

20 December 2022

Enquiries: Rebecca Taranto
Our Ref: EXEM 2022_5208/1 (Doc:1130132)
Your Ref: 20224349

Administration Office
64 - 66 Front St Mossman
P 07 4099 9444
F 07 4098 2902

B P Jonsson
77 Leckie Road
Kedron QLD 4031

Email: adminpd@gmacert.com.au

Dear Sir / Madam

EXEMPTION CERTIFICATE

Council refers to your request for an exemption certificate for the following premises received on 13/12/2022.

Summary of Exempt Development

Construction of a Shed within the Flood and Storm Tide Hazard overlay (Floodplain Assessment overlay)

Location details

Street Address: Whyanbeel Road Whyanbeel

Real Property Description: Lot 21 on SP282737

Local Government Area: Douglas Shire Council

Decision

Council advises that an exemption certificate has been granted on 20 December 2022 for development as detailed in Attachment 1.

Referral agencies

Not Applicable

Reasons for giving exemption certificate

The development is exempt under this certificate under s46(3)(b) of the *Planning Act 2016* for the following reason(s):

- The effects of the development would be minor or inconsequential, considering the circumstances under which the development was categorised as assessable development.

When exemption certificate ceases to have effect

This exemption certificate does not lapse.

Other

Please quote Council's application number: EXEM 2022_ 5208/1 in all subsequent correspondence relating to this request.

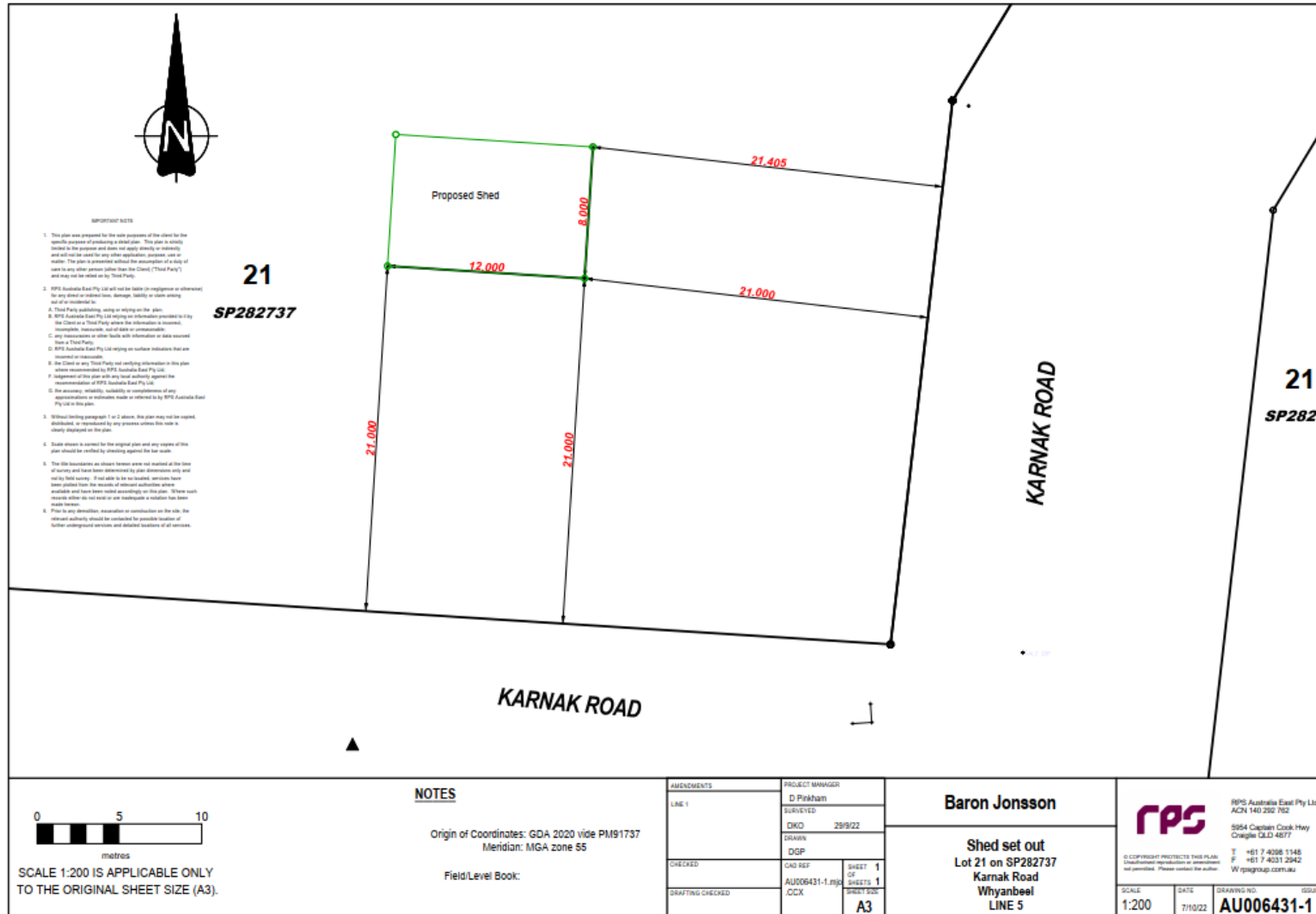
Should you require any clarification regarding this matter, please contact Rebecca Taranto on telephone 07 4099 9444.

