



Our Ref: 14-14/L000190
CRC Ref: CA 604/2014 (437880)
Date: 13 July 2015

Attn: Ms Heather Fardy
Chief Executive Officer
Douglas Shire Council
PO Box 723
MOSSMAN QLD 4873

EMAIL: heather.fardy@douglas.qld.gov.au

Dear Heather

RE: RESPONSE TO INFORMATION REQUEST PURSUANT TO SECTION 278 OF THE SUSTAINABLE PLANNING ACT 2009 IN RELATION TO AN APPLICATION FOR DEVELOPMENT PERMIT FOR MATERIAL CHANGE OF USE FOR 'MULTI UNIT HOUSING' AND RECONFIGURATION OF A LOT (1 INTO 2) ON LAND AT 6 MUDLO STREET, PORT DOUGLAS, DESCRIBED AS LOT 915 ON PTD2092

Planning Plus Pty Ltd acts on behalf of Ms Paula Newman ('the Applicant') in relation to the above-described matter.

Pursuant to Section 278 of the *Sustainable Planning Act 2009*, we provide our response below to the Information Request received from Douglas Shire Council on 20 January 2015.

Further Information:

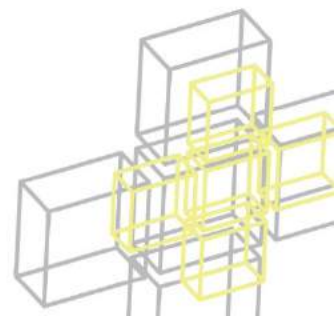
1. Bulk and Mass of Development

Initially, whilst the proposal does include several design measures which allow plot ratio bonuses, we note that it is below the base ratio anyway and therefore compliant on this matter in any case.

In relation to setbacks, a dispensation of only 0.237m is sought, which is considered to be very minor. In order to address council's concerns about building bulk in relation to neighbouring properties, the Site Plan and Floor Plan (**Figures 1 & 2**, respectively) have been revised to provide for rear access along the proposed internal boundary to ensure that the external boundaries are wholly available for landscaping. Further, an indicative landscape plan has been prepared (**Figure 3**) which shows what landscaping is proposed along these boundaries.

2. Ability to Provide Casual Surveillance

The front entry does provide limited street surveillance given the alignment of the long, straight internal hallway. To maximise this, the applicant would accept a condition requiring a glass or other transparent or semi-transparent front entry door.



3. Width of Vehicle Crossing At Property Boundary

The Site Plan has been revised to reduce the width of cross-overs to 3m at the property boundary.

Further Technical Information:

- 1. Please provide details of how the development incorporates building design features/architectural elements and corresponding plot ratio bonuses.**

As noted above, plot ratio is compliant with planning scheme requirements. Notwithstanding, revised Elevations, Sections and 3D Perspectives (**Figure 4, 5 & 6**, respectively) have been prepared which show variation to the roof form and other architectural features.

- 2. Please provide a landscape plan which includes the indicative location, number, size and species of plants.**

Landscape plan is included as **Figure 3**.

- 3. Please provide elevation plans with building elements, exterior colours, textures and materials.**

Elevations, Sections and 3D Perspectives are included as **Figure 4, 5 & 6**, respectively.

- 4. P16 of the Vehicle and Parking Access Code requires all vehicles to enter and leave in a forward direction. Please explain why and how your planning submission statement nominates that this Performance Criteria is “not applicable”.**

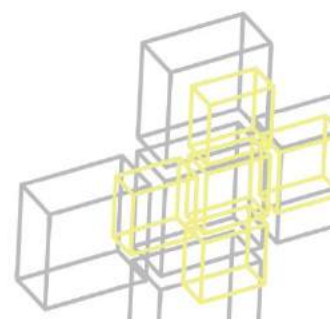
The proposed development is ultimately intended as a 2-lot subdivision and this requirement is not applicable to houses. In any case though, this requirement is not considered practical for such a small development. If considered necessary by council though, the proposal could be revised to include reversing areas within the lot frontages, however this would result in almost fully sealed front setback areas.

