

25 June 2018

Enquiries: Scot Henderson  
Our Ref: 52/ 2724/2018 (861108)

Administration Office  
64 - 66 Front St Mossman  
P 07 4099 9444  
F 07 4098 2902

GMA Certification Group  
PO Box 831  
Port Douglas, QLD, 4877

Copy:  
Janine & Darren KEARNS  
PO Box 656  
Port Douglas, QLD, 4877.

Dear Sir / Madam

## EXEMPTION CERTIFICATE

Thank you for your request for an exemption certificate for the following premises received on 20/06/2018.

### ***Summary of Exempt Development***

Request to exempt dwelling from the application process for Material Change of Use. Exempted development consists of a single detached house captured within the Flood & Storm Tide Inundation Overlay of the 2018 Douglas Shire Council Planning Scheme.

#### ***1. Location details***

Street address: 7 Julia Close WONGA BEACH

Real property description: LOT: 45 SP: 204468

I wish to advise that an exemption certificate has been granted on 25 June, 2018, for development comprising:

Drawing Number	Reference	Date
357TL 2 of 11	Contour Plan	07/06/2018
357TL 10 of 11	Setout Plan	07/06/2018

#### ***2. Referral agencies***

Not Applicable

#### ***3. Reasons for giving exemption certificate***

The development is exempt under this certificate under s46(3)(b) of the Planning Act 2016 for the following reason(s):

- The site is outside the wave zone of the storm tide inundation report that Council uses to guide minimum flood pad and floor heights.
- The site is immune of the 2.80 metre storm tide level and achieves a finished floor level, allowing for the concrete slab, expected to be at least 3.85 metre AHD.

#### **4. *When exemption certificate ceases to have effect***

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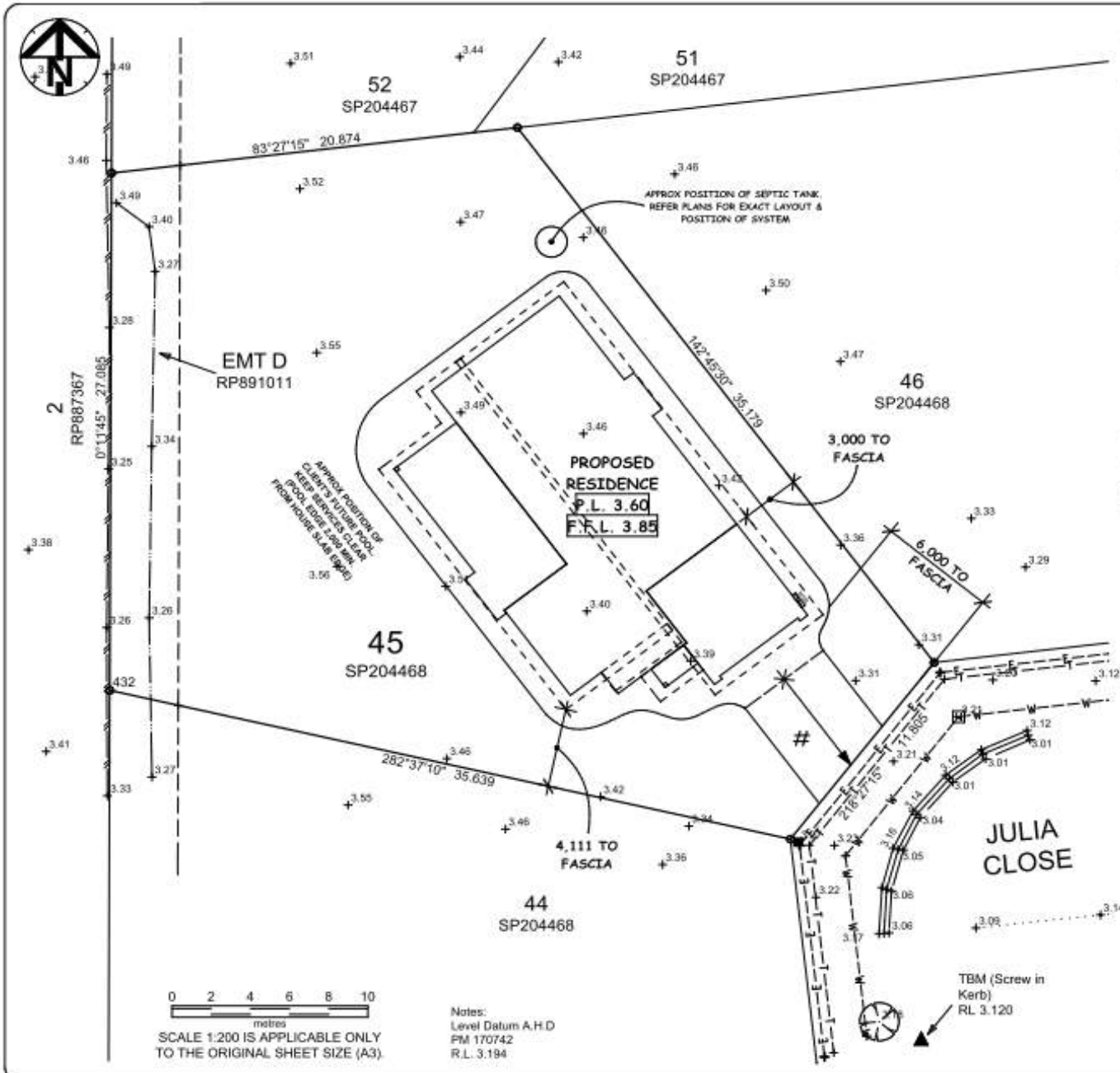
This exemption certificate has effect for two years from the day after the day it is given.

