

# Change application form

**Planning Act Form 5 (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.**

This form is to be used for a change application made under section 78 of the *Planning Act 2016*. It is important when making a change application to be aware of whether the application is for a minor change that will be assessed under section 81 of the *Planning Act 2016* or for an other change that will be assessed under section 82 of the *Planning Act 2016*.

An applicant must complete all parts of this form, and provide any supporting information that the form identifies as being required to accompany the change application, unless stated otherwise. Additional pages may be attached if there is insufficient space on the form to complete any part.

**Note:** All terms used in this form have the meaning given under the *Planning Act 2016*, the *Planning Regulation 2017*, or the *Development Assessment Rules (DA Rules)*.

## PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Body Corporate for Sol Y Mar Community Titles Scheme 1246
Contact name (only applicable for companies)	c/- Patrick Clifton, GMA Certification
Postal address (P.O. Box or street address)	PO Box 831
Suburb	Port Douglas
State	QLD
Postcode	4877
Country	Australia
Email address (non-mandatory)	Patrick.c@gmacert.com.au
Mobile number (non-mandatory)	04378 755 374
Applicant's reference number(s) (if applicable)	20201922

2) Owner's consent - Is written consent of the owner required for this change application?	
<b>Note:</b> Section 79(1A) of the <i>Planning Act 2016</i> states the requirements in relation to owner's consent.	
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this change application	
<input checked="" type="checkbox"/> No	

## PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)				
3.1) Street address and lot on plan				
<input checked="" type="checkbox"/> Street address <b>AND</b> lot on plan (all lots must be listed), <b>or</b>				
<input type="checkbox"/> Street address <b>AND</b> lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).				
a)	Unit No.	Street No.	Street Name and Type	Suburb
		11	Marine Parade	Newell
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	0	Bup70374	Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

**3.2) Coordinates of premises** (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

**Note:** Place each set of coordinates in a separate row.

☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

**3.3) Additional premises**

- ☐ Additional premises are relevant to the original development approval and the details of these premises have been attached in a schedule to this application
- ☒ Not required

## PART 3 – RESPONSIBLE ENTITY DETAILS

**4) Identify the responsible entity that will be assessing this change application**

**Note:** see section 78(3) of the Planning Act 2016

Nil

## PART 4 – CHANGE DETAILS

**5) Provide details of the existing development approval subject to this change application**

Approval type	Reference number	Date issued	Assessment manager/approval entity
<input checked="" type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval	T2ajfp mmc	22 July 1981	Douglas Shire Council
<input type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval			

**6) Type of change proposed**

**6.1) Provide a brief description of the changes proposed to the development approval (e.g. changing a development approval for a five unit apartment building to provide for a six unit apartment building):**

Change Car parking layout and second access

**6.2) What type of change does this application propose?**

- ☒ Minor change application – proceed to Part 5
- ☐ Other change application – proceed to Part 6

## PART 5 – MINOR CHANGE APPLICATION REQUIREMENTS

7) Are there any affected entities for this change application		
<input checked="" type="checkbox"/> No – proceed to Part 7 <input type="checkbox"/> Yes – list all affected entities below and proceed to Part 7 <b>Note:</b> section 80(1) of the Planning Act 2016 states that the person making the change application must give notice of the proposal and the details of the change to each affected entity as identified in section 80(2) of the Planning Act 2016.		
Affected entity	Pre-request response provided? (where a pre-request response notice for the application has been given, a copy of the notice must accompany this change application)	Date notice given (where no pre-request response provided)
	<input type="checkbox"/> No <input type="checkbox"/> Yes – pre-request response is attached to this change application	
	<input type="checkbox"/> No <input type="checkbox"/> Yes – pre-request response is attached to this change application	
	<input type="checkbox"/> No <input type="checkbox"/> Yes – pre-request response is attached to this change application	

## PART 6 – OTHER CHANGE APPLICATION REQUIREMENTS

**Note:** To complete this part it will be necessary for you to complete parts of DA Form 1 – Development application details and in some instances parts of DA Form 2 – Building work details, as mentioned below. These forms are available at <https://planning.dsdmip.qld.gov.au>.

8) Location details - Are there any additional premises included in this change application that were not part of the original development approval?
<input type="checkbox"/> No <input type="checkbox"/> Yes

9) Development details
<b>9.1) Is there any change to the type of development, approval type, or level of assessment in this change application?</b> <input type="checkbox"/> No <input type="checkbox"/> Yes – the completed Sections 1 and 2 of Part 3 (Development details) of DA Form 1 – Development application details as these sections relate to the new or changed aspects of development are provided with this application.
<b>9.2) Does the change application involve building work?</b> <input type="checkbox"/> No <input type="checkbox"/> Yes – the completed Part 5 (Building work details) of DA Form 2 – Building work details as it relates to the change application is provided with this application.

10) Referral details – Does the change application require referral for any referral requirements?
<b>Note:</b> The application must be referred to each referral agency triggered by the change application as if the change application was the original development application including the proposed change. <input type="checkbox"/> No <input type="checkbox"/> Yes – the completed Part 5 (Referral details) of DA Form 1 – Development application details as it relates to the change application is provided with this application. Where referral is required for matters relating to building work the <a href="#">Referral checklist for building work</a> is also completed.

11) Information request under Part 3 of the DA Rules
<input type="checkbox"/> I agree to receive an information request if determined necessary for this change application <input type="checkbox"/> I do not agree to accept an information request for this change application <b>Note:</b> By not agreeing to accept an information request I, the applicant, acknowledge:

- that this change application will be assessed and decided based on the information provided when making this change application and the assessment manager and any referral agencies relevant to the change application are not obligated under the DA Rules to accept any additional information provided by the applicant for the change application unless agreed to by the relevant parties
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide: Forms 1 and 2](#).

## 12) Further details

- ☐ Part 7 of *DA Form 1 – Development application details* is completed as if the change application was a development application and is provided with this application.

# PART 7 – CHECKLIST AND APPLICANT DECLARATION

## 13) Change application checklist

I have identified the:

- responsible entity in 4); and
- for a minor change, any affected entities; and ☒ Yes
- for an other change all relevant referral requirement(s) in 10)

**Note:** See the *Planning Regulation 2017* for referral requirements

For an other change application, the relevant sections of [DA Form 1 – Development application details](#) have been completed and is attached to this application ☐ Yes ☒ Not applicable

For an other change application, where building work is associated with the change application, the relevant sections of [DA Form 2 – Building work details](#) have been completed and is attached to this application ☐ Yes ☒ Not applicable

Supporting information addressing any applicable assessment benchmarks is attached to this application ☒ Yes

**Note:** This includes any templates provided under 23.6 and 23.7 of *DA Form 1 – Development application details* that are relevant as a result of the change application, a planning report and any technical reports required by the relevant categorising instrument(s) (e.g. the local government planning scheme, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning report template](#).

Relevant plans of the development are attached to this development application ☒ Yes

**Note:** Relevant plans are required to be submitted for all relevant aspects of this change application. For further information, see [DA Forms Guide: Relevant plans](#).

