

11 September 2025

Enquiries: Jenny Elphinstone
Our Ref: EXEM 2025_5829/1 (Doc 1321068)
Your Ref: 3891/25

Administration Office
64 - 66 Front St Mossman
P 07 4099 9444
F 07 4098 2902

P C Stevens & P J Stevens
PO Box 1433
MOSSMAN QLD 4873

Dear Sir / Madam

EXEMPTION CERTIFICATE

Council refers to your request for an exemption certificate for the following premises received on 9 September 2025.

Summary of Exempt Development

Second vehicle crossover to the existing Dwelling-house.

Location details

Street Address: 1 Bunjulu Close, Bonnie Doon.

Real Property Description: Lot 114 on SP285536

Local Government Area: Douglas Shire Council

Decision

Council advises that an exemption certificate has been granted on 11 September 2025 for development as detailed in Attachment 1.

Referral agencies

Not Applicable

Reasons for giving exemption certificate

The development is exempt under this certificate under s46(3)(b) of the *Planning Act 2016* for the following reason(s):

- The effects of the development would be minor or inconsequential, considering the circumstances under which the development was categorised as assessable development.

When exemption certificate ceases to have effect

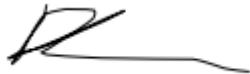
This exemption certificate does not lapse.

Other

Please quote Council's application number: EXEM 2025_ 5829/1 in all subsequent correspondence relating to this request.

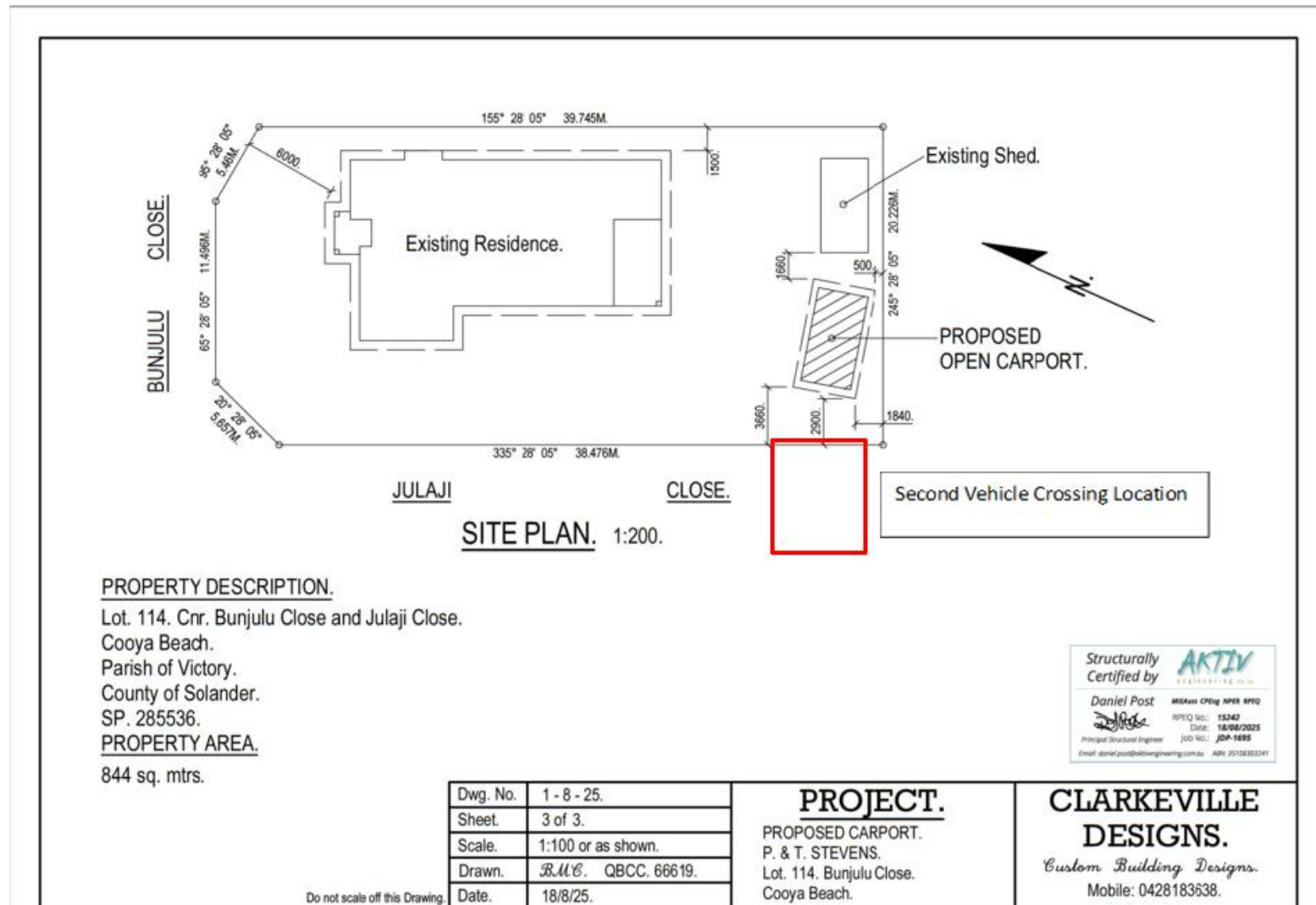
Should you require any clarification regarding this matter, please contact Jenny Elphinstone on telephone 07 4099 9444.

