

16 January 2025

Enquiries: Jenny Elphinstone
Our Ref: EXEM 2025_5712/1 (Doc 1274535)
Your Ref: 20250295

Administration Office
64 - 66 Front St Mossman
P 07 4099 9444
F 07 4098 2902

Buildable
marc.aukett@buildable.com.au

Attention Messrs Marc Aukett and Ryan Wagemaker

Dear Sirs

EXEMPTION CERTIFICATE

Council refers to your request for an exemption certificate for the following premises received on 14 January 2025. As you act on behalf of the landowners, please forward a copy of this Exemption Certificate to the landowners.

Summary of Exempt Development

Dwelling house affected by the Planning Scheme flood and storm tide inundation overlay.

Location details

Street Address: 25 Barrbal Drive Bonnie Doon
Real Property Description: Lot 200 on SP336777
Local Government Area: Douglas Shire Council

Decision

Council advises that an exemption certificate has been granted on 16 January 2025 for development as detailed in Attachment 1.

Referral agencies

Not Applicable

Reasons for giving exemption certificate

The development is exempt under this certificate under s46(3)(b) of the *Planning Act 2016* for the following reason(s):

- The effects of the development would be minor or inconsequential, considering the circumstances under which the development was categorised as assessable development.

When exemption certificate ceases to have effect

This exemption certificate does not lapse.

Other

Please quote Council's application number: EXEM 2025_ 5712/1 in all subsequent correspondence relating to this request.

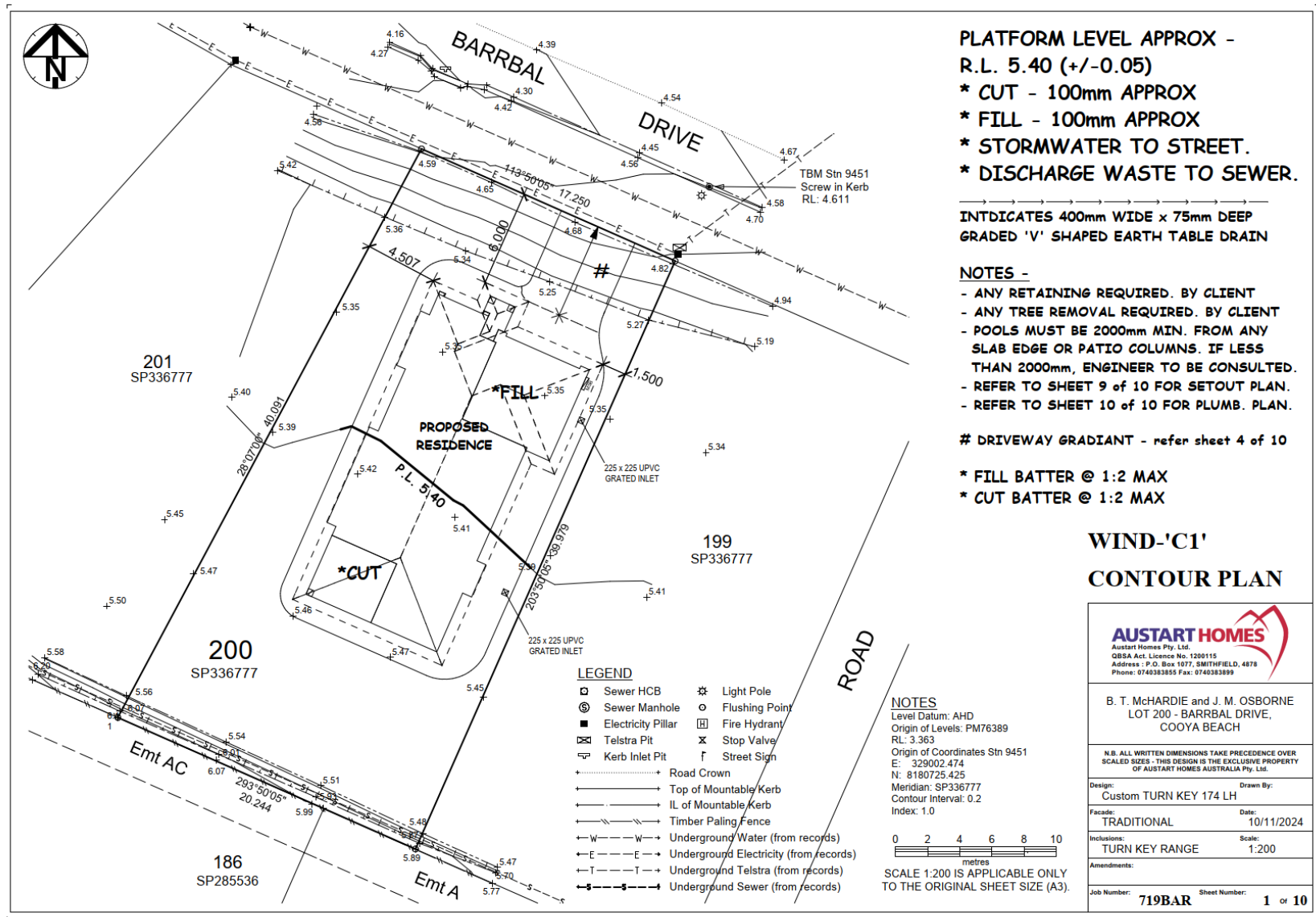
Should you require any clarification regarding this matter, please contact Jenny Elphinstone on telephone 07 4099 9444.

