

13 December 2022

**Enquiries:** Neil Beck  
**Our Ref:** EXEM 2022\_5204/1 (Doc:1128750)  
**Your Ref:**

Administration Office  
64 - 66 Front St Mossman  
P 07 4099 9444  
F 07 4098 2902

C S Jones & E Travers  
PO Box 106  
Port Douglas QLD 4877

Dear Sir / Madam

## EXEMPTION CERTIFICATE

Council refers to your request for an exemption certificate for the following premises received on 09/12/2022.

### Summary of Exempt Development

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Additions to the dwelling as detailed in Attachment 1

### Location details

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Street Address: 3 Mountain View Drive Shannonvale  
Real Property Description: LOT: 8 RP: 748130  
Local Government Area: Douglas Shire Council

### Decision

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Council advises that an exemption certificate has been granted on 13 December 2022 as detailed in Attachment 1.

### Referral agencies

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None Applicable

### Reasons for giving exemption certificate

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The development is exempt under this certificate under s46(3)(b) of the *Planning Act 2016* for the following reason(s):

- The effects of the development would be minor or inconsequential, considering the circumstances under which the development was categorised as assessable development.

**When exemption certificate ceases to have effect**

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This exemption certificate does not lapse.

**Other**

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Please quote Council's application number: EXEM 2022\_ 5204/1 in all subsequent correspondence relating to this request.

Should you require any clarification regarding this matter, please contact Neil Beck on telephone 07 4099 9451.

