

# DA Form 1 – Development application details

Approved form (version 1.2 effective 7 February 2020) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

## PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Aaron Sweeney & Rachel Pollard
Contact name (only applicable for companies)	Aaron Sweeney
Postal address (P.O. Box or street address)	2 Mahab Street
Suburb	Kewarra Beach
State	QLD
Postcode	4879
Country	Australia
Contact number	0437127724
Email address (non-mandatory)	aaron@bakerbuildingcert.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	

2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input checked="" type="checkbox"/> No – proceed to 3)	

## PART 2 – LOCATION DETAILS

### 3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

**Note:** Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

#### 3.1) Street address and lot on plan

- ☐ Street address **AND** lot on plan (all lots must be listed), **or**  
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
			McDowall Lane	Lower Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	6	RP888615	Douglas Shire
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

#### 3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

**Note:** Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- ☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

#### 3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application  
 x Not required

### 4) Identify any of the following that apply to the premises and provide any relevant details

- x In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer: Daintree River

- ☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- ☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

- ☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

Name of airport:

<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

**5) Are there any existing easements over the premises?**  
*Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).*

☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application

☒ No

## PART 3 – DEVELOPMENT DETAILS

### Section 1 – Aspects of development

<b>6.1) Provide details about the first development aspect</b>
a) What is the type of development? <i>(tick only one box)</i>
<input checked="" type="checkbox"/> Material change of use <input type="checkbox"/> Reconfiguring a lot <input type="checkbox"/> Operational work <input type="checkbox"/> Building work
b) What is the approval type? <i>(tick only one box)</i>
<input checked="" type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval <input type="checkbox"/> Preliminary approval that includes a variation approval
c) What is the level of assessment?
<input checked="" type="checkbox"/> Code assessment <input type="checkbox"/> Impact assessment <i>(requires public notification)</i>
d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i>
3 bedroom dwelling
e) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see <a href="#">DA Forms guide: Relevant plans</a>.</i>
<input type="checkbox"/> Relevant plans of the proposed development are attached to the development application
<b>6.2) Provide details about the second development aspect</b>
a) What is the type of development? <i>(tick only one box)</i>
<input type="checkbox"/> Material change of use <input type="checkbox"/> Reconfiguring a lot <input type="checkbox"/> Operational work <input type="checkbox"/> Building work
b) What is the approval type? <i>(tick only one box)</i>
<input type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval <input type="checkbox"/> Preliminary approval that includes a variation approval
c) What is the level of assessment?
<input type="checkbox"/> Code assessment <input type="checkbox"/> Impact assessment <i>(requires public notification)</i>
d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i>
e) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see <a href="#">DA Forms Guide: Relevant plans</a>.</i>
<input type="checkbox"/> Relevant plans of the proposed development are attached to the development application
<b>6.3) Additional aspects of development</b>
<input type="checkbox"/> Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
<input checked="" type="checkbox"/> Not required

## Section 2 – Further development details

7) Does the proposed development application involve any of the following?	
Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input checked="" type="checkbox"/> Yes – complete DA Form 2 – Building work details

### Division 1 – Material change of use

**Note:** This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use			
Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m <sup>2</sup> ) (if applicable)
Family Dwelling	Dwelling	1	250m <sup>2</sup>
8.2) Does the proposed use involve the use of existing buildings on the premises?			
<input type="checkbox"/> Yes			
<input checked="" type="checkbox"/> No			

### Division 2 – Reconfiguring a lot

**Note:** This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?	
9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)	
<input type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13))

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				
10.2) Will the subdivision be staged?				
<input type="checkbox"/> Yes – provide additional details below				
<input type="checkbox"/> No				
How many stages will the works include?				
What stage(s) will this development application apply to?				

**11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?**

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

**12) Boundary realignment**

**12.1) What are the current and proposed areas for each lot comprising the premises?**

Current lot		Proposed lot	
Lot on plan description	Area (m <sup>2</sup> )	Lot on plan description	Area (m <sup>2</sup> )

**12.2) What is the reason for the boundary realignment?**

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**13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)**

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

**Division 3 – Operational work**

**Note:** This division is only required to be completed if any part of the development application involves operational work.

**14.1) What is the nature of the operational work?**

<input type="checkbox"/> Road work	<input type="checkbox"/> Stormwater	<input type="checkbox"/> Water infrastructure
<input type="checkbox"/> Drainage work	<input type="checkbox"/> Earthworks	<input type="checkbox"/> Sewage infrastructure
<input type="checkbox"/> Landscaping	<input type="checkbox"/> Signage	<input type="checkbox"/> Clearing vegetation
<input type="checkbox"/> Other – please specify: _____		

**14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)**

<input type="checkbox"/> Yes – specify number of new lots: _____
<input type="checkbox"/> No

**14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)**

\$ _____
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**PART 4 – ASSESSMENT MANAGER DETAILS**

**15) Identify the assessment manager(s) who will be assessing this development application**

Douglas Shire Council
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**16) Has the local government agreed to apply a superseded planning scheme for this development application?**

<input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application
<input type="checkbox"/> The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
x No

## PART 5 – REFERRAL DETAILS

### 17) Does this development application include any aspects that have any referral requirements?

**Note:** A development application will require referral if prescribed by the Planning Regulation 2017.

x No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

#### Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material (*from a watercourse or lake*)
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees (*category 3 levees only*)
- ☐ Wetland protection area

#### Matters requiring referral to the **local government:**

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has been devolved to local government*)

<input type="checkbox"/> Heritage places – Local heritage places
Matters requiring referral to the <b>Chief Executive of the distribution entity or transmission entity:</b>
<input type="checkbox"/> Infrastructure-related referrals – Electricity infrastructure
Matters requiring referral to:
<ul style="list-style-type: none"> <li>• The <b>Chief Executive of the holder of the licence</b>, if not an individual</li> <li>• The <b>holder of the licence</b>, if the holder of the licence is an individual</li> </ul>
<input type="checkbox"/> Infrastructure-related referrals – Oil and gas infrastructure
Matters requiring referral to the <b>Brisbane City Council:</b>
<input type="checkbox"/> Ports – Brisbane core port land
Matters requiring referral to the <b>Minister responsible for administering the <i>Transport Infrastructure Act 1994</i>:</b>
<input type="checkbox"/> Ports – Brisbane core port land ( <i>where inconsistent with the Brisbane port LUP for transport reasons</i> )
<input type="checkbox"/> Ports – Strategic port land
Matters requiring referral to the <b>relevant port operator</b> , if applicant is not port operator:
<input type="checkbox"/> Ports – Land within Port of Brisbane's port limits ( <i>below high-water mark</i> )
Matters requiring referral to the <b>Chief Executive of the relevant port authority:</b>
<input type="checkbox"/> Ports – Land within limits of another port ( <i>below high-water mark</i> )
Matters requiring referral to the <b>Gold Coast Waterways Authority:</b>
<input type="checkbox"/> Tidal works or work in a coastal management district ( <i>in Gold Coast waters</i> )
Matters requiring referral to the <b>Queensland Fire and Emergency Service:</b>
<input type="checkbox"/> Tidal works or work in a coastal management district ( <i>involving a marina (more than six vessel berths)</i> )

<b>18) Has any referral agency provided a referral response for this development application?</b>		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application		
x No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application ( <i>if applicable</i> ).		

## PART 6 – INFORMATION REQUEST

<b>19) Information request under Part 3 of the DA Rules</b>
x I agree to receive an information request if determined necessary for this development application
<input type="checkbox"/> I do not agree to accept an information request for this development application
<b>Note:</b> By not agreeing to accept an information request I, the applicant, acknowledge:
<ul style="list-style-type: none"> <li>• that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties</li> <li>• Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.</li> </ul>
Further advice about information requests is contained in the <a href="#">DA Forms Guide</a> .

## PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

☐ Yes – provide details below or include details in a schedule to this development application

x No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

☐ Yes – a copy of the receipted QLeave form is attached to this development application

x No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid

☐ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

☐ Yes – show cause or enforcement notice is attached

x No

23) Further legislative requirements

### **Environmentally relevant activities**

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below

x No

**Note:** Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at [www.qld.gov.au](http://www.qld.gov.au). An ERA requires an environmental authority to operate. See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

### **Hazardous chemical facilities**

23.2) Is this development application for a **hazardous chemical facility**?

☐ Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application

x No

**Note:** See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information about hazardous chemical notifications.



### **Clearing native vegetation**

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

x No

**Note:** 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.  
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

### **Environmental offsets**

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

x No

**Note:** The environmental offset section of the Queensland Government's website can be accessed at [www.qld.gov.au](http://www.qld.gov.au) for further information on environmental offsets.

### **Koala habitat in SEQ Region**

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

☐ Yes – the development application involves premises in the koala habitat area in the koala priority area

☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area

x No

**Note:** If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

### **Water resources**

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

x No

**Note:** Contact the Department of Natural Resources, Mines and Energy at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

### **Waterway barrier works**

23.7) Does this application involve **waterway barrier works**?

☐ Yes – the relevant template is completed and attached to this development application

x No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

### **Marine activities**

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

x No

**Note:** See guidance materials at [www.daf.qld.gov.au](http://www.daf.qld.gov.au) for further information.

### **Quarry materials from a watercourse or lake**

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development  
x No

**Note:** Contact the Department of Natural Resources, Mines and Energy at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) and [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

### **Quarry materials from land under tidal waters**

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development  
x No

**Note:** Contact the Department of Environment and Science at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

### **Referable dams**

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the Water Supply Act)?

☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the Water Supply Act is attached to this development application  
☐ No

**Note:** See guidance materials at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) for further information.

### **Tidal work or development within a coastal management district**

23.12) Does this development application involve **tidal work or development in a coastal management district**?

☐ Yes – the following is included with this development application:  
☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)  
☐ A certificate of title

x No

**Note:** See guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

### **Queensland and local heritage places**

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

☐ Yes – details of the heritage place are provided in the table below

x No

**Note:** See guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
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### **Brothels**

23.14) Does this development application involve a **material change of use for a brothel**?

☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*

x No

### **Decision under section 62 of the Transport Infrastructure Act 1994**

23.15) Does this development application involve new or changed access to a state-controlled road?

☐ Yes - this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

x No

## PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist	
I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17 <i>Note: See the Planning Regulation 2017 for referral requirements</i>	<input checked="" type="checkbox"/> Yes
If building work is associated with the proposed development, Parts 4 to 6 of <a href="#">DA Form 2 – Building work details</a> have been completed and attached to this development application	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not applicable
Supporting information addressing any applicable assessment benchmarks is with the development application <i>Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see <a href="#">DA Forms Guide: Planning Report Template</a>.</i>	<input checked="" type="checkbox"/> Yes
Relevant plans of the development are attached to this development application <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see <a href="#">DA Forms Guide: Relevant plans</a>.</i>	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not applicable

25) Applicant declaration	
<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct <input type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i> <i>Note: It is unlawful to intentionally provide false or misleading information.</i>	
<p><b>Privacy</b> – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.</p> <p>Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i>, Planning Regulation 2017 and the DA Rules except where:</p> <ul style="list-style-type: none"> <li>• such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the Planning Regulation 2017, and the access rules made under the <i>Planning Act 2016</i> and Planning Regulation 2017; or</li> <li>• required by other legislation (including the <i>Right to Information Act 2009</i>); or</li> <li>• otherwise required by law.</li> </ul> <p>This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i>.</p>	

## PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

---

Date received:  Reference number(s):

### Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

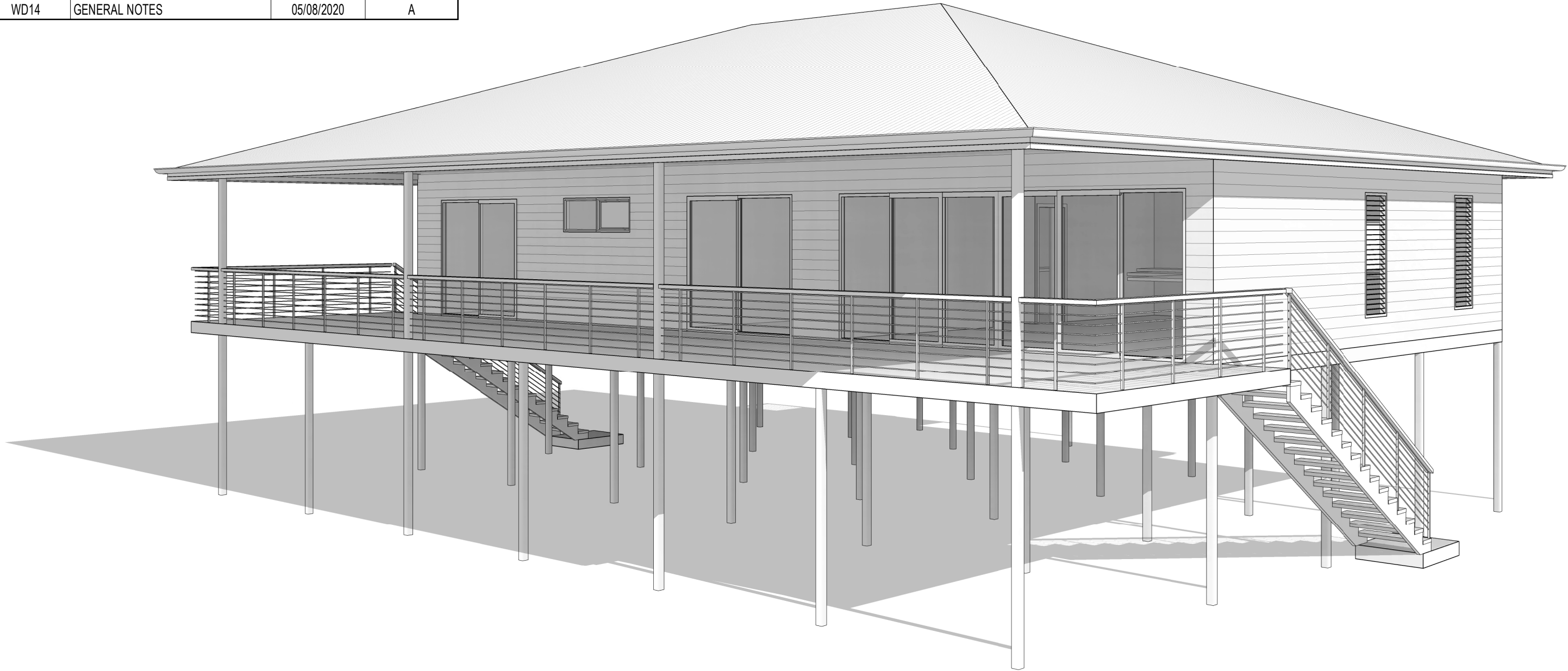
### QLeave notification and payment

*Note: For completion by assessment manager if applicable*

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

# CONSULTANT ISSUE

DRAWING LIST			
NUMBER	DESCRIPTION	ISSUE DATE	REVISION No.
WD01	COVER SHEET	05/08/2020	A
WD02	SITE PLAN	05/08/2020	A
WD03	UNDERCROFT PLAN	05/08/2020	A
WD04	FLOOR PLAN	05/08/2020	A
WD05	ELEVATIONS	05/08/2020	A
WD06	SECTION A-A	05/08/2020	A
WD07	FOOTINGS LAYOUT	05/08/2020	A
WD08	DRAINAGE PLAN	05/08/2020	A
WD09	FLOOR FRAMING PLAN	05/08/2020	A
WD10	LINTEL AND BRACING PLAN	05/08/2020	A
WD11	ROOF TIE DOWN DETAILS	05/08/2020	A
WD12	ELECTRICAL PLAN	05/08/2020	A
WD13	STRUCTURAL NOTES	05/08/2020	A
WD14	GENERAL NOTES	05/08/2020	A



1. ALL DESIGN, CONSTRUCTION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND CODES.  
2. NOTIFY DESIGNER OF ANY DISCREPANCIES ON THE PLANS, OTHERWISE WE ACCEPT NO LIABILITY.  
3. DO NOT SCALE FROM DRAWINGS.  
4. CONFIRM ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION OF ANY SHOP DRAWINGS.  
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**PROPOSED RESIDENCE**  
**LOT 6 McDOWALL LANE, DAINTREE RIVER**  
**RACHEL POLLARD AND AARON SWEENEY**



think

ABN: 24 346 833 179 - QBSA No. 707188 - Ph 0740 576 904

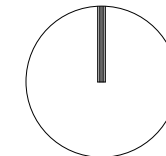
**DIMARCO DESIGNS**

No	DATE	DETAILS
A	05/08/2020	CONSULTANT ISSUE A

DRAWN BY:	<b>CD</b>
SCALE:	<b>N.T.S.</b>
START DATE:	<b>JUNE 2020</b>
REVISION DATE:	05/08/2020

JOB No:	<b>20038</b>	REV No:	<b>A</b>
SHEET No:	<b>WD01</b>		

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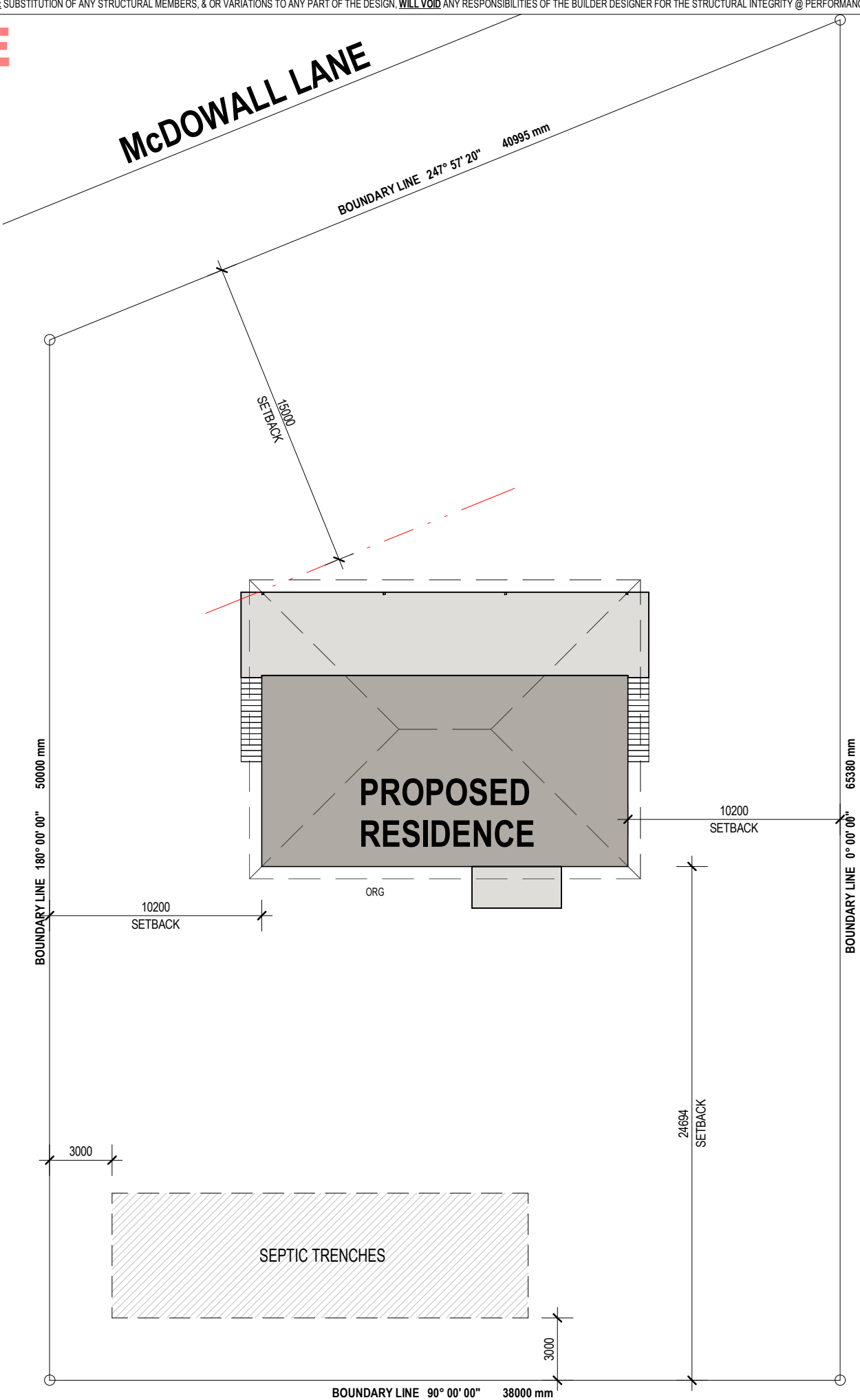
ALL PLANS ARE TO BE READ IN CONJUNCTION WITH THE  
CONSTRUCTION NOTES.