Yours faithfully



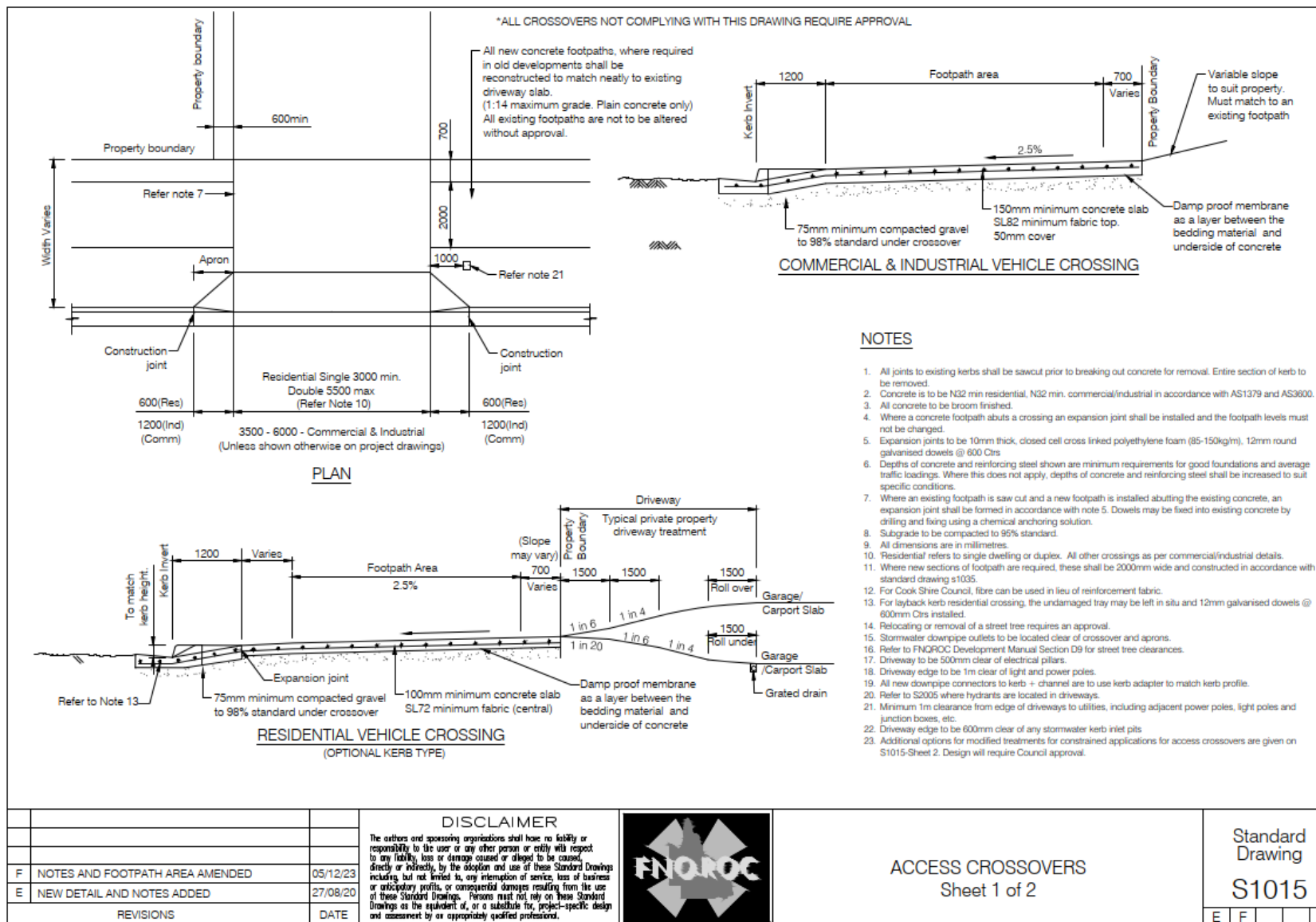
For
Leonard Vogel
Manager Environment & Planning