Yours faithfully

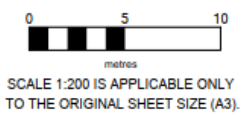


For
Paul Hoyer
Manager Environment & Planning

Attachment 1



- IMPORTANT NOTES**
- This plan was prepared for the sole purpose of the client for the specific purpose of authorising a detail plan. This plan is solely based on the information provided and does not rely on any other information and will not be used for any other application, purpose, use or matter. This plan is prepared without the assumption of a duty of care to any other person (other than the Client) ("Third Party") and may not be relied on by Third Party.
 - RPS Australia East Pty Ltd will not be liable (or negligent or otherwise) for any third or related loss, damage, liability or claim arising out of or in connection with:
 - Third Party publishing, using or relying on the plan;
 - RPS Australia East Pty Ltd relying on information provided to the Client or a Third Party where the information is incorrect, incomplete, inaccurate, not of date or unrepresentative;
 - any measurements or other facts with information or data sourced from a Third Party;
 - RPS Australia East Pty Ltd relying on surface indications that are incorrect or inaccurate;
 - the Client or any Third Party not verifying information in this plan where recommended by RPS Australia East Pty Ltd;
 - implementation of this plan with any third authority against the recommendations of RPS Australia East Pty Ltd;
 - the accuracy, reliability, suitability or completeness of any representations or information made or referred to by RPS Australia East Pty Ltd in this plan.
 - Without limiting paragraph 1 or 2 above, this plan may not be copied, published, or reproduced by any person other than the client as clearly indicated on the plan.
 - State shown is correct for the original plan and any copies of this plan should be verified by obtaining against the last issue.
 - The site boundaries as shown herein were not marked at the time of survey and have been determined by plan dimensions only and not by field survey. If it shall be so located, surveys have been added from the records of relevant authorities where available and have been indicated accordingly on this plan. Where such records either do not exist or are inadequate a solution has been made herein.
 - Plans in any dimension, inaccurate or inconsistent on the site, the relevant authority should be contacted for possible location of further underground services and detailed location of all services.