## 14) Applicant declaration

- ☒ By making this change application, I declare that all information in this change application is true and correct.
- ☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the responsible entity and any relevant affected entity or referral agency for the change application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*.

**Note:** It is unlawful to intentionally provide false or misleading information.

**Privacy** – Personal information collected in this form will be used by the responsible entity and/or chosen assessment manager, any relevant affected entity or referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the change application.

All information relating to this change application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, *Planning Regulation 2017* and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

## PART 8 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

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Date received:  Reference number(s):

### QLeave notification and payment

*Note: For completion by assessment manager if applicable*

Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			



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Building Certification Services*



## **PLANNING STATEMENT**

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For: Body Corporate for Sol Y Mar Community Titles Scheme.

Development: Minor Change – Existing Multiple Dwelling  
At: 11 Marine Parade, Newell (Lot 0 BUP70374)

Prepared by: GMA Certification Group

File Ref: 20201922

Revision: A

# Table of Contents

1.0	Introduction.....	3
2.0	Development Summary .....	4
3.0	Site and Locality .....	5
4.0	Proposal .....	6
5.0	Statutory Planning Considerations.....	7
5.1	Planning Act 2016 .....	7
5.1.1	Categorisation of Change .....	7
5.1.2	Assessment Manager .....	7
5.1.3	Statutory Considerations for Assessment of a Minor Change Application.....	7
5.1.4	Referral Agencies .....	8
6.0	Planning Assessment .....	9
6.1	Assessment of Minor Change Application ( <i>Planning Act 2016</i> s81) .....	9
6.1.1	Properly Made Submissions.....	9
6.1.2	Matters that would be considered if the change application were a development application. ....	9
6.1.3	Douglas Shire Council Planning Scheme (Version 5.0).....	9
6.1.4	Statement of Compliance – Benchmark Assessment .....	10
7.0	Summary and Conclusion.....	14
	Appendix 1.....	15
	Appendix 2.....	16
	Appendix 3.....	17
	Appendix 4.....	18
	Appendix 5.....	19

## 1.0 Introduction

This report has been prepared on behalf of the Body Corporate for Sol Y Mar Community Titles Scheme in support of a Change Application to Douglas Shire Council for approval of a minor change to an existing Multiple Dwelling approval. The minor change is required to provide for an amendment to the existing car parking layout to improve operational efficiency and to improve amenity.

The subject site is a single allotment located at 11 Marine Parade, Newell. The site contains an area of 1,012m<sup>2</sup> and has frontage to Marine Parade of approximately 20 metres. It is currently improved by a unit complex containing 5 units and associated car parking and recreation space. The building is setback approximately 6 metres from Marine parade with the car parking and recreation area provide to the rear of the site.

It is proposed to change the development to relocate some of the car parking spaces from the rear of the units to the front of the units and to convert the car parking area into communal recreation space for the residents.

The application is considered to be a minor change to the existing development approval granted. It would not result in a substantially different development and would not result in the inclusion of prohibited development or additional referrals.

In assessing the change application, pursuant to s81 of the *Planning Act 2016*, the Council are required to have regard to all matters that would be considered if the application were a development application.

The development is considered to satisfy the relevant Assessment Benchmarks contained in the Planning Scheme that would be considered if the application were a development application and the application is submitted for approval, subject to reasonable and relevant conditions.



## 2.0 Development Summary

<b>Address:</b>	11 Marine Parade, Newell
<b>Real Property Description:</b>	Lot 0 BUP70374
<b>Easements &amp; Encumbrances:</b>	Nil
<b>Site Area/Frontage:</b>	Area: 1,012m <sup>2</sup> Frontage: 20 metres
<b>Registered Owner:</b>	Body Corporate for Sol Y Mar Community Titles Scheme 1246
<b>Proposal:</b>	Change Application – Car Parking
<b>Approval Sought:</b>	Minor Change
<b>State Interests – State Planning Policy</b>	<ul style="list-style-type: none"> <li>• Environment &amp; Heritage – Wildlife Habitat, in part &amp; regulated Vegetation (category B), in part.</li> <li>• Safety and Resilience to Hazards - Flood hazard level 1 Queensland Floodplain; Erosion Prone Area; and Medium Storm Tide Inundation Area.</li> </ul>
<b>State Interests – SARA Mapping:</b>	<ul style="list-style-type: none"> <li>• Coastal Protection - Erosion Prone Area; and Medium Storm Tide Inundation Area.</li> <li>• Native Vegetation Clearing – Category B and X on the regulated Vegetation Management Map.</li> </ul>
<b>Referral Agencies:</b>	Nil
<b>State Development Assessment Provisions:</b>	Nil
<b>Regional Plan Designation:</b>	Urban Footprint
<b>Zone:</b>	Low Density Residential Zone
<b>Local Plan</b>	Coastal Communities Local Plan
<b>Overlays:</b>	<ul style="list-style-type: none"> <li>• Acid Sulfate Soils Overlay 5-20m AHD;</li> <li>• Coastal Environment Overlay – Erosion Prone Area;</li> <li>• Flood and Storm Tie Inundation Overlay – Medium Storm Tide Hazard.</li> </ul>

### 3.0 Site and Locality

The subject site is a single allotment located at 11 Marine Parade, Newell. The site contains an area of 1,012m<sup>2</sup> and has frontage to Marine Parade of approximately 20 metres. It is currently improved by a unit complex containing 5 units and associated car parking and recreation space. The building is setback approximately 6 metres from Marine parade with the car parking and recreation area provide to the rear of the site.

The locality containing the site is predominantly coastal residential area characterised by dwelling houses and multiple dwelling developments. To the north the site adjoins a tennis court and to the south the site adjoins another multiple dwelling development. To the east is the Newell Beach foreshore, which shares a common boundary with the on-site car parking.



Photo 1 – Site Location (Source Douglas Shire Council True View)

The site benefits from a planning approval, granted 22 July 1981, for the development of 5 multiple dwelling units and car parking. (Council Ref: T2AJFP MMC Application No. 4). A condition of this approval requires car parking to be provided at the rate of one (1) covered space per dwelling unit plus one (1) space per 4 dwelling units for visitors or a total of 7 on-site car parking spaces. A copy of the Town Planning Consent is attached at [Appendix 2](#).

## 4.0 Proposal

It is proposed to change the development to relocate some of the car parking spaces from the rear of the units to the front of the units and to convert the car parking area into communal recreation space for the residents. The proposal is to relocate two of the on-site car parking spaces from the rear of the development to the front setback area and to reconfigure the rear car parking arrangement such that 5 spaces are located in the rear of the site with one located between the building and the northern side boundary and 4 facing the foreshore.

As part of the proposal the existing on-site effluent disposal would be upgraded to an Advanced Secondary Treatment system from a Primary Treatment System. It has been confirmed by H2O Consultants that the site is able to accommodate the revised car parking arrangement and the effluent disposal.

