

LANDSCAPE DESIGN

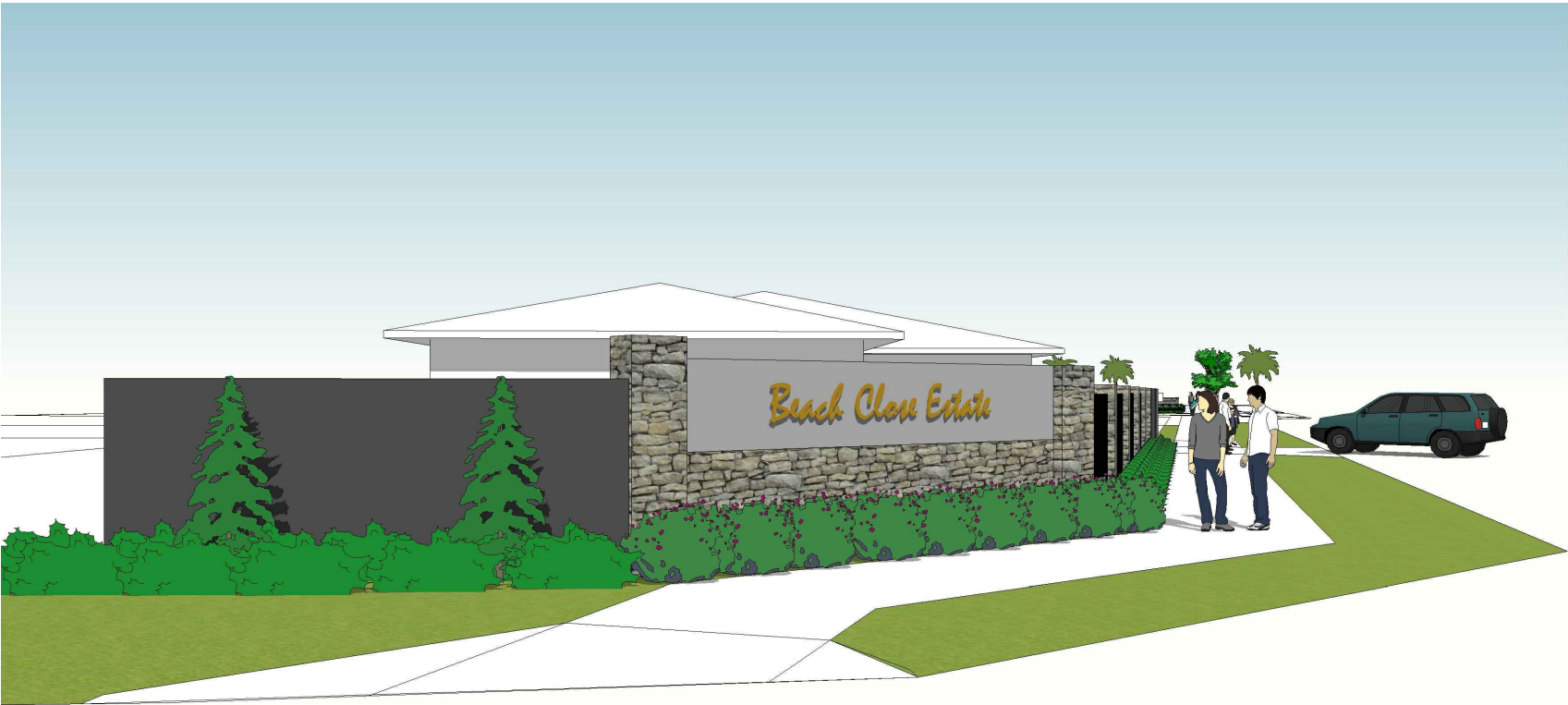
LANGLEY ROAD SUBDIVISION

LANGLEY ROAD, PORT DOUGLAS, QLD

MAY 2020 - COUNCIL APPROVAL

DRAWING LIST

DWG NO.	REV	DRAWING NAME	SCALE (A3 SIZE)
198-L00	A	COVER PAGE	As Shown
198-L01	A	LANDSCAPE PLAN & PLANTING SCHEDULE	1:400
198-L02	A	ENTRY WALL DETAILS	As Shown
198-L03	A	TYP. DETAILS	As Shown



STANDARD NOTES

1. SETOUT AND DIMENSIONS

THE CONTRACTOR SHALL SET OUT ALL PATHS, WALLS, HARD SURFACES AND ELEMENTS EITHER ON OR OFF SITE PRIOR TO CONSTRUCTION AND SHALL OBTAIN THE SUPERINTENDENTS SET OUT APPROVAL PRIOR TO WORKS COMMENCING. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE, CHECK ALL DRAWINGS SCALES IN CONJUNCTION WITH DRAWINGS SIZE. COORDINATE ALL WORKS WITH OTHER TRADES AND HEAD CONTRACTOR.

2. SERVICES AND SITE ASSETS

THE CONTRACTOR SHALL INVESTIGATE THE NATURE AND LOCATION OF ALL EXISTING SERVICES AND RETAINED SITE ASSETS AFFECTED BY THEIR WORKS. FAILURE TO TAKE DUE CARE SHALL NOT LIMIT THE CONTRACTORS LIABILITIES.

3. REFERENCES

THE CONTRACTOR SHALL REFER TO ALL CONTRACT DOCUMENTS, THE SPECIFICATION AND DRAWINGS PRIOR TO AND DURING THE WORKS.

4. DISCREPANCIES

NOTIFY SUPERINTENDENT OF ANY SUSPECTED OR KNOWN DISCREPANCIES OR ERRORS PRIOR TO THE ORDERING OF AFFECTED MATERIALS AND/OR CONSTRUCTION OF AFFECTED WORKS.

5. RELEVANT STANDARDS

THE CONTRACTOR SHALL UNDERTAKE ALL PRICING AND WORKS IN ACCORDANCE WITH CURRENT INDUSTRY BEST PRACTICE AND ALL RELEVANT AUSTRALIAN AND LOCAL STANDARDS AND THE FNQROC.

6. SERVICE LOCATOR

THE CONTRACTOR SHALL UNDERTAKE A DIAL BEFORE YOU DIG PROCESS PRIOR TO COMMENCING WORKS ON SITE. THE CONTRACTOR SHALL ENGAGE A SERVICE LOCATOR TO MAP THE SPECIFIC LOCATIONS AND DEPTH OF ALL SERVICES AND ADVISE ALL RELEVANT STAFF AND SUBCONTRACTORS IN WRITING PRIOR TO COMMENCING WORKS ON SITE.

