27 March 2019

Enquiries: Daniel Lamond
Our Ref: EXEM3049/2019 (896437)

B P Adams & C L Adams
PO Box 770
MOSSMAN QLD 4873

Copy:
GMA Certification Group Pty Ltd
PO Box 831
PORT DOUGLAS QLD 4877

Dear Sir / Madam

EXEMPTION CERTIFICATE

Summary of Exempt Development

Development being made exempt from the 2018 Douglas Shire Planning Scheme version 1.0 consists of dwelling additions and an open carport.

1. Location details

Street address: 150 Marine Parade, Newell Beach

Real property description: LOT: 3 on RP: 725784

I wish to advise that an exemption certificate has been granted on 27 March 2019 for development comprising:

Drawing	Reference	Date
Floor Plan	Rev 01, 1:00 Prepared by Danny Vos. Sheet 2.0.	19 July 2019
Elevations	Rev 01, 1:00 Prepared by Danny Vos. Sheet 5.0.	10 February 2019

2. Referral agencies

Not Applicable

3. Reasons for giving exemption certificate

The development is exempt under this certificate under s46(3)(b) of the Planning Act 2016 for the following reason(s):

- The effects of the development would be minor or inconsequential, considering the circumstances under which the development was categorised as assessable development.
- The development consists of an extension to a lawfully established house in an existing urban area.

4. When exemption certificate ceases to have effect
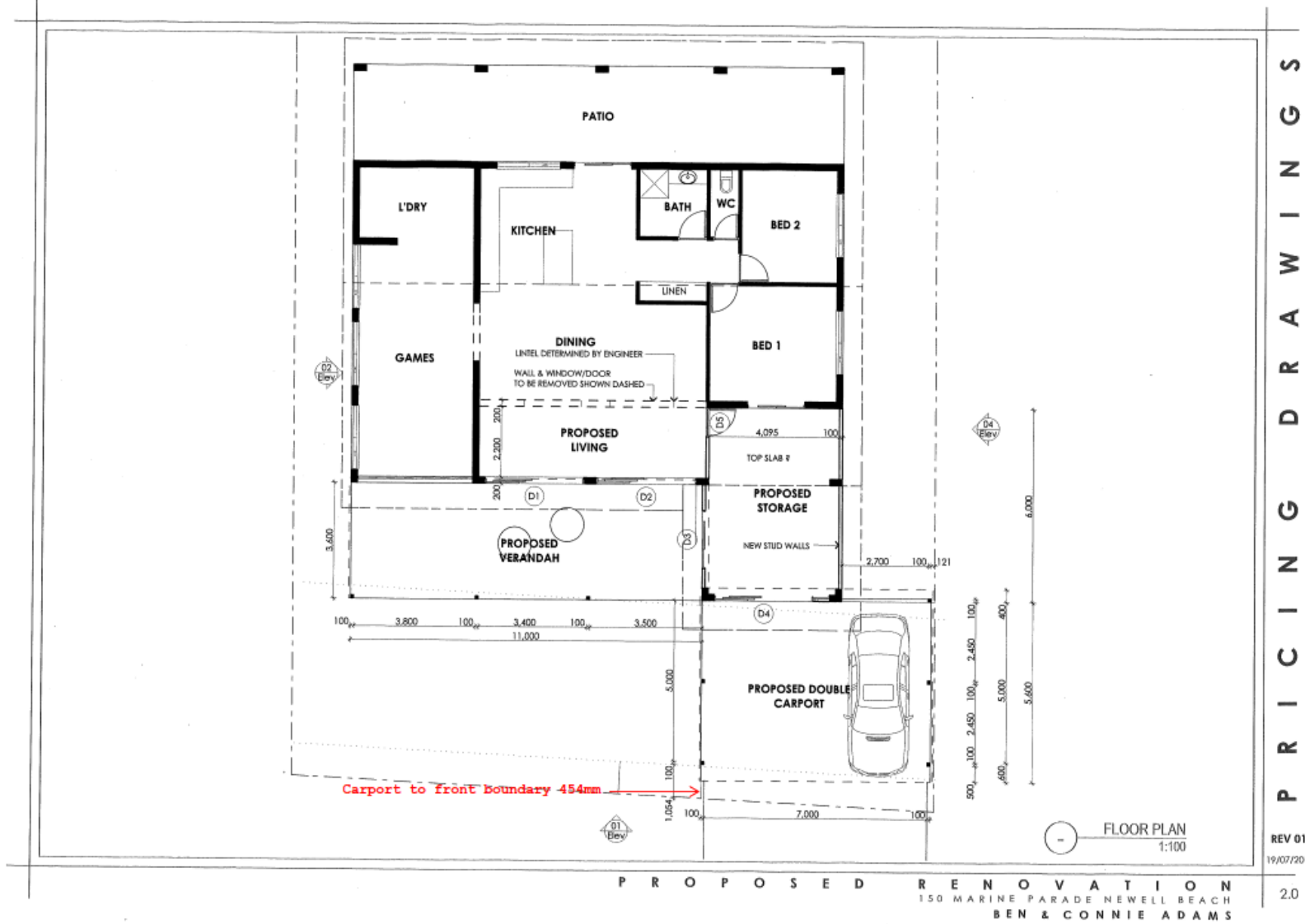
This exemption certificate has no lapse date.

Please quote Council's application number: SITEX3049/2019 in all subsequent correspondence relating to this development application. Should you require any clarification regarding this matter, please contact Daniel Lamond on telephone 07 4099 9456.