- 5. The application states that the matters outlined in the State Planning Policy (SPP) are not applicable. However the site is identified as a flood hazard area on the SPP mapping.**

A review of the Queensland Reconstruction Authority mapping prepared by AECOM indicates that the site is located on the edge of the 1% AEP Event, with 0 – 0.5m inundation. It is requested that further confirmation of final floor levels be conditioned given that fill requirements are unlikely to be so significant as to make the proposal unworkable.

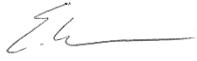
Conclusion

In accordance with Section 278(1)(a) of the *Sustainable Planning Act 2009*, this letter and attachments constitute the applicant’s full response to the information requested.



We trust this information is sufficient for your purposes; however should you require any further details or clarification, please do not hesitate to contact the undersigned.

Yours Faithfully



Evan Yelavich
Senior Planner
Planning Plus Pty Ltd

cc:

enc: **Figure 1:** Site Plan
 Figure 2: Floor Plan
 Figure 3: Landscape Plan
 Figure 4: Elevations
 Figure 5: Sections
 Figure 6: 3D Perspectives

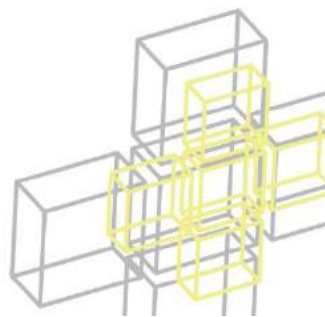
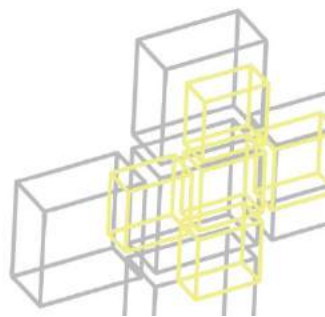
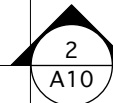
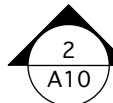
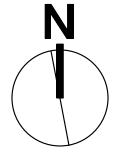
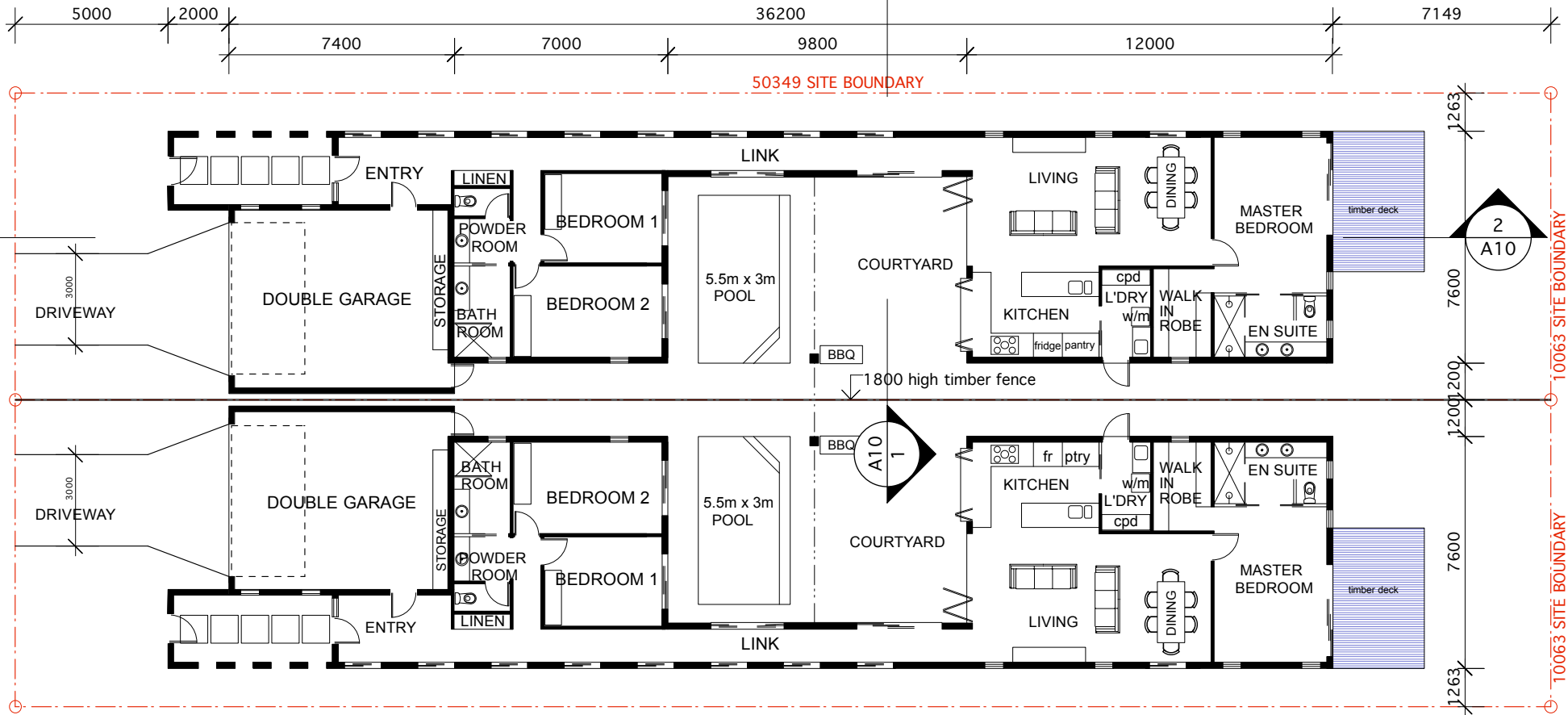