7. SOFT LANDSCAPE

1. ALL CONTAINER STOCK SHALL BE INSPECTED IN THE NURSERY PRIOR TO TRANSPORT TO SITE.
2. ALL CONTAINER STOCK PLANTING SHALL BE INSPECTED PRIOR TO PLANTING ON SITE. GIVE (5) WORKING DAYS NOTICE PRIOR TO SUCH ACTIVITY TO ALLOW LANDSCAPE ARCHITECT'S REPRESENTATIVE TO ATTEND.
3. ALL SOIL BLENDS APPROVED TO AUSTRALIAN STANDARDS / AS4419.
4. TURF SHALL CONSIST OF 25MM DEPTH OF DENSE, WELL ROOTED, VIGOROUS GRASS GROWTH WITH 25MM DEPTH OF TOPSOIL.
5. TURF TO BE USED SHOULD BE ROLLED B GRADE TURF MIX OF SPECIES 80% BUFFALO GRASS (AXONOPUS COMPRESSUS) & 20% COUCH GRASS VARIETIES.
6. EXCAVATE EXISTING SITE SOIL ON ALL GARDEN BEDS TO 300mm DEPTH AND REPLACE WITH APPROVED SOIL BLENDS. USE SITE STOCKED TOPSOIL AND AMEND WHERE POSSIBLE. LANDSCAPE CONTRACTOR TO ASSESS SUITABILITY FOR REUSE. IF UNSUITABLE, TOPSOIL TO BE REMOVED BY OTHERS.
7. ENSURE COMPACTED ROAD BASE IS NOT LOCATED DIRECTLY BELOW THE GARDEN BED. IF SO THEN REMOVE/EXCAVATE THE COMPACTED ROAD BASE SO SOIL PROFILE CAN DRAIN TO NATURAL GROUND.

8. HARD LANDSCAPE

SAMPLES: UNLESS OTHERWISE NOTED, ALL ITEMS MUST BE APPROVED PRIOR TO INSTALLATION AND MUST MEET CURRENT AUSTRALIAN STANDARDS AND BEST PRACTICE GUIDELINES. PROVIDE SAMPLES OF ALL SURFACE FINISHES AND MATERIALS TO BE PLACED IN THE CONSTRUCTED LANDSCAPE, ESPECIALLY ALTERNATIVES TO PROPRIETARY ITEMS SPECIFIED. GIVE FIVE (5) WORK DAYS NOTICE TO THE SUPERINTENDENTS REPRESENTATIVE TO ATTEND OR REVIEW THE SAMPLE FOR COMMENT OR REJECTION. PROVIDE MANUFACTURER'S GUIDES AND REPLACEMENT WARRANTIES AND INSTALLATION SPECIFICATIONS WHERE APPLICABLE.

9. IRRIGATION

DESIGN AND CONSTRUCT IRRIGATION SYSTEM TO FNQROC STANDARDS, CERTIFIED BY AN IAA CID (IRRIGATION AUSTRALIAN ASSOCIATION CERTIFIED IRRIGATION DESIGNER) AND TO CLIENT'S APPROVAL

10. PLANT ESTABLISHMENT & MAINTENANCE

AREAS OF PLANTING CAN ONLY BE GIVEN FINAL COMPLETION AFTER MINIMUM 13 WEEKS ESTABLISHMENT POST PRACTICAL COMPLETION. REPLACE ALL DEAD PLANT STOCK DURING THIS PERIOD AND NEW STOCK ESTABLISHED FOR MINIMUM 13 WEEKS. FINAL COMPLETION IS GIVEN AT 13 WEEKS POST PRACTICAL COMPLETION AND ONGOING MAINTENANCE BEGINS.

11. WORK HEALTH & SAFETY (WHS)

THE CONTRACTOR SHALL FOLLOW THE APPROVED & CURRENT PROJECT WORK HEALTH & SAFETY MANUAL.

Drawing Revisions

Issue	Date	Subject	Authorised
A	22.05.2020	FOR APPROVAL	JMC



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SEYMOUR GROUP

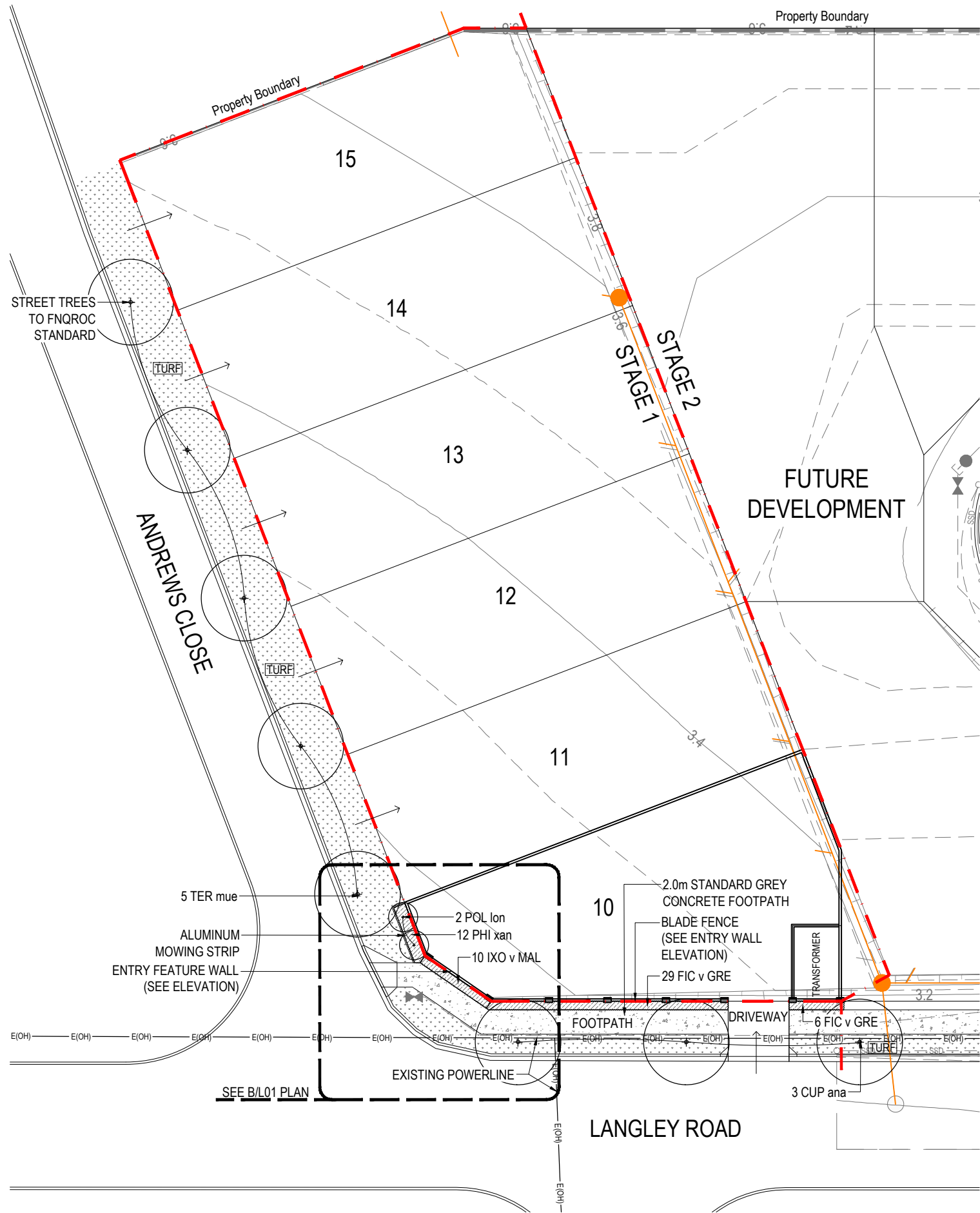
PROJECT TITLE:

