

2 April 2020

**Enquiries:** Jenny Elphinstone  
**Our Ref:** EXEM 2020\_3530/1 (Doc ID 948597)  
**Your Ref:** 20201251

Administration Office  
64 - 66 Front St Mossman  
P 07 4099 9444  
F 07 4098 2902

L & G Previte  
[lisastaunton@live.com](mailto:lisastaunton@live.com)

Dear Sir / Madam

## EXEMPTION CERTIFICATE

Council refers to your request for an exemption certificate for the following premises received on 30 March 2020.

### Summary of Exempt Development

---

Additions to the existing dwelling house.

### Location details

---

**Street Address:** 584 Miallo Bamboo Creek Road Bamboo  
**Real Property Description:** Lot 4 on SP176453  
**Local Government Area:** Douglas Shire Council

Council advises that an exemption certificate has been granted on 2 April 2020 for development as detailed in Attachment 1.

### Referral agencies

---

Not Applicable

### Reasons for giving exemption certificate

---

The development is exempt under this certificate under s46(3)(b) of the *Planning Act 2016* for the following reason(s):

- The effects of the development would be minor or inconsequential, considering the circumstances under which the development was categorised as assessable development.

## **When exemption certificate ceases to have effect**

---

This exemption certificate has effect for two years from the day after the day it is given.

## **Other**

---

Please quote Council's application number: EXEM 2020\_ 3530/1 in all subsequent correspondence relating to this request.

Should you require any clarification regarding this matter, please contact Jenny Elphinstone on telephone 07 4099 9444.