Figure 1 Site Plan





MUDLO STREET



AREAS:
 INDOOR 227 SQ.M.
 POOL AND COURTYARD 70 SQ.M.
 TIMBER DECK 14 SQ.M.

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**SKETCH PLAN FOR P.N.NEWMAN
 AT 6 MUDLO STREET PORT DOUGLAS**

DWG TITLE	PLAN NO. RB42CR
SITE PLAN	DWG NO. SK01

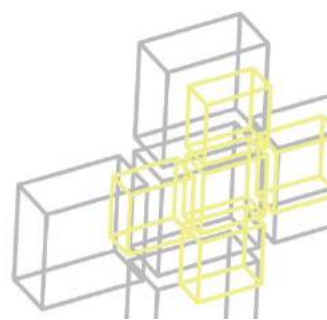
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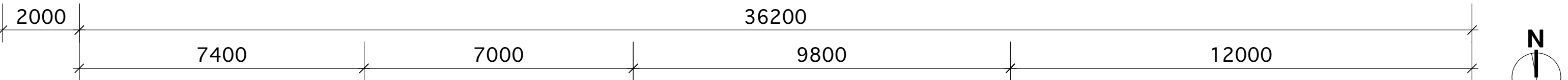
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FILE NAME

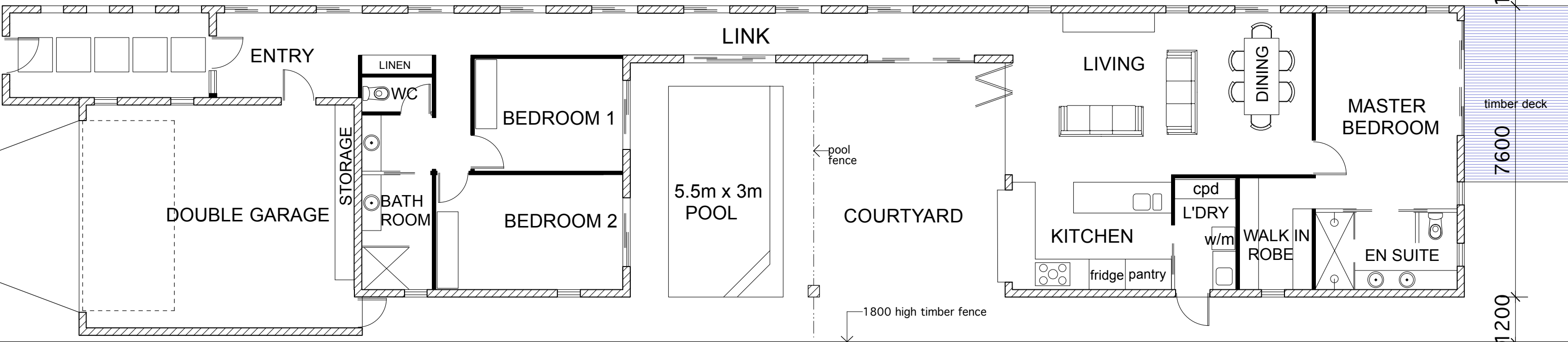
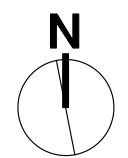
Figure 2