LANGLEY ROAD SUBDIVISION
Langley Road, Port Douglas, Queensland
Lot 5 on RP 804926

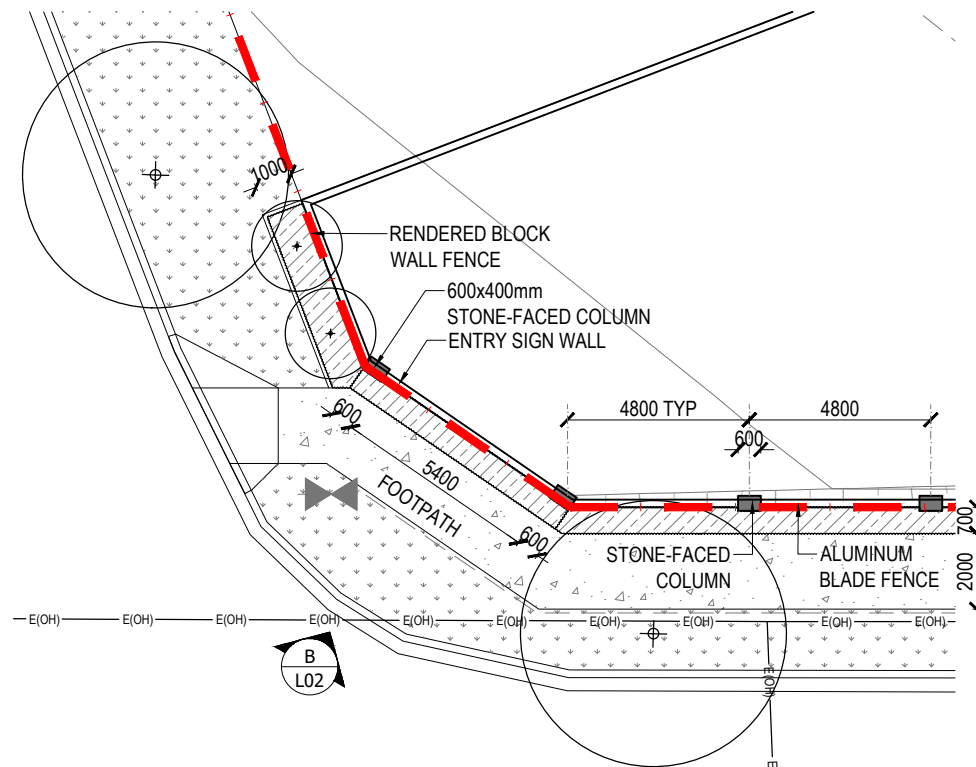
DRAWING TITLE:

COVER PAGE

Scale:	As Shown	Drawn:	JAE	Checked:	JTB	Authorized:	JMC
At:	A3	Date:	22 May 2020				
Drawing No:	198-L00	Issue	A	Sheet No.	1		



A
L01 **LANDSCAPE PLAN**
SCALE 1:200 @ A1 / 1:400 @ A3



B
L01 **ENTRY WALL PLAN**
SCALE 1:100 @ A1 / 1:200 @ A3

LEGEND

- TURF GRASS AREA
- G.B. GENERAL PLANTING AREA
- STANDARD GREY CONCRETE FOOTPATH
- MK PROPOSED ALUMINIUM MOWING STRIP
- 5.5--- EXISTING / PROPOSED CONTOUR (REFER CIVIL DRAWINGS)
- PROPOSED TREES
- EXTENT OF WORK

PLANTING SCHEDULE					
QTY	CODE	BOTANICAL NAME	COMMON NAME	supply size	min. spacing
TREES / PALMS					
3	CUP ana	Cupaniopsis anacardioides	Tueckeroo	25L	8000mm
5	TER mue	Terminalia muelleri	Mueller's Damson	25L	8000mm
2	POL lon	Polyalthia longifolia	Indian Mast Tree	25L	2500mm
SHRUBS & GROUNDCOVERS					
35	FIC v GRE	Ficus 'Green Island'	Green Island Fig	140mm	650
10	IXO v MAL	Ixora 'Malay Pink'	Malay Pink Ixora	140mm	650
12	PHI xan	Philodendron xanadu	Xanadu	140mm	650

- STREETSCAPE TREE NOTES**
- TYPICAL LOT**
 - TYPICALLY ONE TREE PER LOT (FRONT VERGE)
 - TREE TO BE LOCATED BETWEEN 600 - 1000mm FROM THE BACK OF KERB
 - TREE SHOWN CENTRALLY ON THE PLAN AND ON THE LOT BOUNDARY. FINAL LOCATION TO BE DETERMINED FOLLOWING INSTALLATION OF THE DRIVEWAY AND CONFIRMATION OF SITE SERVICES
 - TREE TO BE IRRIGATED.
 - TYPICAL CORNER LOT**
 - TYPICALLY ONE TREE PER CORNER LOT (FRONT VERGE AND SIDE VERGE)
 - TREE TO SIDE VERGE TO BE LOCATED CENTRALLY ALONG THE SIDE OF THE LOT.
 - TREE TO BE IRRIGATED.
 - TREE LOCATIONS**

THE ALIGNMENT AND PLACEMENT OF STREET TREES MEASURED FROM THE TREE AT THE ESTIMATED ULTIMATE SIZE SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

 - GREATER THAN 4.0 METRES FROM ELECTRICITY OR TELECOMMUNICATION POLES OR PILLARS.
 - GREATER THAN 7.5 METRES FROM STREETLIGHTS TO ENSURE EFFECTIVE STREET LIGHTING.
 - GREATER THAN 4.0 METRE RADIUS FROM HIGH VOLTAGE TRANSMISSION LINES.
 - GREATER THAN 2.0 METRES FROM STORMWATER DRAINAGE PITS.
 - TREES ARE TO BE PLANTED IN THE FRONT OF PROPERTIES AT THE CENTRE OF THE LOT AT A RATE OF ONE PER LOT, OR AT THE NECESSARY RATE TO PROVIDE A MAXIMUM 20 METRE SPACING.
 - TREES ARE TO BE PLACED A MINIMUM OF 800mm AND A MAXIMUM OF 1000mm FROM THE BACK OF KERB.
 - TREES ARE TO BE PLACED A MINIMUM OF THREE (3) METRES FROM DRIVEWAY.
 - AT INTERSECTIONS, TREES ARE TO BE PLACED A MINIMUM OF TEN (10) METRES BACK FROM THE FACE OF THE KERB OF THE ADJOINING TREES.
 - TREES ARE TO BE LOCATED SO AS NOT TO OBSTRUCT ACCESS TO ANY SERVICES OR SIGNAGE.
 - TREES ARE TO BE LOCATED SO AS NOT TO OBSTRUCT PEDESTRIAN OR VEHICULAR TRAFFIC, NOR CREATE TRAFFIC HAZARD OR CAUSE DAMAGE TO EXISTING TREES.