Yours faithfully



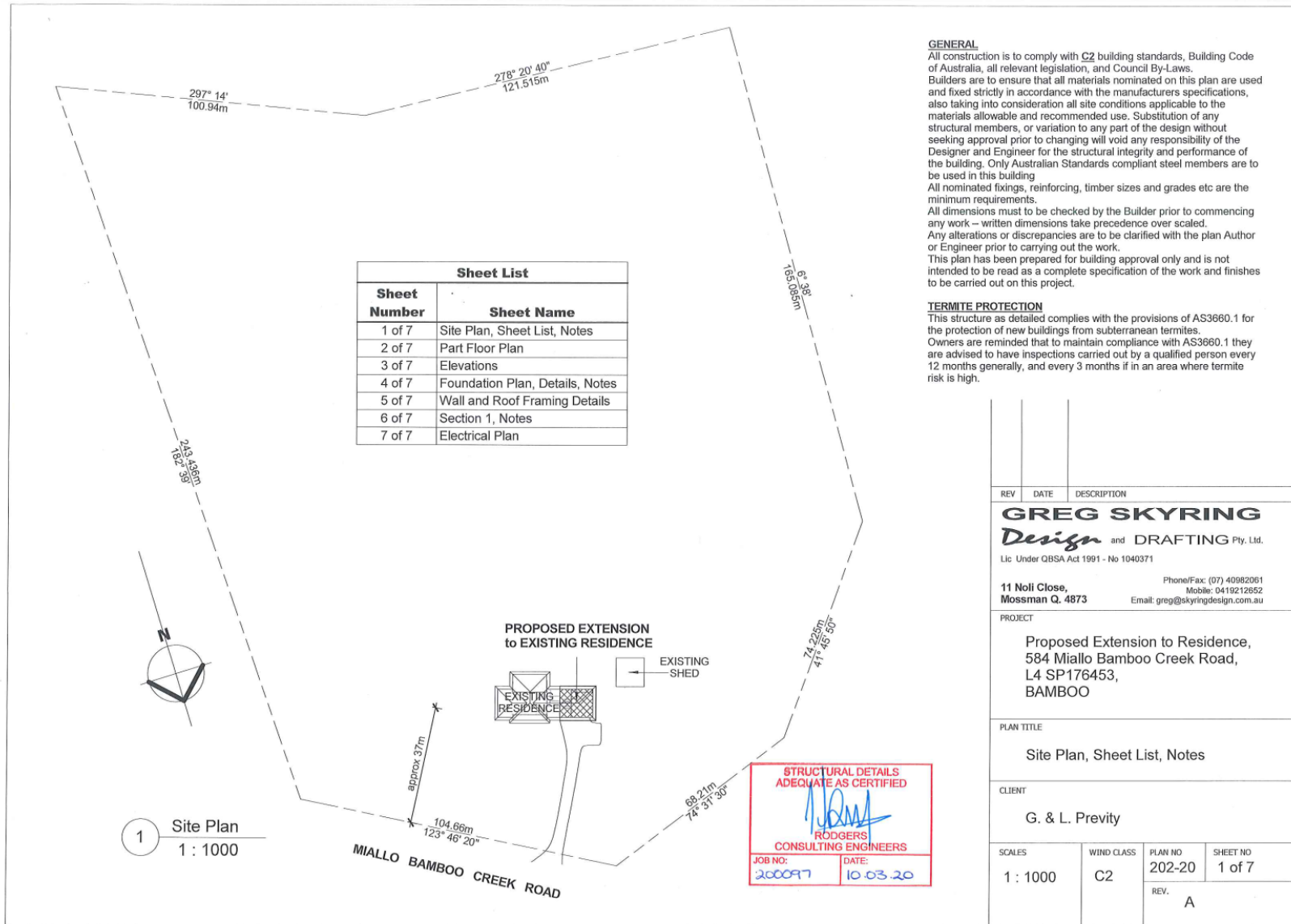
*For*

**Paul Hoyer**  
**Manager Environment & Planning**

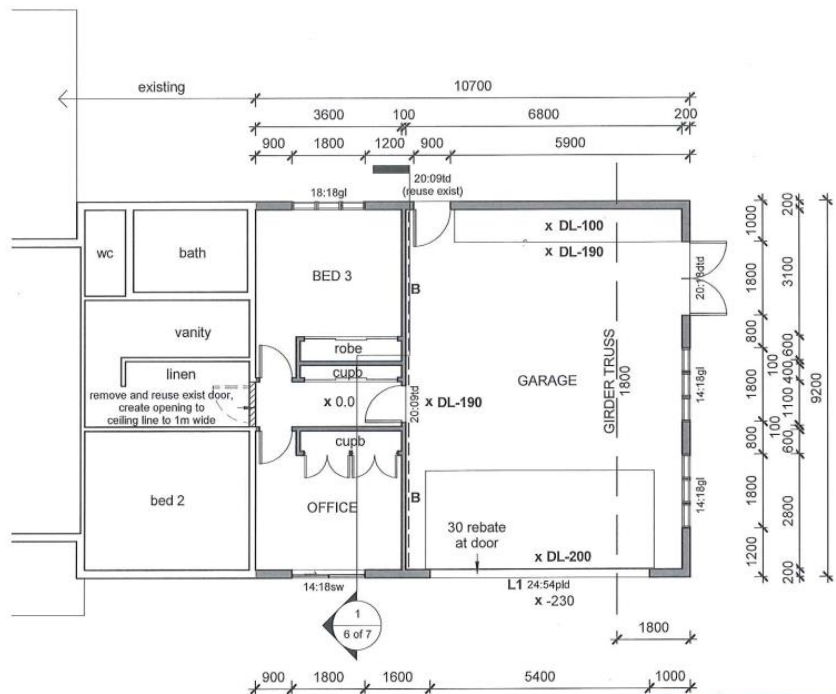
Cc Emailed to

Lanmarc Constructions Pty Ltd - [shereeandbill@bigpond.com](mailto:shereeandbill@bigpond.com)

GMA Certification Group Pty Ltd – [adminpd@gmacert.com.au](mailto:adminpd@gmacert.com.au)



Attachment 1



1 Part Floor Plan  
1 : 100



- LEGEND**
- exist 200/150 Concrete Masonry external walls, render finished to external, gyprock to internal generally, villaboard to wet areas.
  - new 200 Concrete Masonry external walls, finish to match existing
  - exist stud framed internal walls, line to match existing
  - new stud framed internal walls, line to match existing
  - as above with 4mm F22 structural ply lining extra to one face, nail fixed for bracing (see bracing notes).
  - FW** ● Floor Waste (optional)
  - Waterproof wet area to AS3740.
  - Smoke alarms to AS3786.
  - bed 2 existing use area, lower case
  - GARAGE new use area, upper case
  - x 0.0 existing slab level
  - x DL-190 design slab level
  - L1 special lintel, refer to details
- WINDOW and DOOR LEGEND**
- pld panelift garage door
  - td timber door, suitable for location
  - sw single sliding window
  - dsw double sliding window
  - gl glass louvres in Altair frames
- NOTE: all windows and doors are colour coated aluminium framed uno, fitted with grey glass and flymesh, - match existing generally