Floor Plan





50349 SITE BOUNDARY



1263

timber deck

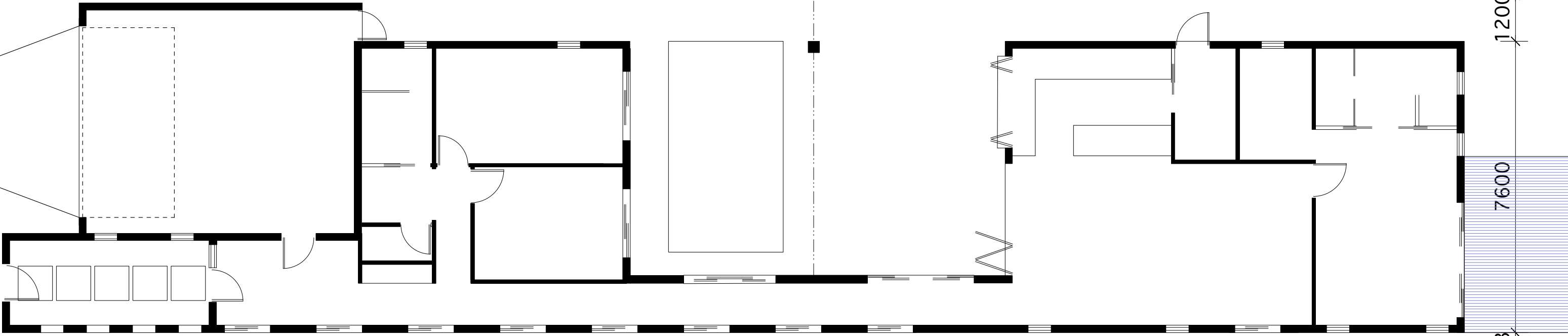
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DATE	REVISION NO.	REVISION DESCRIPTION

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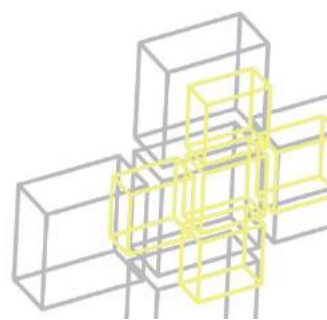
SKETCH PLAN FOR P.N.NEWMAN
AT 6 MUDLO STREET PORT DOUGLAS

DWG TITLE: FLOOR PLAN
PLAN NO. RB42CR
DWG NO. SK02

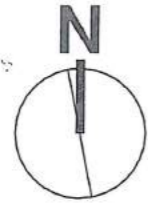
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Figure 3

Landscape Plan



6 MUDLO STREET



Cryptostachys lakka - Lipstick Palm	Alpinia zerumbet - Variegated Ginger	Alpinia Purpurata- Red Ginger	Licuala - Assorted Fan Palms	Codiaeum - Croton Mix	Spathophyllum - Peace Lilly	Polyalthea - Mast tree	Pytosperma Macarthur Palm	Hymenocallus - Spider Lilly	Abacaxis Palm

AREAS:
 INDOOR 227 SQ.M.
 POOL AND COURTYARD 70 SQ.M.
 TIMBER DECK 14 SQ.M.