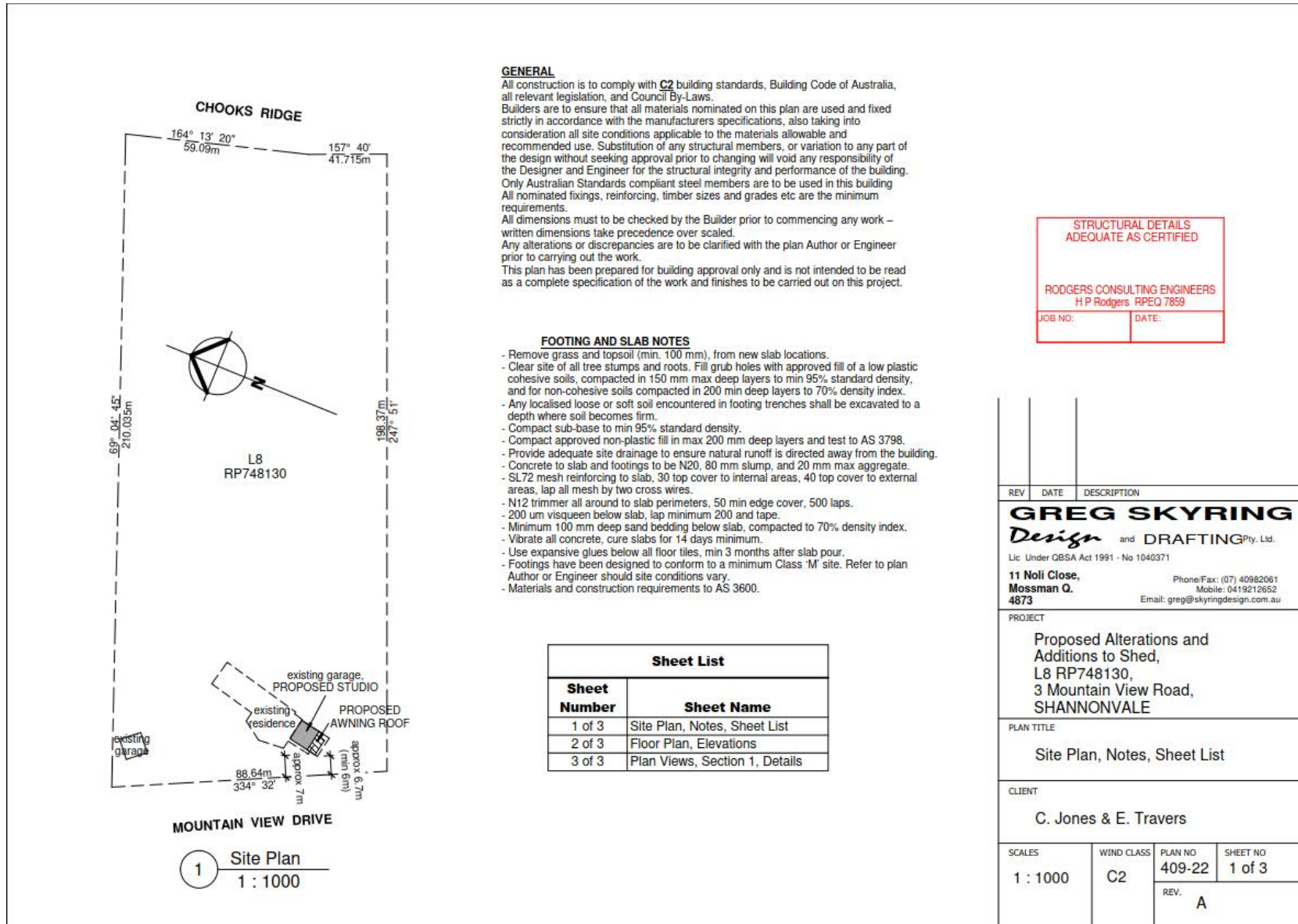
Yours faithfully

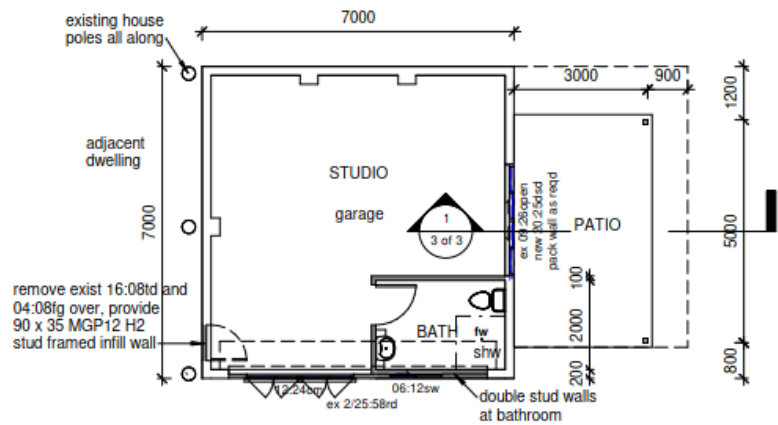


**For**  
**Paul Hoyer**  
**Manager Environment & Planning**

cc Emailed to Aspire Town Planning and Project Services – admin@aspireqld.com

# Attachment 1





**LEGEND**

- exist 200 cm external walls
- new timber stud framed external and internal walls, select boards to ext, gyprock to int generally, villaboard to int wet areas

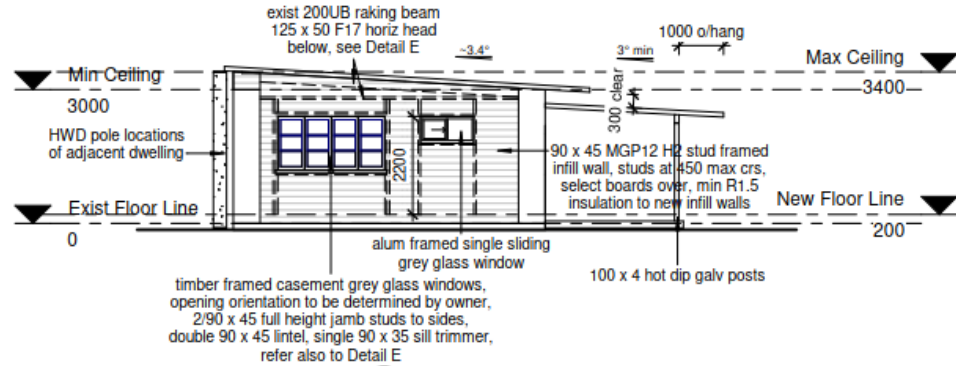
**1** Floor Plan  
1 : 100

**NOTE:**  
approved garage plans show ext walls to have N16 vert reinf at 400 crs, and N12 horiz reinf at 400 crs, - builder to confirm