LOT NUMBER	LOT 6
PLAN NUMBER	RP888615
PARISH	WHYANBEEL
COUNTY	SOLANDER
SITE AREA	2192m2

METER BOX LOCATION TO BE DETERMINED BY ELECTRICIAN ON SITE (CLOSEST PRACTICAL LOCATION TO CONNECTION).

REFER DRAINAGE PLAN FOR HOUSE DRAINAGE LAYOUT

ALL CONSTRUCTED IS TO BE ABOVE Q-100 FLOOD LEVEL  
ACCORDING TO LOCAL AUTHORITY REQUIREMENTS.



SCALE 1 : 250

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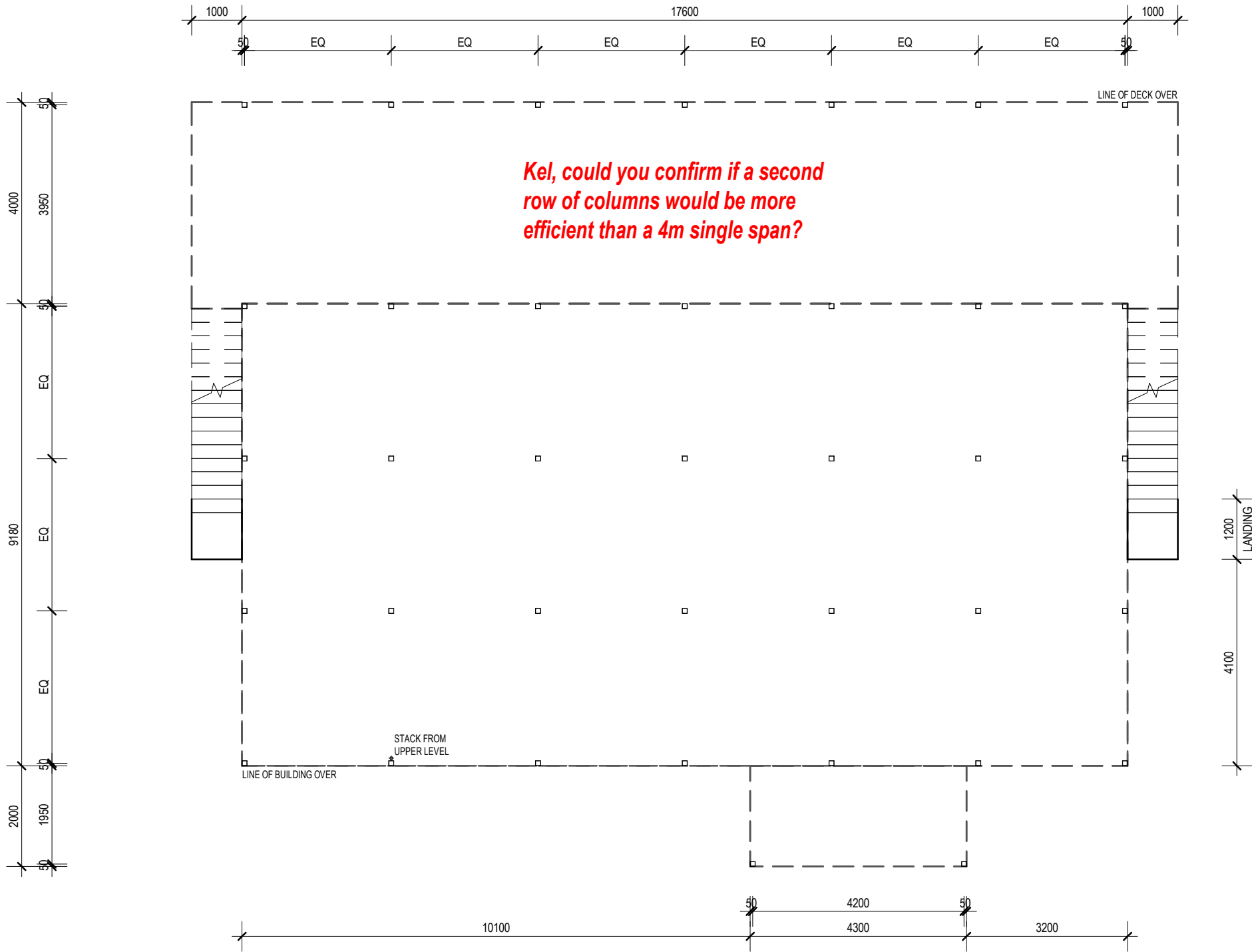
**PROPOSED RESIDENCE**  
**LOT 6 McDOWALL LANE, DAINTREE RIVER**  
**RACHEL POLLARD AND AARON SWEENEY**



No	DATE	DETAILS	DRAWN BY:	CD	JOB No:		
A	05/08/2020	CONSULTANT ISSUE A	SCALE:	1 : 250	20038		
			START DATE:	JUNE 2020		SHEET No:	REV No:
			REVISION DATE:	05/08/2020		WD02	A



# CONSULTANT ISSUE



**UNDERCROFT**  
SCALE 1 : 100

1. ALL DESIGN, CONSTRUCTION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND CODES.  
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**PROPOSED RESIDENCE**  
**LOT 6 McDOWALL LANE, DAINTREE RIVER**  
**RACHEL POLLARD AND AARON SWEENEY**



No	DATE	DETAILS
A	05/08/2020	CONSULTANT ISSUE A

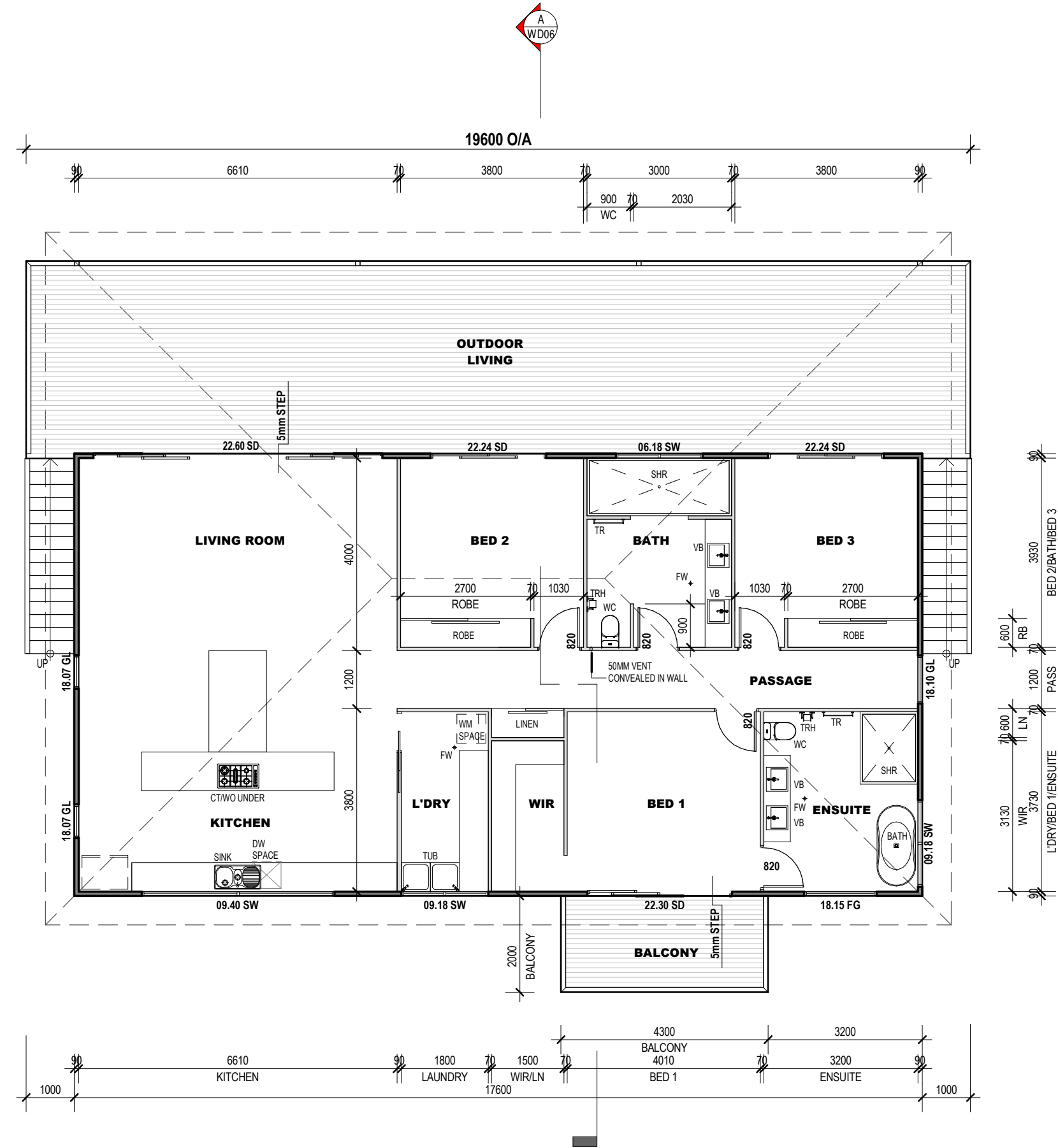
DRAWN BY:	<b>Author</b>
SCALE:	<b>1 : 100</b>
START DATE:	<b>JUNE 2020</b>
REVISION DATE:	05/08/2020

JOB No:	<b>20038</b>	REV No:	<b>A</b>
SHEET No:	<b>WD03</b>		

CONSULTANT ISSUE

GENERAL NOTES

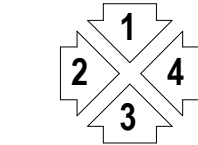
ALL PLANS ARE TO BE READ IN CONJUNCTION WITH THE CONSTRUCTION NOTES.



AREA SCHEDULE		
LEVEL	ROOM NAME	AREA
FLOOR PLAN	BALCONY	8.60 m²
FLOOR PLAN	DECK	78.40 m²
FLOOR PLAN	LIVING	161.57 m²
Grand total		248.57 m²

FLOOR PLAN

SCALE 1 : 100



ELEVATION KEY

1. ALL DESIGN, CONSTRUCTION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND CODES.  
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PROPOSED RESIDENCE  
LOT 6 McDOWALL LANE, DAINTREE RIVER  
RACHEL POLLARD AND AARON SWEENEY

think  
DIMARCO DESIGNS  
ABN: 24 346 833 179 - QBSA No. 707188 - Ph 0740 576 904

No	DATE	DETAILS
A	05/08/2020	CONSULTANT ISSUE A

DRAWN BY:	CD
SCALE:	1 : 100
START DATE:	JUNE 2020
REVISION DATE:	05/08/2020

JOB No:	20038	REV No:	A
SHEET No:	WD04		

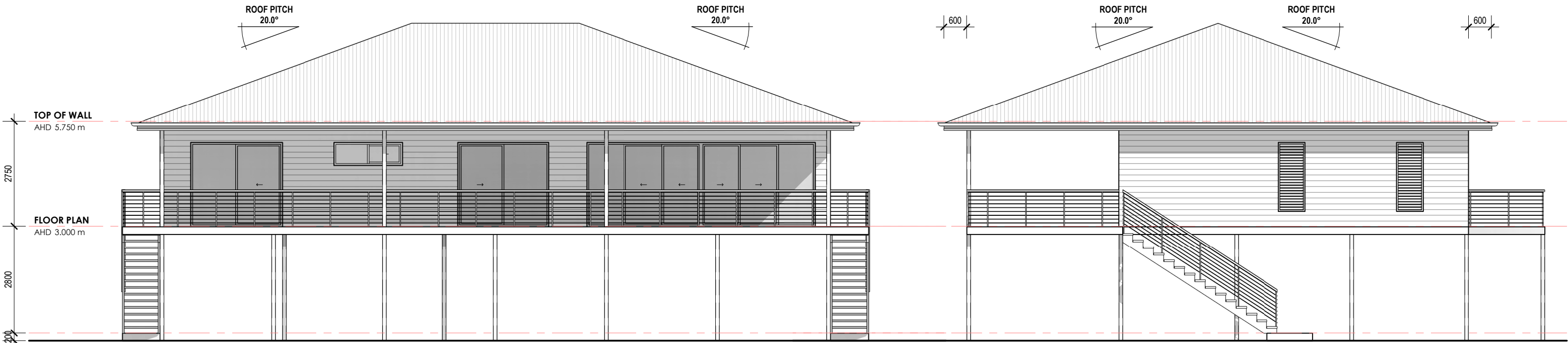


# CONSULTANT ISSUE

## GENERAL NOTES

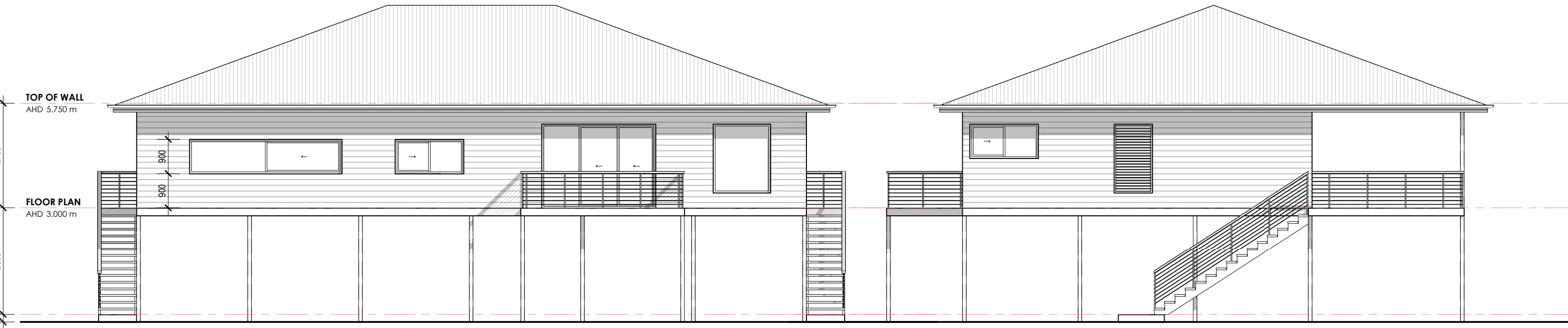
ALL PLANS ARE TO BE READ IN CONJUNCTION WITH THE CONSTRUCTION NOTES.

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**ELEVATION 1**  
SCALE 1 : 100

**ELEVATION 2**  
SCALE 1 : 100



**ELEVATION 3**  
SCALE 1 : 100

**ELEVATION 4**  
SCALE 1 : 100

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**PROPOSED RESIDENCE**  
**LOT 6 McDOWALL LANE, DAINTREE RIVER**  
**RACHEL POLLARD AND AARON SWEENEY**

ABN: 24 346 833 179 - QBSA No. 707188 - Ph 0740 576 904  
**DIMARCO DESIGNS**

No	DATE	DETAILS
A	05/08/2020	CONSULTANT ISSUE A

DRAWN BY:	<b>CD</b>
SCALE:	<b>1 : 100</b>
START DATE:	<b>JUNE 2020</b>
REVISION DATE:	05/08/2020

JOB No:	<b>20038</b>	REV No:	<b>A</b>
SHEET No:	<b>WD05</b>		

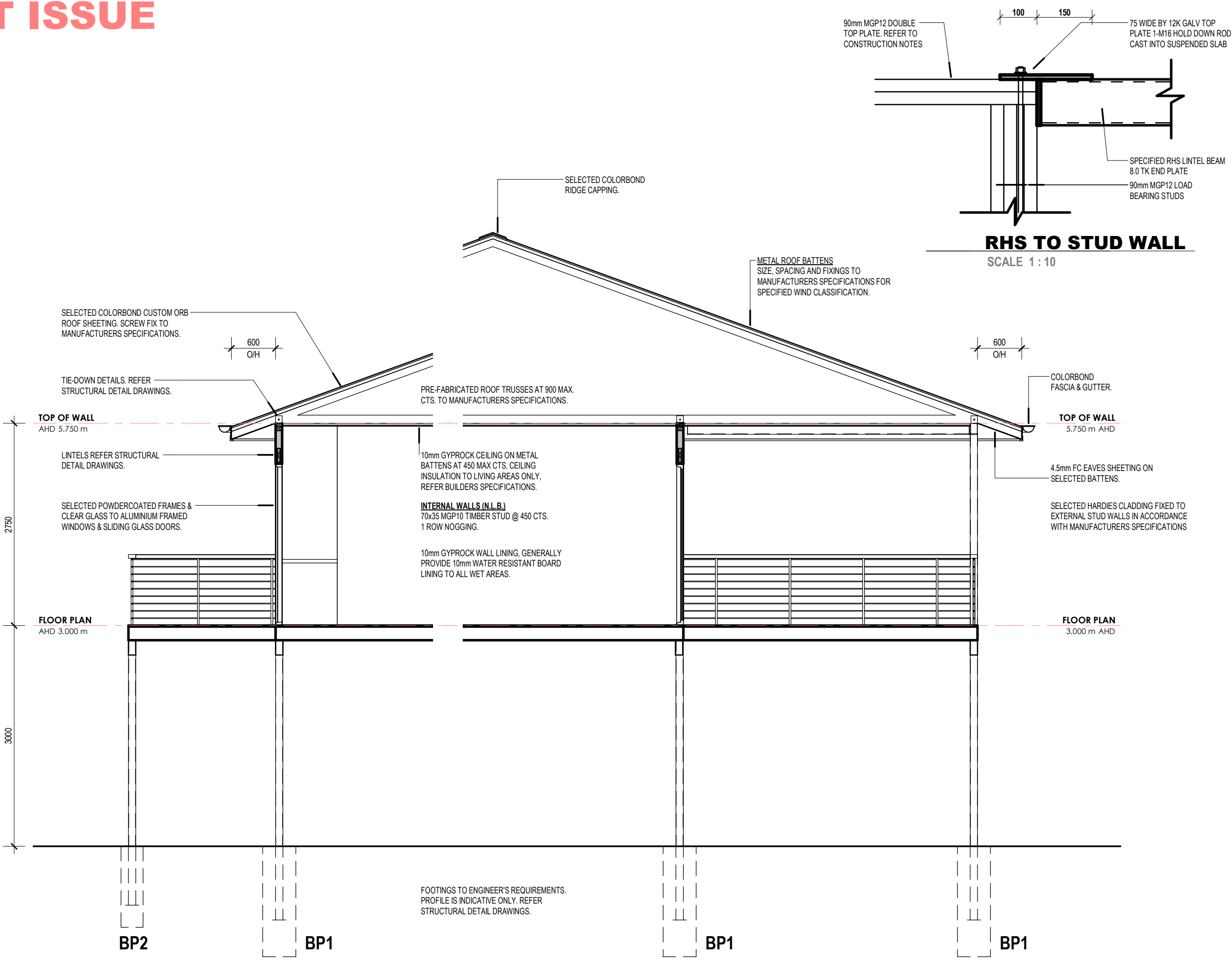
# CONSULTANT ISSUE

## GENERAL NOTES

ALL PLANS ARE TO BE READ IN CONJUNCTION WITH THE CONSTRUCTION NOTES.