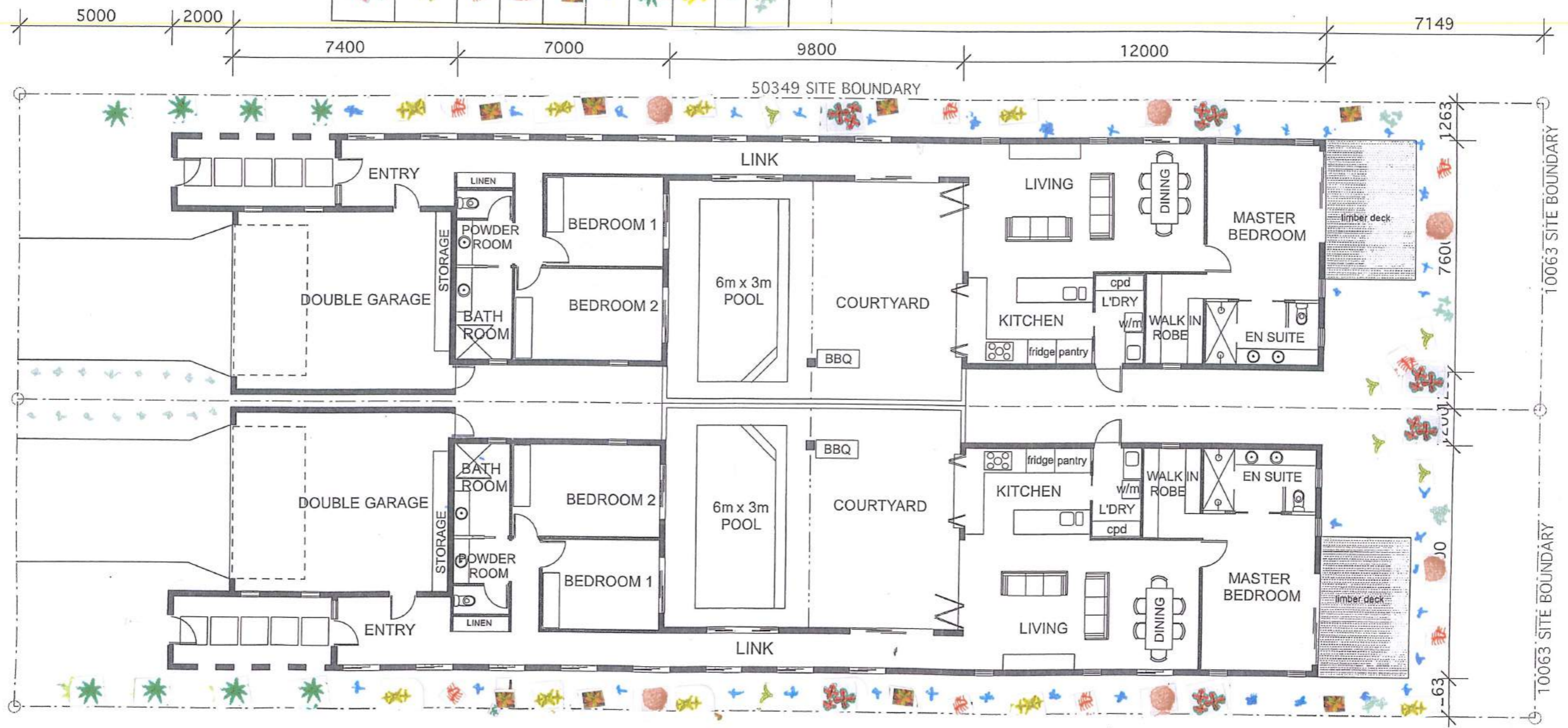
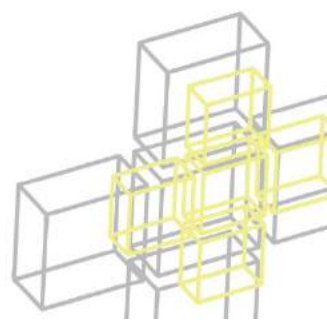
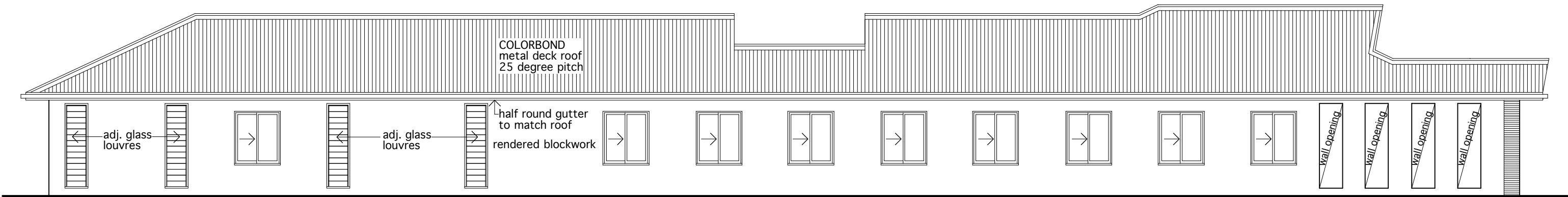
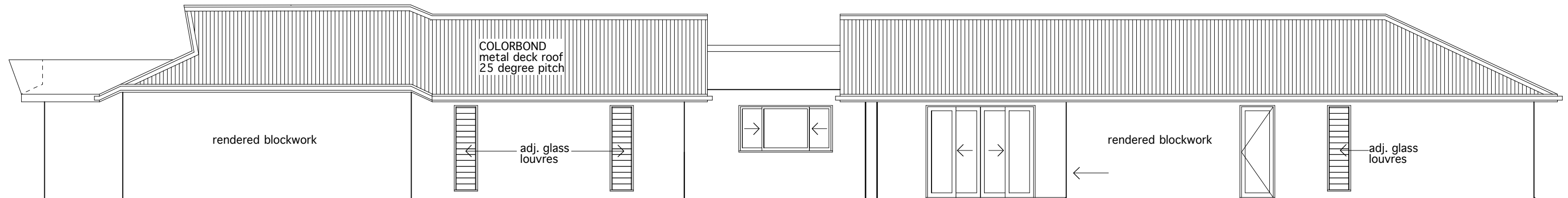