Plans of the existing and proposed layout, including effluent disposal area are attached at **Appendix 3** and details of the proposed effluent disposal system are attached at **Appendix 4**.

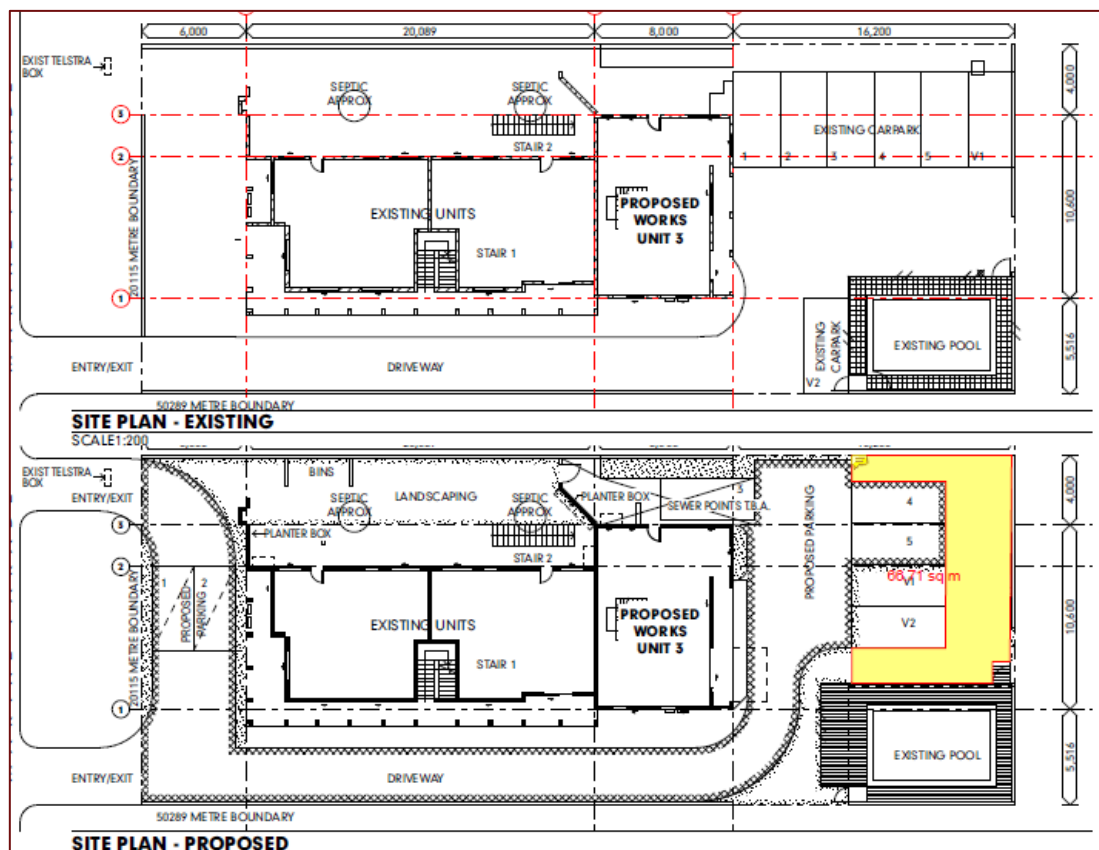


Image 1 – Existing and Proposed Site Plan

## 5.0 Statutory Planning Considerations

This section provides a summary of the legislative framework affecting the application pursuant to the Planning Act 2016.

### 5.1 Planning Act 2016

#### 5.1.1 Categorisation of Change

The *Planning Act 2016* differentiates between a minor change and other changes. The proposal is considered to constitute a minor change. For the purpose of a development approval, a minor change is defined in schedule 2 of the Act as a change that:

- (i) would not result in substantially different development; and*
- (ii) if a development application for the development, including the change, were made when the change application is made would not cause—*
  - (A) the inclusion of prohibited development in the application; or*
  - (B) referral to a referral agency, other than to the chief executive, if there were no referral agencies for the development application; or*
  - (C) referral to extra referral agencies, other than to the chief executive; or*
  - (D) a referral agency to assess the application against, or have regard to, matters prescribed by regulation under section 55(2), other than matters the referral agency must have assessed the application against, or have had regard to, when the application was made; or*
  - (E) public notification if public notification was not required for the development application.*

The proposed change is considered to satisfy the requirements of a minor change. It would not result in a substantially different development than that approved and it does not result in the inclusion of a prohibited development and does not trigger additional referrals.

#### 5.1.2 Assessment Manager

Pursuant to Schedule 8 of the *Planning Regulations 2017*, the Assessment Manager for the application is the Douglas Shire Council.

#### 5.1.3 Statutory Considerations for Assessment of a Minor Change Application

As the application is a minor change application, in deciding the application pursuant to s81 of the *Planning Act 2016*, the Council, as Assessment Manager, must consider:

- The information included in the application;
- Any properly made submissions about the development application;
- All matters that would or may have been considered if the change application were a development application; and,
- The matters that were considered at the time of the original development application.

This assessment is further discussed in Section 6.0 of this report.

#### **5.1.4 Referral Agencies**

There were no referral agencies to the original application and consequently, pursuant to section 80 of the *Planning Act 2016* there is no requirement to refer the application or notify any affected entity.

## 6.0 Planning Assessment

### 6.1 Assessment of Minor Change Application (*Planning Act 2016 s81*)

#### 6.1.1 Properly Made Submissions

It is unclear whether the original application was the subject of public notification; however a significant passage of time has occurred since the original approval and the proposed change is unlikely to cause additional representations or affect any representations that may have been made.

#### 6.1.2 Matters that would be considered if the change application were a development application.

This assessment is twofold. The Act requires Council to consider the Planning Scheme that was in effect when the original development application was properly made and, in addition, Council may consider the Planning Scheme that is in effect when the change application is made.

The original approval was granted in 1981 prior to the commencement of the current planning scheme in 2018. It is considered more relevant to consider the proposed change against the current planning scheme than the planning scheme provisions that were in place at the time of approval.

#### 6.1.3 Douglas Shire Council Planning Scheme (Version 5.0)

Within the Douglas Shire Council Planning Scheme, the site is identified within the Low Density Residential Zone and the Coastal Communities Local Plan and is affected by the Acid Sulfate Soils Overlay; the Coastal Processes Overlay and the Flood and Storm Tide Inundation Overlay Code.

The Table below identifies the applicable Assessment Benchmarks contained within the Planning Scheme that are relevant to the proposed change. A detailed assessment of the proposed change against the Assessment Benchmarks is attached at [Appendix 5](#).