## TERMITE CONTROL - AS3600.1

CONCRETE SLAB TO HAVE TERMITE RESISTANT MATERIALS USED TO ALL SLAB PENETRATIONS OR ALL STRUCTURAL TIMBER & TRUSSES TO BE TERMITE RESISTANT GRADE OR BE TREATED FOR TERMITE RESISTANCE (H2 INTERNAL, H3 EXTERNAL HAZARD LEVEL) IF CHEMICAL BARRIER USED ON GROUND NOTE LIFE EXPECTANCY KEEP GARDEN BEDS A MINIMUM OF 1 METRE AWAY FROM ALL EXTERNAL WALLS. 2 DURABLE NOTICES ARE TO BE INSTALLED IN PROMINENT LOCATIONS IN BUILDING e.g METER BOX & PANTRY STATING METHOD OF PROTECTION USED & DATE INSTALLED. ALL PRIMARY BUILDING ELEMENTS (SKIRTING, ARCHITRAVES, JAMBS, ETC) ARE TO BE PROTECTED AGAINST TERMITE INFESTATION IN ACCORDANCE WITH A.S 3600.1. OWNER IS TO VISUALLY INSPECT AROUND HOUSE FOR TERMITE ACTIVITY EVERY 12 MONTHS MINIMUM & TAKE PRECAUTIONS IF REQUIRED.



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**PROPOSED RESIDENCE**  
**LOT 6 McDOWALL LANE, DAINTREE RIVER**  
**RACHEL POLLARD AND AARON SWEENEY**



No	DATE	DETAILS
A	05/08/2020	CONSULTANT ISSUE A

DRAWN BY:	CD
SCALE:	AS SHOWN
START DATE:	JUNE 2020
REVISION DATE:	05/08/2020

JOB No:	20038	REV No:	A
SHEET No:	WD06		

# CONSULTANT ISSUE

## GENERAL NOTES

ALL PLANS ARE TO BE READ IN CONJUNCTION WITH THE CONSTRUCTION NOTES.

## SOIL REPORT DETAILS

UNDERTAKEN BY: THE DIRT PROFESSIONALS  
SOIL CLASSIFICATION: CLASS 'TBA'  
REPORT NO: JOB NO. TBA

## A/C CONDENSATE WASTE

ALL A/C CONDENSATE WASTES TO BE INSTALLED IN ALL WALLS WHERE POSSIBLE. OTHERWISE RUN IN SLAB.

## TERMITE CONTROL - AS3600.1

CONCRETE SLAB TO HAVE TERMITE RESISTANT MATERIALS USED TO ALL SLAB PENETRATIONS OR ALL STRUCTURAL TIMBER & TRUSSES TO BE TERMITE RESISTANT GRADE OR BE TREATED FOR TERMITE RESISTANCE (H2 INTERNAL, H3 EXTERNAL HAZARD LEVEL) IF CHEMICAL BARRIER USED ON GROUND NOTE LIFE EXPECTANCY KEEP GARDEN BEDS A MINIMUM OF 1 METRE AWAY FROM ALL EXTERNAL WALLS. 2 DURABLE NOTICES ARE TO BE INSTALLED IN PROMINENT LOCATIONS IN BUILDING e.g METER BOX & PANTRY STATING METHOD OF PROTECTION USED & DATE INSTALLED. ALL PRIMARY BUILDING ELEMENTS (SKIRTING, ARCHITRAVES, JAMBS, ETC) ARE TO BE PROTECTED AGAINST TERMITE INFESTATION IN ACCORDANCE WITH A.S 3600.1. OWNER IS TO VISUALLY INSPECT AROUND HOUSE FOR TERMITE ACTIVITY EVERY 12 MONTHS MINIMUM & TAKE PRECAUTIONS IF REQUIRED.

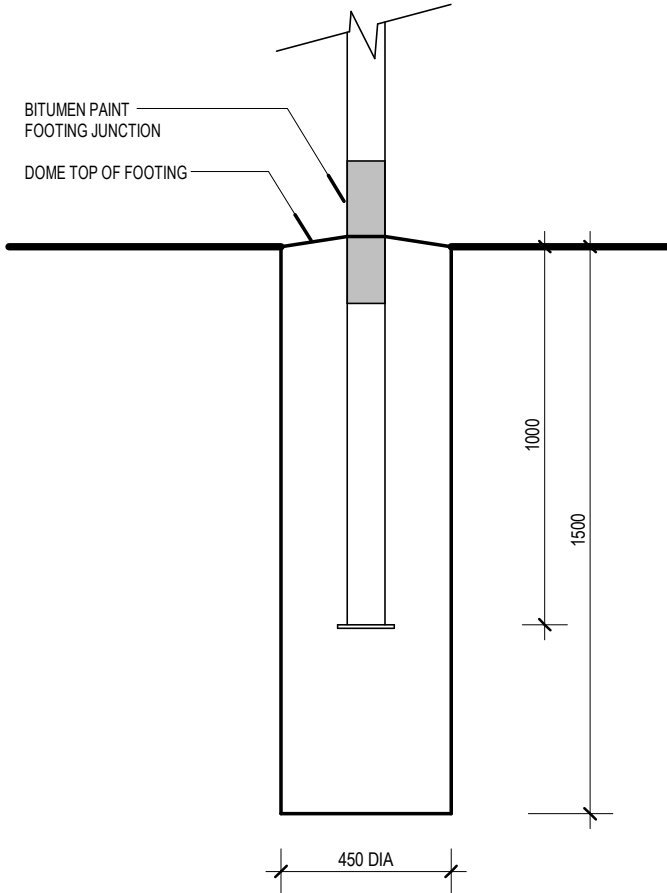
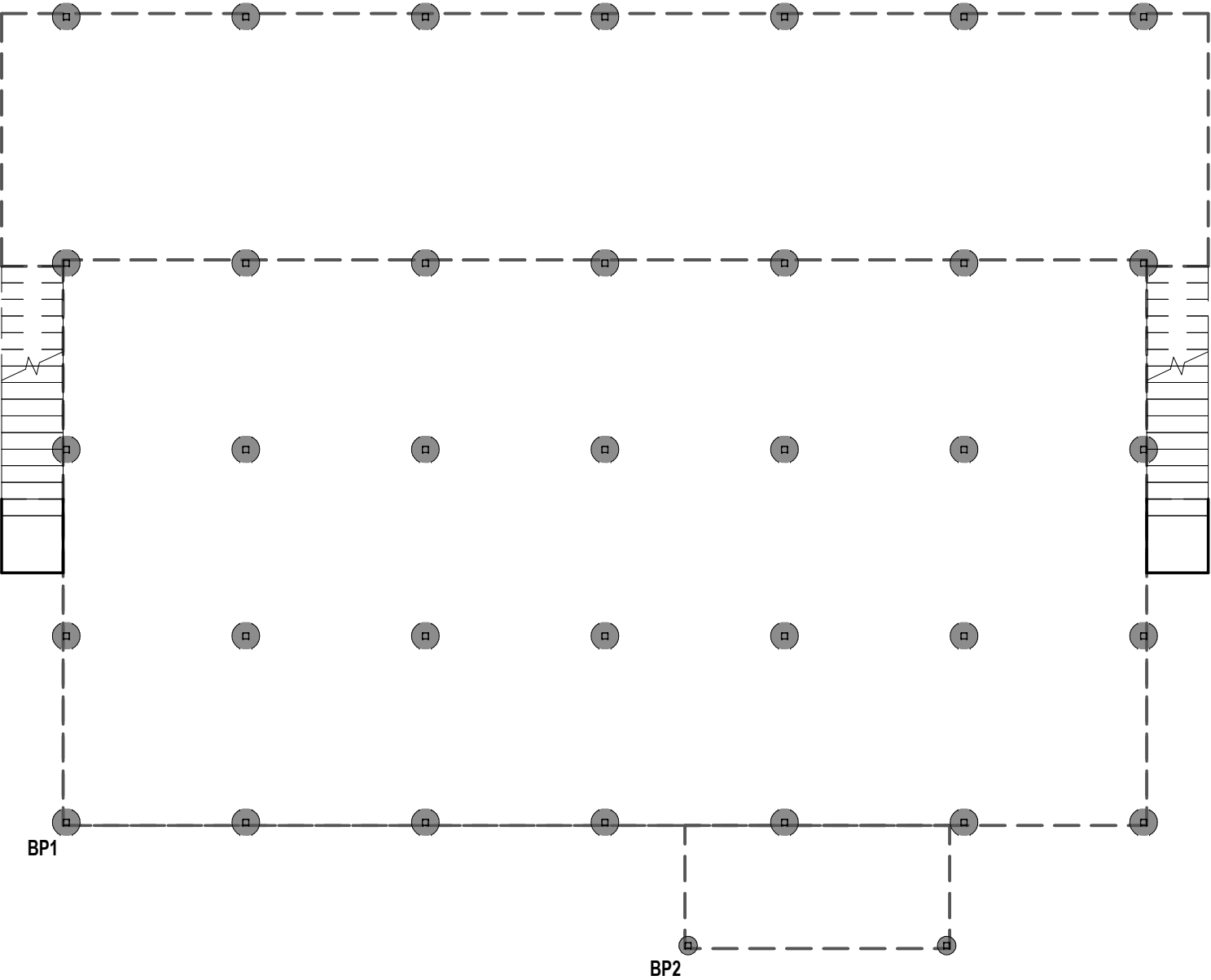
## SOIL CLASSIFICATION - CLASS 'S'

## WIND PRESSURES FOR WIND CLASSIFICATION - 'C2'

	GENERAL AREAS	a	a/2
SERVICEABILITY WIND PRESSURE	0.96 KPa	1.27 KPa	1.59 KPa
ULTIMATE WIND PRESSURE	2.23 KPa	3.06 KPa	3.68 KPa

## FOOTINGS LAYOUT

SCALE 1 : 100



BP1

SCALE 1 : 20

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PROPOSED RESIDENCE  
LOT 6 McDOWALL LANE, DAINTREE RIVER  
RACHEL POLLARD AND AARON SWEENEY



No	DATE	DETAILS
A	05/08/2020	CONSULTANT ISSUE A

DRAWN BY:	CD
SCALE:	AS SHOWN
START DATE:	JUNE 2020
REVISION DATE:	05/08/2020

JOB No:	20038	REV No:	A
SHEET No:	WD07		

CONSULTANT ISSUE

PLUMBING NOTES

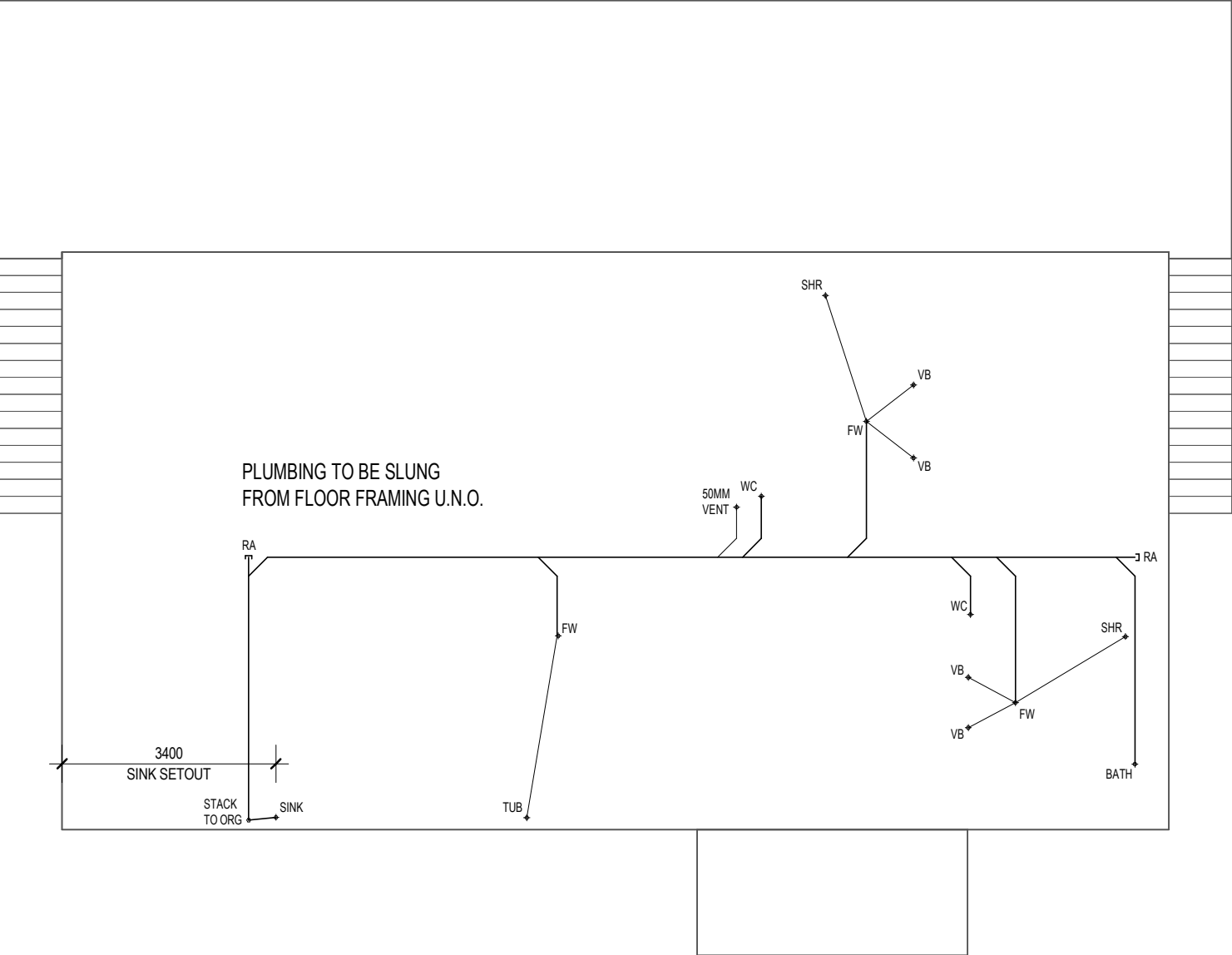
- A. PLUMBING AND DRAINAGE INSTALLATION TO COMPLY WITH THE PLUMBING AND DRAINAGE ACT 2002 (PDA) AND THE STANDARD PLUMBING AND DRAINAGE REGULATION 2003 (SPDR)
- B. ALL DRAINAGE SHALL BE 100mm DIA uPVC RUN AT A MINIMUM GRADE OF 1.65% (1:60) U.N.O.
- C. ALL VENT PIPES TO TERMINATE IN ACCORDANCE WITH AS 3500 2.2 SECTION 6.7.4
- D. ALL IO'S UNDER CONCRETE TO BE TAKEN TO SURFACE LEVEL AND FITTED WITH APPROVED SCREW CAP.
- E. ALL FLOOR WASTES TO HAVE 100mm DIA RISERS AND REMOVABLE SCREW GRATES
- F. WHERE PVC PIPES PENETRATE OR ARE BUILT INTO WALLS OR SLABS THE PIPES SHALL BE LAGGED WITH APPROVED MATERIAL IN ACCORDANCE WITH AUSTRALIAN STANDARDS.
- G. MAXIMUM DISTANCE OF UNVENTED BRANCH DRAIN IS 10.0m TO FIXTURES, ORG'S OR DG'S.
- H. MATERIALS, DRAINAGE, SOIL, WASTE AND VENT PIPES AND FITTINGS TO BE UPVC CLASS DWV TO AS 1260
- I. ALL WC'S TO BE SCREW FIXED TO FLOOR WITH NYLON PLUGS AND NON CORROSIVE METAL FASTENERS.
- J. ALL DISCHARGE PIPES RECEIVING CONDENSATE WASTE, INCLUDING TRAPS SHALL BE INSULATED.
- K. ALL PIPES LAID UNDER SLAB TO BE MINIMUM DEPTH OF 400mm TO INVERT LEVEL AND SHALL BE INSULATED.

