

29 January 2024

**Enquiries:** Daniel Lamond  
**Our Ref:** EXEM 2024\_5566/1 (1206854)  
**Your Ref:** 240056

Administration Office  
64 - 66 Front St Mossman  
P 07 4099 9444  
F 07 4098 2902

B M Stevens & J L Hornsey  
55 Porter Street  
MORWELL VIC 3840

Dear Sir / Madam

## EXEMPTION CERTIFICATE

Council refers to your request for an exemption certificate for the following premises received on 17/01/2024.

### Summary of Exempt Development

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Construction of a Dwelling House within the Flood and Storm Tide Hazard overlay (Medium Storm Tide Hazard and the Floodplain Assessment overlay).

### Location details

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Street Address: 17 Ocean Avenue COOYA BEACH  
Real Property Description: LOT: 16 SP: 178687  
Local Government Area: Douglas Shire Council

### Decision

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Council advises that an exemption certificate has been granted on 29 January 2024 for development as detailed in Attachment 1.

### Referral agencies

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Not Applicable

### Reasons for giving exemption certificate

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The development is exempt under this certificate under s46(3)(b) of the *Planning Act 2016* for the following reason(s):

- The effects of the development would be minor or inconsequential, considering the circumstances under which the development was categorised as assessable development.

**When exemption certificate ceases to have effect**

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This exemption certificate does not lapse.

**Other**

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Please quote Council's application number: EXEM 2024\_ 5566/1 in all subsequent correspondence relating to this request.

Should you require any clarification regarding this matter, please contact Daniel Lamond on telephone 07 4099 9456.

