

27 September 2018

Enquiries: Neil Beck  
Our Ref: EXEM2636/2018 (874205)

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M J Storey & D L Storey  
PO Box 848  
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Copy:  
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MOSSMAN QLD 4873

Dear Sir / Madam

## EXEMPTION CERTIFICATE

### ***Summary of Exempt Development***

Exempt development consists of additions to existing residence. This exemption certificate makes the building work nominated on the plans attached exempt from code assessment under the planning scheme as the work is compliant with the intent of the 2018 Douglas Shire Planning Scheme version 1.0.

### ***1. Location details***

Street address: 21 Orchid Avenue ROCKY POINT

Real property description: LOT: 11 RP: 749727

Council wishes to advise that an exemption certificate has been granted on 27 September 2018 for development comprising:

Drawing	Reference	Date
Site Plan, Sheet List, Notes	Plan prepared by Greg Skyring Deign and Drafting Pty Ltd, sheet 1 of 3	18 April 2018
Floor Plans	Plan prepared by Greg Skyring Deign and Drafting Pty Ltd, sheet 1 of 3	18 April 2018
Elevations	Plan prepared by Greg Skyring Deign and Drafting Pty Ltd, sheet 1 of 3	18 April 2018

### ***2. Referral agencies***

Not Applicable

**3. *Reasons for giving exemption certificate***

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The development is exempt under this certificate under s46(3)(b) of the Planning Act 2016 for the following reason(s):

- The effects of the development would be minor or inconsequential, considering the circumstances under which the development was categorised as assessable development.

**4. *When exemption certificate ceases to have effect***

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This exemption certificate has no lapse date.

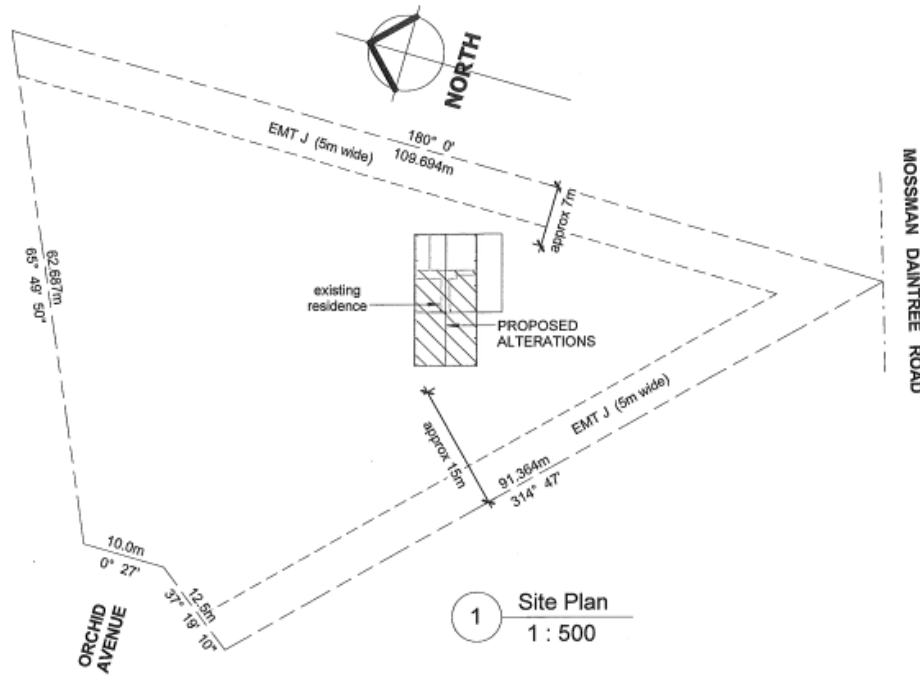
Please quote Council's application number: EXEM2636/2018 in all subsequent correspondence relating to this development application. Should you require any clarification regarding this matter, please contact Daniel Lamond on telephone 07 4099 9456.

