

17 January 2019

Enquiries: Neil Beck
Our Ref: SiteX / 2975/2019 (887998)

Administration Office
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P 07 4099 9444
F 07 4098 2902

G Callipari & V Callipari
PO Box 178
NICHOLS POINT VIC 3501

Copy:
GMA Certification
PO Box 831
Port Douglas 4877

Dear Sir

EXEMPTION CERTIFICATE

Thank you for your request for an exemption certificate for the following premises received on 14 January 2019.

Summary of Exempt Development

Building additions to existing dwelling and new carport as detailed at Attachment 1.

1. Location details

Street address: 103 St Crispins Avenue PORT DOUGLAS

Real property description: LOT: 89 RP: 746256

I wish to advise that an exemption certificate has been granted on 17 January 2019 for development comprising:

Drawing Number	Reference	Date
Site Plan, Sheet List, Notes	311-18	17/12/2018
Elevations	311-18 Sheet 5 of 10	17/12/2018

2. Referral agencies

Not Applicable

3. Reasons for giving exemption certificate

The development is exempt under this certificate under s46(3)(b) of the Planning Act 2016 for the following reason(s):

- The proposed additions comprise a minor extension to an existing dwelling in which floor levels will remain the same as existing floor levels. On this basis, the proposed additions are considered minor and inconsequential.

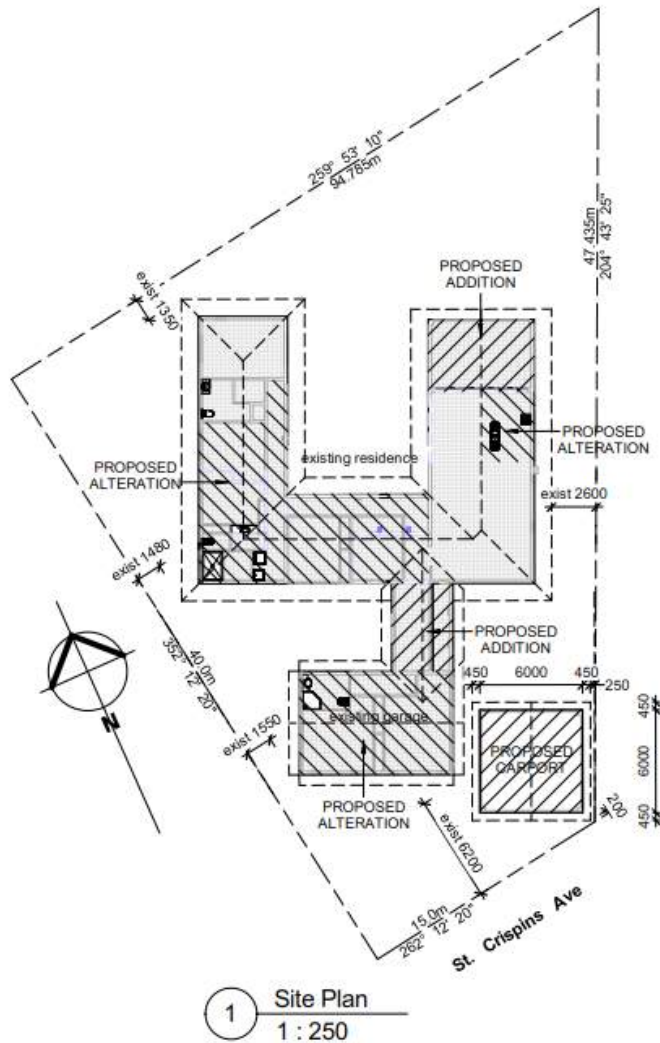
4. When exemption certificate ceases to have effect

This exemption certificate does not lapse.

Please quote Council's application number: SITEX 2975/2019 in all subsequent correspondence relating to this request. Should you require any clarification regarding this matter, please contact Neil Beck on telephone 07 4099 9444.