Assessment Benchmark	Applicability	Compliance
Low Density Residential Zone Code	Not applicable	The development is built and the proposed change would not affect the existing built form or nature of use.
Coastal Communities Local Plan	Not applicable	The development is built and the proposed change would not affect the existing built form or

		nature of use.
Acid Sulfate Soils Overlay Code	Not applicable	No change to existing development impacts.
Coastal Environment Overlay Code	Not applicable	No change to existing development impacts
Flood and Storm Tide Hazard Overlay Code	Not applicable	No change to existing development impacts
Multiple Dwelling, Short-Term Accommodation & retirement Facility Code	Not applicable	The development is built and the proposed change would not affect the existing built form or nature of use.
Infrastructure Works Code	Applies	Complies with all applicable Acceptable Outcomes.
Landscaping Code	Applies	Consideration is required is respect of Performance Outcomes PO1 and PO2. Refer below.
Parking and Access Code	Applies	Consideration of Performance Outcomes PO1 and PO3 are required. Refer below.
Vegetation Management Code	Not applicable	No change to existing development impacts

#### 6.1.4 Statement of Compliance – Benchmark Assessment

##### 6.1.4.1 Landscaping Code

Performance Outcome PO1 of the Landscaping Code, states:

#### **PO1**

*Development provides landscaping that contributes to and creates a high quality landscape character for the site, street and local areas of the Shire by:*

- (a) promoting the Shire's character as a tropical environment;*
- (b) softening the built form of development;*
- (c) enhancing the appearance of the development from within and outside the development and makes a positive contribution to the streetscape;*
- (d) screening the view of buildings, structures, open storage areas, service equipment, machinery plant and the like from public places, residences and other sensitive development;*



- (e) where necessary, ensuring the privacy of habitable rooms and private outdoor recreation areas;*
- (f) contributing to a comfortable living environment and improved energy efficiency, by providing shade to reduce glare and heat absorption and re-radiation from buildings, parking areas and other hard surfaces;*
- (g) ensuring private outdoor recreation space is useable;*
- (h) providing long term soil erosion protection;*
- (i) providing a safe environment;*
- (j) integrating existing vegetation and other natural features of the premises into the development;*
- (k) not adversely affecting vehicular and pedestrian sightlines and road safety*

The associated Acceptable Outcome states:

### **AO1**

*Development provides landscaping:*

- (a) in accordance with the minimum area, dimensions and other requirements of applicable development codes;*
- (b) that is designed and planned in a way that meets the guidelines for landscaping outlined in Planning Scheme Policy SC6.7 – Landscaping;*
- (c) that is carried out and maintained in accordance with a landscaping plan that meets the guidelines for landscaping outlined in Planning Scheme Policy SC6.7 – Landscaping.*

It is considered that the proposed development complies with the Performance Outcome. The proposed change would retain the existing communal recreation area and provide an improved communal landscaped interface with the foreshore. However, it would offer reduced landscaping to the front boundary, which would be buffered by a front boundary fence.

Whilst the proposal would not provide a landscaped buffer to the street, it would not increase visibility of service equipment or plant and would not adversely impact on the amenity of the residents. It would also not adversely affect the streetscape which is dominated by open street fronts. To the contrary, it would improve the streetscape by making the on-site parking spaces more accessible and reduce the preference for on-street car parking, which has an adverse impact on the streetscape.

Performance Outcome PO2 of the Landscaping Code, states:

### **PO2**

*Landscaping contributes to a sense of place, is functional to the surroundings and enhances the streetscape and visual appearance of the development.*



It is considered that the proposed development complies with the Performance Outcome. The proposed change would offer limited landscaping to the street front; which is considered consistent with the dominant visual appearance of the streetscape and would reduce the preference for on-street car parking, which has an adverse impact on the amenity of the area.

#### **6.1.4.2 Access, Parking and Servicing Code**

Performance Outcome PO1 of the Access, Parking and Servicing Code states:

##### **PO1**

*Sufficient on-site car parking is provided to cater for the amount and type of vehicle traffic expected to be generated by the use or uses of the site, having particular regard to:*

- (a) the desired character of the area;*
- (b) the nature of the particular use and its specific characteristics and scale;*
- (c) the number of employees and the likely number of visitors to the site;*
- (d) the level of local accessibility;*
- (e) the nature and frequency of any public transport serving the area;*
- (f) whether or not the use involves the retention of an existing building and the previous requirements for car parking for the building*
- (g) whether or not the use involves a heritage building or place of local significance;*
- (h) whether or not the proposed use involves the retention of significant vegetation.*

The associated Acceptable Outcome states:

##### **AO1.1**

*The minimum number of on-site vehicle parking spaces is not less than the number prescribed in Table 9.4.1.3.b for that particular use or uses.*

The proposed development, in accordance with the code is required to provide 1.5 car spaces per dwelling unit or 7.5 spaces. However, the extant approval requires the provision of 7 on-site vehicle spaces and the proposed change would retain this number of car parking spaces. The existing car parking quantum has been accepted by Council as being sufficient to accommodate the demand generated by the development.

Performance Outcome PO3 states:

##### **PO3**

*Access points are designed and constructed:*

- (a) to operate safely and efficiently;*
- (b) to accommodate the anticipated type and volume of vehicles*

- (c) to provide for shared vehicle (including cyclists) and pedestrian use, where appropriate;*
- (d) so that they do not impede traffic or pedestrian movement on the adjacent road area;*
- (e) so that they do not adversely impact upon existing intersections or future road or intersection improvements;*
- (f) so that they do not adversely impact current and future on-street parking arrangements;*
- (g) so that they do not adversely impact on existing services within the road reserve adjacent to the site;*
- (h) so that they do not involve ramping, cutting of the adjoining road reserve or any built structures (other than what may be necessary to cross over a stormwater channel).*

The associated Acceptable Outcomes state:

### **AO3.1**

*Access is limited to one access cross over per site and is an access point located, designed and constructed in accordance with:*

- (a) Australian Standard AS2890.1;*
- (b) Planning scheme policy SC6.5 – FNQROC Regional Development Manual - access crossovers.*

### **AO3.2**

*Access, including driveways or access crossovers:*

- (a) are not placed over an existing:
 
  - a. telecommunications pit;*
  - b. stormwater kerb inlet;*
  - c. sewer utility hole;*
  - d. water valve or hydrant.**
- (b) are designed to accommodate any adjacent footpath;*
- (c) adhere to minimum sight distance requirements in accordance with AS2980.1.*

The proposed development is considered to satisfy the Performance Outcome. The proposed change would result in the construction of an additional vehicle crossover to improve vehicle access to the parking spaces proposed in the front setback area and will require the relocation of an existing Telstra box. The proposed additional access would improve the safe and efficient operation of the car parking spaces and to improve overall accessibility and reduce the preference for on-street parking, which is acknowledged as an issue in the area and which affect safe traffic and pedestrian movement. Should the application be approved, the applicant would accept a condition requiring the relocation of the Telstra box prior to the commencement of works.

## 7.0 Summary and Conclusion

This report has been prepared on behalf of the Body Corporate for Sol Y Mar Community Titles Scheme in support of a Change Application to Douglas Shire Council for approval of a minor change to an existing Multiple Dwelling approval. The minor change is required to provide for an amendment to the existing car parking layout to improve operational efficiency and to improve overall amenity.