PLUMBING FIXTURE LEGEND

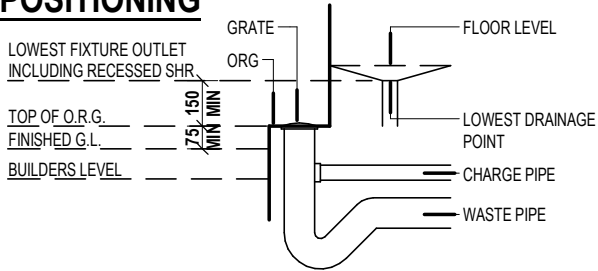
- SK SINK
- VB VANITY BASIN
- SHR SHOWER
- BTH BATH
- WC WATER CLOSET SUITE
- TUB LAUNDRY TUB
- FWG FLOOR WASTE GULLY
- DFW DRY FLOOR WASTE
- FF FROG FLAP
- IO INSPECTION OPENING
- IOS INSPECTION OPENING (SURFACE)
- IJ INSPECTION JUNCTION
- IS INSPECTION SHAFT
- IP INSPECTION PIPE
- CO CLEAN OUT
- SVP 50Dia SOIL VENT PIPE
- ORG OVERFLOW RELIEF GULLY
- DG DISCONNECTOR GULLY
- GIT GREASE INTERCEPTOR TRAP

MINIMUM PIPE SIZE IN SLAB

- |                  |   |       |
|------------------|---|-------|
| WC (GND FLOOR)   | > | 100mm |
| WC (OTHER LEVEL) | > | 100mm |
| URINAL           | > | 65mm  |
| SINK             | > | 65mm  |
| BATH (TRAPPED)   | > | 65mm  |
| BASIN            | > | 40mm  |
| SHR (UNTRAPPED)  | > | 50mm  |
| (TRAPPED)        | > | 65mm  |
| TUBS             | > | 65mm  |
| SPA (TRAPPED)    | > | 65mm  |



OVERFLOW RELIEF GULLY POSITIONING



DRAINAGE PLAN

SCALE 1 : 100

PROPOSED RESIDENCE  
LOT 6 McDOWALL LANE, DAINTREE RIVER  
RACHEL POLLARD AND AARON SWEENEY

think

ABN: 24 346 833 179 - QBSA No. 707188 - Ph 0740 576 904

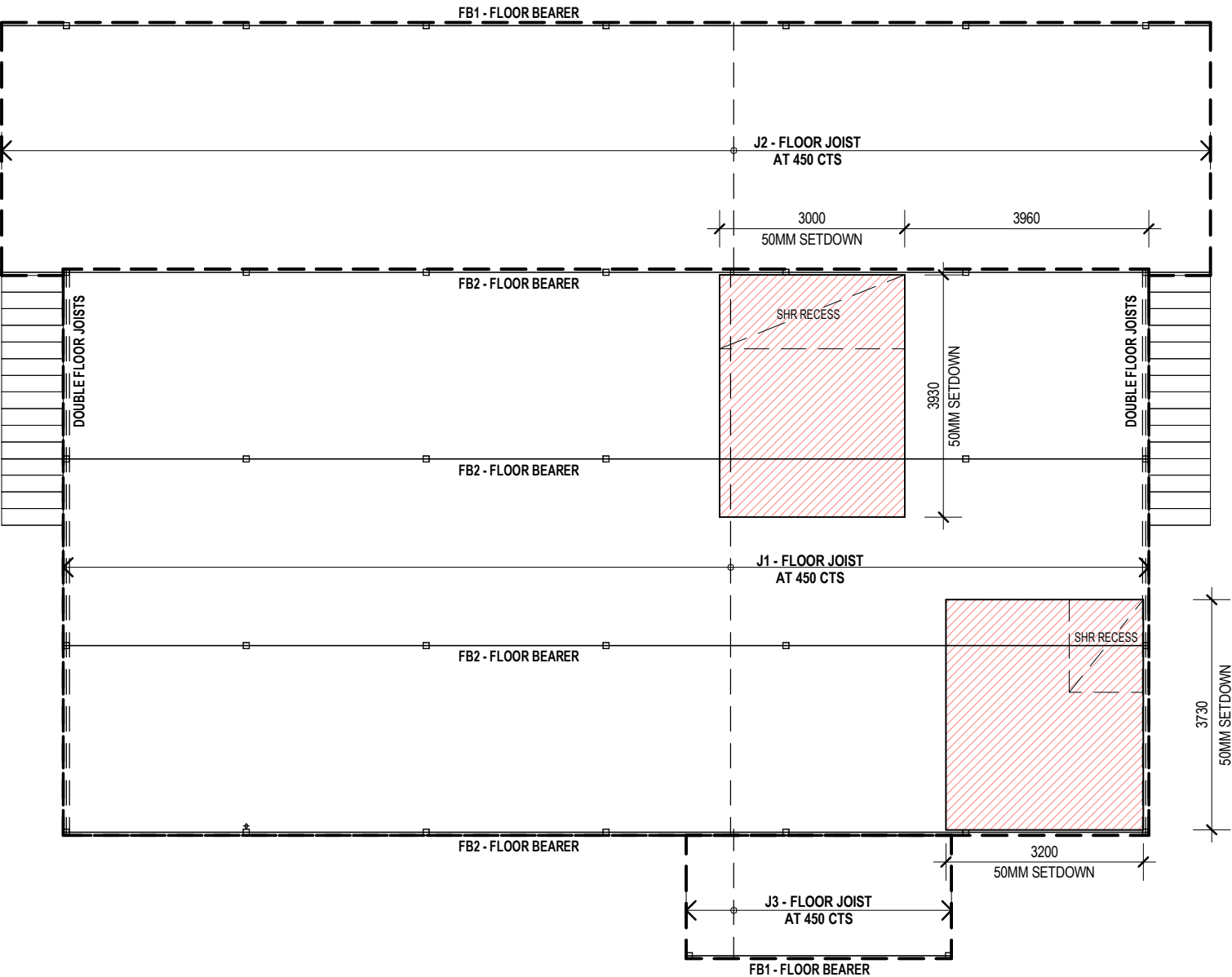
DIMARCO DESIGNS

No	DATE	DETAILS	DRAWN BY:	CD	JOB No:
A	05/08/2020	CONSULTANT ISSUE A			
			SCALE:	AS SHOWN	20038
			START DATE:	JUNE 2020	SHEET No: WD08
			REVISION DATE:	05/08/2020	REV No: A

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C1	100x4 SHS COLUMNS
FB1	150x100x4 RHS FLOOR BEARER
FB2	150x100x5 RHS FLOOR BEARER
J1	175x50 F14 HWD FLOOR JOISTS
J2	125x50 F14 HWD FLOOR JOISTS
PP1	175x50 F14 HWD POLE PLATE
PP2	125x50 F14 HWD POLE PLATE



SCALE 1 : 100

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**PROPOSED RESIDENCE**  
**LOT 6 McDOWALL LANE, DAINTREE RIVER**  
**RACHEL POLLARD AND AARON SWEENEY**



No	DATE	DETAILS	DRAWN BY:	CD	JOB No:		
A	05/08/2020	CONSULTANT ISSUE A	SCALE:	1 : 100	20038		
			START DATE:	JUNE 2020		SHEET No:	REV No:
			REVISION DATE:	05/08/2020	WD09	A	

# CONSULTANT ISSUE

## GENERAL NOTES

ALL PLANS ARE TO BE READ IN CONJUNCTION WITH THE CONSTRUCTION NOTES.

## EXTERNAL TIMBER WALL AND INTERNAL LOAD BEARING WALL FRAMING NOTES

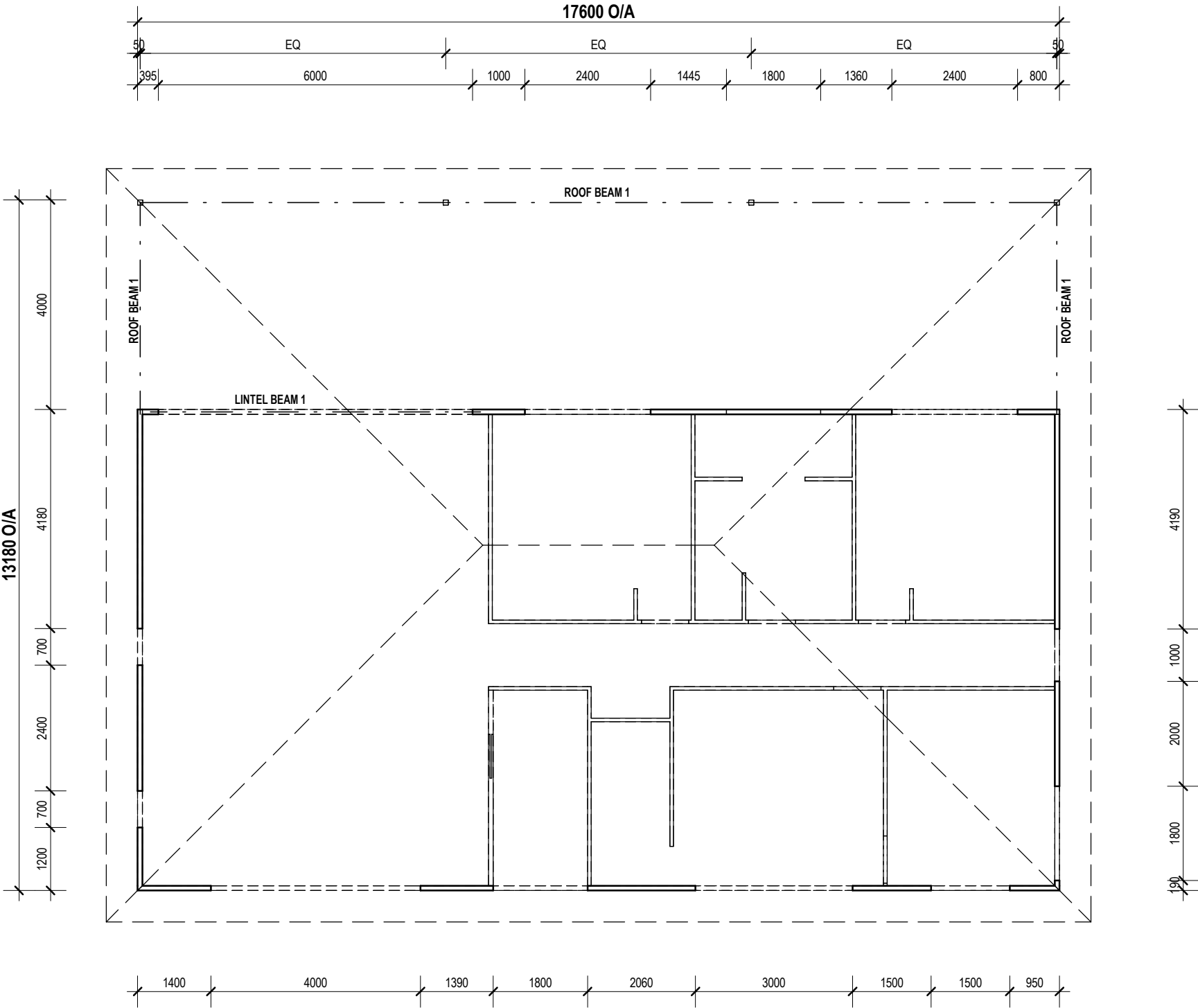
- STUDS:**  
90x35 MGP12 AT 450 CTS. FOR HT ≤ 3000  
90x35 MGP12 AT 300 CTS. FOR 3000 > HT ≤ 3300  
NOGGING AT 1350 CTS MAX.
- TOP PLATE - 2/35x90 MGP12.
- BTM PLATE - 35x90 MGP12 ON CONCRETE FLOOR.  
BTM PLATE - 45x90 MGP12 ON TIMBER FLOOR.
- PROVIDE M12 GALVANISED CYCLONE RODS AT ENDS, CORNERS, EACH SIDE OF OPENINGS AND 900 CTS MAX. BETWEEN. PROVIDE 2-M12 CYCLONE RODS AT GIRDER TRUSS
- STUDS EACH SIDE OF OPENINGS - No. STUDS EACH

OPENING WIDTH	SIDE OF OPENING
900	1
1200 - 2100	2
2400 - 3000	3
3300 - 4000	4

- LINTELS:**  
UNLESS NOTED OTHERWISE LINTEL SIZES TO BE -

SPAN	(LVL)	SPAN	SIZE (F14)
900	- 95x63	900	- 75x75
1200	- 2/95x45	1200	- 100x75
1500	- 2/130x45	1500	- 125x75
1800	- 2/150x45	1800	- 150x75
2100	- 170x45	2100	- 175x75
2400	- 200x45	2400	- 200x75
2700	- 240x45	2700	- 225x75
3000	- 240x63	3000	- 250x75
3300	- 240x63	3300	- 250x75
3600	- 240x63	3600	- 275x75
4000	- 300x63	4000	- 300x75

- BRACING:**  
**PLY**  
DENOTES STRUCTURAL PLYWOOD BRACING WALLS. THICKNESS AND FIXINGS TO BE IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATION AND AS1684.3 FOR 6.4kN/m RACKING RESISTANCE. U.N.O. PROVIDE M12 CYCLONE RODS AT EACH END OF BRACING WALL AND 1800 CTS MAX. BETWEEN. PROVIDE ANTI-RACKING CLEATS TO TOP OF BRACING WALLS IN ACCORDANCE WITH AS1684.3 RESIDENTIAL TIMBER - FRAMING CONSTRUCTION - CYCLONIC.



## LINTEL AND BRACING PLAN

SCALE 1 : 100

**PROPOSED RESIDENCE**  
**LOT 6 McDOWALL LANE, DAINTREE RIVER**  
**RACHEL POLLARD AND AARON SWEENEY**



No	DATE	DETAILS	DRAWN BY:	CD	JOB No:
A	05/08/2020	CONSULTANT ISSUE A			
			SCALE:	1 : 100	20038
			START DATE:	JUNE 2020	SHEET No:
			REVISION DATE:	05/08/2020	WD10
					REV No:
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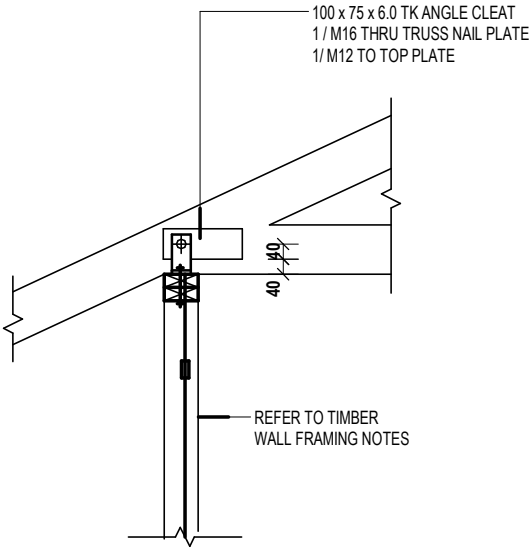


# CONSULTANT ISSUE

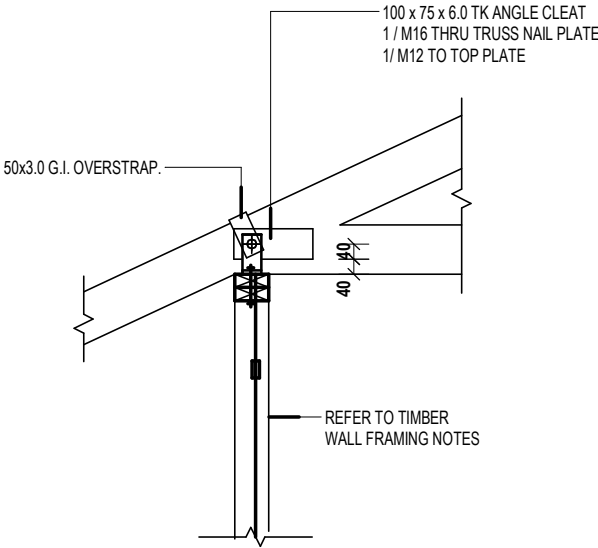
## GENERAL NOTES

ALL PLANS ARE TO BE READ IN CONJUNCTION WITH THE CONSTRUCTION NOTES.

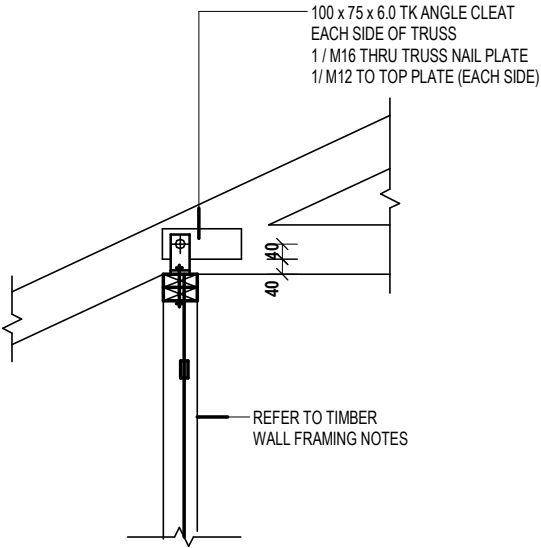
PLEASE NOTE: SUBSTITUTION OF ANY STRUCTURAL MEMBERS, & OR VARIATIONS TO ANY PART OF THE DESIGN, WILL VOID ANY RESPONSIBILITIES OF THE BUILDER DESIGNER FOR THE STRUCTURAL INTEGRITY @ PERFORMANCE OF THE BUILDING



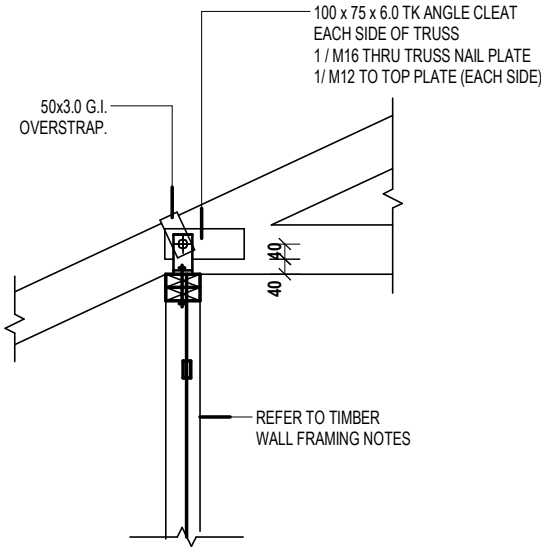
TD1 DETAIL  
SCALE 1 : 20



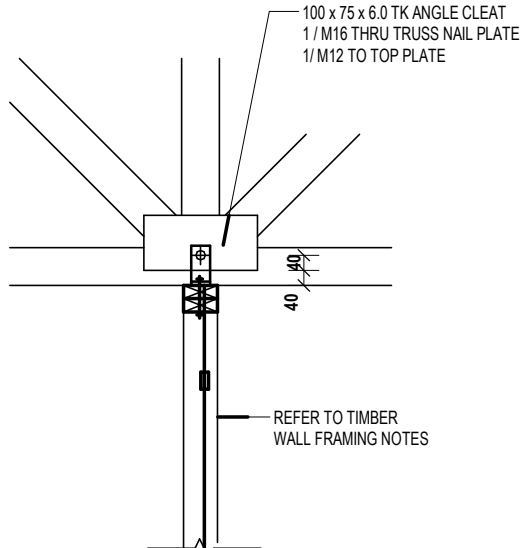
TD2 DETAIL  
SCALE 1 : 20



TD3 DETAIL  
SCALE 1 : 20



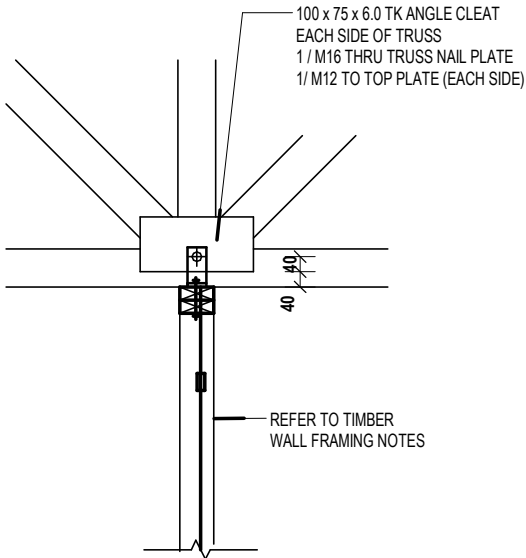
TD4 DETAIL  
SCALE 1 : 20



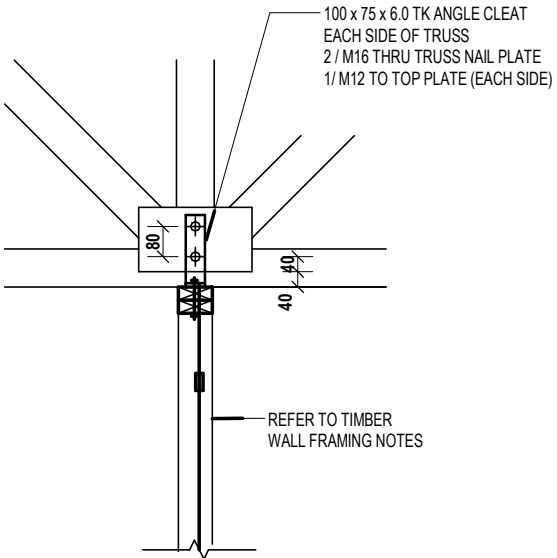
TD5 DETAIL  
SCALE 1 : 20

UPLIFT RESISTANCE kN (ULTIMATE LIMIT STATE)						
TRUSS JOINT GROUP						
TYPE	J2	J3	J4	JD4	JD5	JD6
TD1	20	15	10	16	11	8
TD2	35	25	16	23	18	15
TD3	49	44	28	44	36	28
TD4	76	54	34	54	43	34
TD5	20	15	10	16	11	8
TD6	49	44	28	44	36	28
TD7	93	84	53	84	68	53
TD8	128	115	73	115	94	73