Yours faithfully

**Michael Kriedemann**  
**A/ General Manager Operations**

Cc Greg Skyring Design & Drafting Pty Ltd

# Exempted Plans



1 Site Plan  
1 : 500

Sheet List	
Sheet Number	Sheet Name
1 of 3	Site Plan, Sheet List, Notes
2 of 3	Floor Plans
3 of 3	Elevations

**GENERAL**

All construction is to comply with C2 building standards, Building Code of Australia, all relevant legislation, and Council By-Laws. Builders are to ensure that all materials nominated on this plan are used and fixed strictly in accordance with the manufacturers specifications, also taking into consideration all site conditions applicable to the materials allowable and recommended use. Substitution of any structural members, or variation to any part of the design without seeking approval prior to changing will void any responsibility of the Designer and Engineer for the structural integrity and performance of the building. Only Australian Standards compliant steel members are to be used in this building. All nominated fixings, reinforcing, timber sizes and grades etc are the minimum requirements. All dimensions must be checked by the Builder prior to commencing any work – written dimensions take precedence over scaled. Any alterations or discrepancies are to be clarified with the plan Author or Engineer prior to carrying out the work. This plan has been prepared for building approval only and is not intended to be read as a complete specification of the work and finishes to be carried out on this project.

**DOCUMENTS**

- The following documents have been referenced to produce these plans and form part of these plans where applicable:
- AS 1684.3 – residential timber-framed construction
  - AS 1720.1 – timber structures, design methods
  - AS 2870 – residential slabs and footings, construction
  - Australian Domestic Construction Manual
  - Lysaght cyclonic area design manual
  - Stramit cyclonic area technical supplement
  - Timber Solutions design program
  - CMAA – single leaf masonry design manual
  - PAA structural plywood wall bracing design manual
  - James Hardie technical manuals
  - CSR technical manuals

**INTERNAL BRACING WALLS**

- WALL FIXING**
- Fix top plate to floor with 1/M12 at bracing section ends and at 1200 max. crs., epoxy set 80 into concrete
  - Fix top plate to crossing or parallel roof framing with No 8 Tek screws at 450 crs
- SHEETING**
- Line one side with 6mm F11 or 4mm F14 structural ply, nail fixed to manufacturers specifications to achieve minimum 6.4 kn/m nominal bracing (2.7m high walls).

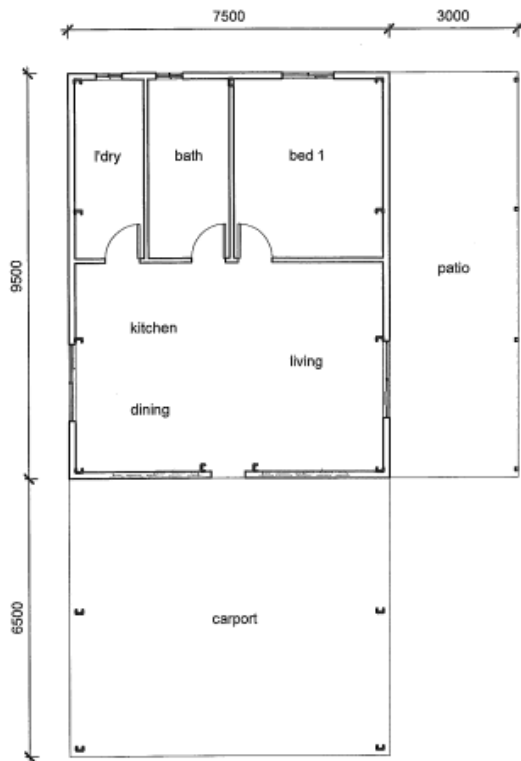
**EXTERNAL BRACING WALLS**

- WALL FIXING**
- Fix top plates to floor frame with 1/M12 at bracing section ends and at 1200 max. crs.
- SHEETING**
- Line one side with 6mm F11 or 4mm F14 structural ply, nail fixed to manufacturers specifications to achieve minimum 6.4 kn/m nominal bracing (2.7 m high walls).