Drawing Revisions			
Issue	Date	Subject	Authorised
A	22.05.2020	FOR APPROVAL	JMC
Issue	Date	Revision Description	Initial

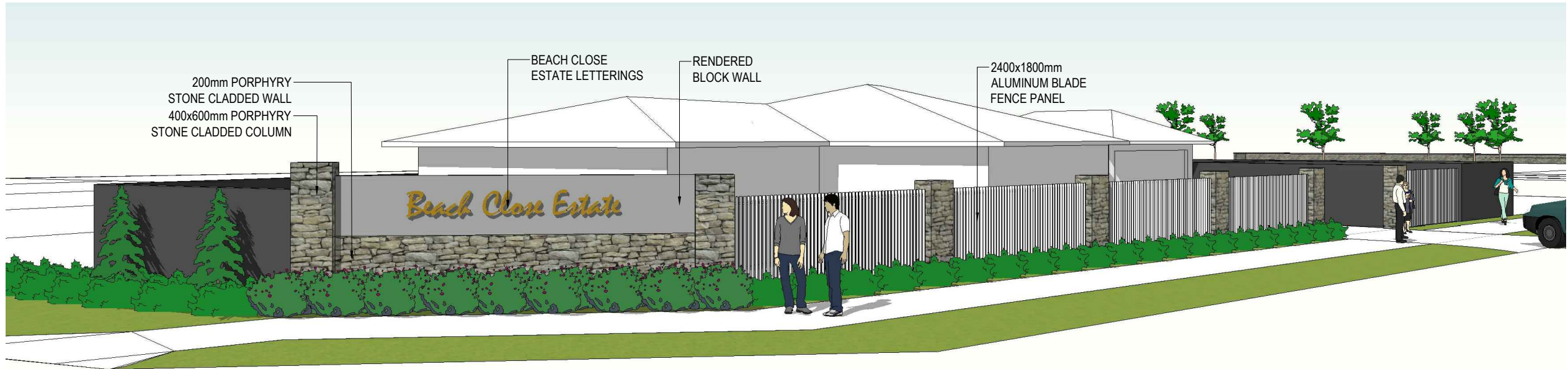
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SEYMOUR GROUP

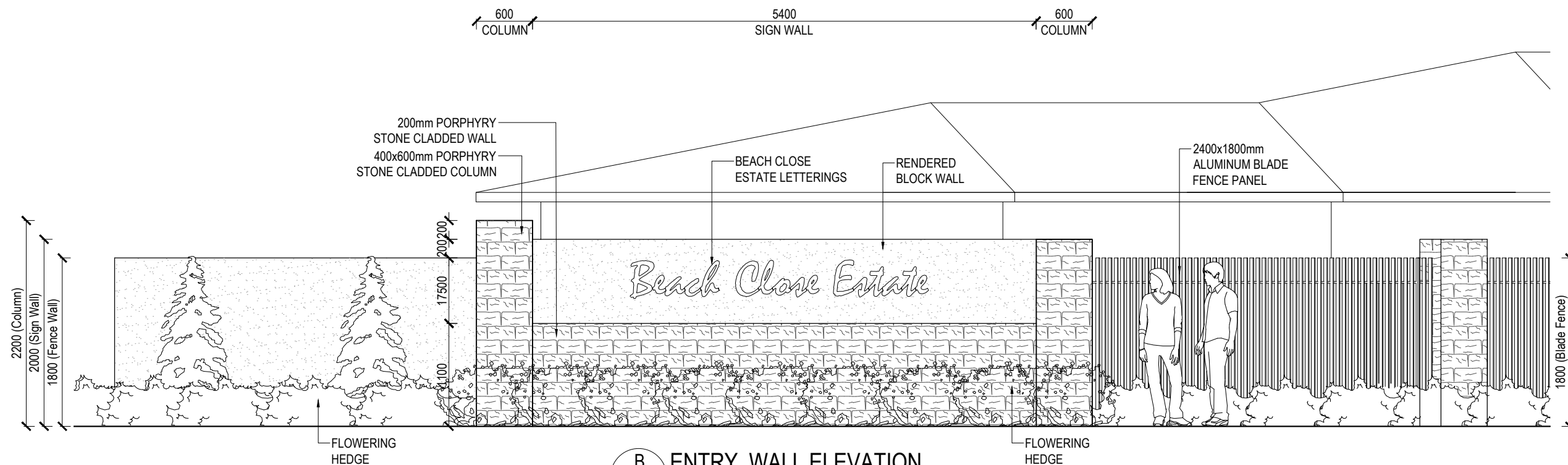
PROJECT TITLE:
LANGLEY ROAD SUBDIVISION
Langley Road, Port Douglas, Queensland
Lot 5 on RP 804926

DRAWING TITLE:
LANDSCAPE PLAN & PLANTING SCHEDULE

Scale: 1:500mm	Drawn: JAE	Checked: JTB	Authorized: JMC
At: A3	Date: 22 May 2020		
Drawing No: 198-L01	Issue A	Sheet No. 2	



