

4 June 2024

**Enquiries:** Neil Beck  
**Our Ref:** EXEM 2024\_5614/1 (1230683)  
**Your Ref:**

Administration Office  
64 - 66 Front St Mossman  
P 07 4099 9444  
F 07 4098 2902

D B Scomazzon & K R Scomazzon  
PO Box 882  
MOSSMAN QLD 4873

Dear Sir / Madam

## EXEMPTION CERTIFICATE

Council refers to your request for an exemption certificate for the following premises received on 23/05/2024.

### Summary of Exempt Development

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Construction of a secondary dwelling as detailed in Attachment 1.

### Location details

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Street Address: 84 Scomazzon Road MIALLO

Real Property Description: LOT: 1 RP: 732552

Local Government Area: Douglas Shire Council

### Decision

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Council advises that an exemption certificate has been granted on 4 June 2024 for development as detailed in Attachment 1.

### Referral agencies

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Not Applicable

### Reasons for giving exemption certificate

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The development is exempt under this certificate under s46(3)(b) of the *Planning Act 2016* for the following reason(s):

- The effects of the development would be minor or inconsequential, considering the circumstances under which the development was categorised as assessable development.

**When exemption certificate ceases to have effect**

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This exemption certificate has effect for two years from the day after the day it is given.

**Other**

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Please quote Council's application number: EXEM 2024\_ 5614/1 in all subsequent correspondence relating to this request.

Should you require any clarification regarding this matter, please contact Neil Beck on telephone 07 4099 9444.

Yours faithfully



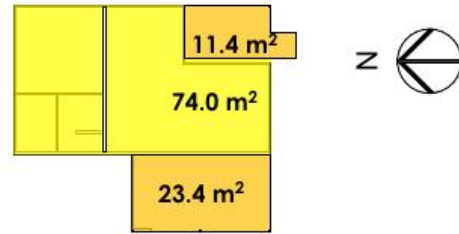
**For**  
**Paul Hoyer**  
**Manager Environment & Planning**

cc Emailed to Baker Building Certification – admin@bakerbuildingcert.com.au





SITE PLAN VARIABLE SCALE  
1:1000



AREA PLAN  
1:200



B U I L D I N G A P P R O V A L

A3 SHEET  
20/05/2024

1.1  
REV F

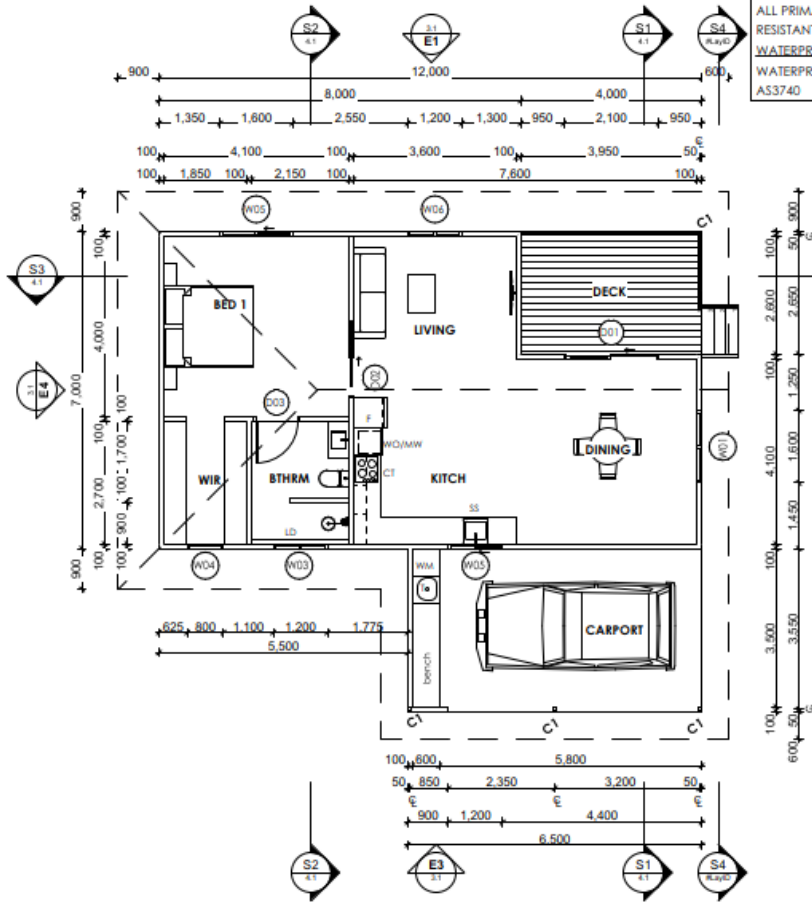
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VOS  
Architect  
m 0415 300 748