NOTES

Origin of Coordinates: GDA 2020 vlide PM91737
Meridian: MGA zone 55

Field/Level Book:

AMENDMENTS	PROJECT MANAGER D Pinkham
LINE 1	SURVEYED DKO 29/9/22
	DRAWN DGP
CHECKED	CAD REF AU006431-1.rpd
DRAFTING CHECKED	CCX
	SHEET 1 OF SHEETS 1 SHEET SIZE A3

Baron Jonsson

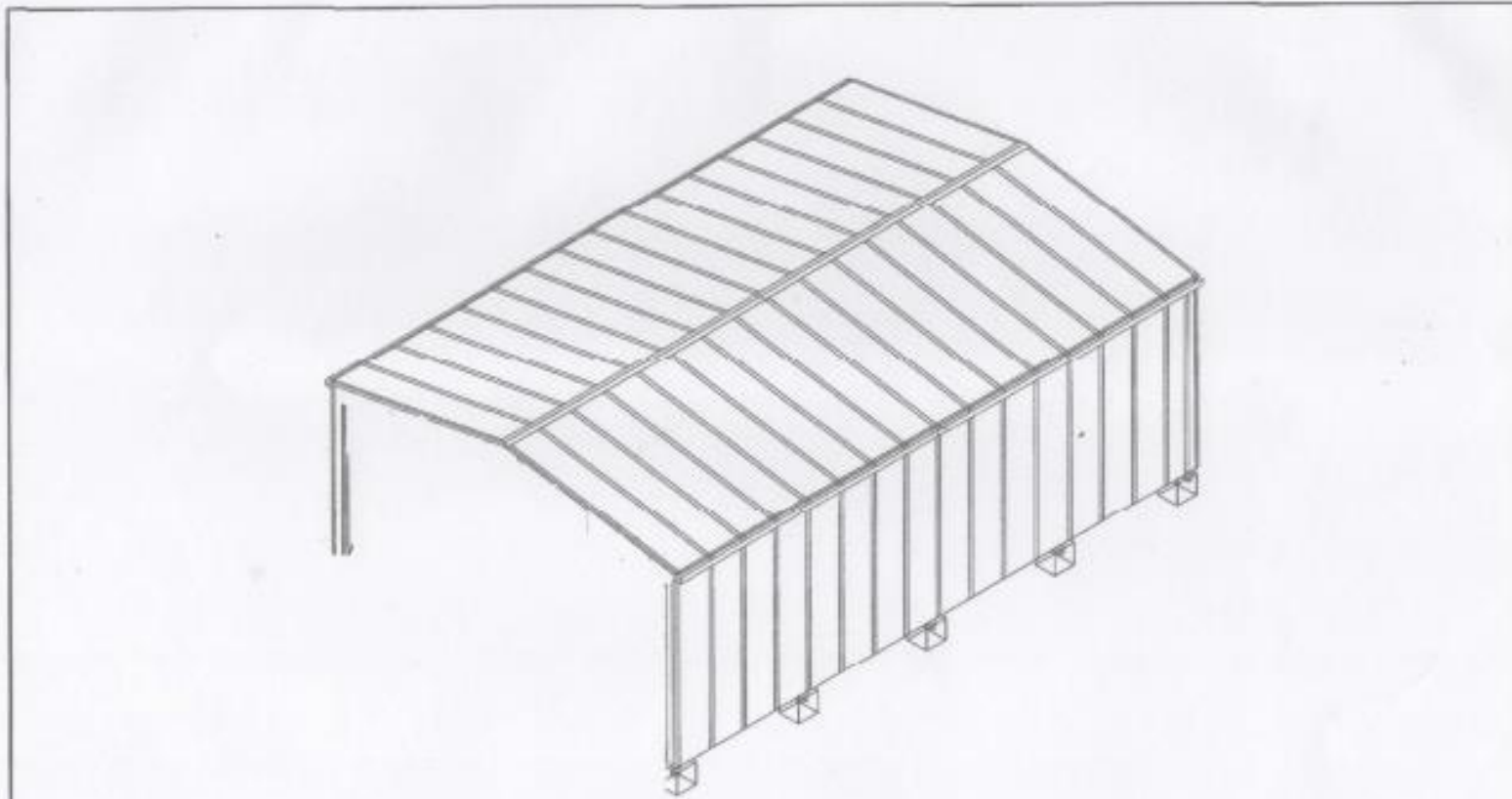
Shed set out
Lot 21 on SP282737
Karnak Road
Whyanbeel
LINE 5