**GREG SKYRING**  
*Design* and DRAFTING Pty. Ltd.  
Lic Under QBSA Act 1991 - No 1040371  
11 Noli Close,  
Mossman Q. 4873  
Phone/Fax: (07) 40982061  
Mobile: 0419212652  
Email: greg@skyringdesign.com.au

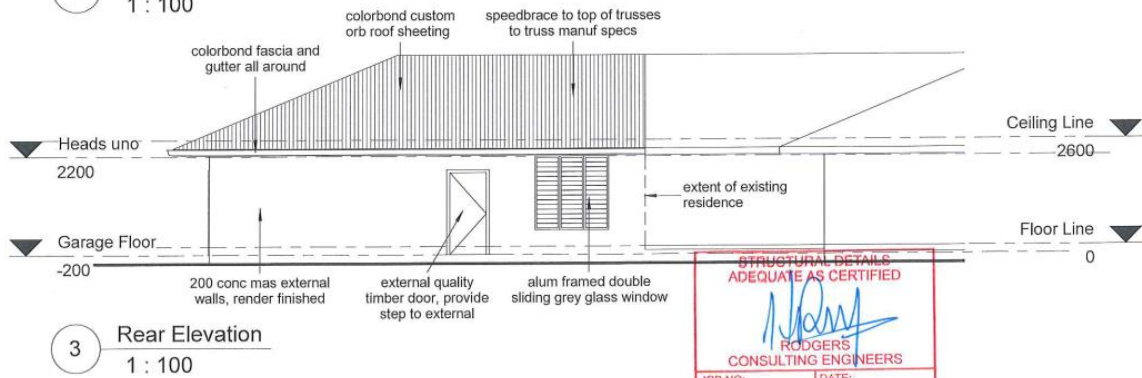
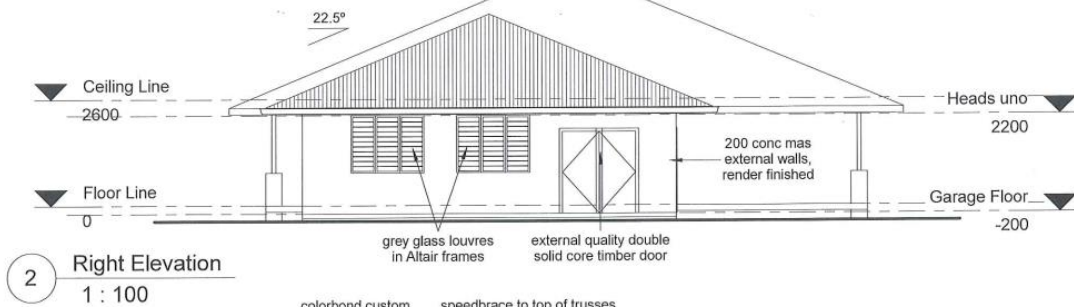
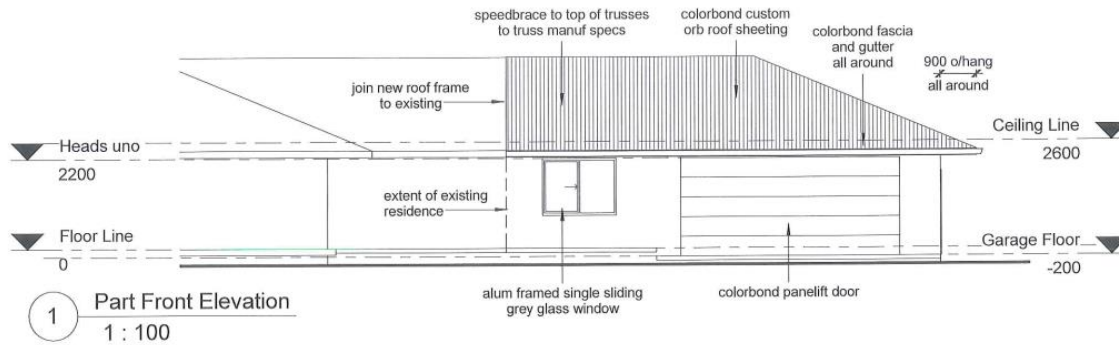
PROJECT  
Proposed Extension to Residence,  
584 Miallo Bamboo Creek Road,  
L4 SP176453,  
BAMBOO