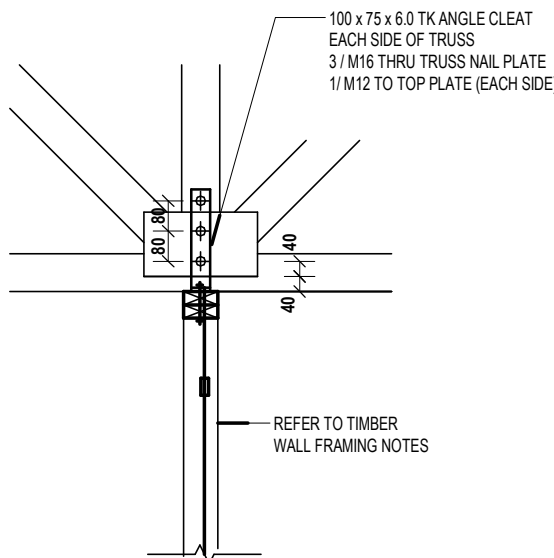
**NOTE:**  
PROVIDE 2-N12 (MIN.) VERTICAL REINFORCING BARS ADJACENT TO CLEATS WITH TIE-DOWN LOADS GREATER THAN 80kN.



TD6 DETAIL  
SCALE 1 : 20



TD7 DETAIL  
SCALE 1 : 20



TD8 DETAIL  
SCALE 1 : 20

**PROPOSED RESIDENCE**  
**LOT 6 McDOWALL LANE, DAINTREE RIVER**  
**RACHEL POLLARD AND AARON SWEENEY**



No	DATE	DETAILS
A	05/08/2020	CONSULTANT ISSUE A

DRAWN BY:	CD
SCALE:	1 : 20
START DATE:	JUNE 2020
REVISION DATE:	05/08/2020

JOB No:	20038	REV No:	A
SHEET No:	WD11		

# CONSULTANT ISSUE

## GENERAL NOTES

ALL PLANS ARE TO BE READ IN CONJUNCTION WITH THE CONSTRUCTION NOTES.


















## ELECTRICAL NOTES

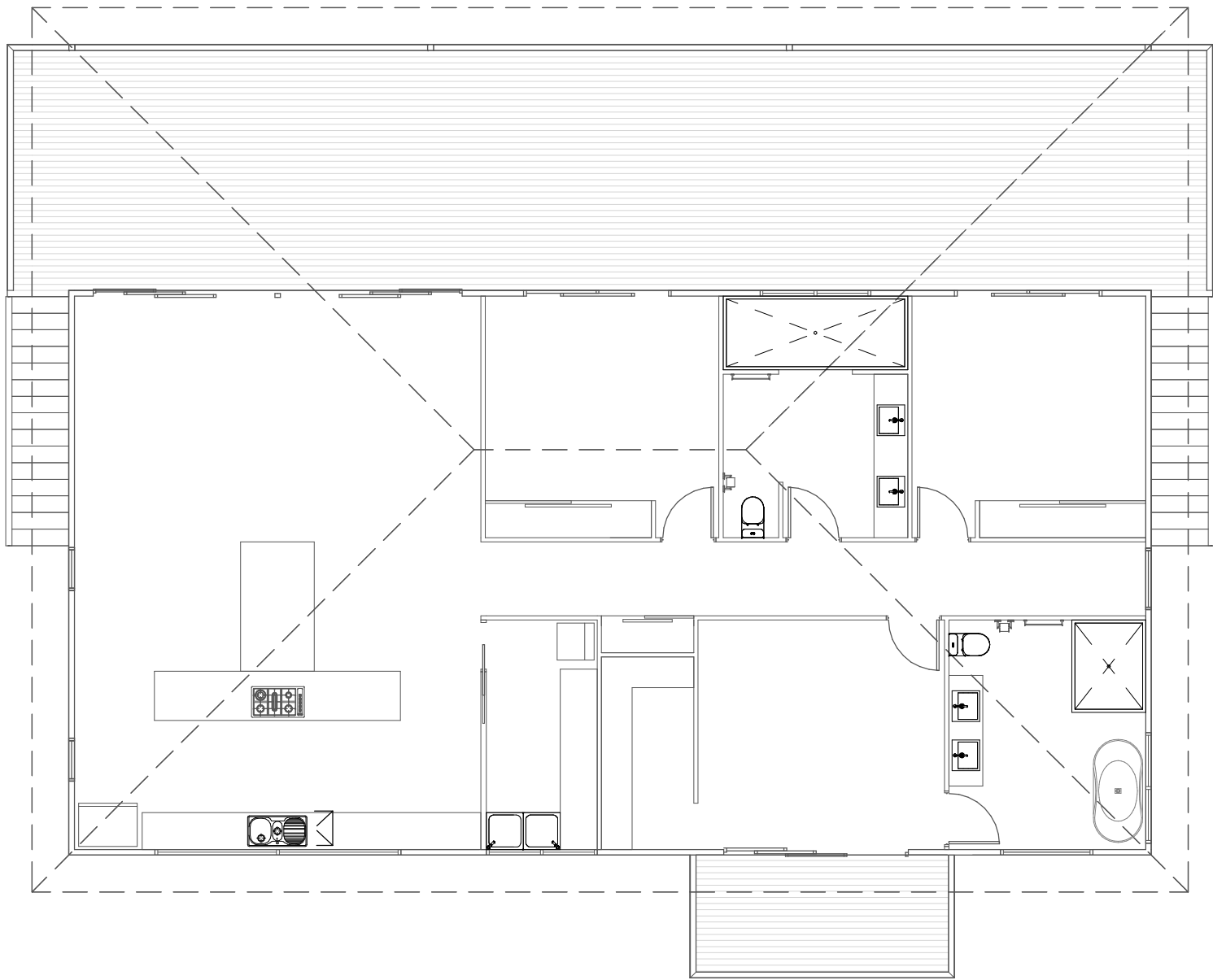
METER BOX LOCATION TO BE DETERMINED BY ELECTRICIAN ON SITE (CLOSEST PRACTICAL LOCATION TO CONNECTION).

## ENERGY EFFICIENT LIGHTING

COMPLIANCE WITH THE QUEENSLAND DEVELOPMENT CODE MP-4.1 FOR LIGHTING. ENERGY EFFICIENT LIGHTING IS TO BE UTILISED FOR **80%** OF ALL LIGHT FITTINGS OF THE INTERNAL FLOOR SPACE.

## ELECTRICAL & LIGHTING LEGEND

LIGHTING ITEMS	
	CEILING LIGHT
	DOWN LIGHT
	WALL LIGHTS
	DOUBLE FLUORESCENT
	ROUND FLUORESCENT
	SENSOR LIGHT
	SENSOR LIGHT (DOUBLE)
POWER ITEMS	
	SINGLE GPO
	DOUBLE GPO
	SINGLE GPO (WATERPROOF)
	DOUBLE GPO (WATERPROOF)
	TELEVISION POINT
	PHONE POINT
MISCELLANEOUS ITEMS	
	CEILING FAN
	CEILING FAN WITH LIGHT
	EXHAUST FAN
	SMOKE DETECTOR



## ELECTRICAL PLAN

SCALE 1 : 100

1. ALL DESIGN, CONSTRUCTION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND CODES.  
2. NOTIFY DESIGNER OF ANY DISCREPANCIES ON THE PLANS, OTHERWISE WE ACCEPT NO LIABILITY.  
3. DO NOT SCALE FROM DRAWINGS.  
4. CONFIRM ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION OF ANY SHOP DRAWINGS.

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**PROPOSED RESIDENCE**  
**LOT 6 McDOWALL LANE, DAINTREE RIVER**  
**RACHEL POLLARD AND AARON SWEENEY**

  
ABN: 24 346 833 179 - QBSA No. 707188 - Ph 0740 576 904  
**DIMARCO DESIGNS**

No	DATE	DETAILS	DRAWN BY:	CD	JOB No:
A	05/08/2020	CONSULTANT ISSUE A			
			SCALE:	<b>1 : 100</b>	<b>20038</b>
			START DATE:	<b>JUNE 2020</b>	SHEET No:
			REVISION DATE:	05/08/2020	<b>WD12</b>
					REV No:
					<b>A</b>



# CONSULTANT ISSUE

## DESIGN LOADS

1. THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE FOLLOWING LOADING CODES:  
AS 1170.1 - DEAD & LIVE LOADS & LOAD COMBINATIONS.  
LIVE LOAD - UNITS - GENERAL. = 1.5kPa.  
LIVE LOAD - STAIRS, BALCONIES & CORRIDORS. = 3.0kPa.

## CONCRETE

1. ALL CONCRETE					
ELEMENT	CONC. GRADE.	SLUMP AGG.	MAX. SIZE TYPE	C'MENT	ADMIXTURE
GROUND LEVEL FOUNDATION SLABS	N25	80	20	GP	-
SUSPENDED SLABS	INTERNAL N32 EXTERNAL N40	80	20	GP	-
CORE FILL	S20	250	10	GP	-

WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF AS 3600 AND AS 1379, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.  
2. CONCRETE QUALITY: CONCRETE GRADE TO BE CONCRETE CHARACTERISTIC STRENGTH (f<sub>c</sub>) AT 28 DAYS. METHOD OF PLACEMENT - PUMPED TYPE OF ASSESSMENT - PROJECT.  
3. ALL CONCRETE TO BE ADEQUATELY VIBRATED.  
4. NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE MEMBERS WITHOUT THE PRIOR APPROVAL OF THE ENGINEER. PIPES OR ELECTRICAL CONDUITS SHALL NOT BE PLACED WITHIN THE CONCRETE COVER TO REINFORCEMENT WITHOUT THE APPROVAL OF THE ENGINEER. THE CONCRETE COVER TO EMBEDDED PIPES OR CONDUITS SHALL BE A MIN OF 20mm.  
5. CONSTRUCTION JOINTS SHALL BE MADE ONLY WHERE SHOWN ON THE DRAWINGS OR WHERE APPROVED BY THE ENGINEER.  
6. BEAM DEPTHS ARE DESIGNATED FIRST AND INCLUDE SLAB THICKNESS, IF ANY.  
7. UNDERPINNING WHERE NOT SHOWN ON DRAWINGS MUST BE APPROVED BY THE ENGINEER. FOR UNDERPINNING ONLY, f<sub>c</sub> = 15MPa.  
8. ALL CONCRETE SURFACES SHALL BE CURED BY AN APPROVED METHOD FOR SEVEN DAYS IMMEDIATELY AFTER THE CONCRETE IS SET.  
9. ALL FORMWORK AND PROPPING TO SUSPENDED SLABS AND BEAMS SHALL REMAIN IN POSITION FOR 14 DAYS AFTER PLACING CONCRETE UNLESS SPECIFIED OTHERWISE. SUCH FLOOR SHALL REMAIN UNLOADED FOR 28 DAYS.  
10. FLOOR SLABS ON GROUND : ALL TOP SOIL AND UPPER STRATA CONTAINING ORGANIC MATTER IS TO BE REMOVED AND REPLACED BY AN APPROVED FILLING MATERIAL COMPACTED AS FOLLOWS:- COHESIONLESS SOILS - MINIMUM DENSITY INDEX = 85% COHESIVE SOILS - ( MAX P.I. = 15%) = 98% STANDARD COMPACTION.  
11. BUILDER TO PROVIDE MORTAR UNDER STEEL COLUMNS, BASEPLATES AS SPECIFIED.  
12. ALL REINFORCEMENT TO COMPLY WITH THE CURRENT EDITIONS OF AS 1302, AS 1303, AS 1304 AND SHALL BE DESIGNATED THUS : N DEFORMED BARS GRADE 500 PLUS Y HOT ROLLED DEFORMED BARS GRADE 400Y R PLAIN ROUND BARS GRADE 250R F WELDED WIRE FABRIC GRADE 450F W STEEL WIRE, PLAIN AND DEFORMED. GRADE 450W ALL FABRIC SHALL BE SUPPLIED IN FLAT SHEETS.  
13. WELDING OF THE REINFORCEMENT ISN'T PERMITTED UNLESS SHOWN.

## RETAINING STRUCTURES

1. DO NOT BACKFILL RETAINING WALLS UNTIL 21 DAYS AFTER CONCRETE HAS BEEN PLACED IN THE WALLS OF THE RETAINING STRUCTURES UNLESS NOTED OTHERWISE.  
2. THE BACKFILL MATERIAL BEHIND THE FULL LENGTH OF THE EARTH RETAINING WALLS SHALL CONSIST OF A COARSE GRAINED SOIL OF HIGH PERMEABILITY (ie CLEAN COURSE SAND OR GRAVEL) TO A MAX WIDTH OF 300mm FOR THE FULL RETAINING HEIGHT.

## TIMBER

1. ALL WORK SHALL COMPLY WITH THE RELEVANT BUILDING ACT AND ALL CODES REFERRED TO THEREIN.  
2. ALL STRUCTURAL TIMBER SHALL BE GRADE F14 UNSEASONED, UNLESS NOTED OTHERWISE.  
3. THE DESIGN, ERECTION AND BRACING OF PREFABRICATED ROOF TRUSSES SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS REQUIREMENTS. UNLESS NOTED OTHERWISE.  
4. ALL FRAMING AND CONNECTION DETAILS SHALL BE IN ACCORDANCE WITH - AS1684.3 RESIDENTIAL TIMBER - FRAMED CONSTRUCTION - CYCLONIC.

## WATERPROOFING

1. ANY EXPOSED STRUCTURAL TIMBER WHICH HAS ANY AREA IN CONTACT WITH ANOTHER MATERIAL AND WHICH WILL BE INACCESSIBLE AFTER FIXING IS TO BE GIVEN A COAT OF PRIMER BEFORE FIXING  
2. PROVIDE APPROVED WATERPROOFING MEMBRANE TO ALL WET AREA FLOORS & TILED WALLS & TOP OF ALL EXTERNAL SUSPENDED SLAB FLOORS IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & A.S. 3740.  
3. PROVIDE APPROVED WATERPROOFING MEMBRANE TO ALL FLOOR SLABS & FOUNDATION / RETAINING WALLS IN CONTACT WITH GROUND & APPLY STRICTLY IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

## LOAD BEARING MASONRY

1. ALL LOAD BEARING MASONRY WORK SHALL BE EXECUTED IN ACCORDANCE WITH THE CURRENT EDITION OF AS 3700, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.  
2. BUILDER TO ALLOW CLEAN OUT OPENINGS AT THE BASE COURSE OF ALL REINFORCED CONCRETE MASONRY WALLS OR AS INDICATED AND ALL CORES TO BE RAKED CLEAN BEFORE FILLING WITH GROUT.  
3. GROUT MIX TO FILL CAVITY OR REINFORCED CONCRETE MASONRY WALLS TO HAVE A MINIMUM CHARACTERISTIC COMPRESSION STRENGTH OF 20 MPa(f<sub>c</sub>), MAXIMUM SLUMP 250mm AND MAXIMUM AGGREGATE SIZE 10mm.  
4. UN-REINFORCED CONCRETE MASONRY AND BRICKWORK SUPPORTING SLABS AND BEAMS SHALL HAVE A LAYER OF MORTAR PLACED ON TOP AND TROWELLED SMOOTH WITH TWO LAYERS OF BITUMINOUS FELT BETWEEN THIS SURFACE AND THE CONCRETE.  
5. MORTAR CLASSIFICATION- M4.  
6. MINIMUM CHARACTERISTIC UNCONFINED COMPRESSION STRENGTH OF MASONRY UNITS SHALL BE 15MPa.