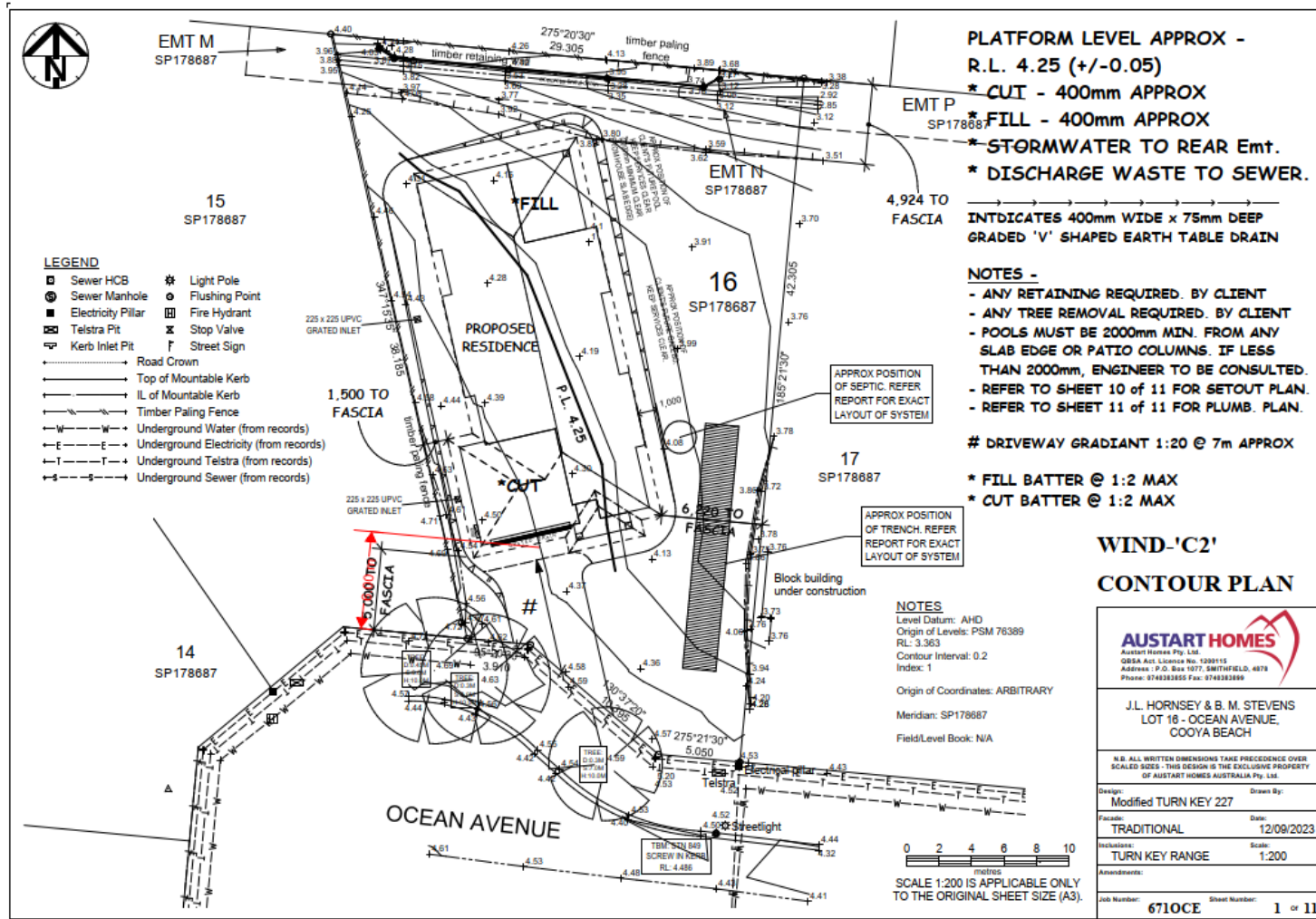
Yours faithfully



**For**  
**Paul Hoyer**  
**Manager Environment & Planning**

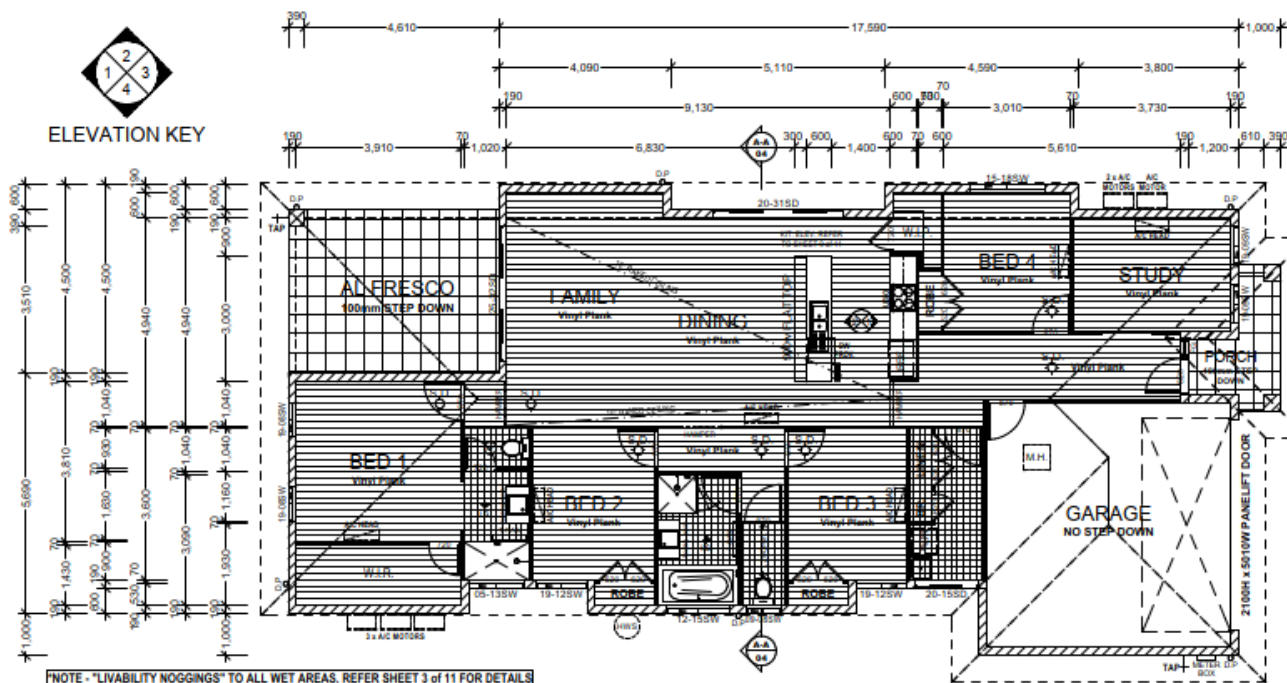
cc Emailed to The Building Approval Company – info@tbac.com.au