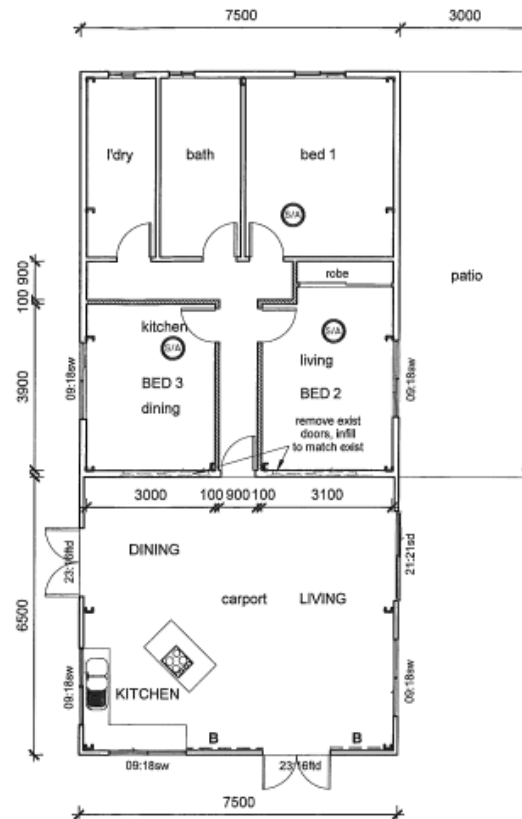
**GREG SKYRING**  
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PROJECT  
Proposed Alterations to Existing Residence, L11 RP749727, 21 Orchid Ave, ROCKY POINT

CLIENT	M. & D. Storey	WIND CLASS	C2	PLAN NUMBER	703-18	SHEET	1 of 3
SCALES	1 : 500	PLAN TITLE	Site Plan, Sheet List, Notes		DATE OF ISSUE	18.04.18	REV



1 Existing Floor Plan  
1 : 100



2 Proposed Floor Plan  
1 : 100

- LEGEND**
- 45 x 35 pine furring over exist TH98 girts, steel sheet to ext, versilux to int generally, villaboard to wet areas, fit min R1.5 insulation.
  - new timber stud framed ext wall, versilux lined to int, elect boards to ext, fit min R1.5 insulation.
  - new timber stud framed int wall, versilux lined both faces
  - as above lined one face with 4mm F14 ply or similar, nail fixed for bracing to achieve nominal 6.4 kn/m, refer to Bracing Wall Notes
  - Smoke alarms to AS3786.
  - kitchen exist use area, lower case
  - KITCHEN new use area, upper case

**WINDOW and DOOR LEGEND**

- td select timber doors, quality appropriate to location
- ftd feature timber door
- sd alum framed single sliding glass door
- sw sliding window