## FOUNDATIONS

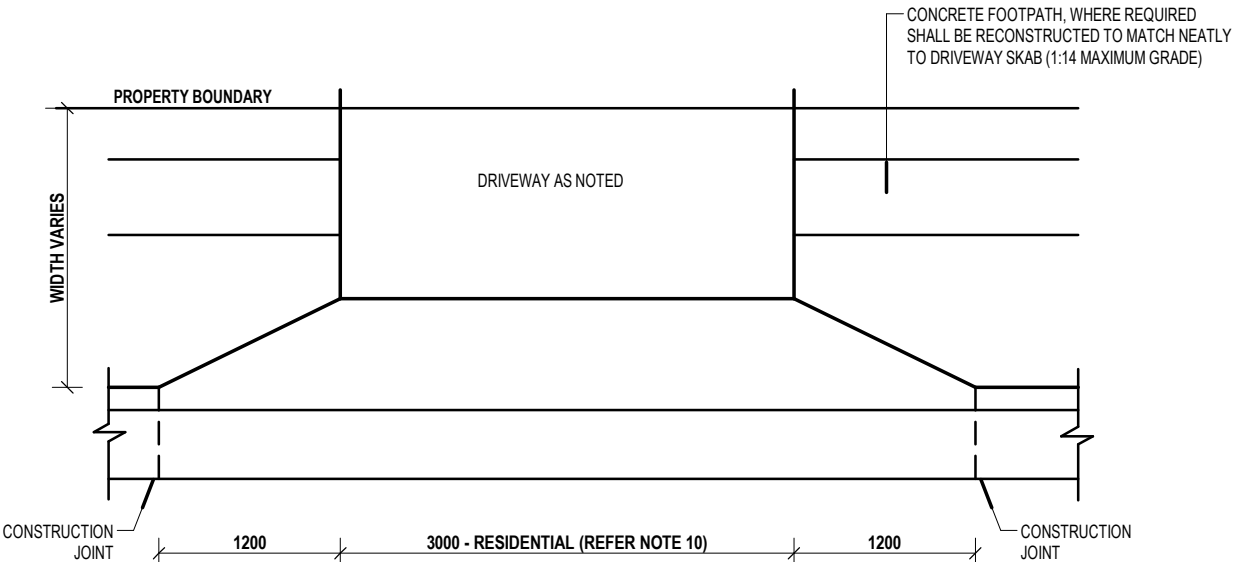
1. EXCAVATION FOR ALL FOOTINGS SHALL BE TAKEN TO THE DEPTHS SHOWN, OR TO A FOUNDATION STRATA CAPABLE OF SAFELY SUSTAINING A BEARING PRESSURE OF 100 kPa WHICHEVER IS THE DEEPER. ALL EXCAVATIONS SHALL BE FREE FROM LOOSE MATERIAL, MUD AND WATER. UNDERSIDE OF ALL FOOTINGS SHALL BE A MIN OF 400mm BELOW NATURAL GROUND LEVEL UNLESS SHOWN OTHERWISE.  
2. EXCAVATIONS FOR BORED PIERS SHALL BE DONE BY MECHANICAL AUGER OR OTHER APPROVED MEANS, SIDES OF HOLES SHALL BE VERTICAL AND SIDES AND BOTTOM SHALL BE FREE FROM LOOSE MATERIAL. CONCRETE SHALL BE PLACED IN EACH HOLE WITHIN 12 HOURS.  
3. FINISHED SLAB LEVEL TO BE MINIMUM 225mm ABOVE FINISHED GROUND LEVEL. THIS NOTE IS TO TAKE PRECEDENCE OVER ANY DOCUMENTATION PROVIDED IN THIS SET OF PLANS.

## STRUCTURAL STEEL

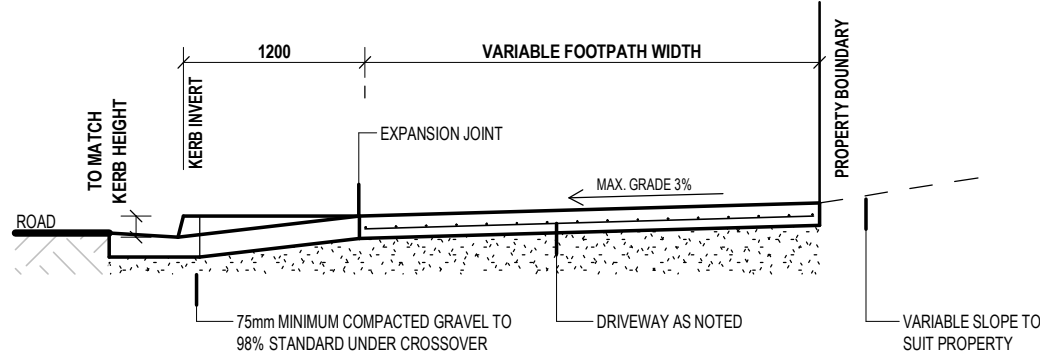
1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF AS 4100 AND AS 1554 EXCEPT WHERE VARIED BY THE CURRENT DOCUMENTS.  
2. UNLESS NOTED OTHERWISE ALL STEEL SHALL BE IN ACCORDANCE WITH:  
AS 1204 GRADE 250 FOR ROLLED SECTIONS AS 1163 GRADE 350 FOR R.H.S. SECTIONS  
AS 1163 GRADE 200 FOR C.H.S. SECTIONS AS 1163 GRADE 350 FOR C.H.S. SECTIONS  
AS 1204 GRADE 350 FOR ALL HIGH STRENGTH STEEL.  
3. UNLESS NOTED OTHERWISE ALL WELDS SHALL BE CATEGORY SP IN ACCORDANCE WITH CLAUSE 1:3:2 AS 1554-PART 1.  
4. UNLESS NOTED OTHERWISE ALL WELDS SHALL BE 6mm CONTINUOUS FILLET WELDS.  
5. HIGH STRENGTH FRICTION GRIP BOLTS, NUTS AND WASHERS (8.8/TF) SHALL COMPLY WITH THE RELEVANT REQUIREMENTS OF AS 1252 AND SHALL BE TIGHTENED TO THE CORRECT TENSION USING APPROVED LOAD INDICATING WASHERS. CONTACT SURFACES OF ALL HIGH STRENGTH FRICTION GRIP BOLTED CONNECTIONS SHALL BE LEFT UNPAINTED OR AS SPECIFIED.  
6. UNLESS NOTED OTHERWISE ALL BOLTS SHALL BE OF GRADE 4.6/S.  
7. ALL DIMENSIONS SHALL BE CHECKED BY THE CONTRACTOR ON SITE PRIOR TO FABRICATION.  
8. UNLESS NOTED OTHERWISE ON PLANS, WHERE STEEL SIZES PERMIT, ALL STEELWORK IS TO BE SUPERGAL OR EQUIVALENT. IN ALL OTHER CASES STEEL WORK IS TO BE SAND BLASTED (2.5) AND COATED WITH ZINC SILICATE STEEL PRIMER (OR AS SPECIFIED) BEFORE ERECTION.  
REINSTATE COATING OF ALL WELDS BY BUFFING SURFACE WITH WIRE BRUSH AND APPLY 2 BRUSH COATS OF ZINC RICH COATING. PAINT FINISH IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION. STEELWORK ENCASED IN CONCRETE IS NOT TO BE PAINTED.  
9. THE STEEL FABRICATOR SHALL PROVIDE ALL BOLTS NECESSARY FOR THE ERECTION OF THE STEELWORK AND BOLTHOLES AND CLEATS NECESSARY FOR THE ERECTION OF TIMBER WORK WHETHER OR NOT DETAILED IN THE DRAWINGS.  
10. ALL LAPS, FIXINGS AND ACCESSORIES TO PURLINS AND GIRTS TO BE STRICTLY IN ACCORDANCE WITH THE MANUFACTURERS REQUIREMENTS.

## TERMITE CONTROL

IN ACCORDANCE WITH AS 3660.1.  
THIS STRUCTURE IS TO BE PROTECTED AGAINST TERMITES BY HAVING THE PRIMARY BUILDING ELEMENTS & ANY TIMBER SKIRTINGS, ARCHITRAVES, WINDOW REVEALS & DOOR JAMBS BUILT OF MATERIALS CONSIDERED NOT TO BE SUSCEPTIBLE TO TERMITE ATTACK. ALL ROOF TIMBERS ARE TO BE PRESERVATIVE TREATED IN ACCORDANCE WITH APPENDIX B OF AS 3660.1  
2 DURABILITY NOTICES INDICATING THE METHOD OF PROTECTION, THE DATE THE METHOD PROTECTION WAS INSTALLED AND THE SCOPE AND FREQUENCY OF FIXTURE INSPECTIONS FOR TERMITE ACTIVITY IS TO BE INSTALLED IN THE METERBOX & PANTRY. THE RECOMMENDED FREQUENCY OF FIXTURE INSPECTIONS TO BE SPECIFIED ON THE NOTICE IS : EVERY 6 MONTHS MINIMUM, & THE RECOMMENDED SCOPE IS : INSPECTIONS OF THE PERIMETER OF THE BUILDING AT GROUND LEVEL, INSPECTIONS OF ALL AREAS OF THE BUILDING AND IMMEDIATE AREA OF THE BUILDING WHICH CAN BE ACCESSED INCLUDING THE ROOF SPACE.  
CONCRETE SLAB TO HAVE TERMITE RESISTANT MATERIALS USED TO ALL SLAB PENETRATIONS OR ALL STRUCTURAL TIMBER & TRUSSES TO BE TERMITE RESISTANT GRADE OR BE TREATED FOR TERMITE RESISTANCE (H2 INTERNAL, H3 EXTERNAL HAZARD LEVEL) IF CHEMICAL BARRIER USED ON GROUND NOTE LIFE EXPECTANCY KEEP GARDEN BEDS A MINIMUM OF 1 METRE AWAY FROM ALL EXTERNAL WALLS. ALL PRIMARY BUILDING ELEMENTS (SKIRTING, ARCHITRAVES, JAMBS, ETC) ARE TO BE PROTECTED AGAINST TERMITE INFESTATION IN ACCORDANCE WITH A.S 3600.1. OWNER IS TO VISUALLY INSPECT AROUND HOUSE FOR TERMITE ACTIVITY EVERY 12 MONTHS MINIMUM & TAKE PRECAUTIONS IF REQUIRED.



## PLAN



## RESIDENTIAL VEHICLE CROSSOVER

### NOTES

- ALL JOINTS TO EXISTING KERBS SHALL BE SAWCUT PRIOR TO BREAKING OUT CONCRETE FOR REMOVAL
- CONCRETE IS TO BE N25 min. IN ACCORDANCE WITH AS1379 AND AS3600.
- ALL CONCRETE TO BE BROOM FINISHED.
- WHERE A CONCRETE FOOTPATH ABUTS A CROSSING AN EXPANSION JOINT SHALL BE INSTALLED.
- EXPANSION JOINTS TO BE 10mm THICK, CLOSED CELL CROSS LINKED POLYETHYLENE FOAM (85-150kg/m)
- DEPTHS OF CONCRETE AND REINFORCING STEEL SHOWN ARE MINIMUM REQUIREMENTS FOR GOOD FOUNDATIONS AND AVERAGE TRAFFIC LOADING. WHERE THIS DOES NOT APPLY, DEPTHS OF CONCRETE AND REINFORCING STEEL SHALL BE INCREASED TO SUIT SPECIFIC CONDITIONS.
- WHERE AN EXISTING FOOTPATH IS PRESENT IT IS TO BE SAWCUT AND AN EXPANSION JOINT PROVIDED.
- SUBGRADE TO BE COMPACTED TO 95% STANDARD.
- ALL DIMENSIONS ARE IN MILLIMETRES.

### DRIVEWAY

EXTENT OF 100 THICK EXPOSED AGGREGATE DRIVEWAY SLAB SHOWN AS INDICATIVE ONLY, BUILDER TO VERIFY EXACT EXTENT WITH CONTRACTOR ON SITE PRIOR TO COMMENCING CONSTRUCTION. THIS OFFICE IS TO BE NOTIFIED IF DRIVEWAY DOES NOT COMPLY WITH ANY PART OF THE QDC 6.0, OTHERWISE NO RESPONSIBILITY WILL BE TAKEN BY BALAY. N20 STRENGTH IN ACCORDANCE WITH AS1379 & AS3600. REINFORCEMENT FABRIC TO BE IN ACCORDANCE WITH AS1304 with 50mm COVER (F82min). EXPANSION JOINTS TO BE 10mm THICK, FULL DEPTH CLOSED CELL CROSS LINKED POLYETHYLENE FOAM (85 - 150 kg/m3)

## TYPICAL DRIVEWAY CROSSOVER

SCALE 1 : 50

1. ALL DESIGN, CONSTRUCTION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND CODES.  
2. NOTIFY DESIGNER OF ANY DISCREPANCIES ON THE PLANS, OTHERWISE WE ACCEPT NO LIABILITY.  
3. DO NOT SCALE FROM DRAWINGS.  
4. CONFIRM ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION OF ANY SHOP DRAWINGS.  
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**PROPOSED RESIDENCE**  
**LOT 6 McDOWALL LANE, DAINTREE RIVER**  
**RACHEL POLLARD AND AARON SWEENEY**

**DIMARCO DESIGNS**  
ABN: 24 346 833 179 - QBSA No. 707188 - Ph 0740 576 904

**No**  
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**DATE**  
05/08/2020

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**SHEET No:**  
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**A**

# CONSULTANT ISSUE

## SITE PREPERATION

1. SITE PREPARATION SHALL GENERALLY CONSIST OF CLEARANCE OF VEGETATION FOLLOWED BY EXCAVATION OF TOPSOIL AND MATERIAL TO SUIT FINAL DESIGN LEVELS.
2. PROVISION SHALL BE MADE FOR THE DEMOLITION OF ANY EXISTING BUILDINGS INCLUDING BREAKING UP AND REMOVAL OF ANY OLD FOOTINGS, SERVICE PIPES, SEPTIC TANKS ETC WHICH MAY INTERFERE WITH THE NEW CONSTRUCTION. ANY SOIL DISTURBED BY DEMOLITION SHALL BE RE-COMPACTED.
3. IN THE PROPOSED ON GROUND FLOOR SLAB SUPPORT AND PAVEMENT AREAS, THE EXPOSED SUBGRADE SHALL BE UNIFORMLY COMPACTED TO ACHIEVE A DRY DENSITY RATIO OF NOT LESS THAN 98% OF THE MAXIMUM SATURATED VIBRATED DENSITY (AS 1289 TESTS 5.3.1 & 5.5.1). SUBGRADE COMPACTION SHALL BE ACCOMPANIED BY GENERAL INSPECTION TO ALLOW DETECTION AND RECTIFICATION OF ANY LOCALISED COMPRESSIBLE ZONES WHICH MAY EXIST.
4. ANY FILLING PLACED IN THE BUILDING AND PAVEMENT AREAS SHALL BE UNIFORMLY COMPACTED IN LAYERS OF NOT MORE THAN 200mm FINAL THICKNESS, UNDER LEVEL 3 SUPERVISION (AS 3798-1990 GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS) TO THE MAX DRY DENSITY RATIO OF 98% SRDD (EXPRESSED AS A % OF THE MAXIMUM VIBRATED DENSITY ESTABLISHED BY TEST METHODS AS 1289 5.3.1, 5.4.1 AND 5.5.1 FOR COHENSIONLESS (SAND) MATERIALS OR ALTERNATIVELY, STANDARD COMPACTION IF APPROPRIATE.)
5. ANY IMPORTED FILL SHALL COMPRISE OF LOW PLASTICITY GRANULAR MATERIAL WITH A PLASTICITY INDEX NOT MORE THAN 15%. SAND CUT FROM BASEMENT AREA SHOULD BE SUITABLE FOR REUSE AS FILLING.
6. FILLING SHOULD BE RETAINED OR BATTERED TO A SLOPE OF NO STEEPER THAN 1h:1v. ALL EXPOSED FILLING SHALL BE PROTECTED FROM EROSION. EARTH BATTERS TO BE WHOLLY CONTAINED WITHIN SITE BOUNDARIES & SURFACE DRAINS TO BE INSTALLED TO HIGH SIDE OF ALL STABLE EARTH BATTERS.
7. CARE SHALL BE TAKEN TO ENSURE THAT ANY VIBRATORY ROLLING OR CONSTRUCTION ACTIVITIES DO NOT CAUSE DISTRESS (BY WAY OF INDUCED SETTLEMENT) TO ANY ADJACENT MOVEMENT-SENSITIVE FEATURES ETC.
8. ALL WORK INCLUDING TESTING SHALL BE CARRIED OUT IN ACCORDANCE WITH AUSTRALIAN STANDARDS & RELEVAT CODES OF PRACTICE TO PROVIDE AN ENGINEERED (CONTROLLED) FILLED PLATFORM.
9. STRIP BUILDING PLATFORM TO EXTEND 1500mm OUTSIDE BUILDING STRUCTURE FOOTPRINT OF TOPSOIL, DELETERIOUS ORGANICE AND UNCONTROLLED FILL. THE BUILDING PLATFORM SHALL BE RAISED TO DESIGNATED LEVEL ABOVE THE NOMINATED Q100 FLOOD LEVEL WITH ENGINEERED FILL & IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.
10. BUILDING PLATFORM SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 3798 - GUIDELINES ON EARTHWORKS FOR COMMERCIAL & RESIDENTIAL DEVELOPMENT. PLATFORM IMMEDIATELY SURROUNDING THE RESIDENCE TO FALL AWAY FROM THE RESIDENCE AT A SLOPE OF 1 : 200 MINIMUM TO AN EARTH DRAIN. THE SURFACE DRAINAGE IS TO DISCHARGE EVENLY WITHIN THE SITE & WITHOUT NUISANCE TO ADJOINING PROPERTIES.
11. FOUNDATION MAINTENANCE SHALL BE IN ACCORDANCE WITH THE CSIRO BROCHURE - GUIDE TO HOME OWNERS ON FOUNDATION MAINTENANCE & FOOTING PERFORMANCES.
12. VERIFY ALL BEARING AND DIMENSIONS ON SITE PRIOR TO ANY CONSTRUCTION. ALL MISSING PEGS TO BE REINSTATED PRIOR TO ANY CONSTRUCTION. ALL BUILDERS WORK TO BE CARRIED OUT WITHIN SITE BOUNDARY. THIS NOTE IS TO TAKE PRECEDENCE OVER ANY DOCUMENTATION PROVIDED IN THIS SET OF PLANS. NOTIFY THIS OFFICE IMMEDIATELY OF ANY DISCREPANCIES IN SETOUT DIMENSIONS.
13. APPROXIMATE POSITION OF SEWER JUMP UP. VERIFY POSITION ON SITE PRIOR TO CONSTRUCTION. CONNECT 100Dia LINE TO COUNCIL REQUIREMENTS.
14. THE FILL USED ON THIS SITE WILL HAVE CONTROLLED PLACEMENT. REFER TO SITE PREPARATION NOTES.
15. ALL FENCE LINES, RETAINING WALLS, PATHWAYS, HOT WATER SYSTEM, LETTER BOX, CLOTHESLINE, WATER TANK & DOWNPIPE LOCATIONS TO BE SETOUT BY BUILDER ON-SITE & CONFIRMED BY CLIENT. CLIENT TO PROVIDE NOTICE OF ANY FUTURE SITE WORKS TO PLUMBER TO ENSURE SEWER & STORMWATER CAN BE ALIGNED TO ACCOMODATE REQUIREMENTS.
16. NEW CONCRETE BOUNDARY CROSS OVER AND COUNCIL INVERT TO LOCAL AUTHORITY SPECIFICATIONS.
17. ANY SITE LEVELS PROVIDED ON THIS PLAN HAVE BEEN SUPPLIED BY EXTERNAL CONSULTANTS & TRANSMITTED ONTO THIS SET OF DRAWINGS. THESE LEVELS ARE TO BE TREATED BY THE BUILDER AS APPROXIMATE ONLY & MUST BE VERIFIED ON SITE PRIOR TO COMMENCING CONSTRUCTION. ANY LEVEL DESCREPANCIES ARE TO BE REPORTED TO THIS OFFICE FOR AUTHORIZATION PRIOR TO COMMENCING CONSTRUCTION. BUILDER TO ARRANGE CONTOUR SURVEY IF REDUCED LEVELS ARE NOT PROVIDED ON THIS PLAN.
18. DRIVEWAY SLOPE NOT TO EXCEED 1 VERT TO 5 HOR. FOR DRIVEWAY SLOPE REFER TO PART 6.0 OF THE QDC TO ENSURE GRADIENTS & VEHICULAR ACCESS COMPLY WITH STANDARD COUNCIL REGULATIONS.
19. SEDIMENT CONTROL MEASURES FOR SOIL & WATER MANAGEMENT MUST BE INSTALLED OR IMPLEMENTED PRIOR TO DISCHARGE OF WATER FROM THE SITE, SUCH THAT NO EXTERNAL STORMATER FLOW FROM THE SITE ADVERSELY AFFECTS SURROUNDING OR DOWNSTREAM PROPERTIES IN ACCORDANCE WITH THE REQUIREMENTS OF THE ENVIRONMENTAL PROTECTION ACT 1994 & THE FNQ ROC DEVELOPMENT MANUAL.
20. ALL WATER TO BE DRAINED AWAY FROM BUILDING DURING & AFTER CONSTRUCTION TO COMPLY WITH AS 2870.