Please quote Council's application number: 52.2018.2724.1 in all subsequent correspondence relating to this development application. Should you require any clarification regarding this matter, please contact Scot Henderson on telephone 07 4099 9444.

Yours faithfully

**PAUL HOYE**  
**Manager Sustainable Communities**

Cc NQ Homes Tropical Living Pty Ltd



0 2 4 6 8 10  
metres  
SCALE 1:200 IS APPLICABLE ONLY  
TO THE ORIGINAL SHEET SIZE (A3)

Notes:  
Level Datum A.H.D  
PM 170742  
R.L. 3.194

**PLATFORM LEVEL APPROX -**  
R.L. 3.60 (+/-0.05)  
\* **IMPORT FILL 300mm APPROX**  
at worse point after site scrape.  
\* **STORMWATER TO STREET**  
\* **DISCHARGE WASTE TO SEPTIC.**

# **DRIVEWAY GRADIENT - 1:16 @ 5M approx**

**NOTES -**  
- ANY RETAINING REQUIRED. BY CLIENT  
- ANY TREE REMOVAL REQUIRED. BY CLIENT  
- POOLS MUST BE 2000mm MIN. FROM ANY  
SLAB EDGE OR PATIO COLUMNS. IF LESS  
THAN 2000mm, ENGINEER TO BE CONSULTED.  
- REFER TO SHEET 10 of 11 FOR SETOUT PLAN.  
- REFER TO SHEET 11 of 11 FOR PLUMB. PLAN.

\* **FILL BATTER @ 1:3 MAX**  
\* **CUT BATTER @ 1:1.5 MAX**

INDICATES 400mm WIDE x 75mm  
DEEP GRADED TABLE DRAIN

- LEGEND**
- Electricity Pillar
  - ⊠ Telstra Pit
  - ⊞ Fire Hydrant
  - ⋯ Road Crown
  - IL of Mountable Kerb
  - Back of Mountable Kerb
  - Top of Bank
  - Toe of Bank
  - Timber Paling Fence
  - U'ground Telstra (plotted from records)
  - U'ground Electricity (plotted from records)
  - U'ground Water (plotted from records)