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Craigville QLD 4657

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SCALE 1:200	DATE 7/10/22	DRAWING NO. AU006431-1	ISSUE
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Shed ISO Back Right View (Clad)

STEELbuilder (c) Program Plus Pty Limited - v 1.0.2.1111,1.0.1.9990

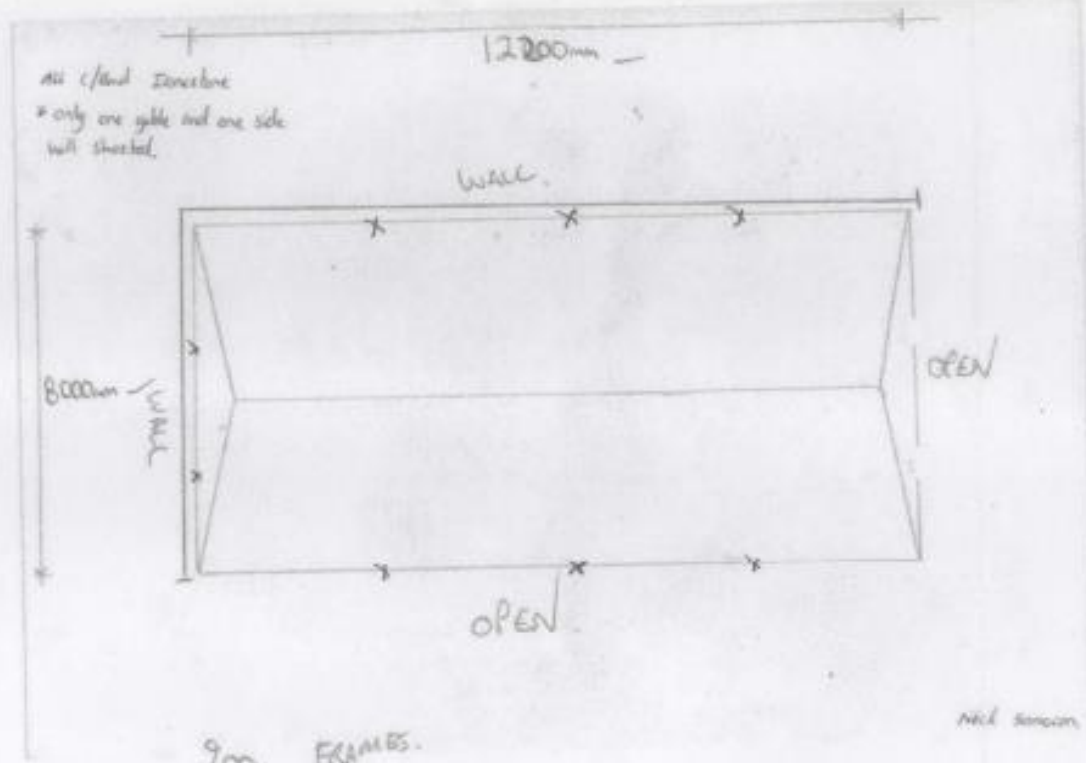
Dwg No 2 of 2	Project No. 7198
Shed ISO Back Right View (Clad)	SCOMOZON
	JENKINS FOR NICK SCOMOZON
	21/2/2022
	Scale 1:90



Shed ISO Front Left View (Clad)

STEELbuilder (c) Program Plus Pty Limited - v 1.6.2.1111,1.0.1.9990

Dwg No 1 of 2	Project No. 7198
Shed ISO Front Left View (Clad)	SCOMOZON
	JENKINS FOR NICK SCOMOZON
	21/2/2022
	Scale 1:94



600 \square m³ with SLAB.

600 ϕ x 1500 D. NO SLAB.

6x N16 VERT REINF. LIPS @ 300 E.