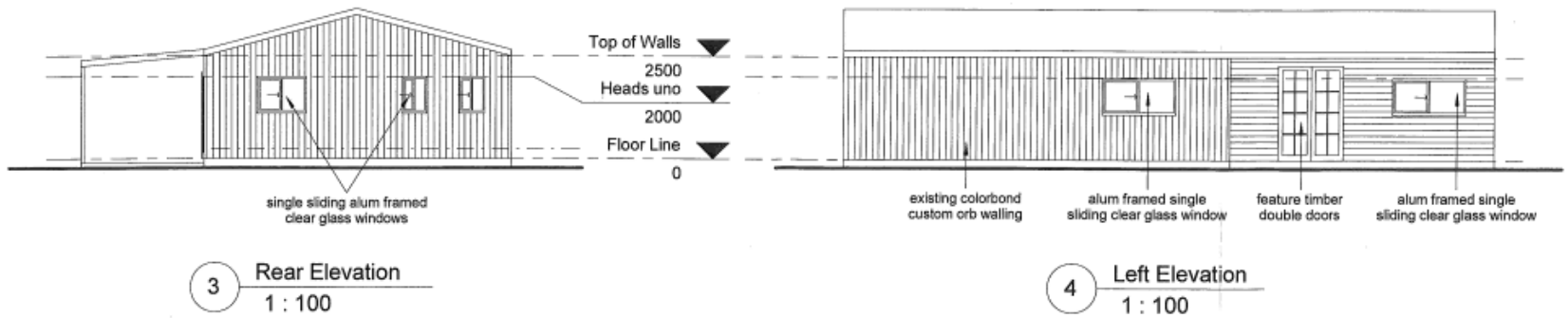
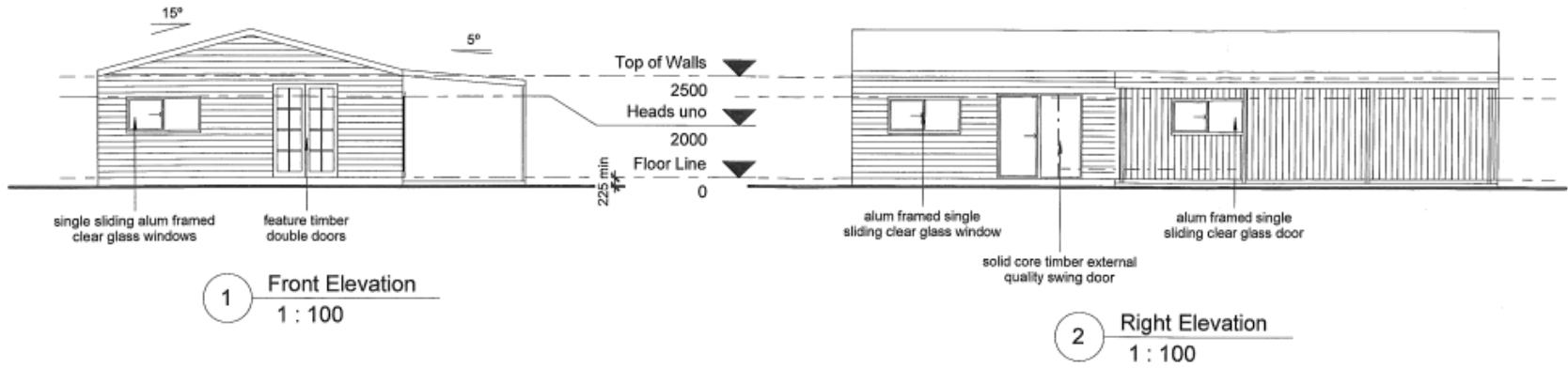
**TIMBER SCHEDULE -- ALL MGP12 H2**

- Ext Studs
- to 3m - 90 x 35/450 crs
- 3 - 3.6m - 90 x 45/450 crs
- Jamb studs,
- side walls, - 2/90 x 35
- to 1800w
- end walls, - 2/90 x 45
- to 1800 w
- Lintels, (on ends)
- 1800w - 90 x 45
- Sill trimmers - 90 x 45
- Top plates - 90 x 45
- Bottom plates - 90 x 45
- Int Studs,
- to 2.7m - 70 x 35/450 crs
- 2.7 - 3.6m - 90 x 35/450 crs

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PROJECT  
Proposed Alterations to  
Existing Residence,  
L11 RP749727,  
21 Orchid Ave,  
ROCKY POINT

CLIENT	M. & D. Storey	WIND CLASS	C2	PLAN NUMBER	703-18	SHEET	2 of 3
SCALES	1 : 100	PLAN TITLE	Floor Plans	DATE OF ISSUE	18.04.18	REV	



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PROJECT  
Proposed Alterations to  
Existing Residence,  
L11 RP749727,  
21 Orchid Ave,  
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CLIENT	M. & D. Storey	WIND CLASS	C2	PLAN NUMBER	703-18	SHEET	3 of 3
SCALES	1 : 100	PLAN TITLE	Elevations		DATE OF ISSUE	18.04.18	REV