CLIENT  
G. & L. Prevyty

SCALES  
1 : 100

PLAN TITLE  
Part Floor Plan

WIND CLASS C2	PLAN NUMBER 202-20	SHEET 2 of 7
DATE OF ISSUE 06.03.20	REV A	



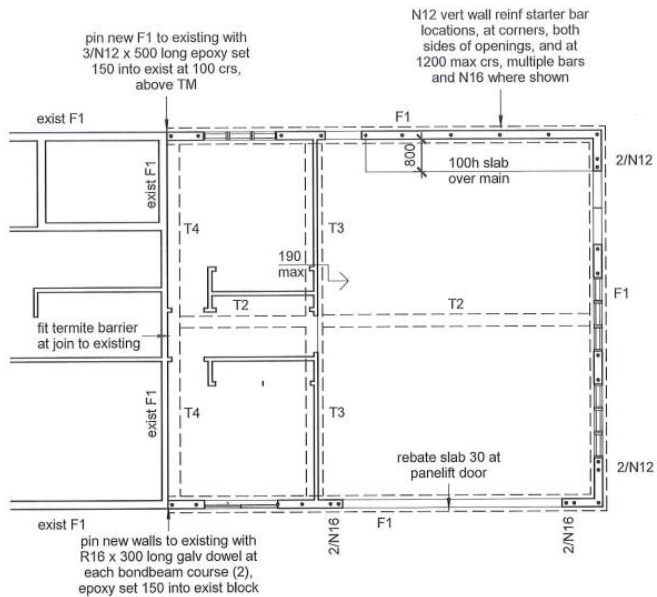
STRUCTURAL DETAILS  
ADEQUATE AS CERTIFIED  
*[Signature]*  
RODGERS  
CONSULTING ENGINEERS  
JOB NO: 200097 DATE: 10.03.20  
CLIENT

**GREG SKYRING**  
*Design* and DRAFTING Pty. Ltd.  
Lic Under QBSA Act 1991 - No 1040371  
11 Noli Close,  
Mossman Q. 4873  
Phone/Fax: (07) 40982061  
Mobile: 04 19212852  
Email: greg@skyringdesign.com.au

PROJECT  
Proposed Extension to Residence,  
584 Miallo Bamboo Creek Road,  
L4 SP176453,  
BAMBOO

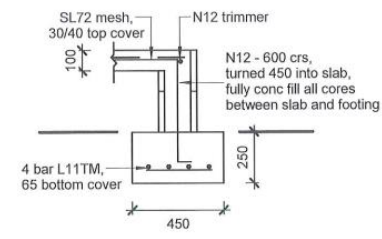
CLIENT  
G. & L. Previty

WIND CLASS	PLAN NUMBER	SHEET
C2	202-20	3 of 7
SCALES	PLAN TITLE	DATE OF ISSUE
1 : 100	Elevations	06.03.20
		REV
		A

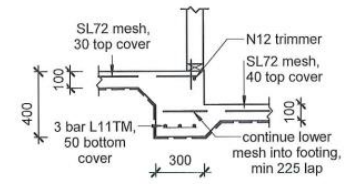


1 Foundation Plan  
1 : 100

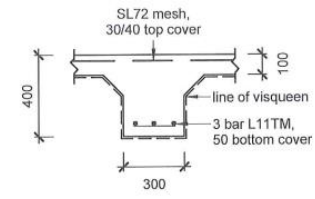
- FOOTING AND SLAB NOTES**
- Remove grass and topsoil (min. 100 mm), from new slab locations.
  - Clear site of all tree stumps and roots. Fill grub holes with approved fill of a low plastic cohesive soils, compacted in 150mm max deep layers to min 95% standard density, and for non-cohesive soils compacted in 200 min deep layers to 70% density index.
  - Any localised loose or soft soil encountered in footing trenches shall be excavated to a depth where soil becomes firm.
  - Compact sub-base to min 95% standard density.
  - Compact approved non-plastic fill in max 200 mm deep layers and test to AS 3798.
  - Provide adequate site drainage to ensure natural runoff is directed away from the building.
  - Concrete to slab and footings to be N20, 80 mm slump, and 20 mm max aggregate.
  - SL82 mesh reinforcing to slab, 30 top cover to internal areas, 40 top cover to external areas, lap all mesh by two cross wires.
  - N12 trimmer all around to slab perimeters, 50 min edge cover, 500 laps.
  - 200 um visqueen below slab, lap minimum 200 and tape.
  - Minimum 100 mm deep sand bedding below slab, compacted to 70% density index.
  - Vibrate all concrete, cure slabs for 14 days minimum.
  - Use expansive glues below all floor tiles, min 3 months after slab pour.
  - Footings have been designed to conform to a minimum Class 'M' site (Earth Test Report SI 353-14). Refer to plan Author or Engineer should site conditions vary.
  - Materials and construction requirements to AS 3600.