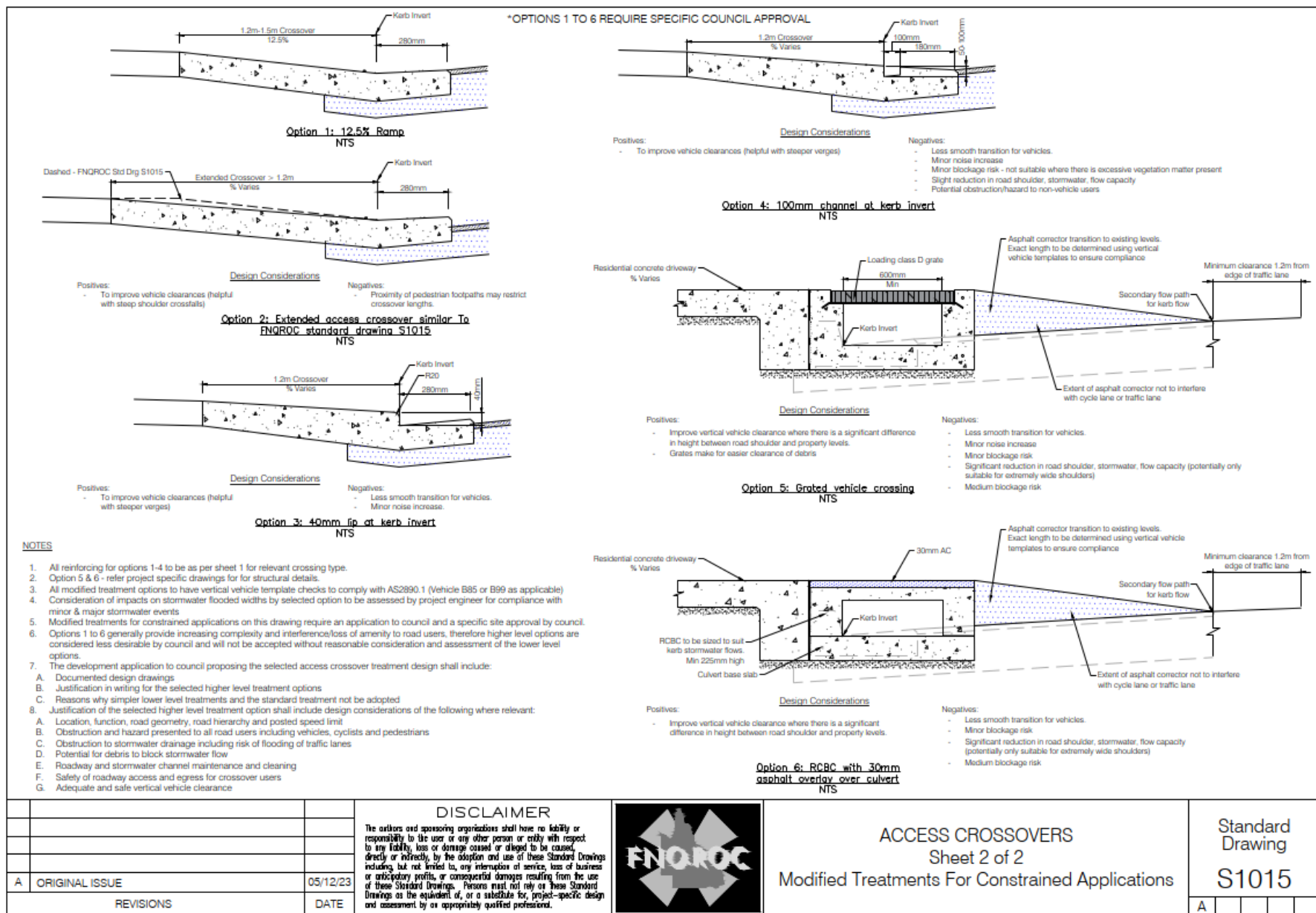
cc Emailed to approvals@rapidapprovals.com.au

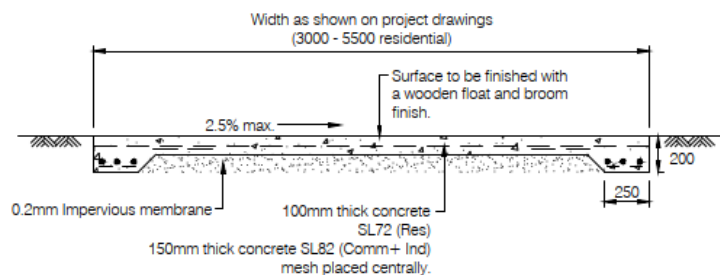


Attachment 1
Regional Development Manual Standard Drawing/s for Vehicle Access

FNQROC



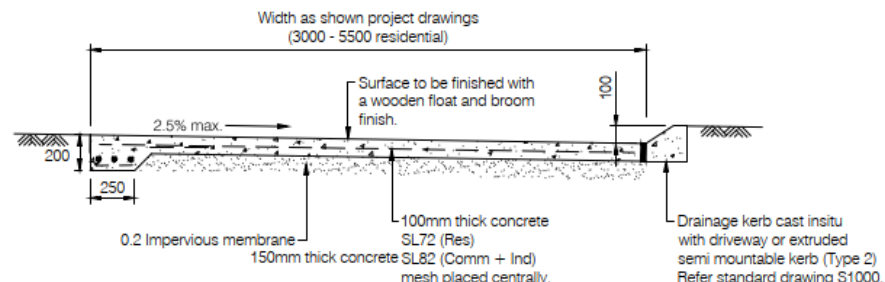




CONCRETE DRIVEWAY - TYPE 1

(Without drainage)