A ENTRY WALL PERSPECTIVE
L02 NTS



B ENTRY WALL ELEVATION
L02 SCALE 1:20 @ A1
1:40 @ A3

Drawing Revisions			
Issue	Date	Subject	Authorised
A	22.05.2020	FOR APPROVAL	JMC

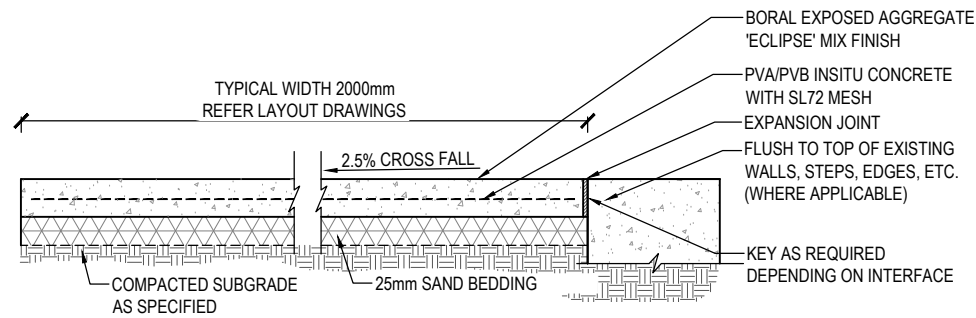
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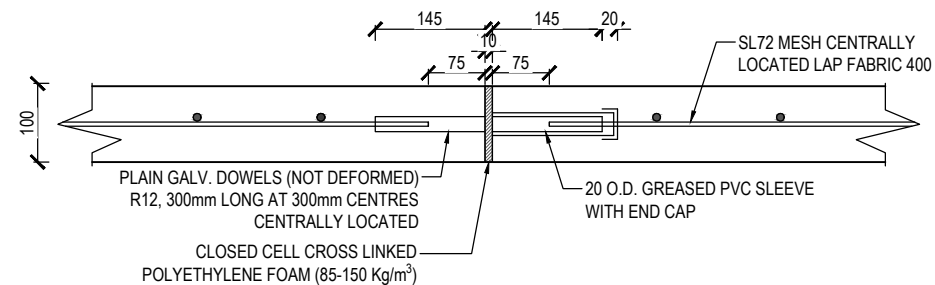
PROJECT TITLE:
LANGLEY ROAD SUBDIVISION
Langley Road, Port Douglas, Queensland
Lot 5 on RP 804926

DRAWING TITLE:
MAIN ENTRY WALL ELEVATION

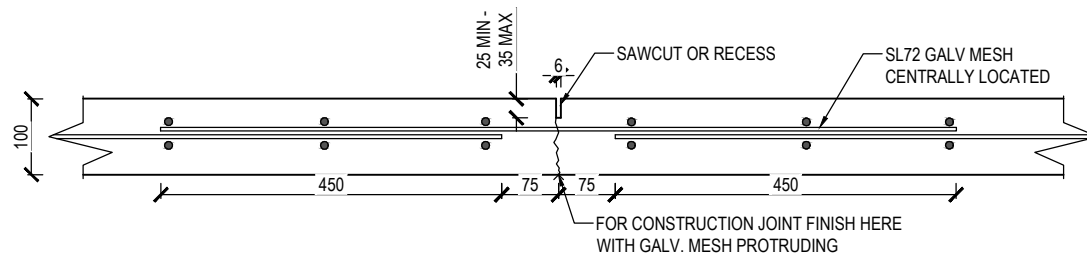
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At: A3	Date: 22 May 2020		
Drawing No: 198-L02	Issue A	Sheet No. 3	



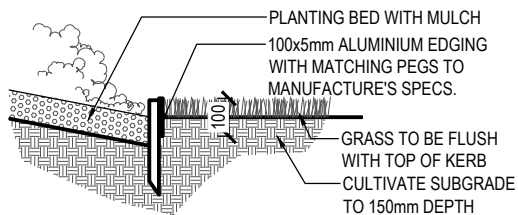
A
L03
2.0m WIDE CONCRETE FOOTPATH
SCALE 1:10 @ A1
1:20 @ A3



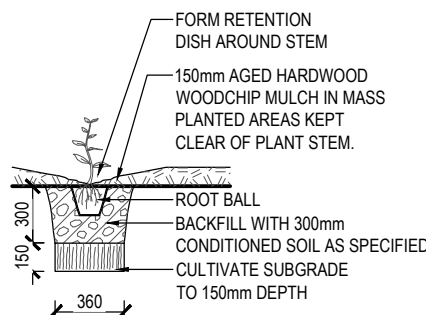
B
L03
FOOTPATH - EXPANSION JOINT
SCALE 1:5 @ A1
1:10 @ A3