The subject site is currently improved by a unit complex containing 5 units and associated car parking and recreation space. It is proposed to change the development to relocate some of the car parking spaces from the rear of the units to the front of the units and to convert the car parking area into communal recreation space for the residents. The application is considered to be a minor change to the existing development approval granted. It would not result in a substantially different development and would not result in the inclusion of prohibited development or additional referrals.

In assessing the change application, pursuant to s81 of the *Planning Act 2016*, the Council are required to have regard to all matters that would be considered if the application were a development application.

The development is considered to satisfy the relevant Assessment Benchmarks contained in the Planning Scheme that would be considered if the application were a development application and the application is submitted for approval, subject to reasonable and relevant conditions.

## Appendix 1.

# CERTIFICATE OF TITLE

# CURRENT TITLE SEARCH

NATURAL RESOURCES, MINES AND ENERGY, QUEENSLAND

Request No: 35622005

Search Date: 25/11/2020 15:09

Title Reference: 19070374

Previous Title: 20577202

## REGISTERED OWNER

BODY CORPORATE FOR SOL Y MAR COMMUNITY TITLES SCHEME  
1246  
MARINE PARADE  
NEWELL BEACH QLD 4873

## LAND DESCRIPTION

COMMON PROPERTY OF SOL Y MAR COMMUNITY TITLES SCHEME 1246  
COMMUNITY MANAGEMENT STATEMENT 1246  
Local Government: DOUGLAS

## EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by  
Deed of Grant No. 20081181 (POR 290)
2. REQUEST FOR NEW CMS No 704177075 15/07/2000 at 10:35  
New COMMUNITY MANAGEMENT STATEMENT 1246  
STANDARD MODULE

ADMINISTRATIVE ADVICES - NIL

UNREGISTERED DEALINGS - NIL

Caution - Charges do not necessarily appear in order of priority

\*\* End of Current Title Search \*\*

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Requested By: D-ENQ GLOBALX

## Appendix 2.

# DEVELOPMENT APPROVAL COUNCIL REF: T2AJFP MMC APPLICATION NO. 4

Keith

*This is a letter advising applicant of approval.  
There is no record of Council's minute in this regard.*

Brad

(No. 4)

TZAJFP MMC

22nd July, 1981

G.J & Q.C Albietz  
Unit 2  
5 Zamia Street  
HOLLOWAY BEACH, Q. 4871

Dear Sir/Madam,

Re: Town Planning Scheme - Application No. 4

I refer to your application dated 26th June, 1981 for land use approval under the provisions of the Town Planning Scheme for the development of 5 strata title units on land described as Reasub 4, Sub 2, Portion 290, Parish of Whyanbeel, County of Solander.

This application has been considered by Council and I have to advise that consent has been granted thereto subject to the following conditions:-

1. Should within a period of two years, from the date of this permit work on the development as approved not be commenced Council may implement action to revoke the approval as given.
2. The approval does not constitute a building permit and a building permit must be obtained before building operations proceed.
3. The minimum boundary clearances are as follows:-  
From street and road frontage 6 metres; from side and rear boundaries all from the outermost projection -  
1½ metres in the case of a building not greater than 4.5 metres in height above the ground. 3 metres in the case of a building of which any part is greater than 4.5 metres but not greater than 7.5 metres in height above the ground, except that any wall with less than 10% openings and window sills above 1.5 metres from the floor may come within 2 metres of the side boundary, provided that the average distance of the building from both sides of the boundary is not less than 3 metres and 5 metres in the case of a building any part of which is greater than 7.5 metres in height above the ground, except at any wall with less than 10% openings and window sills

...../2

3. above 1.5 metres from the floor may come within 4 metres of the side boundary provided that the average distance of the building from both side boundaries is not less than 5 metres.
4. The maximum coverage of the land is not to exceed 50% of the site if all parts of it are one storey, 40% of the site if any part of it is two storeys in height but no part is greater than two storeys and 35% of the site if any part of it exceeds two storeys in height.
5. Open space inclusive of car spaces and vehicle access ways shall be provided within the site with minimum rate of:-
  - 1)  $30m^2$  for each dwelling unit of  $60m^2$  or less in area and
  - 2)  $40m^2$  for each dwelling unit between  $60m^2$  and  $90m^2$  in area and
  - 3)  $60m^2$  for any dwelling unit  $90m^2$  or more in area.The open space areas specified in paragraphs 1, 2 and 3 shall be landscaped to the satisfaction of Council and at least 50% of the total landscaped area shall be provided in one area with a maximum length of which ratio 2.5:1.
6. An approved drainage system to cater for the disposal of effluent from all septic tanks and other drainage fixtures is to be provided in accordance with the provisions of the Standard Sewerage By-laws. However, should this prove to be ineffective it will be necessary that you provide at your expense in accordance with whatever requirements are stipulated by this Council a covered place for the carrying off from the premises and to dispose of the contents of such covered place in a manner directed by Council.
7. Provision is to be made for the screening of clothes lines and other incidental structures in view of other adjoining roads and properties.
8. Carparking is to be provided as follows:-

One (1) covered space per dwelling unit plus one (1) covered space per four (4) dwelling units.
9. The area of land not built on is to remain in a clean and tidy condition at all times.