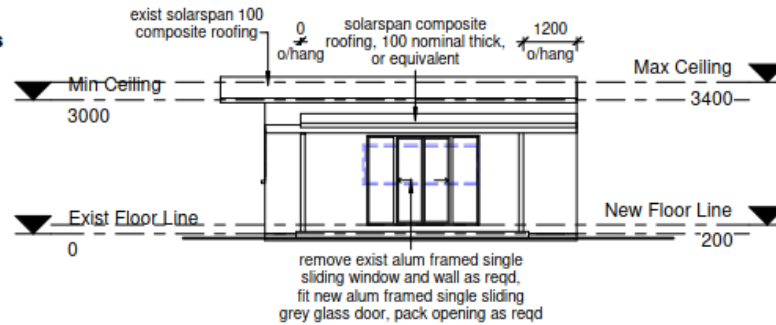
STRUCTURAL DETAILS  
ADEQUATE AS CERTIFIED

RODGERS CONSULTING ENGINEERS  
H P Rodgers RPEQ 7859

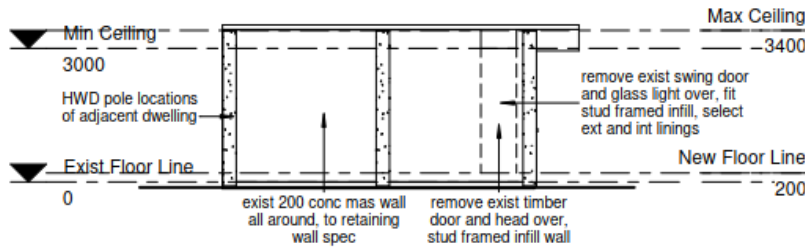
JOB NO:	DATE:
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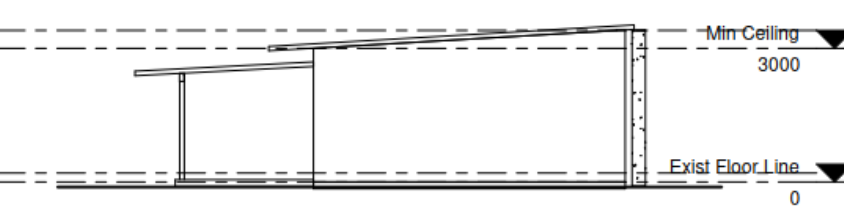
**2** Front Elevation  
1 : 100



**3** Right Elevation  
1 : 100

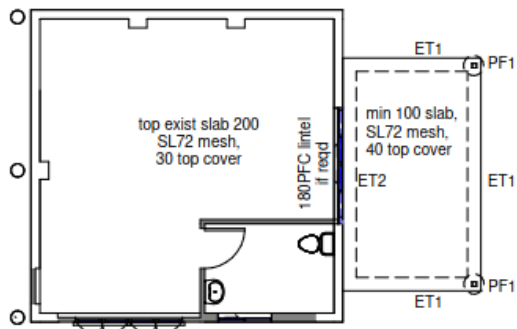


**5** Left Elevation  
1 : 100

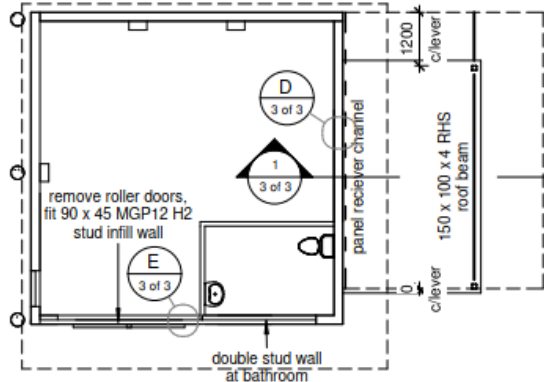


**4** Rear Elevation  
1 : 100

<p><b>GREG SKYRING</b> <i>Design</i> and DRAFTING Pty. Ltd. Lic Under QBSA Act 1991 - No 1040371 11 Noli Close, Mossman Q. 4873 Phone/Fax: (07) 40982061 Mobile: 0419212652 Email: greg@skyringdesign.com.au</p>	<p>PROJECT Proposed Alterations and Additions to Shed, L8 RP748130, 3 Mountain View Road, SHANNONVALE</p>	CLIENT C. Jones & E. Travers	WIND CLASS C2	PLAN NUMBER 409-22	SHEET 2 of 3
		SCALES 1 : 100	PLAN TITLE Floor Plan, Elevations	DATE OF ISSUE prelim 02.12.22	REV A