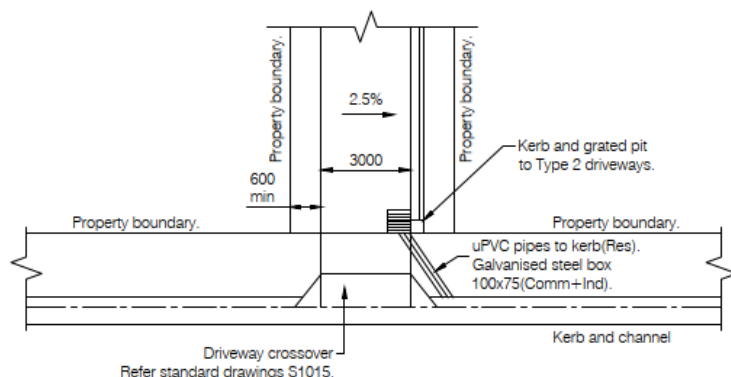
F8 TM 3BAA (Res)
F11 TM 3BAA (Comm + Ind)



CONCRETE DRIVEWAY - TYPE 2

(With drainage)

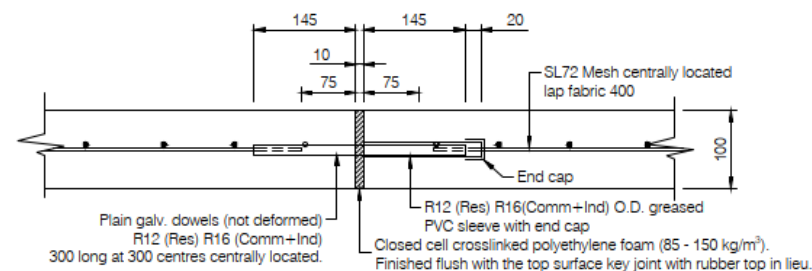
Closed cell cross linked polyethylene foam
with 12mm galvanised dowels @ 600mm Ctrs



TYPICAL DRIVEWAY LAYOUT

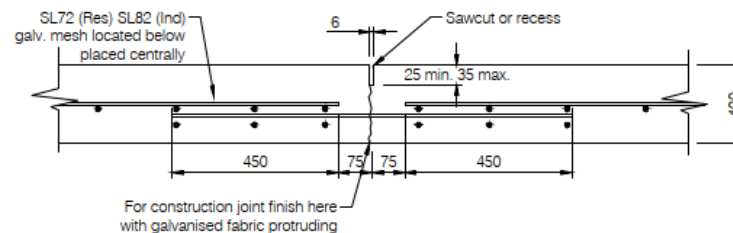
NOTES

1. For driveway alignment, longitudinal grade and associated drainage details refer project drawings.
2. Concrete is N32 minimum in accordance with AS 1379 and AS 3600.
3. Construction joints shall be provided at 4.0m max. Ctrs with expansion joints or approved equivalent @ 16.0m max. Ctrs.
4. All dimensions to be in millimetres.
5. 'Residential' refers to single dwelling/duplex.
6. For commercial or industrial driveways 150mm thick N32 concrete and SL82 mesh.
7. Access to Gross Pollutant Traps (GPT) to be min 3.5m wide to commercial/ industrial driveway standard.



EXPANSION JOINT

Spacing 16000 max.



CONTRACTION JOINT

Spacing 4000 max.

REVISIONS		DATE
G	MINOR AMENDMENTS TO NOTES	05/12/23
F	NOTE ADDED	27/08/20

DISCLAIMER

The authors and sponsoring organisations shall have no liability or responsibility to the user or any other person or entity with respect to any liability, loss or damage caused or alleged to be caused, directly or indirectly, by the adoption and use of these Standard Drawings including, but not limited to, any interruption of service, loss of business or anticipatory profits, or consequential damages resulting from the use of these Standard Drawings. Persons must not rely on these Standard Drawings as the equivalent of, or a substitute for, project-specific design and assessment by an appropriately qualified professional.



CONCRETE DRIVEWAY FOR ALLOTMENT ACCESS

Standard
Drawing
S1110

F G