Yours faithfully,

  
A.J. Twomey  
SHIRE CLERK 

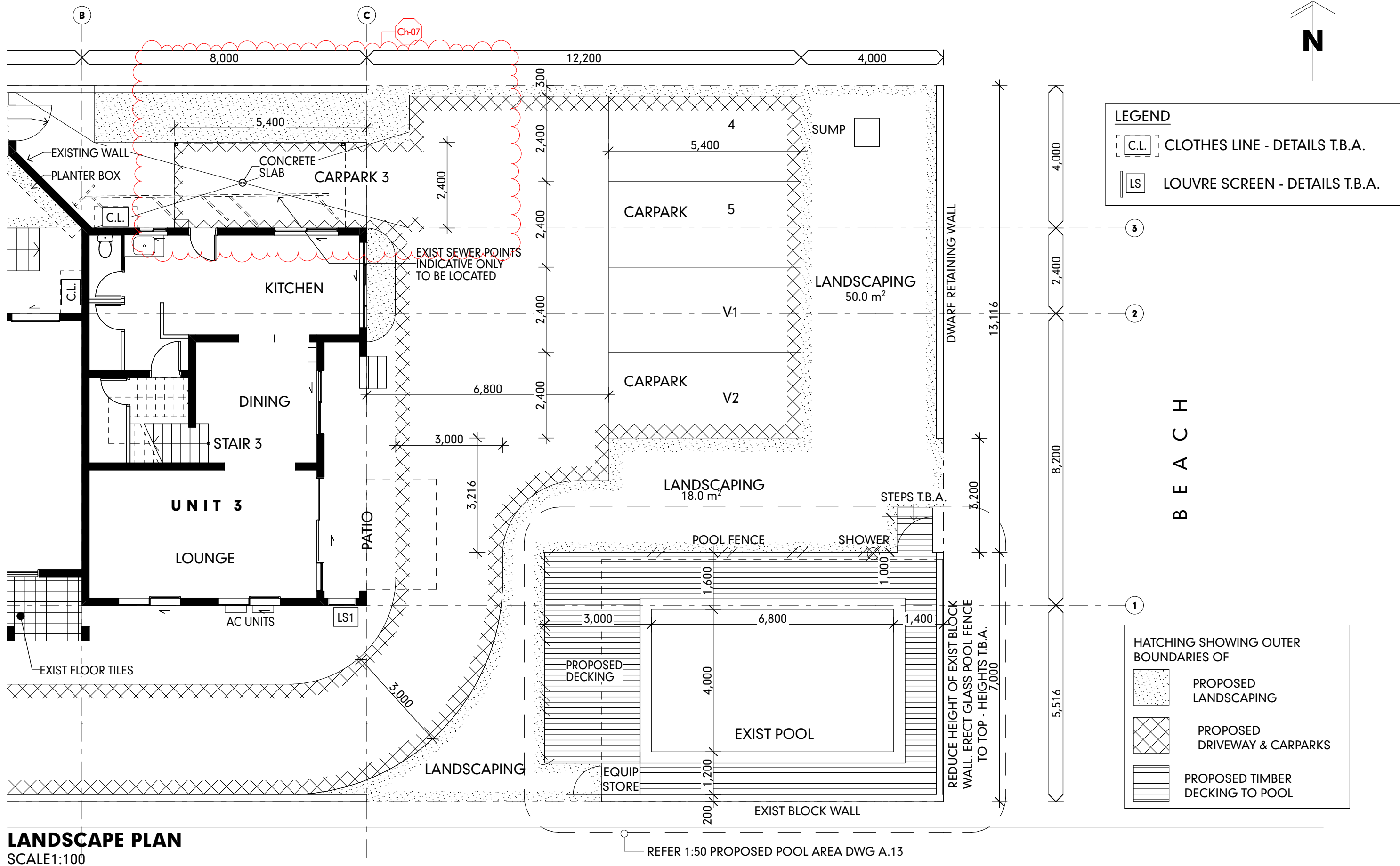


## Appendix 3.

### EXISTING AND PROPOSED CAR PARKING PLANS







**LANDSCAPE PLAN**  
SCALE 1:100

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DIMENSIONS ARE TO BE CONFIRMED ON SITE

RevID	ChID	Change Name	Date
A	Ch-01	LANDSCAPING & CARPARKING REVISED	31/8/20
B	Ch-04	CARPARKING REVISED, LANDSCAPING AREAS SHOWN	5/10/20
C	Ch-07	CARPARK 3 REVISED	11/11/20

Architect

**BEST OVEREND & ASSOCIATES  
ARCHITECTS**

UNIT 4/25 LANGLEY ROAD, PORT DOUGLAS,  
FAR NORTH QUEENSLAND 4877  
TEL 4098 5572. MOB 045 855 4542  
email: nirvana@cyberworld.net.au

Client

**MICHAEL MOORE**

Job Title

**UNIT 3  
11 MARINE PARADE  
NEWELL BEACH**

Drawing Status

**PRELIMINARY**

Scale Bar

Drawing Title

**STAGE 1  
LANDSCAPE PLAN 2 OF 2**

Job Number      Dwg Number      Revision

**BOA-200200      A.01.3      C**

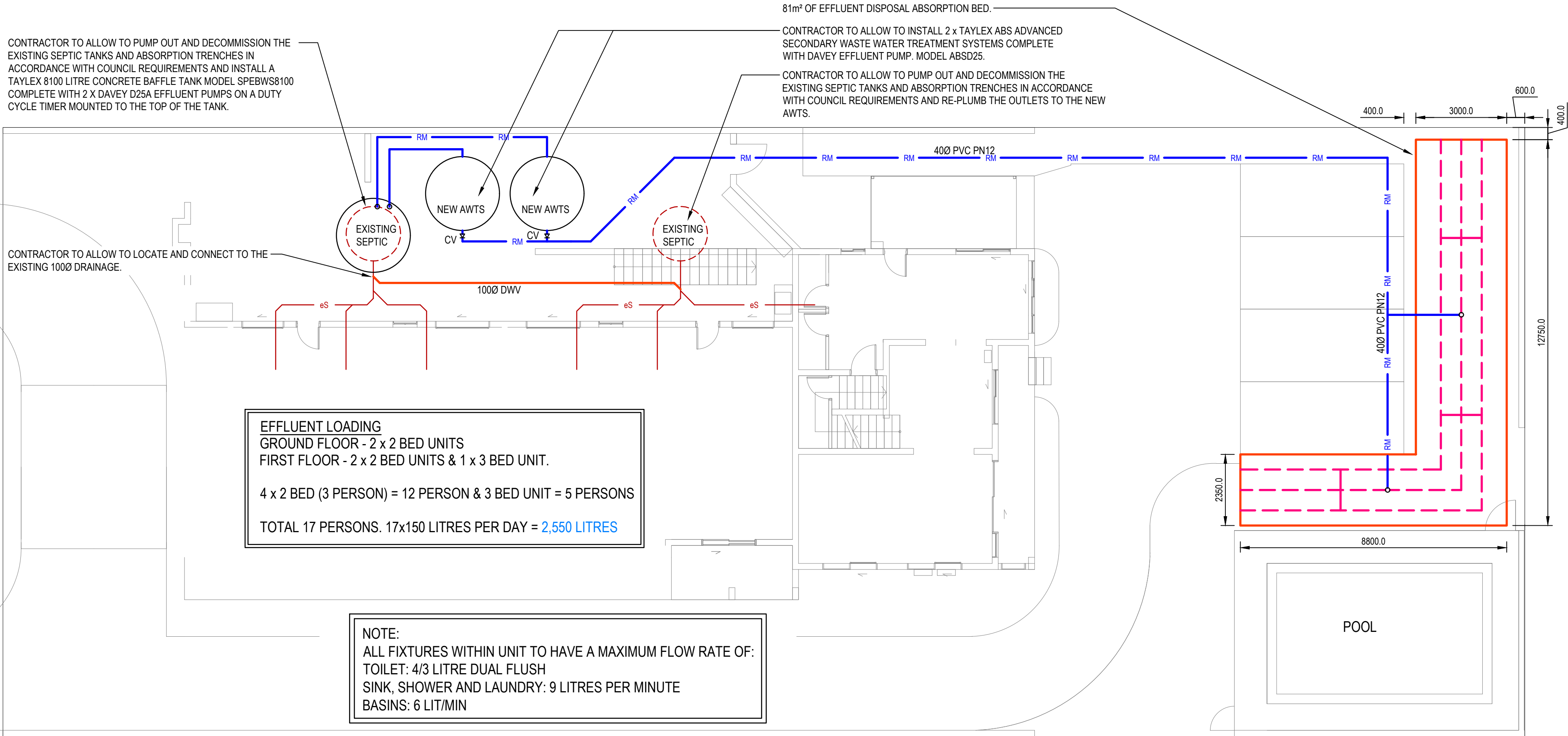
Date Published      11/11/20

## Appendix 4.

# EFFLUENT DISPOSAL PROPOSAL



11 MARINE PARADE



**1 SITE PLAN**  
Scale: 1:100

**ELECTRICAL NOTE:**  
THE CONTRACTOR IS TO ALLOW TO ENGAGE AN ELECTRICAL CONTRACTOR FOR THE INSTALLATION OF SUITABLY SIZED ELECTRICAL EQUIPMENT TO PROVIDE POWER TO THE BAFFLE TANKS AND EACH WASTE WATER TREATMENT SYSTEM. ALL POWER TO BE TAKEN FROM THE COMMUNITY POWER SUPPLY.

