should you require any clarification regarding this matter, please contact Neil Beck on telephone 07 4099 9451.

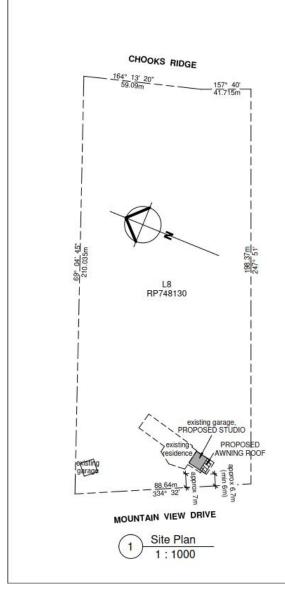
Yours faithfully

For Paul Hoye

**Manager Environment & Planning** 

cc Emailed to Aspire Town Planning and Project Services - admin@aspireqld.com

#### Attachment 1



All construction is to comply with C2 building standards, Building Code of Australia, all relevant legislation, and Council By-Laws.

Builders are to ensure that all materials nominated on this plan are used and fixed strictly in accordance with the manufacturers specifications, also taking into strictly in accordance with the maturationers specifications, asso taking into consideration all site conditions applicable to the materials allowable and recommended use. Substitution of any structural members, or variation to any part of the design without seeking approval prior to changing will void any responsibility of the Designer and Engineer for the structural integrity and performance of the building. Only Australian Standards compliant steel members are to be used in this building All nominated fixings, reinforcing, timber sizes and grades etc are the minimum requirements

All dimensions must to be checked by the Builder prior to commencing any work written dimensions take precedence over scaled.

Any alterations or discrepancies are to be clarified with the plan Author or Engineer

prior to carrying out the work.

This plan has been prepared for building approval only and is not intended to be read as a complete specification of the work and finishes to be carried out on this project.

#### FOOTING AND SLAB NOTES

- Remove grass and topsoil (min. 100 mm), from new slab locations.
- Clear site of all tree stumps and roots. Fill grub holes with approved fill of a low plastic cohesive soils, compacted in 150 mm max deep layers to min 95% standard density, and for non-cohesive soils compacted in 200 min deep layers to 70% density index.
- Any localised loose or soft soil encountered in footing trenches shall be excavated to a depth where soil becomes firm.
- Compact sub-base to min 95% standard density.
- Compact approved non-plastic fill in max 200 mm deep layers and test to AS 3798.
- Provide adequate site drainage to ensure natural runoff is directed away from the building.
- Concrete to slab and footings to be N20, 80 mm slump, and 20 mm max aggregate.
- SL72 mesh reinforcing to slab, 30 top cover to internal areas, 40 top cover to external areas, lap all mesh by two cross wires.
- N12 trimmer all around to slab perimeters, 50 min edge cover, 500 laps.
- 200 um visqueen below slab, lap minimum 200 and tape.
- Minimum 100 mm deep sand bedding below slab, compacted to 70% density index. Vibrate all concrete, cure slabs for 14 days minimum.
- Use expansive glues below all floor tiles, min 3 months after slab pour. - Footings have been designed to conform to a minimum Class 'M' site. Refer to plan
- Author or Engineer should site conditions vary.

  Materials and construction requirements to AS 3600

Sheet List	
Sheet Number	Sheet Name
1 of 3	Site Plan, Notes, Sheet List
2 of 3	Floor Plan, Elevations
3 of 3	Plan Views, Section 1, Details

STRUCTURAL DETAILS ADEQUATE AS CERTIFIED

RODGERS CONSULTING ENGINEERS H P Rodgers RPEQ 7859

REV DATE DESCRIPTION

GREG SKYRING

Design and DRAFTINGPty. Ltd. Lic Under QBSA Act 1991 - No 1040371

11 Noli Close. Mossman Q. 4873

Phone/Fax: (07) 40982061 Mobile: 0419212652 Email: greg@skyringdesign.com.au

PROJECT

Proposed Alterations and Additions to Shed. L8 RP748130. 3 Mountain View Road. SHANNONVALE

PLAN TITLE

Site Plan, Notes, Sheet List

CLIENT

C. Jones & E. Travers

SCALES 1:1000 WIND CLASS C2

SHEET NO 409-22 1 of 3

REV. A

PLAN NO