Yours faithfully

A handwritten signature in black ink, appearing to be 'N. Beck', with a stylized flourish at the end.

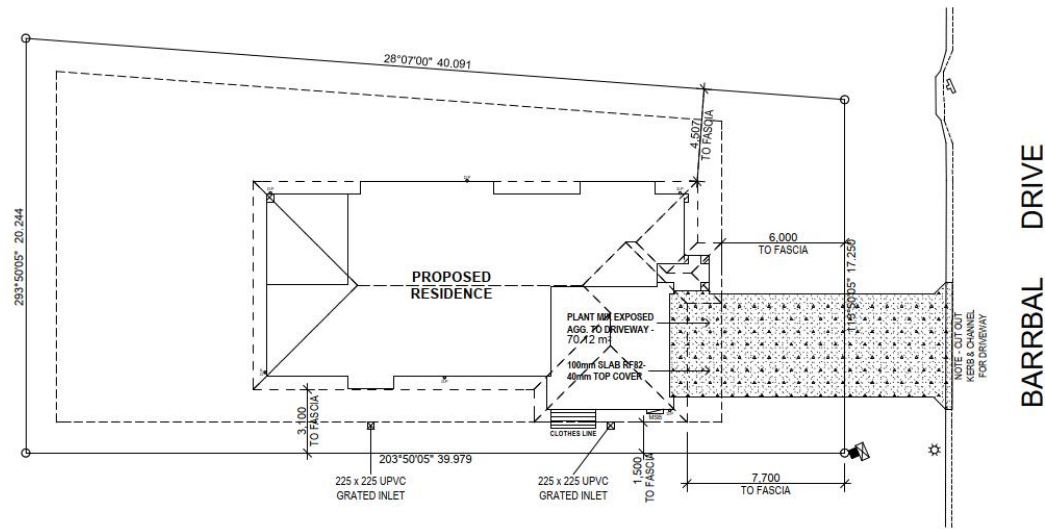
Neil Beck
A/Manager Environment & Planning

cc J M Osborne & B T McHardie, C/ Buildable Approvals Pty Ltd – admin@buildable.com.au



Attachment 1

LOT 200 ON SP336777
BARRBAL DRIVE,
COOYA BEACH



BARRBAL DRIVE



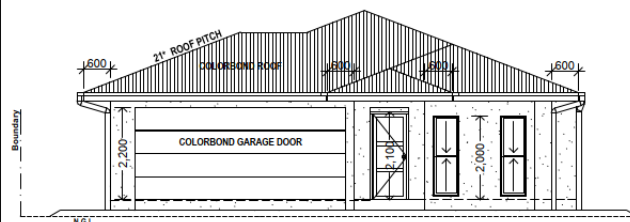
SETOUT PLAN

B. T. McHARDIE and J. M. OSBORNE
LOT 200 - BARRBAL DRIVE,
COOYA BEACH

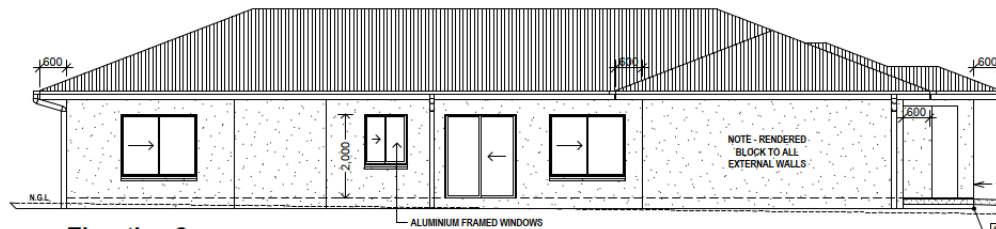
WIND-'C1'

N.B. ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES-THIS DESIGN IS THE EXCLUSIVE PROPERTY OF AUSTART HOMES AUSTRALIA Pty. Ltd.