**LEGEND:**

ES EXISTING SANITARY  
SANITARY PLUMBING AND DRAINAGE  
RM RISING EFFLUENT MAIN  
PERFORATED DISTRIBUTION PIPE

**GENERAL NOTES:**

- ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH THE NATIONAL PLUMBING AND DRAINAGE CODE AS 3500 AND OTHER RELEVANT AUSTRALIAN STANDARDS.
- CONTRACTOR TO CHECK INTERPRETATION OF BYLAWS WITH COUNCIL.
- THESE DRAWINGS TO BE READ IN CONJUNCTION WITH THE ARCHITECT AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR TO VERIFY ALL SURFACE LEVELS, INVERT LEVELS AND COVER OVER WASTE DRAINAGE LINES ARE CORRECT AND OBTAINABLE BEFORE COMMENCEMENT OF WORK ON SITE.
- LOCATIONS OF EXISTING SERVICES ON SITE HAVE NOT BEEN VERIFIED. THE CONTRACTOR SHALL VERIFY LOCATIONS OF SERVICES BEFORE COMMENCEMENT OF WORK.
- CONCEAL ALL PIPEWORK WHERE POSSIBLE.
- ALL PIPES LAID UNDER SLAB TO BE MINIMUM DEPTH OF 400mm TO INVERT LEVEL AND SHALL BE 100mm DIA. U.N.O.
- CONTRACTOR TO PROVIDE AS CONSTRUCTED DRAWINGS TO THE ARCHITECT ON COMPLETION OF THE CONTRACT.

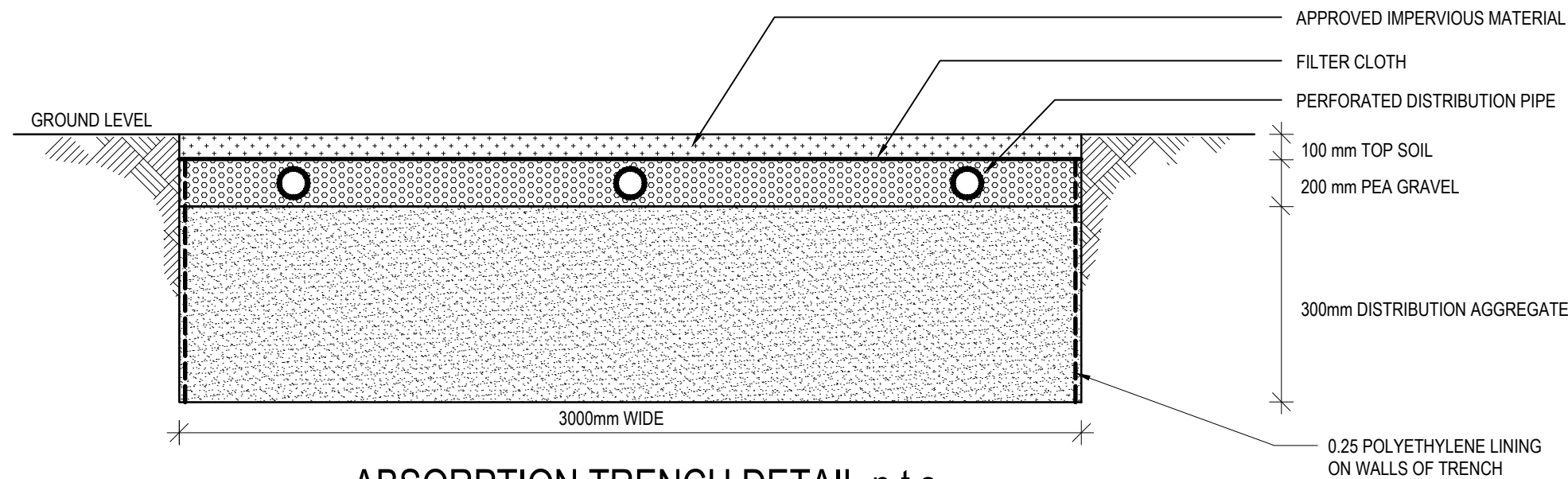
**WATER MANAGEMENT SYSTEM:**

- ALL WC PANS SHALL BE FITTED WITH A 6/3 LITRE DUAL FLUSH TYPE CISTERN AND PAN.
- ALL TAPWARE OUTLETS TO BE FITTED WITH FLOW CONTROL REGULATORS WITH THE FOLLOWING FLOW RATES: SINK 9 LIT/MIN. BATH 9 LIT/MIN. SHOWER 9 LIT/MIN. BASIN 6 LIT/MIN. TUB 9 LIT/MIN.

**SANITARY PLUMBING AND DRAINAGE:**

- ALL DRAINAGE SHALL BE 100mm DIA. UPVC RUN AT MINIMUM GRADE OF 1.65% (1:60) U.N.O.
- ALL VENT PIPES TO TERMINATE IN ACCORDANCE WITH AS 3500 2.2 SECTION 6.7.4.
- ALL IO's UNDER CONCRETE TO BE TAKEN TO SURFACE LEVEL AND FITTED WITH APPROVED SCREW CAP.
- ALL FWG's SHALL HAVE 100mm DIA RISERS AND REMOVABLE SCREW GRATES.
- WHERE PVC PIPES PENETRATE OR ARE BUILT INTO WALLS OR SLABS THE PIPES SHALL BE LAGGED WITH APPROVED MATERIAL IN ACCORDANCE WITH AUSTRALIAN STANDARDS.
- MAXIMUM DISTANCE OF UNVENTED BRANCH DRAIN IS 10 METRES TO FIXTURES, ORG's OR DG's.
- MATERIALS: DRAINAGE, SOIL, WASTE & VENT PIPES & FITTINGS: UPVC CLASS 'DWV' TO AS 1260 FITTED WITH FIRESTOP COLLARS WHERE REQUIRED TO AS1530.4 OR COPPER TYPE 'D' TO AS 1432.
- ALL WC's TO BE SCREW FIXED TO FLOOR WITH NYLON PLUGS AND NON-CORROSIVE METAL SCREWS.
- ALL DISCHARGE PIPES RECEIVING CONDENSATE WASTE INCLUDING TRAPS SHALL BE INSULATED.