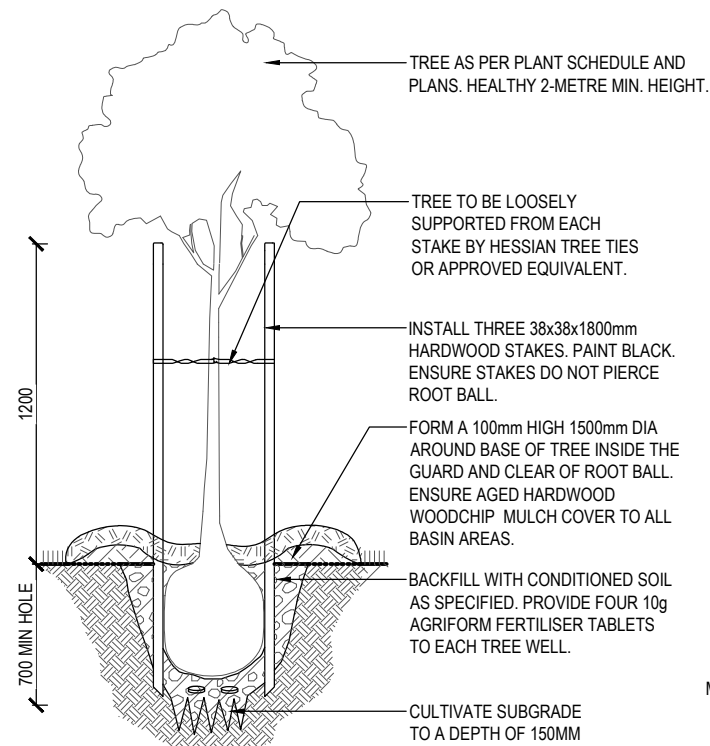
C
L03
FOOTPATH - CONTROL JOINT
SCALE 1:5 @ A1
1:10 @ A3



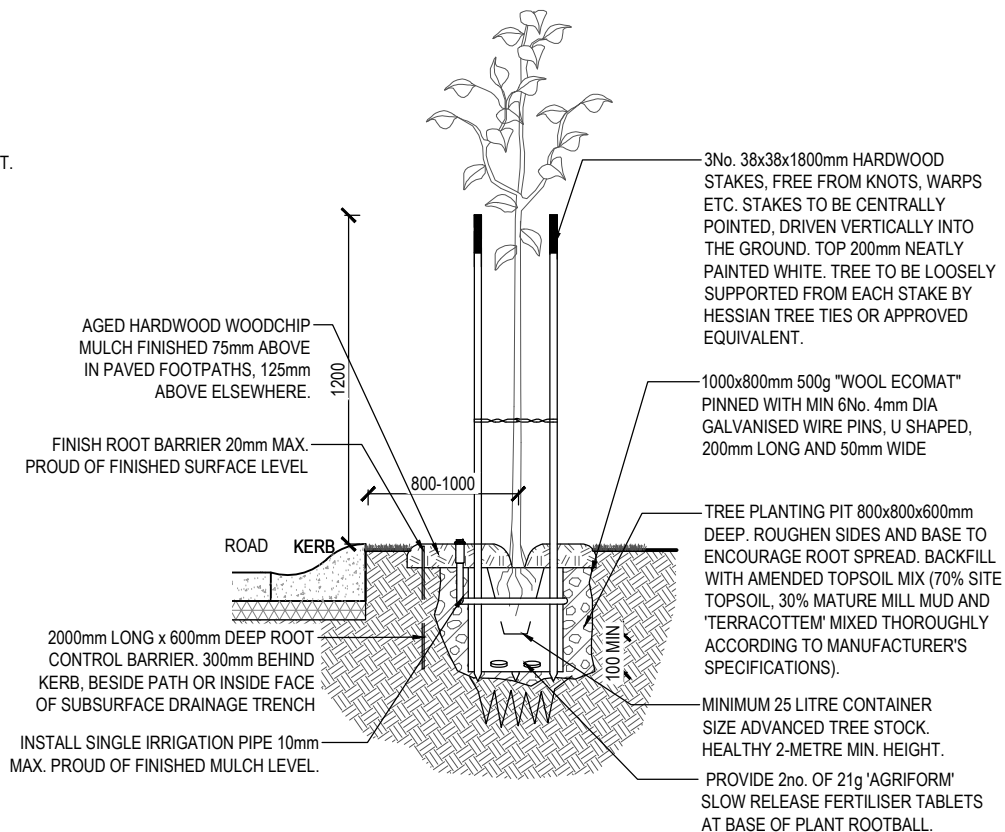
D
L03
MOWING STRIP DETAIL
SCALE 1:10 @ A1
1:20 @ A3



E
L03
TYPICAL POT PLANTING
SCALE 1:20 @ A1
1:40 @ A3



F
L03
TYP 25-L TREE PLANTING IN GARDEN BED
SCALE 1:20 @ A1
1:40 @ A3



G
L03
STREET TREE TO FNQROC STANDARDS
SECTION 1:20 @ A1
1:40 @ A3

STANDARD NOTES

CONCRETE FOOTPATH REQUIREMENTS AND GUIDELINES TO BE INSTALLED AS PER FNQROC DETAILS

1. PATHWAYS LOCATED IN ROAD RESERVES ARE TO BE CONSTRUCTED 600mm CLEAR OF PROPERTY BOUNDARY UNLESS APPROVED OTHERWISE BY COUNCIL.
2. PRIOR TO CONSTRUCTION OF PATHWAY / BIKEWAY, THE CONTRACTOR SHALL LIAISE WITH TELSTRA TO ENSURE THAT ANY REQUIRED CABLE CONNECTION PITS ARE INSTALLED TO MATCH TOP OF PATHWAY LEVEL AND ENABLE CONCRETE PATHWAY / BIKEWAY TO BE CONSTRUCTED IN A SINGLE POUR.
3. FINISHED SURFACE LEVEL OF CONCRETE TO BE NOT MORE THAN 20mm ABOVE FINISHED SURFACE LEVEL OF ADJOINING GROUND AND SHALL FINISH FLUSH WITH ADJOINING SURFACES.
4. CONCRETE PATHWAYS, ADJOINING EXISTING DRIVEWAYS ARE TO BE TRANSITIONED OVER MINIMUM 500mm LENGTH.
5. CONCRETE N25 IN ACCORDANCE WITH AS1379 AND AS3600.
6. ALL CONCRETE TO BE BROOM FINISHED.
7. DOWELS TO BE GRADE 250 STEEL TO AS1302. MESH TO AS1304.
8. GALVANISING TO AS1650.
9. ALL DIMENSIONS IN MILLIMETRES.
10. THE MAXIMUM GRADIENT SHALL BE 16 PER CENT WITH A MAXIMUM CROSSFALL OF 2.5 PER CENT. WHERE THE PATHWAY IS PARALLEL WITH A ROAD WITH A GRADE GREATER THAN 16 PER CENT FOOTPATH GRADIENT SHALL MATCH THAT OF THE ROAD.

NOTE:

- FULL CONSTRUCTION JOINT EVERY 30m² MIN.
- 12mm EXPANSION JOINT AS SPECIFIED WHERE PATH ABUTS WALLS, KERBS AND THE LIKE.

Drawing Revisions

Issue	Date	Subject	Authorised
A	22.05.2020	FOR APPROVAL	JMC

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Client:

SEYMOUR GROUP

PROJECT TITLE:

LANGLEY ROAD SUBDIVISION
Langley Road, Port Douglas, Queensland
Lot 5 on RP 804926

DRAWING TITLE:

TYPICAL HARD & SOFT LANDSCAPE DETAILS

Scale: AS SHOWN	Drawn: JAE	Checked: JTB	Authorised: JMC
At: A3	Date: 22 May 2020		

Drawing No:	Issue	Sheet No.
198 - L03	A	4

LANDSCAPE DESIGN

LANGLEY ROAD SUBDIVISION

LANGLEY ROAD, PORT DOUGLAS, QLD

FEBRUARY 2020 - FOR APPROVAL

DRAWING LIST

DWG NO.	REV	DRAWING NAME	SCALE (A3 SIZE)
198-L00	A	COVER PAGE & PLANTING SCHEDULE	As Shown
198-L01	A	LANDSCAPE PLAN 01	1:500
198-L02	A	LANDSCAPE PLAN 02 & DETAIL PLANS	As Shown
198-L03	A	TYP. DETAILS & PLANTING SCHEDULE	As Shown
198-L04	A	ENTRY WALL, RET. WALL AND STAIRS DETAILS	As Shown

PLANTING SCHEDULE					
QTY	CODE	BOTANICAL NAME	COMMON NAME	supply size	min. spacing
TREES / PALMS					
7	CUP ana	Cupaniopsis anacardioides	Tueckeroo	25L	8000mm
13	TER mue	Terminalia muelleri	Mueller's Damson	25L	8000mm
6	LIV mue	Livistona muelleri	Dwarf Fan Palm	100L	3000mm
SHRUBS & GROUNDCOVERS					
	COR v PIN	Cordyline fruticosa 'Pink Diamond'	Pink Diamond Cordyline	200mm	800
	FIC v GRE	Ficus 'Green Island'	Green Island Fig	140mm	600
	GAR v GLE	Gardenia psidioides 'Glennie River'	Glennie River Gardenia	140mm	600
	LOM hys	Lomandra hystrix	Green Mat-rush	140mm	600
	PHI xan	Philodendron xanadu	Xanadu	140mm	600
	PHY mul	Phyllanthus multiflorus	Waterfall Plant	200mm	800

STANDARD NOTES

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3. ALL SOIL BLENDS APPROVED TO AUSTRALIAN STANDARDS / AS4419.