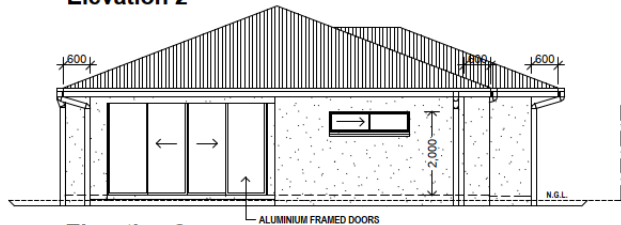
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Facade:	TRADITIONAL	Date:	10/11/2024	Job Number:	719BAR
Inclusions:	TURN KEY RANGE	Scale:	1 : 200	Sheet Number:	9 of 10



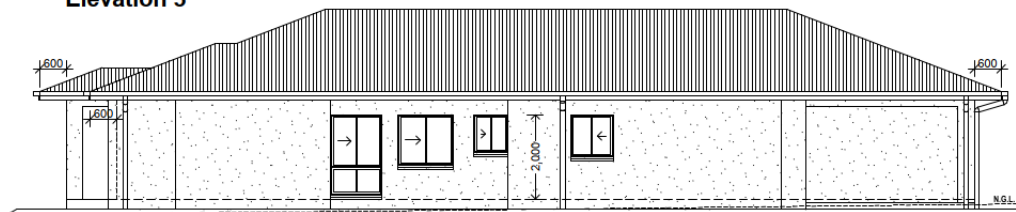
Elevation 1



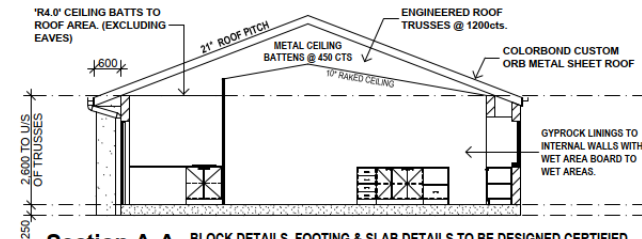
Elevation 2



Elevation 3

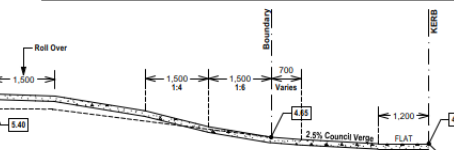


Elevation 4



Section A-A BLOCK DETAILS, FOOTING & SLAB DETAILS TO BE DESIGNED, CERTIFIED AND INSPECTED BY A RPEQ ENGINEER PRIOR TO WORK BEING CARRIED OUT FOR A 'X' CLASS SITE AND WIND-'C1' WIND RATING. N.T.S.

The requirements of the building code of Australia for the control of termites provides that if the primary building elements are of termite resistant materials then a barrier does not need to be installed, Austart Homes has elected to install the primary building elements of termite resistant materials plus provide a termite barrier at all penetrations through the concrete slab.



FLY SCREENS ONLY TO ALL OPENING WINDOWS AND SLIDING GLASS DOORS, INCLUDING FRONT DOOR. (EXCLUDES GARAGE DOORS).

GRADE SITE AWAY FROM THE BUILDING AT A MINIMUM SLOPE OF 1:20 FOR A MINIMUM DISTANCE OF 1000mm TO PERIMETER, SO THAT THE WATER DRAINS TO THE ROAD or UNDERGROUND DRAINAGE, NOT ONTO NEIGHBOURING PROPERTIES



ELEVATIONS

B. T. McHARDIE and J. M. OSBORNE
LOT 200 - BARRBAL DRIVE,
COOYA BEACH

WIND-'C1'

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Design:	Custom TURN KEY 174 LH	Drawn By:	
Facade:	TRADITIONAL	Date:	10/11/2024
Inclusions:	TURN KEY RANGE	Scale:	1 : 100
		Job Number:	719BAR
		Sheet Number:	4 of 10