## ENERGY EFFICIENCY

1. REFER TO ENERGY EFFICIENCY RATING REPORT FOR EXTENT OF INSULATION, CEILING FANS, DRAUGHT SEALS, GLAZING TYPE, WALLS & ROOF COLOUR, ETC. REPORT TO TAKE PRECEDENCE OVER ALL DOCUMENTATION PROVIDED IN THIS SET OF WORKING DRAWINGS.
2. COMPLY WITH THE CURRENT MANDATORY SUSTAINABLE HOUSING MEASURES UNDER THE QUEENSLAND DEVELOPMENT CODE MP-4.1 INCLUDING;
  - \* 3 STAR RATED SHOWER ROSES AND TAPWARE TO KITCHEN SINKS, BATHROOM BASINS AND LAUNDRY TUBS.
  - \* 4 STAR RATED DUAL FLUSH TOILETS & SHOWER ROSE.
  - \* ANY IRRIGATION SYSTEM MUST BE WATER EFFICIENT IN RELATION TO THE CODE.
  - \* ENERGY EFFICIENT LIGHTING TO BE UTILISED FOR 80% OF ALL LIGHT FITTINGS TO ILLUMINATE THE INTERNAL FLOOR SPACE.
  - \* INSTALLATION OF MIN. EER 2.9 FOR HARD WIRED AIR-CONDITIONERS

## RAINWATER DRAINAGE

### RAINFALL INTENSITY OF 282mm/hr - CAIRNS

IN ACCORDANCE WITH PART 3.5.2 OF THE BCA, THE ROOF AREA PER DOWNPIPE IS CALCULATED USING THE STRAMIT QLD GUIDE IN CONJUNCTION WITH AS 2179 & AS 3500.3.

1. SIZE OF UPVC STORMWATER PIPELINES TO SUIT DOWNPIPE & HAVING A SMOOTH (NON-PROFILED) INTERNAL BORE WITH A FALL OF 1:100 MIN AS PER PART 3.1.2 OF THE BCA & IN ACCORDANCE WITH AS 3500.32.
2. EXTEND STORMWATER LINES TO STORMWATER EASEMENT, KERB & CHANNEL OR STORMWATER PITS & DISPOSE OF AT LEGAL POINT OF DISCHARGE COMPLYING WITH LOCAL AUTHORITY & INSPECTOR STANDARDS.
3. SIZE & LOCATIN OF STORMWATER PITS WITH REMOVABLE GRATED LID VERIFIED BY BUILDER & CONTRACTOR ON SITE.
4. PROVISIONS FOR OVERFLOWS MUST BE MADE FOR DOWNPIPES FURTHER THAN 1200mm FROM VALLEY

## GENERAL SAFETY NOTES - WPHS

### 1. FALLS, SLIPS, TRIPS

#### a) WORKING AT HEIGHTS DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

#### DURING OPERATION OR MAINTENANCE

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment should be used in accordance with relevant codes of practice, regulations or legislation.

Anchorage points for portable scaffold or fall arrest devices have been included in the design for use by maintenance workers. Any persons engaged to work on the building after completion of construction work should be informed about the anchorage points.

#### b) SLIPPERY OR UNEVEN SURFACES

#### FLOOR FINISHES

Specified finishes have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

The owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

#### STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

### 2. FALLING OBJECTS LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment.

#### BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

### 3. TRAFFIC MANAGEMENT

Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.

Construction of this building may require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

## PLUMBING NOTES

- A. PLUMBER AND DRAINER INSTALLATION TO COMPLY WITH THE PLUMBING AND DRAINAGE ACT 2002 (PDA) AND THE STANDARD PLUMBING AND DRAINAGE REGULATION 2003 (SPDR).
- B. LICENSED PLUMBER TO INSPECT SITE PRIOR TO QUOTATION & CONFIRM ALL EXISTING PLUMBING WITH COUNCIL INSPECTOR. ANY DESCREPANCIES MUST BE REFERRED TO THIS OFFICE FOR AUTHORIZATION PRIOR TO COMMENCING CONSTRUCTION OTHERWISE NO RESPONSIBILITY WILL BE TAKEN BY BALAY.
- C. ALL DRAINAGE SHALL BE 100mm DIA uPVC RUN AT MINIMUM GRADE OF 1.65% (1.60) U.N.O.
- D. ALL VENT PIPES LOCATIONS TO BE DETERMINED ONSITE BY CONTRACTOR & TERMINATE IN ACCORD. WITH AS 3500 2.2 SECTION 6.7.4.
- E. ALL IO's UNDER CONCRETE TO BE TAKEN TO SURFACE LEVEL AND FITTED WITH APPROVED SCREW CAP.
- F. WHERE PVC PIPES PENETRATE OR ARE BUILT INTO WALLS OR SLABS, THE PIPES SHALL BE LAGGED WITH APPROVED MATERIAL IN ACCORDANCE WITH AUSTRALIAN STANDARDS.
- G. MAXIMUM DISTANCE OF UN-VENTED BRANCH DRAIN IS 10 METRES TO FIXTURES, ORG's OR DG's.
- H. MATERIALS, DRAINAGE, SOIL, WASTE AND VENT PIPES AND FITTINGS uPVC CLASS DWV TO AS 1260.
- I. ALL WC's TO BE SCREW FIXED TO FLOOR WITH NYLON PLUGS AND NON-CORROSIVE METAL SCREWS.
- J. ALL DISCHARGE PIPES RECEIVING CONDENSATE WASTE INCLUDING TRAPS SHALL BE INSULATED.
- K. ALL PIPES LAID UNDER SLABS TO BE MINIMUM DEPTH OF 400mm TO INVERT LEVEL AND SHALL BE INSULATED.
- L. PROVIDE FLOOR WASTES TO ALL WET AREAS.
- M. PLUMBING AND DRAINAGE INSTALLATION TO COMPLY WITH THE PLUMBING AND DRAINAGE ACT 2002 (PDA) AND THE STANDARD PLUMBING AND DRAINAGE REGULATION 2003 (SPDR)
- N. ALL FLOOR WASTES TO HAVE 100mm DIA RISERS AND REMOVABLE SCREW GRATES
- O. MAX 500kPa WATER PRESSURE. IF GREATER, INSTALL PRESSURE LIMITING DEVICE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

### 4. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass. All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

### 5. HAZARDOUS SUBSTANCES & POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

#### TREATED TIMBER

The design of this building includes provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

#### VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required.

The manufacturer's recommendations for use must be carefully considered at all times.

#### SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

#### TIMBER FLOORS

This building contains timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

### 6. CONFINED SPACES

EXCAVATION -Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

#### ENCLOSED SPACES

Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

#### SMALL SPACES

Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

### 7. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

### 8. OPERATIONAL USE OF BUILDING

This building has been designed as a residential building. If it, at a later date, is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

### 9. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements.All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace. All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

## SITE DRAINAGE

GRADE FINISHED GROUND LEVEL TO ENSURE WATER IS DIVERTED AWAY FROM NEIGHBOURING PROPERTIES & TO KERB & CHANNEL OR STORMWATER EASEMENT IF AVAILABLE. PLATFORM IMMEDIATELY SURROUNDING THE RESIDENCE TO FALL AWAY FROM THE RESIDENCE AT A SLOPE OF 1 : 200. SURFACE DRAINAGE IS TO DISCHARGE EVENLY WITHIN THE SITE & WITHOUT NUISANCE TO ADJOINING PROPERTIES. REFER TO SITE PREPARATION NOTES & COMPLY WITH AS 3798 - GUIDELINES ON EARTHWORKS FOR COMMERCIAL & RESIDENTIAL DEVELOPMENT.

## ELECTRICAL NOTES

IF ANY ELECTRICAL OR LIGHTING POSTIONS ARE NOT CLEAR ON PLAN. PLEASE USE OWN DISCRETION OTHERWISE CALL THIS OFFICE FOR ASSITANCE IF UNSURE

- ALL ELECTRICAL WORK MUST COMPLY WITH RELEVANT AUSTRALIAN STANDARDS.
1. METER BOX LOCATION TO BE DETERMINED BY ELECTRICIAN ON SITE (CLOSEST PRACTICAL LOCATION TO CONNECTION).
2. ENERGY EFFICIENT LIGHTING TO COMPLIANCE WITH THE QUEENSLAND DEVELOPMENT CODE MP-4.1 FOR LIGHTING. ENERGY EFFICIENT LIGHTING IS TO BE UTILISED FOR **80%** OF ALL LIGHT FITTINGS OF THE INTERNAL FLOOR SPACE.
3. CONTRACTER TO VERIFY HEIGHT OF ALL WALL MOUNTED ELECTRICAL FIXTURES
4. THE PROVISION FOR "A/C" LOCATIONS ARE OPTIONAL ONLY AND MUST BE CONFIRMED ON SITE BEFORE CONSTRUCTION OF BLOCKWORK
5. LOCATION OF ALL "SPLIT A/C" AS SHOWN TO BE VERIFIED BY BUILDING OWNER, SUPPLY AND INSTALL "SPLIT A/C" BY OTHERS UNLESS NOTED OTHERWISE IN THE BUILDING SPECIFICATION.
6. ALL A/C CONDENSATION WASTES TO BE INSTALLED IN WALLS WHERE POSSIBLE, OTHERWISE RUN IN SLAB.
7. SELF CONTAINED SMOKE ALARMS MUST BE SUPPLIED, INSTALLED AND MAINTAINED AND SHALL COMPLY WITH A.S. 3786 AND MUST BE CONNECTED TO THE CONSUMERS MAIN POWER. SMOKE DETECTORS SHOWN ON THIS PLAN SPECIFIES THE MINIMUM STANDARDS ONLY, AND WE REFER YOU TO THE PUBLICATION "SMOKE ALARMS SAVES LIVES 1997" FOR RECOMMENDED PROCEDURES AND SPECIFICATIONS

1. ALL DESIGN, CONSTRUCTION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND CODES.  
2. NOTIFY DESIGNER OF ANY DISCREPANCIES ON THE PLANS, OTHERWISE WE ACCEPT NO LIABILITY.  
3. DO NOT SCALE FROM DRAWINGS.  
4. CONFIRM ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION OF ANY SHOP DRAWINGS.

DRAWING IS COPYRIGHT TO DIMARCO DESIGNS©  
AND MUST NOT BE ALTERED OR REPLICATED.

**PROPOSED RESIDENCE**  
**LOT 6 McDOWALL LANE, DAINTREE RIVER**  
**RACHEL POLLARD AND AARON SWEENEY**



No	DATE	DETAILS	DRAWN BY:	JOB No:
A	05/08/2020	CONSULTANT ISSUE A	<b>CD</b>	<b>20038</b>
			SCALE: <b>N.T.S.</b>	
			START DATE: <b>JUNE 2020</b>	SHEET No: <b>WD14</b>
			REVISION DATE: 05/08/2020	REV No: <b>A</b>

# **SURVEY REPORT**

Thursday 14<sup>th</sup> August 2020

**Cardno (Qld) Pty Ltd**  
ABN 57 051 074 992

**To: Baker Building Certification**

15 Scott Street  
Cairns QLD 4870  
Australia

**Subject: Lot 6 RP888615 AHD Flood Level**

P.O. Box 1619  
Cairns QLD 4870

**Road Name:** Mcdowall Lane

**Phone: 61 7 4034**

**Locality** Lower Daintree

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The above survey has been completed as requested.

## **1. Extent of Works.**

A flood level investigation survey has been undertaken at Mcdowall Lane, Lower Daintree.

The survey has taken a level from a nominated point on a balustrade bolt from the house on Lot 4 RP888615 said to represent a previous flood level in 2019, and compared this to level points transferred to the site on Lot 6 RP888615.

AHD (Australian Height Datum) Derived heights were obtained through GNSS connections to existing Permanent Survey Marks 123429 and 117984.



## 2. Survey Datum.

### **Azimuth Datum –**

MGA2020, Zone 55 vide GNSS

### **Co-ordinate Datum –**

MGA2020, Zone 55 vide GNSS

### **Level Datum –**

PM123249 RL: 2.083m AHDD

## 3. Survey Results

- The bolt on the neighbouring house was surveyed at RL:5.32m
- The string mark on the Coconut Tree on Lot 6 was surveyed at RL:5.32m
- A site benchmark point was established on the south of the site at RL:3.42m
- A spot height was surveyed on the lot in the building envelope at RL:3.73m to provide an indication of the existing site level.

As part of the survey Cardno was requested to search for the lot boundary pegs:

- At the south-west corner of the lot remains of the original peg were found buried, and surrounded by star pickets placed in the ground.
- The original peg was found and exposed at the south-east corner of the lot.
- No original mark was found at the north-east corner, however a star picket was found to be approximately 0.4m north-west of the corner.
- No original mark was found at the north-west corner, however a star picket was found to be approximately 0.2m north of the corner.

## 4. Conclusion.

We anticipate the information contained in this Survey satisfies your requirements.

Should you have any queries, please don't hesitate to contact me.

Kind regards,



*Toby Chester*  
**SURVEY MANAGER NORTH QLD**  
**for Cardno**

17<sup>th</sup> August 2020

Douglas Shire Council  
PO Box 723  
Mossman Q 4873

Attention: Planning Section

Dear Sir/Madam,

**Re: Proposed dwelling at Lot 6 Mcdowall Lane, Daintree River. Lot 6 on RP888615**

A preliminary assessment of the proposal has indicated that the proposed dwelling will be sited within the numerous overlays as outlined in the Douglas Shire Planning Scheme 2018.

**Applicant:** Aaron Sweeney

**Table 1.1 Code Applicability**

Assessment Criteria	Applicability
Rural Zone	Yes
Airport and Environs	No
Coastal Processes	NA
Flood and Inundation	Yes
Hillslopes	No
Landscape values	No
Bushfire potential	No
Natural Areas	No
Neighbourhood Character	No
Potential Landslip	No

**6.2.10 Rural zone code****6.2.10.3 Criteria for assessment****Table 6.2.10.3.a – Rural zone code assessable development**

Performance outcomes	Acceptable outcomes	Applicant response
<b>For self-assessable and assessable development</b>		
<b>PO1</b>  The height of buildings is compatible with the rural character of the area and must not detrimentally impact on visual landscape amenity.	<b>AO1.1</b>  Dwelling houses are not more than 8.5 metres in height.  Note – Height is inclusive of roof height.  AO1.2 Rural farm sheds and other rural structures are not more than 10 metres in height.	<b>Complies</b>  Dwelling will be no greater than 8.5m and 2 storeys in height.
<b>Setbacks</b>		
<b>PO2</b>  Buildings and structures are setback to maintain the rural character of the area and achieve separation from buildings on adjoining properties.	<b>AO2</b>  Buildings are setback not less than: (a) 40 metres from the property boundary and a State-controlled road; (b) 25 metres from the property boundary adjoining Cape Tribulation Road; (c) 20 metres from the boundary with any other road; (d) 6 metres from side and rear property boundaries.	<b>Proposed</b>  The dwelling is proposed to be setback between 12m and 15m from the front boundary of McDowall Lane, the minor 8m encroachment will not affect rural character of the area as there is no rural aspect along McDowall Lane due to being river frontage. The proposed dwelling location adequately achieves separation from other buildings and structures on the adjoining properties. The minor encroachment is at the end of the Lane and all other dwellings in the area are greater than 50m from the proposed dwelling. The dwelling will be setback a minimum 10m from the side boundaries and 20m from the rear boundary which far exceed the requirements of the code.

Performance outcomes	Acceptable outcomes	Applicant response
<b>PO3</b>  Buildings/structures are designed to maintain the rural character of the area.	<b>A03</b>  White and shining metallic finishes are avoided on external surfaces of buildings.	<b>Complies</b>  The proposed dwelling colours will not contain white and/or shining metallic finishes. All colours will be colourbond and no zincalume finished will be used.  Possible colour selection includes: <ul style="list-style-type: none"><li>• Shale grey</li><li>• Dune</li><li>• Basalt</li><li>• Woodland Grey</li><li>• Evening Haze</li><li>• Bushland</li><li>• Windspray, and</li><li>• Surfmist roof sheeting</li></ul>
<b>For assessable development</b>		
<b>PO4</b>  The establishment of uses is consistent with the outcomes sought for the Rural zone and protects the zone from the intrusion of inconsistent uses.	<b>A04</b>  Uses identified in Table 6.2.10.3.b are not established in the Rural zone.	<b>Complies</b>  The proposed family dwelling is consistent with the purpose and overall outcomes sought for the zone as the land was previously sub-divided and approved for residential purposes as per other approved/built dwellings in the area.
<b>PO5</b>  Uses and other development include those that: (a) promote rural activities such as agriculture, rural enterprises and small scale industries that serve	<b>A05</b>  No acceptable outcomes are prescribed.	<b>Complies</b>  The proposed dwelling is consistent with the previous sub-division, only 4 allotments existing along McDowall Lane and 2 of the already have dwellings built, in effect the

Performance outcomes	Acceptable outcomes	Applicant response
rural activities; or promote (b)		proposed dwelling would be considered consistent with the existing land use for the area.
<b>PO6</b>  Existing native vegetation along watercourses and in, or adjacent to areas of environmental value, or areas of remnant vegetation of value is protected.	<b>A06</b>  No acceptable outcomes are prescribed.	<b>Complies</b>  Allotment was cleared under the previously approved sub-division in 1995, no vegetation is required to be removed from site.
<b>PO7</b>  The minimum lot size is 40 hectares, unless (a) the lot reconfiguration results in no additional lots (e.g. amalgamation, boundary realignments to resolve encroachments); or (b) the reconfiguration is limited to one additional lot to accommodate: (i) Telecommunications facility; (ii) Utility installation.	<b>A07</b>  No acceptable outcomes are prescribed.	<b>Not applicable</b>  The allotment is existing and approved under councils previous sub-division back in 1995.