Yours faithfully

Neil Beck
A/Manager Environment & Planning



Sheet List	
Sheet Number	Sheet Name
1 of 10	3D Views
2 of 10	Site Plan, Sheet List, Notes
3 of 10	Floor Plan - Residence
4 of 10	Floor Plan - Garage & Carport
5 of 10	Elevations - Sheet 1
6 of 10	Elevations - Sheet 2
7 of 10	Foundation Plan - Residence, Details, Notes
8 of 10	Foundation Plan - Garage & Carport, Details
9 of 10	Wall and Roof Framing Details
10 of 10	Sections, Details, Notes

GENERAL

All construction is to comply with **C2** building standards, Building Code of Australia, all relevant legislation, and Council By-Laws.
 Builders are to ensure that all materials nominated on this plan are used and fixed strictly in accordance with the manufacturers specifications, also taking into consideration all site conditions applicable to the materials allowable and recommended use. Substitution of any structural members, or variation to any part of the design without seeking approval prior to changing will void any responsibility of the Designer and Engineer for the structural integrity and performance of the building. Only Australian Standards compliant steel members are to be used in this building
 All nominated fixings, reinforcing, timber sizes and grades etc are the minimum requirements.
 All dimensions must to be checked by the Builder prior to commencing any work – written dimensions take precedence over scaled.
 Any alterations or discrepancies are to be clarified with the plan Author or Engineer prior to carrying out the work.
 This plan has been prepared for building approval only and is not intended to be read as a complete specification of the work and finishes to be carried out on this project.

WASHERS

Washers as listed below are to be used with all bolted connections involving timber, where bolt is in tension;
 M10 - 38 x 38 x2.0
 M12 - 50 x 50 x 3.0
 M16 - 65 x 65 x 5.0
 At connections to steel plates, use standard round washers for the bolt diameter used, UNO.

TERMITE PROTECTION

This structure as detailed complies with the provisions of AS3660.1 for the protection of new buildings from subterranean termites.
 Owners are reminded that to maintain compliance with AS3660.1 they are advised to have inspections carried out by a qualified person every 12 months generally, and every 3 months if in an area where termite risk is high.

FIXINGS

All bolts, screws, nails, brackets, framing anchors and other hardware in contact with preservative treated timber, should be hot dipped galvanised, monel, silicon bronze, or stainless steel.
 Unless noted otherwise, all bolts are to be hex-head

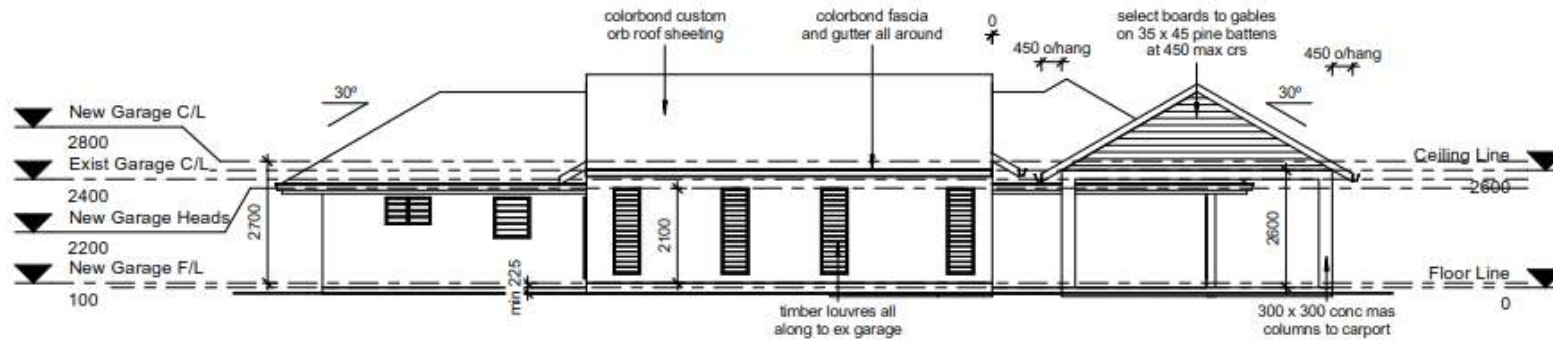
INTERNAL BRACING WALLS

WALL FIXING
 - Fix top plate to floor frame with 1/M12 at bracing section ends and at 1200 max. crs.
 - Fix top plate to crossing or parallel truss framing at M12 wall reinf locations to comply with AS1684.3 Table 8.23 to achieve 7.6 kn.
 - Fix end studs to external walls with 1/12Ø dynabolt or No 14-10 Type 17 screw at top, bottom, and at 1200 crs.
SHEETING
 - Line one side with 6mm F11 or 4mm F14 structural ply, nail fixed to manufacturers specifications to achieve minimum 6.4 kn/m nominal bracing (2.7m high walls).