Attachment 1





ELEVATION KEY

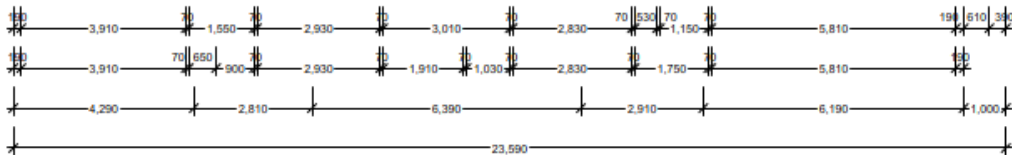


**ENERGY EFFICIENCY NOTES:**  
 : ALL TAPWARE & SHOWERS TO BE 3 STAR min.  
 : ALL TOILETS TO BE 4 STAR min.  
 : ELECTRIC HOT WATER SYSTEM TO BE INSTALLED.



NOTE - "LIVABILITY NOGGINGS" TO ALL WET AREAS. REFER SHEET 3 of 11 FOR DETAILS

**FLOOR AREAS**  
 LIVING - 167.00  
 GARAGE - 36.53  
 AL FRESCO - 19.50  
 PORCH - 5.06  
 TOTAL - 228.09m<sup>2</sup>  
 24.54 SQUARES



NOTE - Floating vanities. (Additional bracing and noggings will be required)

NOTE - ALL HOT and COLD WATER PIPING TO GO THROUGH CEILING DOWN TO STUD WALLS, OTHER THAN PIPING FOR ISLAND BENCH. ALSO GAS PIPING (IF APPLICABLE) TO RUN THROUGH CEILING and STUD WALLS.

ALL DIMENSIONS SHOWN ARE TO FRAME AND BLOCKWORK, EXCLUDES GYPROCK

**GENERAL NOTES :**  
 : Tinted glass to all alum. framed glass windows and doors.  
 : Dishwasher prov. with SPP and cold water plumb.  
 : Lift off hinges to wc.  
 : Mechanical exhaust to wc with no external opening.  
 : Niches - 900H base with a 2100H head U.N.O.  
 : Hampers and Openings - 2100H head U.N.O.  
 : Bulkheads - 2200H U.N.O.



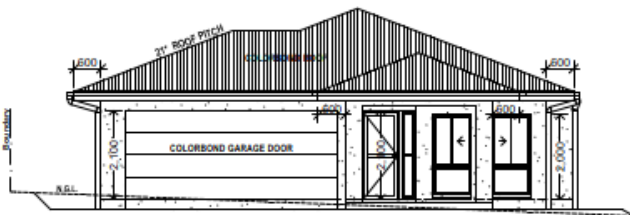
**FLOOR PLAN**

J.L. HORNSEY & B. M. STEVENS  
 LOT 16 - OCEAN AVENUE,  
 COOYA BEACH

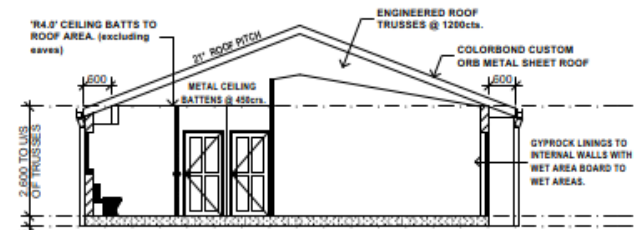
**WIND-'C2'**

|             |                       |           |            |               |
|-------------|-----------------------|-----------|------------|---------------|
| Design:     | Modified TURN KEY 227 | Drawn By: |            | Amendments:   |
| Facade:     | TRADITIONAL           | Date:     | 12/09/2023 | Job Number:   |
| Inclusions: | TURN KEY RANGE        | Scale:    | 1 : 100    | Sheet Number: |
|             |                       |           |            | 2 of 11       |