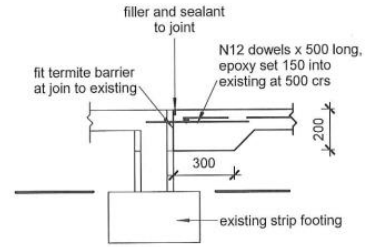
A F1 Footing  
1 : 20



C T3 Footing - Stud  
1 : 25



B T2 Footing  
1 : 20



D T4 Footing  
1 : 20



**GREG SKYRING**  
Design and DRAFTING Pty. Ltd.  
Lic Under QBSA Act 1991 - No 1040371  
11 Noll Close, Mossman Q. 4873  
Phone/Fax: (07) 40982061  
Mobile: 0419212652  
Email: greg@skyringdesign.com.au

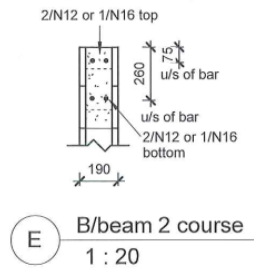
PROJECT  
Proposed Extension to Residence,  
584 Miallo Bamboo Creek Road,  
L4 SP176453,  
BAMBOO

CLIENT  
G. & L. Prevyty

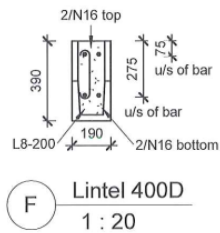
SCALES  
As indicated

PLAN TITLE  
Foundation Plan, Details,  
Notes

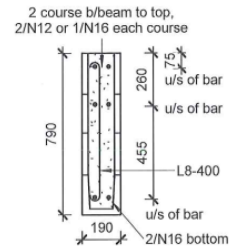
WIND CLASS C2	PLAN NUMBER 202-20	SHEET 4 of 7
DATE OF ISSUE 06.03.20	REV A	



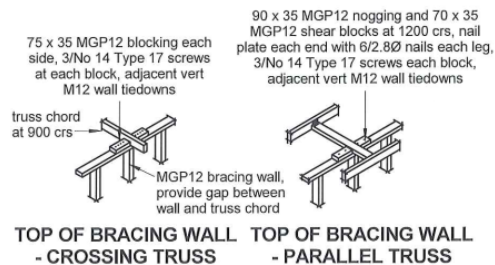
**E** B/beam 2 course  
1 : 20



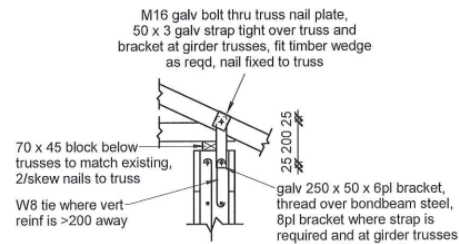
**F** Lintel 400D  
1 : 20



**G** Lintel 800D  
1 : 20



**H** Bracing Wall Top Fixing  
1 : 50



**I** Truss Heel to CM Wall  
1 : 20



**GREG SKYRING**  
*Design* and DRAFTING Pty. Ltd.  
Lic Under QBSA Act 1991 - No 1040371  
11 Noli Close,  
Mossman Q. 4873  
Phone/Fax: (07) 40982061  
Mobile: 0419212652  
Email: greg@skyringdesign.com.au

PROJECT  
Proposed Extension to Residence,  
584 Miallo Bamboo Creek Road,  
L4 SP176453,  
BAMBOO