**CONTOUR PLAN WIND-'C2'**

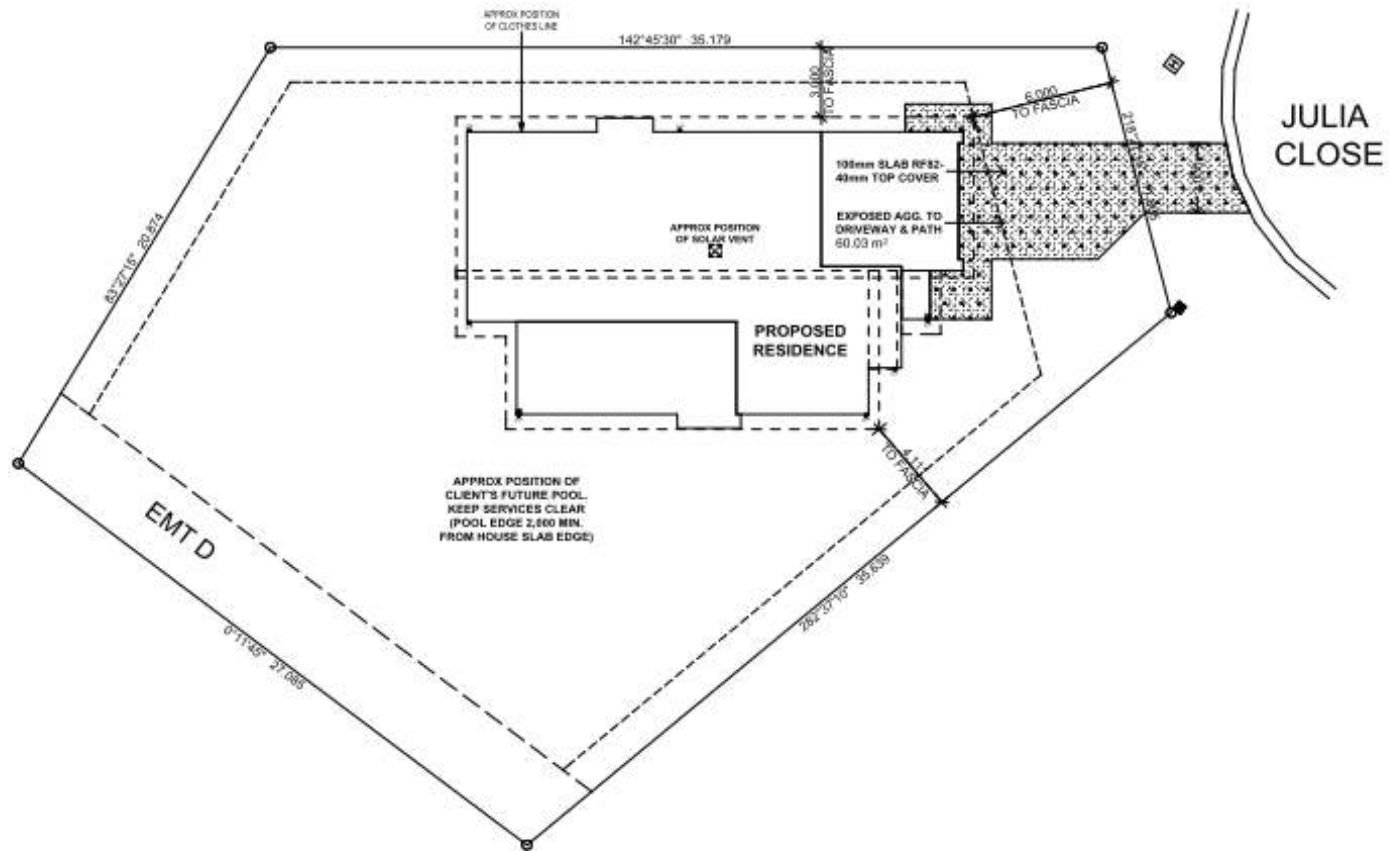
Client:	J. A. and D. J. KEARNS	Drawn By:	S.C.	Project No.:	3577L
Address:	LOT 45, JULIA CLOSE WONGA BEACH	Date:	07/06/2018	Scale:	1:200
ABN: 7914810098	ORCID: 15831495	Project:	LAGOON 234	Sheet No.:	2 of 11
Address: P.O. BOX 951, PL DOUGLAS Orl. 4877	Phone: (07)40995518	Location:	MODERN SKILLION		
Fax: (07)48869512		Category:	PREMIUM		



LOT 45 ON SP264287  
JULIA CLOSE  
WONGA BEACH



SC - 35mm DEEP SAWCUT WITHIN  
8 HOURS OF CONCRETE POUR  
- CUTOUT EVERY 2nd MESH BAR  
ACROSS JOINT



ASN: 75614918006  
QBCC: 15631495  
Address: P.O. BOX 863,  
Pt. DOUGLAS Qld. 4877  
Phone: (07)40985510  
Fax: (07)46985512

**SETOUT PLAN**

**WIND-'C2'**

N.B. ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES - THIS DESIGN IS THE EXCLUSIVE PROPERTY OF NQ HOMES Pty. Ltd.

Client: J. A. and D. J. KEARNS  
LOT 45, JULIA CLOSE  
WONGA BEACH

Design: LAGOON 234  
Style: MODERN SKILLION  
Finish: PREMIUM

Drawn By: S.C.  
Date: 07/06/2018  
Scale: 1 : 200

Sheet Number: 10 of 11  
Job Number: 357TL