## 8.2.4 Flood and storm tide hazard overlay code

### 8.2.4.3 Criteria for assessment

**Table 8.2.4.3.a – Flood and storm tide hazards overlay code –assessable development**

Performance outcomes	Acceptable outcomes	Applicant response
<b>For self-assessable and assessable development</b>		
<p>PO1</p> <p>Development is located and designed to: ensure the safety of all persons; minimise damage to the development and contents of buildings; provide suitable amenity; minimise disruption to residents, recovery time, and rebuilding or restoration costs after inundation events. Note – For assessable development within the flood plain assessment sub-category, a flood study by a suitably qualified professional is required to identify compliance with the intent of the acceptable outcome.</p>	<p>AO1.1</p> <p>Development is sited on parts of the land that is not within the Flood and Storm tide hazards overlay maps contained in Schedule 2;</p> <p>or</p> <p>For dwelling houses,</p> <p>AO1.2 Development within the Flood and Storm Tide hazards overlay maps (excluding the Flood plain assessment sub-category) is designed to provide immunity to the Defined Inundation Event as outlined within</p> <p>Table 8.2.4.3.b plus a freeboard of 300mm.</p> <p>AO1.3 New buildings are:</p> <p>(a) not located within the overlay area;</p> <p>(b) located on the highest part of the site to minimise entrance of flood waters;</p> <p>(c) provided with clear and direct pedestrian and vehicle evacuation routes off the site.</p> <p>AO1.4 In non urban areas, buildings and infrastructure are set back 50 metres from natural riparian corridors to maintain their natural function of reducing velocity of floodwaters.</p>	<p><b>Proposed</b></p> <p>The proposed dwelling will be located on part of the allotment that is within the flood prone overlay as the overlay is located of the full allotment.</p> <p>Council cannot provide a defined flood level for the area so the highest flood level recorded back in Jan 2019 has been taken from Lot 4 and transferred to Lot 6, in effect the proposed dwelling FFL will be 3m out of the ground which is a minimum freeboard of 1.4m higher than the highest flood level/indication recorded for the area. The highest flood level for the area has also been verified from the Croc Tour cabin near the boat ramp which has the 2019 flood level recorded on the wall of the cabin.</p> <p>The dwelling is located on the highest part of the allotment and is provided with clear and direct pedestrian and vehicle evacuation routes off the site through Mcdowall Lane up to the main highway.</p> <p>Please refer to the attached survey certificate from an independent land surveyor (Cardno).</p>

Performance outcomes	Acceptable outcomes	Applicant response
<b>PO2</b>  The development is compatible with the level of risk associated with the natural hazard.	<b>AO2</b>  The following uses are not located in land inundated by the Defined Flood Event (DFE) /  Storm tide:  (a) Retirement facility;  (b) Community care facility;  (c) Child care centre.	<b>Complies</b>  The proposed is for a family dwelling in accordance with other family dwelling along McDowall Lane.
<b>PO3</b>  Development siting and layout responds to flooding potential and maintains personal safety	For Material change of use  <b>AO3.1</b>  New buildings are:  (d) not located within the overlay area;  (e) located on the highest part of the site to  minimise entrance of flood waters;  (f) provided with clear and direct pedestrian and vehicle evacuation routes off the site.  or  <b>AO3.2</b>  The development incorporates an area on site that is at least 300mm above the highest known flood inundation level with sufficient space to accommodate the likely population of the development safely for a relatively short time until flash flooding subsides or people can be evacuated.	<b>Proposed</b>  The highest flood level recorded back in Jan 2019 has been taken from Lot 4 and transferred to Lot 6, in effect the proposed dwelling FFL will be 3m out of the ground which is a minimum 1.4m higher than the highest flood level/indication recorded for the area.  The highest flood level for the area has also been verified from the Croc Tour cabin near the boat ramp which has the 2019 flood level recorded on the wall of the cabin.  The dwelling is located on the highest part of the allotment and is provided with clear and direct pedestrian and vehicle evacuation routes off the site through McDowall Lane up to the main highway.

Performance outcomes	Acceptable outcomes	Applicant response
	<p>or</p> <p><b>A03.3</b></p> <p>Where involving an extension to an existing dwelling house that is situated below DFE /Storm tide, the maximum size of the extension does not exceed 70m2 gross floor area.</p> <p>Note – If part of the site is outside the Hazard Overlay area, this is the preferred location of all buildings.</p> <p>For Reconfiguring a lot</p> <p><b>A03.4</b></p> <p>Additional lots:</p> <p>(a) are not located in the hazard overlay area;</p> <p>or</p> <p>(b) are demonstrated to be above the flood level identified for the site.</p> <p>Note - If part of the site is outside the Hazard Overlay area, this is the preferred location for all lots (excluding park or other open space and recreation lots).</p> <p>Note – Buildings subsequently developed on the lots will need to comply with the relevant building assessment provisions under the <i>Building Act 1975</i>.</p> <p><b>A03.5</b></p> <p>Road and/or pathway layout ensures residents are not physically isolated from adjacent flood free</p>	<p><b>Not applicable</b> – the proposed is for a new family dwelling a minimum 1m above the highest known flood inundation level for the area.</p> <p>Please refer to the attached survey certificate from independent land surveyors which confirms the highest flood level for the area is 1.6m and the proposed dwelling is 3m from the FGL, in effect a 1.4m freeboard.</p> <p><b>Not applicable</b> – no additional lots form part of this application. The allotment in question was previously approved by council back in 1995</p> <p><b>Complies</b> – The dwelling is located on the highest part of the allotment</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>urban areas and provides a safe and clear evacuation route path:</p> <p>(a) by locating entry points into the reconfiguration above the flood level and avoiding culs-de-sac or other non-permeable layouts; and</p> <p>(b) by direct and simple routes to main carriageways.</p> <p><b>A03.6</b></p> <p>Signage is provided on site (regardless of whether the land is in public or private ownership) indicating the position and path of all safe evacuation routes off the site and if the site contains, or is within 100m of a floodable waterway, hazard warning signage and depth indicators are also provided at key hazard points, such as at floodway crossings or entrances to low-lying reserves.</p> <p>or</p> <p><b>A03.7</b></p> <p>There is no intensification of residential uses within the flood affected areas on land situated below the DFE/Storm tide.</p> <p>For Material change of use (Residential uses)</p> <p><b>A03.1</b></p> <p>The design and layout of buildings used for residential purposes minimise risk from flooding by providing:</p>	<p>and is provided with clear and direct pedestrian and vehicle evacuation routes off the site through McDowall Lane up to the main highway.</p> <p><b>Complies</b> – McDowall Lane is currently signed and maintained by local council</p> <p><b>Complies</b> – The site will be intensified with residential use as its currently vacant land but all works will be 1.4m above the highest known flood inundation level for the area.</p> <p><b>Complies</b> – The dwelling including all habitable and non-habitable</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>(a) parking and other low intensive, non-habitable uses at ground level;</p> <p>Note - The high-set 'Queenslander' style house is a resilient low-density housing solution in floodplain areas. Higher density residential development should ensure only non-habitable rooms (e.g. garages, laundries) are located on the ground floor.</p>	<p>areas will be 1m above the highest known flood inundation level for the area, all parking will be underneath on finished ground level.</p>
<p><b>PO4</b></p> <p>Development is resilient to flood events by ensuring design and built form account for the potential risks of flooding.</p>	<p>For Material change of use (Non-residential uses)</p> <p><b>AO4.2</b></p> <p>Non-residential buildings and structures allow for the flow through of flood waters on the ground floor.</p> <p>Note - Businesses should ensure that they have the necessary contingency plans in place to account for the potential need to relocate property prior to a flood event (e.g. allow enough time to transfer stock to the upstairs level of a building or off site).</p> <p>Note - The relevant building assessment provisions under the <i>Building Act 1975</i> apply to all building work within the Hazard Area and need to take into account the flood potential within the area.</p> <p><b>AO4.3</b></p> <p>Materials are stored on-site:</p> <p>(a) are those that are readily able to be moved in a flood event;</p>	<p><b>Complies</b></p> <p>The proposed family dwelling designed to be a minimum 1.4m above the highest known flood inundation level for the area and underneath will be completely open to allow for the flow through of any flood waters.</p> <p><b>Not applicable</b> – No material will be stored on site upon completion of the building works.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>(b) where capable of creating a safety hazard by being shifted by flood waters, are contained in order to minimise movement in times of flood.</p> <p>Notes -</p> <p>(a) Businesses should ensure that they have the necessary contingency plans in place to account for the potential need to relocate property prior to a flood event (e.g. allow enough time to transfer stock to the upstairs level of a building or off site).</p> <p>(b) Queensland Government Fact Sheet 'Repairing your House after a Flood' provides information about water resilient products and building techniques.</p>	
<p><b>PO5</b></p> <p>Development directly, indirectly and cumulatively avoids any increase in water flow velocity or flood level and does not increase the potential flood damage either on site or on other properties.</p> <p>Note – Berms and mounds are considered to be an undesirable built form outcome and are not supported.</p>	<p>For Operational works</p> <p><b>A05.1</b></p> <p>Works in urban areas associated with the proposed development do not involve:</p> <p>(a) any physical alteration to a watercourse or floodway including vegetation clearing; or</p> <p>(b) a net increase in filling (including berms and mounds).</p> <p><b>A05.2</b></p> <p>Works (including buildings and earthworks) in non-urban areas either:</p>	<p><b>Complies</b></p> <p>The proposed dwelling will not directly, indirectly and cumulatively increase in water flow velocity or flood level and will not increase the potential flood damage either on site or on other properties as it is designed above the highest known flood level for the area and underneath will be completely open to allow for the flow through of any flood waters.</p> <p><b>Not applicable</b> – fill is not required on site, the proposed dwelling consist of simple engineering (post and beam construction)</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>(a) do not involve a net increase in filling greater than 50m<sup>3</sup>; or</p> <p>(b) do not result in any reductions of on-site flood storage capacity and contain within the subject site any changes to depth/duration/velocity of flood waters;</p> <p>or</p> <p>(c) do not change flood characteristics outside the subject site in ways that result in:</p> <p>(i) loss of flood storage;</p> <p>(ii) loss of/changes to flow paths;</p> <p>(iii) Acceleration or retardation of flows or any reduction in flood warning times elsewhere on the flood plain.</p> <p>For Material change of use</p> <p><b>A05.3</b></p> <p>Where development is located in an area affected by DFE/Storm tide, a hydraulic and hydrology report, prepared by a suitably qualified professional, demonstrates that the development maintains the flood storage capacity on the subject site; and</p> <p>(a) does not increase the volume, velocity, concentration of flow path alignment of stormwater flow across sites upstream, downstream or in the general vicinity of the subject site; and</p> <p>(b) does not increase ponding on</p>	<p><b>Not applicable</b> – Council cannot provide a Defined Flood Level nor can they provide a maximum flow velocity which is required under Section 13 of the Building Regulation 2006 for council to regulate the overlay, in effect it would be impossible for suitably qualified professional to demonstrate that the development maintains the flood storage capacity on the subject site.</p> <p>The open design itself gives clear indication that the proposed dwelling will not increase the volume, velocity, concentration of</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>sites upstream, downstream or in the general vicinity of the subject site.</p> <p>For Material change of use and Reconfiguring a lot</p> <p><b>AO5.4</b></p> <p>In non-urban areas, buildings and infrastructure are set back 50 metres from natural riparian corridors to maintain their natural function of reducing velocity of floodwaters.</p> <p>Note – Fences and irrigation infrastructure (e.g. irrigation tape) in rural areas should be managed to minimise adverse the impacts that they may have on downstream properties in the event of a flood.</p>	<p>flow path alignment of stormwater flow across sites upstream, downstream or in the general vicinity of the subject site; and does not increase ponding on sites upstream, downstream or in the general vicinity of the subject site. Other solid structures have been approved on the adjoining allotments, this undoubtable effecting flood flow paths.</p> <p>The dwelling is located on the highest part of the allotment between 12-15m from the front boundary and is provided with an existing clear and direct pedestrian and vehicle evacuation routes off the site through Mcdowall Lane up to the main highway.</p>
<p><b>PO6</b></p> <p>Development avoids the release of hazardous materials into floodwaters.</p>	<p>For Material change of use</p> <p><b>AO6.1</b></p> <p>Materials manufactured or stored on site are not hazardous or noxious, or comprise materials that may cause a detrimental effect on the environment if discharged in a flood event;</p> <p>Or</p> <p><b>AO6.2</b></p> <p>If a DFE level is adopted, structures used for the manufacture or storage of hazardous materials are:</p> <p>(a) located above the DFE level;</p>	<p><b>Complies</b></p> <p>No hazardous materials will be released into floodwaters. The proposed if for a family dwelling which is not considered business or commercial works.</p> <p><b>Not applicable</b> – No material will be stored on site upon completion of the building works.</p>



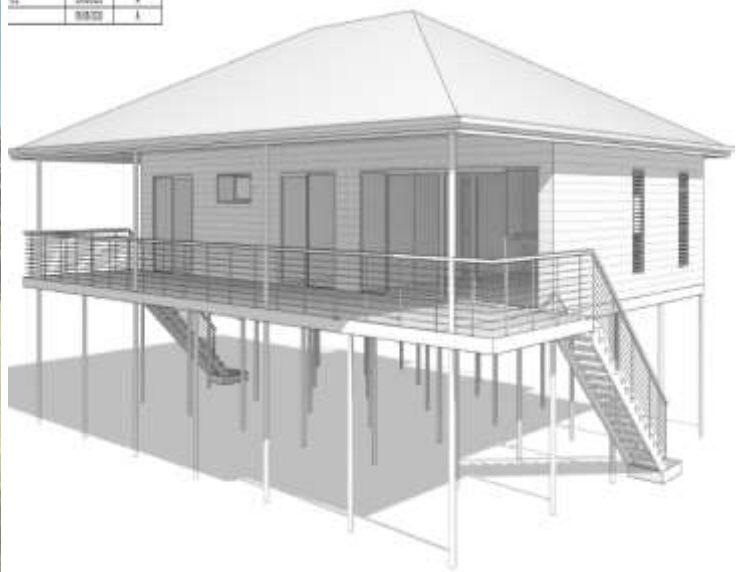
Performance outcomes	Acceptable outcomes	Applicant response
	<p>Or</p> <p>(b) designed to prevent the intrusion of floodwaters.</p> <p><b>A06.3</b> Infrastructure is designed and constructed to resist hydrostatic and hydrodynamic forces as a result of inundation by the DFE.</p> <p><b>A06.4</b> If a flood level is not adopted, hazardous materials and their manufacturing equipment are located on the highest part of the site to enhance flood immunity and designed to prevent the intrusion of floodwaters.</p> <p>Note – Refer to <i>Work Health and Safety Act 2011</i> and associated Regulation and Guidelines, the <i>Environmental Protection Act 1994</i> and the relevant building assessment provisions under the <i>Building Act 1975</i> for requirements related to the manufacture and storage of hazardous materials.</p>	<p><b>Complies-</b> All works will be designed to site conditions by an RPEQ engineer.</p> <p><b>Complies-</b> The FFL will be 1.4m above the highest recorded flood level for the area. <b>No hazardous material will be located on site.</b></p>
<p><b>PO7</b></p> <p>The development supports, and does not unduly burden, disaster management response or recovery capacity and capabilities.</p>	<p><b>A07</b> Development does not:</p> <p>(a) increase the number of people calculated to be at risk of flooding; (b) increase the number of people likely to need evacuation; (c) shorten flood warning times; and (d) impact on the ability of traffic to use evacuation routes, or unreasonably increase traffic volumes on evacuation routes.</p>	<p><b>Complies</b></p> <p>Development supports, and does not unduly burden, disaster management response or recovery capacity and capabilities. The proposed is a 3 bedroom family dwelling above the highest recorded flood level for the area. Easy access and egress through a public road is permitted from the allotment to a safe flood free zone.</p>

Performance outcomes	Acceptable outcomes	Applicant response
<b>PO8</b>  Development involving community infrastructure:  (a) remains functional to serve community need during and immediately after a flood event; (b) is designed, sited and operated to avoid adverse impacts on the community or environment due to impacts of flooding on infrastructure, facilities or access and egress routes; (c) retains essential site access during a flood event; (d) is able to remain functional even when other infrastructure or services may	<b>A08.1</b>  The following uses are not located on land inundated during a DFE/Storm tide: (a) community residence; and (b) emergency services; and (c) residential care facility; and (d) utility installations involving water and sewerage treatment plants; and (e) storage of valuable records or items of historic or cultural significance (e.g. archives, museums, galleries, libraries).  Or  <b>A08.2</b>  The following uses are not located on land inundated during a 1% AEP flood event: (a) community and cultural facilities, including facilities where an education and care service under the Education and Care Services National law (Queensland) is operated or child care service under the <i>Child Care Act 2002</i> is conducted, (b) community centres; (c) meeting halls; (d) galleries; (e) libraries.  The following uses are not located on land inundated during a 0.5% AEP flood event. (a) emergency shelters; (b) police facilities; (c) sub stations; (d) water treatment plant  The following uses are not located on land inundated during a 0.2% AEP flood event: (a) correctional facilities; (b) emergency services;	<b>Not applicable</b>  The proposed is for a 3 bedroom family dwelling which is not considered community infrastructure.

Performance outcomes	Acceptable outcomes	Applicant response
	<p>(c) power stations; (d) major switch yards.</p> <p>and/or</p> <p><b>A08.3</b> The following uses have direct access to low hazard evacuation routes as defined in Table 8.2.4.3.c: (a) community residence; and (b) emergency services; and (c) hospitals; and (d) residential care facility; and (e) sub stations; and (f) utility installations involving water and sewerage treatment plants.</p> <p><b>A08.4</b> Any components of infrastructure that are likely to fail to function or may result in contamination when inundated by flood, such as electrical switch gear and motors, telecommunications connections, or water supply pipeline air valves are: (a) located above DFE/Storm tide or the highest known flood level for the site; (b) designed and constructed to exclude floodwater intrusion / infiltration.</p> <p><b>A08.5</b> Infrastructure is designed and constructed to resist hydrostatic and hydrodynamic forces as a result of inundation by a flood.</p>	<p><b>Not applicable</b></p> <p>The proposed is for a 3 bedroom family dwelling which is not considered community infrastructure.</p>



NO.	DESCRIPTION	UNIT
1	PERMITS	A
2	PERMITS	A
3	PERMITS	A



### Recommendation

The proposed siting layout request generally appears to satisfy the performance criteria sought from the rural zone code, it could be considered acceptable to approve the siting layout request for the proposed new dwelling at Lot 6 Mcdowall Lane, Daintree River to allow the encroachments into the front boundary setbacks. It would also be considered that the proposed dwelling complies with the additional overlays on the allotment, as the report above indicates.

Should you have any further queries please do not hesitate to contact the Officer involved Aaron Sweeney on 0437127724 or aaron@bakerbuildingcert.com.au

Yours faithfully.

Prepared by *Aaron Sweeney A1215391*  
Baker Building Certification.