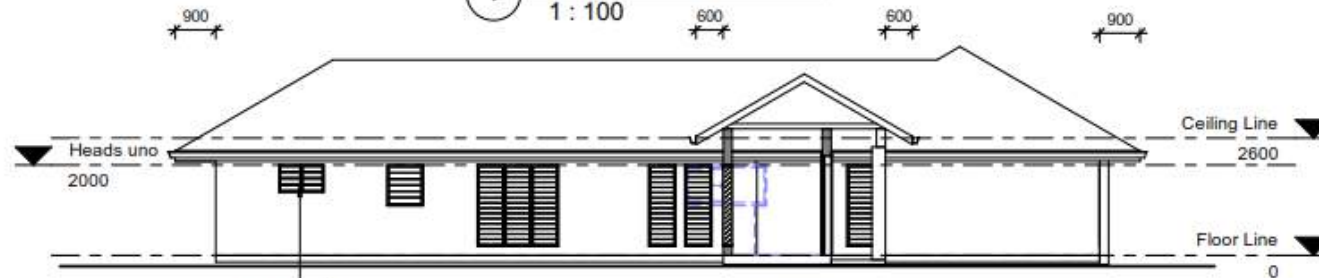
GREG SKYRING
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 Mossman Q. 4873
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 Email: greg@skyringdesign.com.au

PROJECT
 Proposed Alterations and Additions
 to existing Residence,
 103 St. Crispins Avenue
 L89 RP74256,
 PORT DOUGLAS

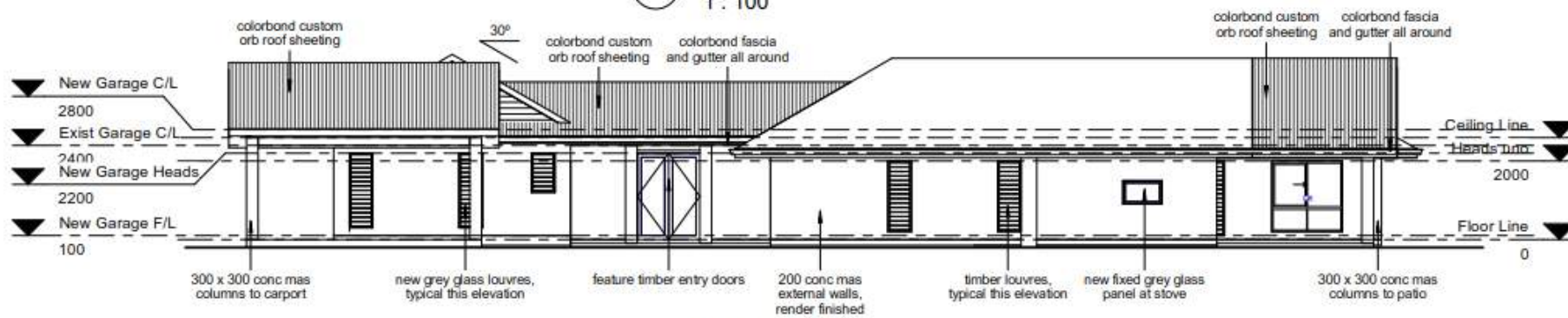
CLIENT	J. & V. Callipari	WIND CLASS	C2	PLAN NUMBER	311-18	SHEET	2 of 10
SCALES	1 : 250	PLAN TITLE	Site Plan, Sheet List, Notes		DATE OF ISSUE	17.12.18	REV



1 Front Elevation - Garage
1 : 100



2 Front Elevation - House
1 : 100



3 Right Elevation
1 : 100

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CLIENT J. & V. Callipari		WIND CLASS C2	PLAN NUMBER 311-18	SHEET 5 of 10
SCALES 1 : 100	PLAN TITLE Elevations - Sheet 1		DATE OF ISSUE 17.12.18	REV