4. TURF SHALL CONSIST OF 25MM DEPTH OF DENSE, WELL ROOTED, VIGOROUS GRASS GROWTH WITH 25MM DEPTH OF TOPSOIL.

5. TURF TO BE USED SHOULD BE ROLLED B GRADE TURF MIX OF SPECIES 80% BUFFALO GRASS (AXONOPUS COMPRESSUS) & 20% COUCH GRASS VARIETIES.

6. EXCAVATE EXISTING SITE SOIL ON ALL GARDEN BEDS TO 300mm DEPTH AND REPLACE WITH APPROVED SOIL BLENDS. USE SITE STOCKED TOPSOIL AND AMEND WHERE POSSIBLE. LANDSCAPE CONTRACTOR TO ASSESS SUITABILITY FOR REUSE. IF UNSUITABLE, TOPSOIL TO BE REMOVED BY OTHERS.

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- AREAS OF PLANTING CAN ONLY BE GIVEN FINAL COMPLETION AFTER MINIMUM 13 WEEKS ESTABLISHMENT POST PRACTICAL COMPLETION. REPLACE ALL DEAD PLANT STOCK DURING THIS PERIOD AND NEW STOCK ESTABLISHED FOR MINIMUM 13 WEEKS. FINAL COMPLETION IS GIVEN AT 13 WEEKS POST PRACTICAL COMPLETION AND ONGOING MAINTENANCE BEGINS.
11. WORK HEALTH & SAFETY (WHS)
- THE CONTRACTOR SHALL FOLLOW THE APPROVED & CURRENT PROJECT WORK HEALTH & SAFETY MANUAL.

Drawing Revisions			
Issue	Date	Subject	Authorised
A	21.02.2019	FOR APPROVAL	JMC
Issue	Date	Revision Description	Initial



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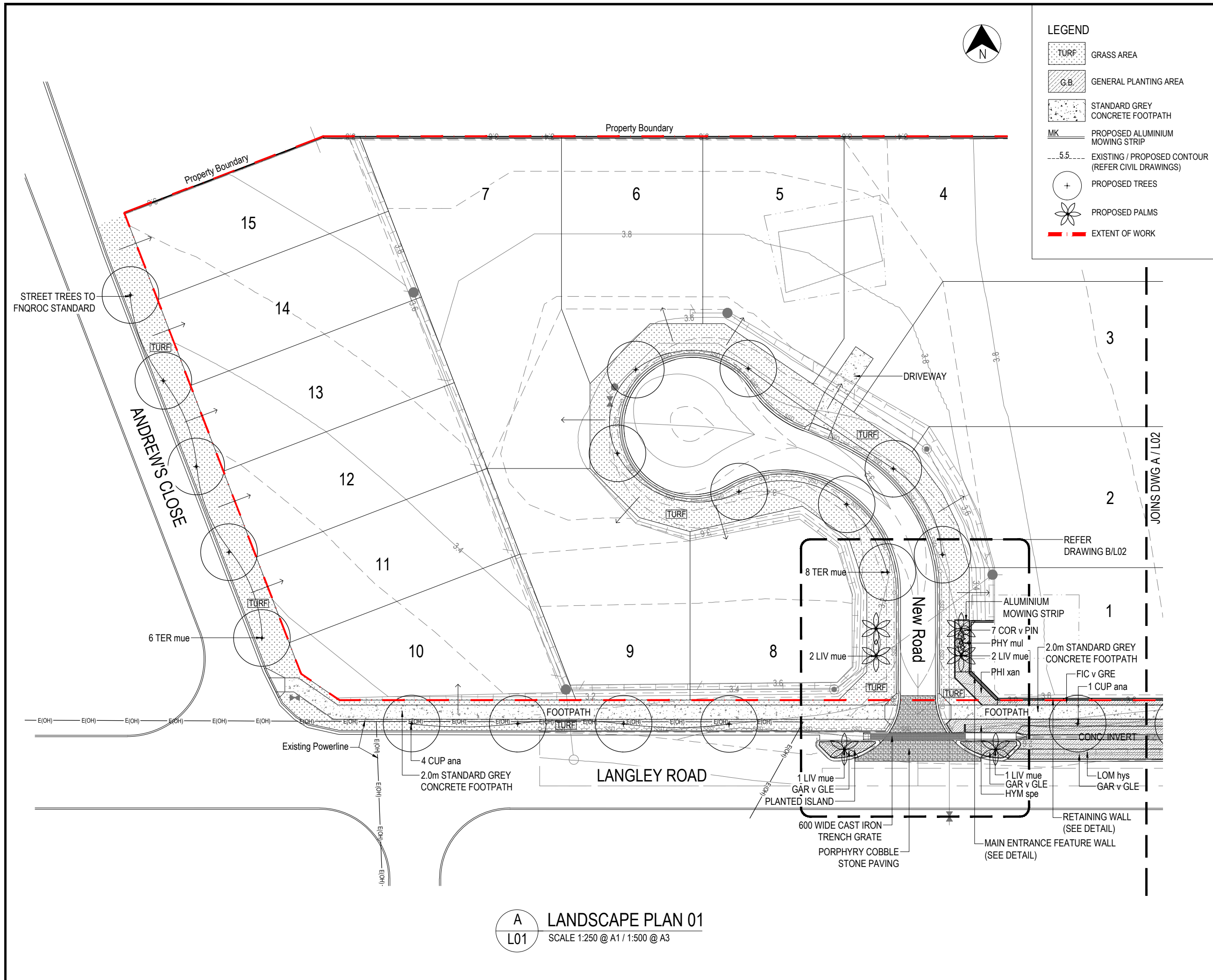
SEYMOUR GROUP

PROJECT TITLE:

15 LOT SUBDIVISION

Langley Road, Port Douglas, Queensland
Lot 5 on RP 804926

DRAWING TITLE:			
COVER PAGE & PLANTING SCHEDULE			
Scale:	Drawn:	Checked:	Authorized:
As Shown	JAE	JTB	JMC
At:	Date: 21 February 2020		
Drawing No:		Issue	Sheet No.
198-L00		A	1