Yours faithfully

PAUL HOYE
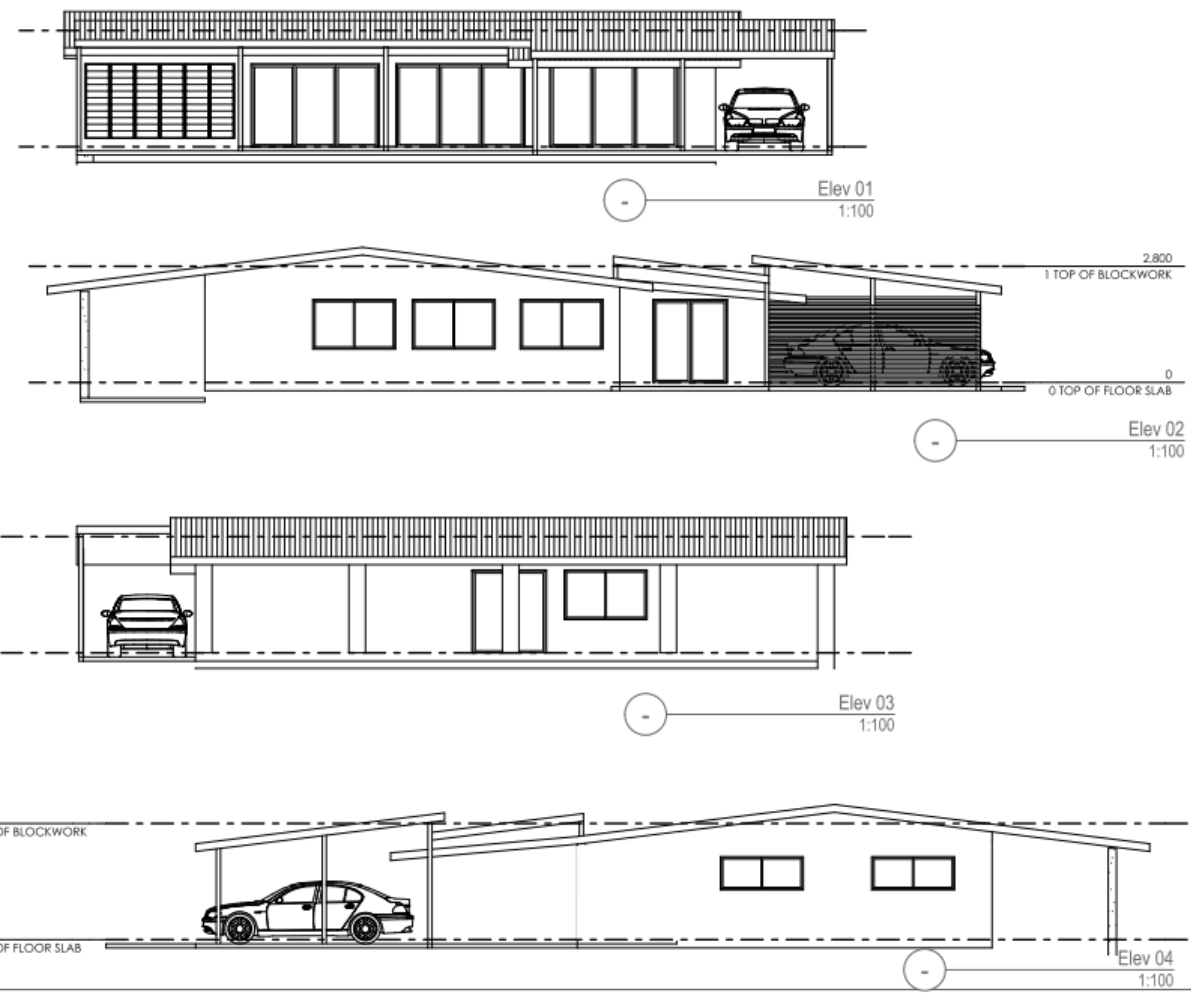**Manager Environment and Planning**

Cc GMA Certification Group Pty Ltd

Exempted Plans

PATIO

L'DRY

KITCHEN

BATH

WC

BED 2

LINEN

GAMES

DINING
LINTEL DETERMINED BY ENGINEER

WALL & WINDOW/DOOR
TO BE REMOVED SHOWN DASHED

BED 1

PROPOSED
LIVING

4,095   100

TOP SLAB ?

PROPOSED
STORAGE

PROPOSED
VERANDAH

NEW STUD WALLS

2,700   100   121

3,600

100   3,800   100   3,400   100   3,500
11,000

6,000

PROPOSED DOUBLE
CARPORT

5,000

400

2,450

5,000

5,600

Carport to front boundary 454mm

1,054   100   7,000   100

FLOOR PLAN
1:100

REV 01
19/07/2018
2.0

P R O P O S E D   R E N O V A T I O N
150 MARINE PARADE NEWELL BEACH
BEN & CONNIE ADAMS

Elev 01
1:100

2.800
1 TOP OF BLOCKWORK

0
0 TOP OF FLOOR SLAB

Elev 02
1:100

Elev 03
1:100

2.800
1 TOP OF BLOCKWORK

0
0 TOP OF FLOOR SLAB

Elev 04
1:100

REV 01

10/02/2019

PROPOSED RENOVATION
150 MARINE PARADE NEWELL BEACH
BEN & CONNIE ADAMS

5.0