Figure 4 Elevations

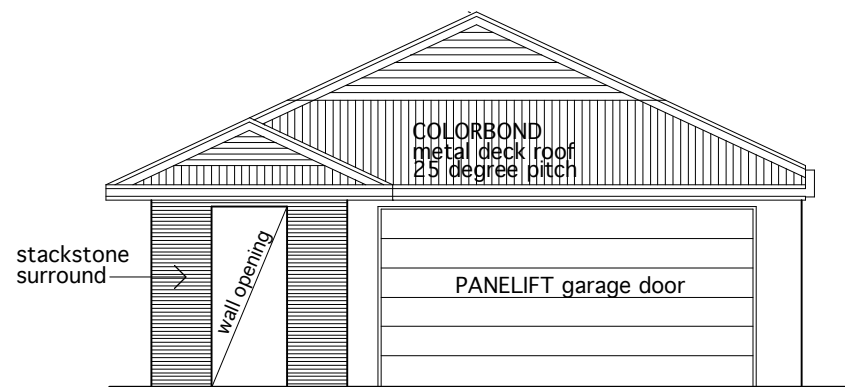




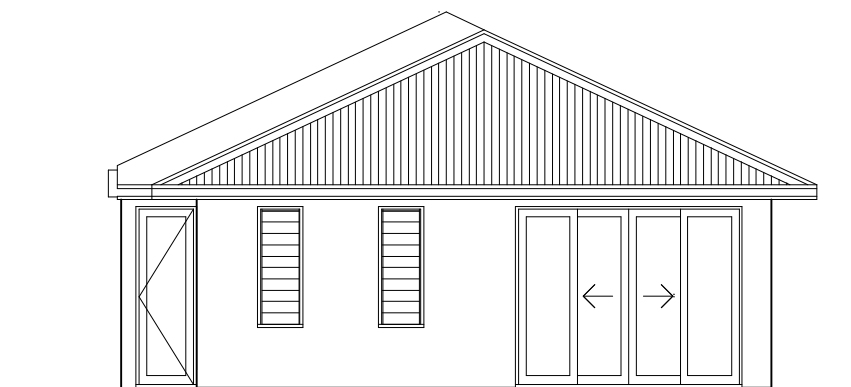
NORTH ELEVATION



SOUTH ELEVATION



WEST (STREET) ELEVATION



EAST ELEVATION


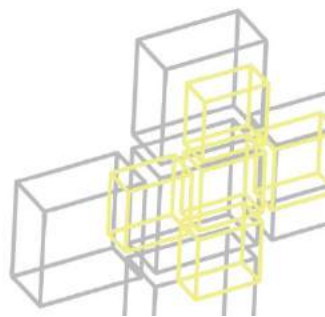
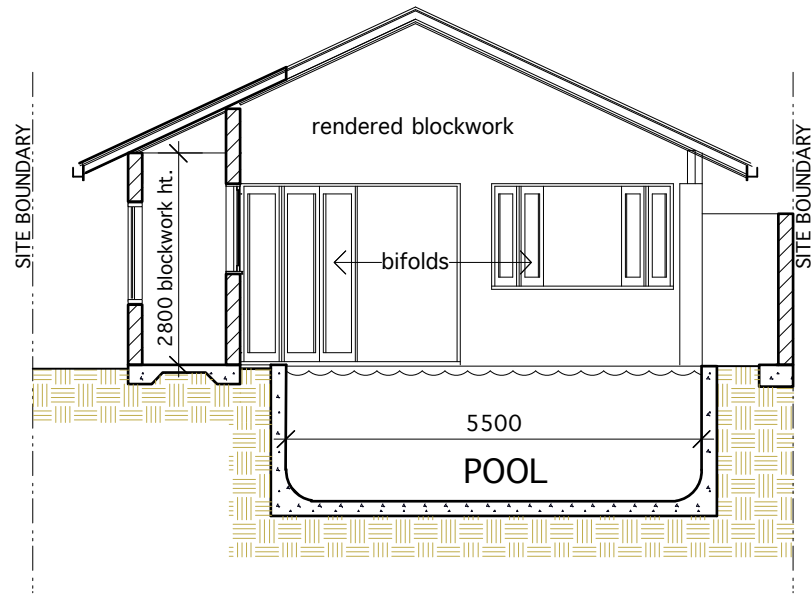
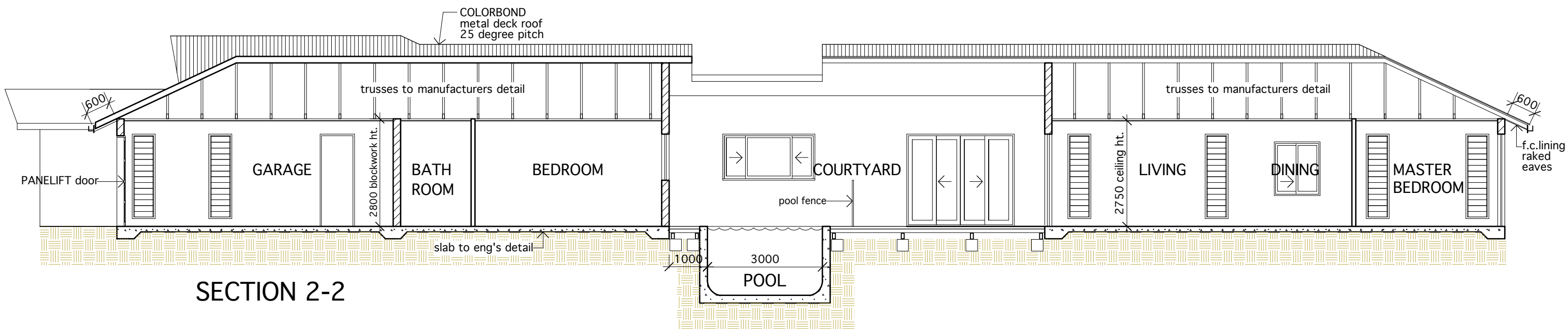
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Figure 5 Sections





SECTION 1-1



SECTION 2-2


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					PLAN NO. RB42CR DWG NO. SK10
DATE	REVISION NO.	REVISION DESCRIPTION	SCALE: 1:100 @ A3	DATE: 25/6/15	FILE NAME

Figure 6

3D Perspectives