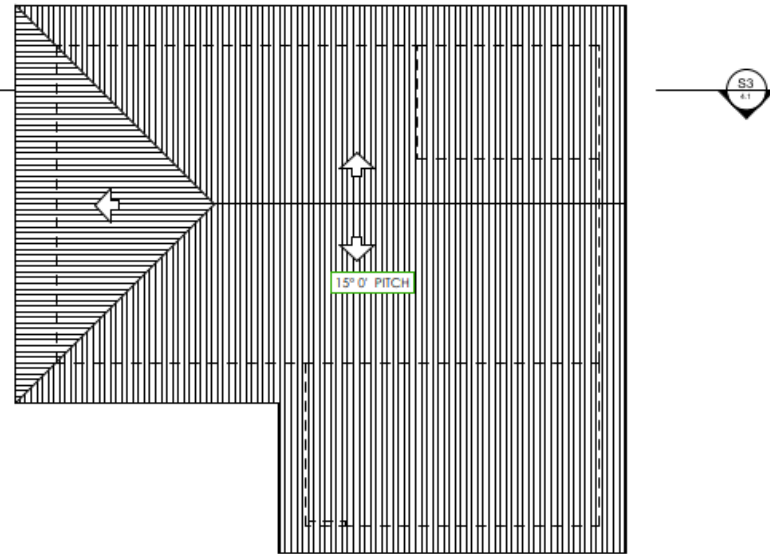
PROPOSED RESIDENCE  
BILL ALLISON  
84 SCOMAZZON ROAD, MIALLO

**LEGEND - FINISHED SURFACES**  
 INTERNAL WALL LININGS - Laminex MDF VJ100 or similar.  
 INTERNAL FLOOR FINISH - Timber Look Vinyl (Typical)  
 - Wet area tiled.  
 EXTERNAL WALL CLADDING - Hardies Linda weatherboard 150mm.

**NOTES**  
**INSULATION**  
 PROVIDE INSULATION TO ALL WALLS & CEILING SPACE  
 IN ADDITION PROVIDE INSULATION TO UNDERSIDE OF  
 ROOF SHEETING  
**TERMITE TREATMENT**  
 ALL PRIMARY BUILDING ELEMENTS TO BE TERMITE  
 RESISTANT IN ACCORDANCE WITH AS3660.1  
**WATERPROOFING**  
 WATERPROOFING OF WET AREAS TO COMPLY WITH  
 AS3740



**FLOOR PLAN**  
 1:100



**ROOF PLAN**  
 1:100

B U I L D I N G A P P R O V A L

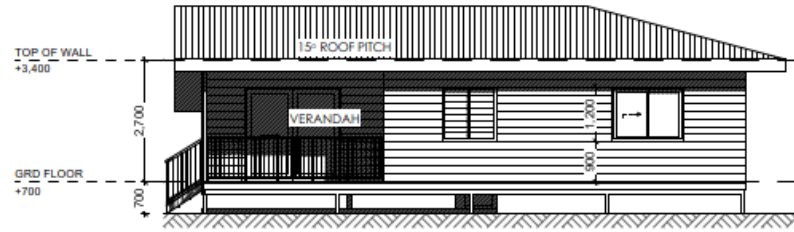
A3 SHEET  
 20/05/2024

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 danny  
 Architect  
 m 0415 300 748

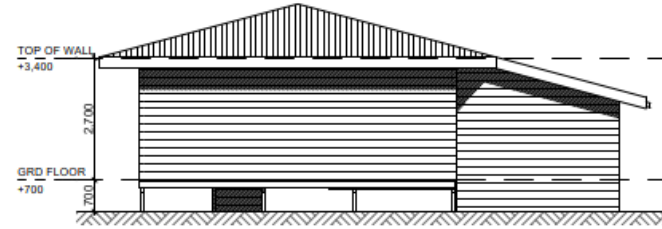
**PROPOSED RESIDENCE**  
 BILL ALLISON  
 84 SCOMAZZON ROAD, MIALLO



ELEVATION 01  
1:100



ELEVATION 02  
1:100



ELEVATION 04  
1:100



ELEVATION 03  
1:100

A3 SHEET  
20/05/2024

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