CLIENT  
G. & L. Prevyty

WIND CLASS  
C2

PLAN NUMBER  
202-20

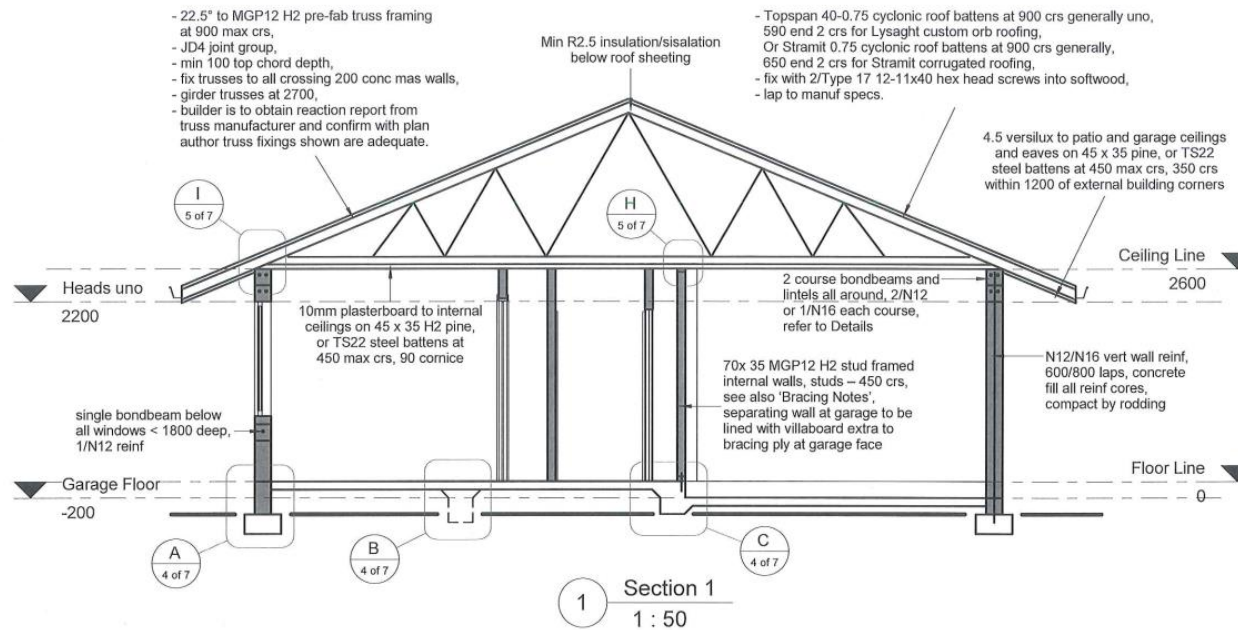
SHEET  
5 of 7

SCALES  
As indicated

PLAN TITLE  
Wall and Roof Framing Details

DATE OF ISSUE  
06.03.20

REV  
A



- 22.5" to MGP12 H2 pre-fab truss framing at 900 max crs,
- JD4 joint group,
- min 100 top chord depth,
- fix trusses to all crossing 200 conc mas walls,
- girder trusses at 2700,
- builder is to obtain reaction report from truss manufacturer and confirm with plan author truss fixings shown are adequate.

Min R2.5 insulation/sisalation below roof sheeting

- Topspan 40-0.75 cyclonic roof battens at 900 crs generally uno, 590 end 2 crs for Lysaght custom orb roofing,
- Or Stramit 0.75 cyclonic roof battens at 900 crs generally, 650 end 2 crs for Stramit corrugated roofing,
- fix with 2/Type 17 12-11x40 hex head screws into softwood,
- lap to manuf specs.

4.5 versilux to patio and garage ceilings and eaves on 45 x 35 pine, or TS22 steel battens at 450 max crs, 350 crs within 1200 of external building corners

Heads uno  
2200

Ceiling Line  
2600

10mm plasterboard to internal ceilings on 45 x 35 H2 pine, or TS22 steel battens at 450 max crs, 90 cornice

2 course bondbeams and lintels all around, 2/N12 or 1/N16 each course, refer to Details

70x 35 MGP12 H2 stud framed internal walls, studs - 450 crs, see also 'Bracing Notes', separating wall at garage to be lined with villaboard extra to bracing ply at garage face

N12/N16 vert wall reinf, 600/800 laps, concrete fill all reinf cores, compact by rodding

single bondbeam below all windows < 1800 deep, 1/N12 reinf

Garage Floor  
-200

Floor Line  
0

Section 1  
1 : 50

**TRUSS NAIL PLATES**

At bolt fixings nominated as through truss nail plates, the bolt must pass through the nail plate within 20 mm clear of plate sides and top, and 40 mm of plate bottom. Use of cup-head bolts is not allowed.  
If these clearances are not achieved, a 65 x 3 mm galv strap is to be fitted, tight over truss and fixing bracket (wedge if reqd.)