STREETSCAPE TREE NOTES

- 1. TYPICAL LOT**
a) TYPICALLY ONE TREE PER LOT (FRONT VERGE)
b) TREE TO BE LOCATED BETWEEN 600 - 1000mm FROM THE BACK OF KERB
c) TREE SHOWN CENTRALLY ON THE PLAN AND ON THE LOT BOUNDARY. FINAL LOCATION TO BE DETERMINED FOLLOWING INSTALLATION OF THE DRIVEWAY AND CONFIRMATION OF SITE SERVICES
d) TREE TO BE IRRIGATED.
- 2. TYPICAL CORNER LOT**
a) TYPICALLY ONE TREE PER CORNER LOT (FRONT VERGE AND SIDE VERGE)
b) TREE TO SIDE VERGE TO BE LOCATED CENTRALLY ALONG THE SIDE OF THE LOT.
c) TREE TO BE IRRIGATED.
- 3. TREE LOCATIONS**
THE ALIGNMENT AND PLACEMENT OF STREET TREES MEASURED FROM THE TREE AT THE ESTIMATED ULTIMATE SIZE SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
a) GREATER THAN 4.0 METRES FROM ELECTRICITY OR TELECOMMUNICATION POLES OR PILLARS.
b) GREATER THAN 7.5 METRES FROM STREETLIGHTS TO ENSURE EFFECTIVE STREET LIGHTING.
c) GREATER THAN 4.0 METRE RADIUS FROM HIGH VOLTAGE TRANSMISSION LINES.
d) GREATER THAN 2.0 METRES FROM STORMWATER DRAINAGE PITS.
e) TREES ARE TO BE PLANTED IN THE FRONT OF PROPERTIES AT THE CENTRE OF THE LOT AT A RATE OF ONE PER LOT, OR AT THE NECESSARY RATE TO PROVIDE A MAXIMUM 20 METRE SPACING.
f) TREES ARE TO BE PLACED A MINIMUM OF 800mm AND A MAXIMUM OF 1000mm FROM THE BACK OF KERB.
g) TREES ARE TO BE PLACED A MINIMUM OF THREE (3) METRES FROM DRIVEWAY.
h) AT INTERSECTIONS, TREES ARE TO BE PLACED A MINIMUM OF TEN (10) METRES BACK FROM THE FACE OF THE KERB OF THE ADJOINING TREES.
i) TREES ARE TO BE LOCATED SO AS NOT TO OBSTRUCT ACCESS TO ANY SERVICES OR SIGNAGE.
j) TREES ARE TO BE LOCATED SO AS NOT TO OBSTRUCT PEDESTRIAN OR VEHICULAR TRAFFIC, NOR CREATE TRAFFIC HAZARD OR CAUSE DAMAGE TO EXISTING TREES.

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15 LOT SUBDIVISION

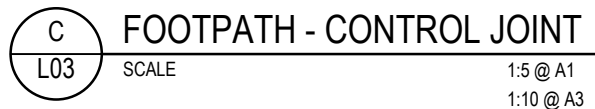
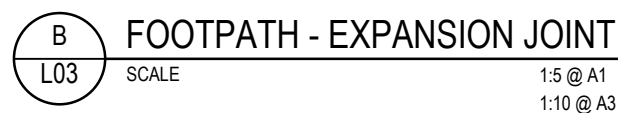
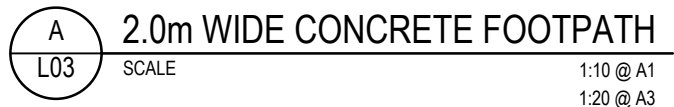
Langley Road, Port Douglas, Queensland
Lot 5 on RP 804926

DRAWING TITLE:

LANDSCAPE PLAN 01

Scale: 1:500mm At: A3 SIZE	Drawn: JAE Date: 21 February 2020	Checked: JTB	Authorized: JMC
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Drawing No: 198-L01	Issue: A	Sheet No: 2
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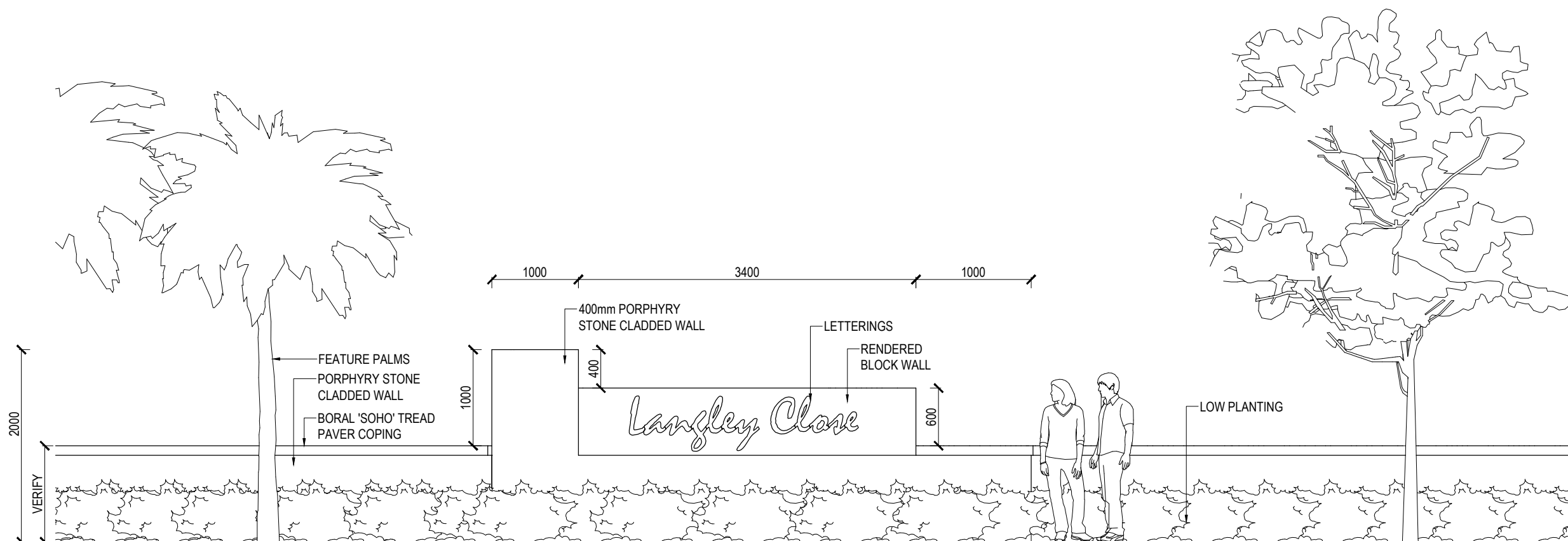
Drawing No:	Issue	Sheet No.
198 - L03	A	4



A
L04 ENTRY WALL PERSPECTIVE
NTS



B
L04 STAIRS PERSPECTIVE
NTS



C
L04 ENTRY WALL ELEVATION
SCALE 1:20 @ A1
1:40 @ A3

Drawing Revisions			
Issue	Date	Subject	Authorised
A	21.02.2019	FOR APPROVAL	JMC
Issue	Date	Revision Description	Initial

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Client:
SEYMOUR GROUP

PROJECT TITLE:
15 LOT SUBDIVISION
Langley Road, Port Douglas, Queensland
Lot 5 on RP 804926

DRAWING TITLE:
**MAIN ENTRY WALL
AND STAIRS DETAILS**

Scale: AS SHOWN	Drawn: JAE	Checked: JTB	Authorized: JMC
At:	Date: 21 February 2020		
Drawing No:	198-L04		Issue A Sheet No. 5