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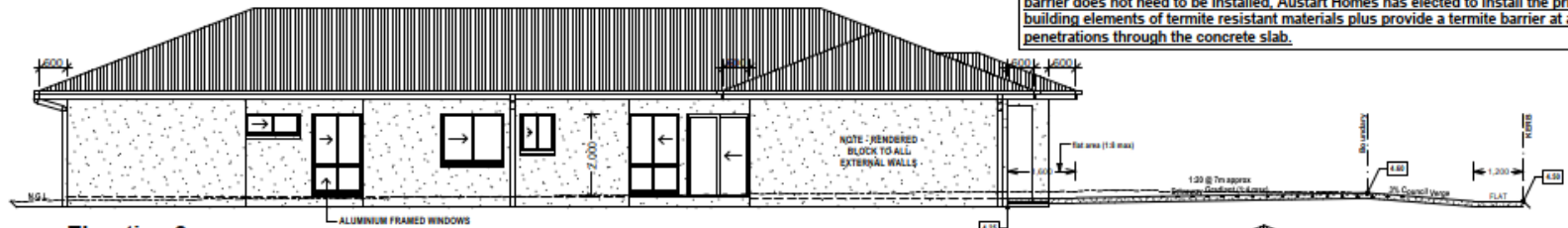


**Elevation 1**



**Section A-A** BLOCK DETAILS, FOOTING & SLAB DETAILS TO BE DESIGNED, CERTIFIED AND INSPECTED BY A RPEQ ENGINEER PRIOR TO WORK BEING CARRIED OUT FOR A 'P' CLASS SITE AND WIND-'C2' WIND RATING.

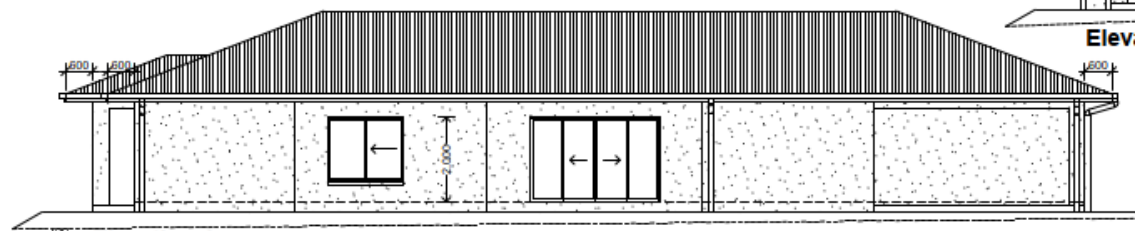
The requirements of the building code of Australia for the control of termites provides that if the primary building elements are of termite resistant materials then a barrier does not need to be installed. Austart Homes has elected to install the primary building elements of termite resistant materials plus provide a termite barrier at all penetrations through the concrete slab.



**Elevation 2**



**Elevation 3**



**Elevation 4**

**FLY SCREENS ONLY TO ALL OPENING WINDOWS AND SLIDING GLASS DOORS, INCLUDING FRONT DOOR. (EXCLUDES GARAGE DOORS).**

GRADE SITE AWAY FROM THE BUILDING AT A MINIMUM SLOPE OF 1:20 FOR A MINIMUM DISTANCE OF 1000mm TO PERIMETER, SO THAT THE WATER DRAINS TO THE ROAD or UNDERGROUND DRAINAGE, NOT ONTO NEIGHBOURING PROPERTIES



**ELEVATIONS**

J.L. HORNSEY & B. M. STEVENS  
LOT 16 - OCEAN AVENUE,  
COOYA BEACH

**WIND-'C2'**

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|             |                       |           |            | 4 of 11       |

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