**ROOF SHEETING & BATTEN FIXINGS**

All roof sheeting and batten fixings are to be in accordance with the manufacturer's specification for the required wind speed. The fixing systems for metal roof assemblies supplied by the manufacturer, are to comply with the Low-High-Low Cyclic testing requirements of the 'Building Code of Australia' (Specification B1.2 Volume 1 for Class 2 to 9 buildings) or (Section 3.10.1 Volume 2 for Class 1 & 10 buildings). A 'Compliance Certificate' will be requested from the 'Manufacturer' & the 'Installer'.

**INTERNAL BRACING WALLS WALL FIXING**

- Fix top plate to floor frame with 1/M12 at bracing section ends and at 1200 max. crs.
- Fix top plate to crossing or parallel truss framing at M12 wall reinf locations to comply with AS1684.3 Table 8.23 to achieve 7.6 kn.
- Fix end studs to external walls with 1/12Ø dynabolt or No 14-10 Type 17 screw at top, bottom, and at 1200 crs.

**SHEETING**

- Line one side with 4mm F22 structural ply, nail fixed to manufacturers specifications to achieve minimum 6.4 kn/m nominal bracing (2.7m high walls)
- Nail fix to stud framing with 30 x 2.8Ø galv flathead nails or equiv, at 50 crs all around sheets and at sheet joins, 300 crs to internal fixings.



**GREG SKYRING**  
*Design* and DRAFTING Pty. Ltd.  
Lic Under QBSA Act 1991 - No 1040371  
11 Noli Close,  
Mossman Q. 4873  
Phone/Fax: (07) 40982061  
Mobile: 0419212652  
Email: greg@skyringdesign.com.au

PROJECT  
Proposed Extension to Residence,  
584 Miallo Bamboo Creek Road,  
L4 SP176453,  
BAMBOO

CLIENT  
G. & L. Previty

WIND CLASS  
C2

PLAN NUMBER  
202-20

SHEET  
6 of 7

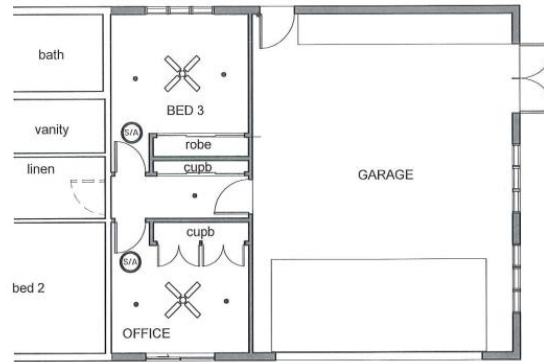
SCALES  
1 : 50

PLAN TITLE  
Section 1, Notes



DATE OF ISSUE  
06.03.20

REV  
A





**LEGEND**

-  ceiling fans 1400Ø
-  LED downlights

1 Electrical Plan  
1 : 100

<b>GREG SKYRING</b> <i>Design</i> and DRAFTING Pty. Ltd. <small>Lic Under QBSA Act 1991 - No 1040371</small> 11 Noll Close, Mossman Q. 4873 <small>Phone/Fax: (07) 40982061          Mobile: 0419212652          Email: greg@skyringdesign.com.au</small>	<b>PROJECT</b> Proposed Extension to Residence, 584 Miallo Bamboo Creek Road, L4 SP176453, BAMBOO	<b>CLIENT</b> G. & L. Prevyty	<b>WIND CLASS</b> C2	<b>PLAN NUMBER</b> 202-20	<b>SHEET</b> 7 of 7
		<b>SCALES</b> 1 : 100	<b>PLAN TITLE</b> Electrical Plan	<b>DATE OF ISSUE</b> 06.03.20	<b>REV</b> A