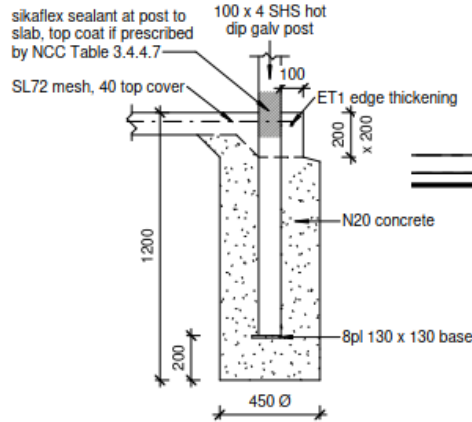


3 Foundation Plan  
1 : 100



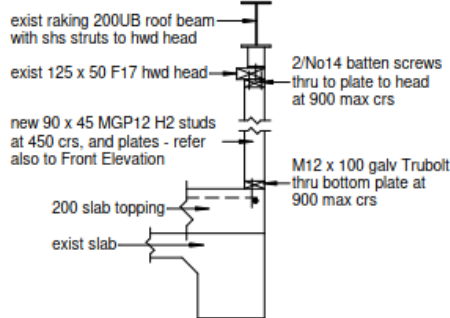
4 Roof and Wall Framing Plan  
1 : 100

**STRUCTURAL DETAILS  
ADEQUATE AS CERTIFIED**  
  
**RODGERS CONSULTING ENGINEERS**  
 H P Rodgers RPEQ 7859  
 JOB NO:                      DATE:

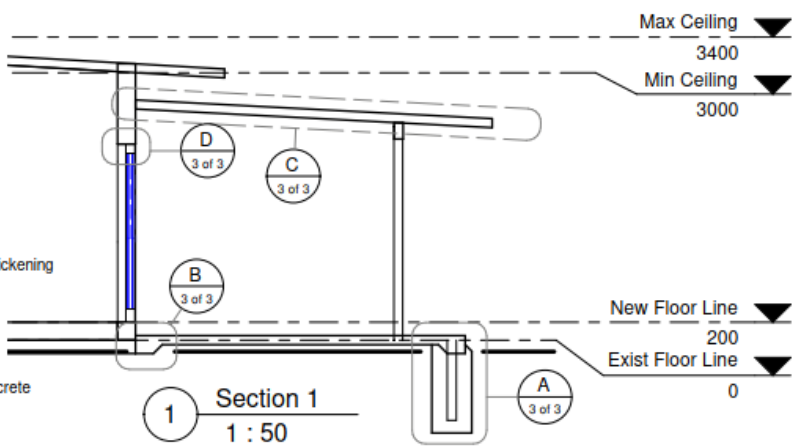


1 Section 1  
1 : 50

A PF1 Footing 450Ø  
1 : 20

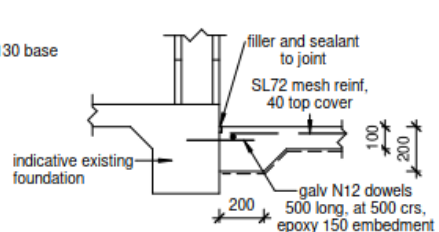


E Stud Wall Section  
1 : 20

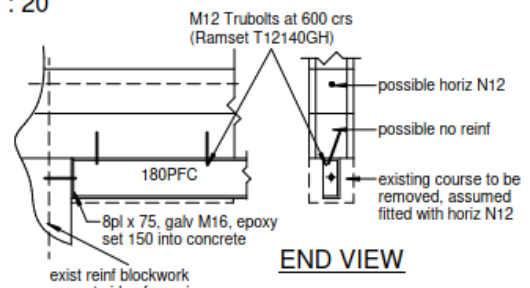


B ET2 Footing  
1 : 20

C Roof Panel Fixings  
1 : 20



ELEVATION



END VIEW

D 150 PFC Lintel  
1 : 20

**NOTE: to be applied if removed course is fitted with horiz reinf**

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PROJECT  
**Proposed Alterations and Additions to Shed, L8 RP748130, 3 Mountain View Road, SHANNONVALE**

CLIENT  
**C. Jones & E. Travers**

WIND CLASS  
**C2**

PLAN NUMBER  
**409-22**

SHEET  
**3 of 3**

SCALES  
**As indicated**

PLAN TITLE  
**Plan Views, Section 1, Details**

DATE OF ISSUE  
**prelim 02.12.22**

REV  
**A**