**NOTE:**  
ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE LOCAL AUTHORITY REQUIREMENTS AND THE FOLLOWING CODES:  
\* AS 3500 - NATIONAL PLUMBING & DRAINAGE CODE  
\* AS 1546 - SMALL SEPTIC TANKS  
\* AS 1547 - DISPOSAL SYSTEMS FROM DOMESTIC PREMISES  
\* CODE OF PRACTICE FOR ON-SITE SEWERAGE FACILITIES



**ABSORPTION TRENCH DETAIL n.t.s**  
**CATEGORY 1 SOIL (SANDS & GRAVEL)**

**BUILDING APPROVAL**

DATE	REV	AMENDMENT	CHKD
12.11.2020	P1	PRELIMINARY ISSUE	
16.11.2020	P2	PRELIMINARY ISSUE	
17.11.2020	A	ISSUED FOR BUILDING/PLUMBING APPROVAL	

REFERENCE COORDINATION DRAWINGS			
DESCRIPTION	DRAWING NO.	REV	CHKD
ARCHITECTURAL DRAWING	X	-	SB

HYDRAULIC ENGINEER

**H<sub>2</sub>O**

15/38-42 Pease Street, CAIRNS  
Po Box 135, Bungalow, Q 4870  
P: 07 40321468  
F: 07 42124126  
M: 0417726656  
E: admin@h2oconsultants.com.au

CONSULTANTS

PROJECT

**PROPOSED EFFLUENT UPGRADE**  
**11 MARINE PARADE**  
**NEWELL BEACH. QLD 4873**

CLIENT

**MICHAEL MOORE**

DATE	OCT 2020	DRAWN	SR
SCALE	1:100	CHECKED	SB
SHEET SIZE	A1	APPROVED	SB
CAD FILE	1Drive\Projects\20092 - 11 Marine Parade.dwg		

TITLE		
<b>HYDRAULIC SERVICES</b> <b>SITE PLAN - EFFLUENT TREATMENT</b> <b>AND DISPOSAL UPGRADE</b>		
PROJECT NO.	DRAWING NO.	REVISION
<b>20092</b>	<b>H01</b>	<b>A</b>

## ON SITE SEWERAGE FACILITY SITE AND SOIL EVALUATION REPORT

### A: SITE EVALUATOR

Name: Shane Barnes

Signature: \_\_\_\_\_



Date: 17.11.2020

### B: SITE INFORMATION (desk-top evaluation)

#### Location Details,

Locality: **11 Marine Parade, Newell Beach**

Owner: **Michael Moore**

Phone No:

Survey Plan Details: **BUP 70374**

Lot No: **00000**

Local Government: Parish:

County:

Site Plan Details Attached, Ref. No. or Description: **Proposed Septic Upgrade,  
Site plan attached**

Soil Type from Soil Maps etc: **N/A**

#### Climate

Annual Rainfall: **2064 mm**

Annual Potential Evapotranspiration: **1715 mm**

#### Existing Water Supply Source:

Town Water Supply ☒

Rainwater (Roof Collection) ☐

Dam ☐

Bore/Well ☐

Other ☐

# SITE AND SOIL EVALUATION REPORT

## **C: SITE ASSESSMENT**

### **Topography**

Slope: **Minimal Sloping Site**

Ground Cover: **Grass**

Geology: **N/A**

Drainage Patterns: Refer Site Plan

Available Clearances: (Site Plan details attached)

Boundaries: **0 Meters from All Boundaries**

Wells, Bores: **10 Meters Available**

Embankments: **10 Meters Available**

Stands of Trees, Shrubs: **0 Meters Available**

Buildings: **2 Meters from All Buildings**

Other: \_\_\_\_\_

Site History (Land Use): **Residential**

Environmental Concerns: **N/A**

Site Stability:

Is expert Evaluation Necessary? ~~Yes~~ / No

If Yes, attach stability report and give details here of:

Author: \_\_\_\_\_ Designation: \_\_\_\_\_

Company: \_\_\_\_\_ Date: \_\_\_\_\_

### **Drainage Controls**

Depth of Seasonal water table:

WINTER: **N/A** SUMMER: **N/A**

Need for groundwater cut-off drains? ~~Yes~~ / No

Need for surface water collection / cut-off drains? Yes / ~~No~~

### **Availability of Reserve / Setback Areas**

Reserve Area available for disposal: **0%** of design area:

Setback area: **0 %**

(between site development and on-site disposal design reserve area % of total area)

Evaluator's Photographs attached ~~Yes~~ / No (Available if required)



# SITE AND SOIL EVALUATION REPORT

## D: SUBSOIL INVESTIGATION

### Soil Profile Determination

Method:      Constant Head      ✓  
                                 Test Pit      ☐  
                                 Other      ✓

**Soil Texture Test \ Soil Classification Test**

Report: \_\_\_\_\_

### Estimated Soil Category:

Soil Category	Description	Tick One
1.	Gravels and Sand	✓
2.	Loamy Sand	<input type="checkbox"/>
3.	Sandy Loams	<input type="checkbox"/>
4.	Loams	<input type="checkbox"/>
5.	Clay Loams	<input type="checkbox"/>
6.	Light Clays	<input type="checkbox"/>
7.	Medium to Heavy Clays	<input type="checkbox"/>

Reasons for placing in Stated Soil Category:

**On Site Test/Assessment**

Reasons for Design Loading Rate (DLR) recommendation:

**Based on Test and have assumed DLR of 50 to AS 1547:2012 - Table L1**

### General Comments

Need for Groundwater Quality Protection:      ~~Yes~~ / No

Type of Land Application Facility considered best suited to site:      **Advanced Secondary  
Treated Effluent with Absorption Trench/Bed.**

Evaluator's preliminary assessment of minimum Land Application Area for the site:

**51m<sup>2</sup> of Distribution Bed**

Estimated Daily Flow: **Based on a 5 Units (4x2 Bed and 1 x 3 Bed)**

**17 people x 150 litres per day = 2550 lit**

Design Considerations: **Setback Distance reduction required due to site constraints.**

**System being upgraded to the highest quality.**

### Consultation with other parties:

Neighbours	<input type="checkbox"/>	Local Authority	✓
Environment Agencies	<input type="checkbox"/>	Not Applicable	<input type="checkbox"/>
Report Attached		<del>Yes</del> / No	

## DISPOSAL SYSTEMS for EFFLUENT from DOMESTIC PREMISES A.S 1547-2012 SIZING OF DISPOSAL AREA CALCULATIONS

### 1. MOUND AREA

A = ETS Bed Area m<sup>2</sup>  
Q = Design Daily Flow Litres / day  
DLR = Design Loading Rate mm / day for Mounds

$$A = Q / \text{DLR}$$
$$A = 2550 / 50$$
$$A = 51 \text{ m}^2$$

For treated effluent applied to a mound the following minimum sizes are required as per AS 1547:2012.

Distribution -            3.0m wide x 12.75m long total.  
                                 2.35m wide x 5.8m long total.

### 2. CONCLUSION

Due to site constraints, setback distances from Boundaries and driveways are requested. 400mm from Rear Boundary, and 400mm from side boundary required. 0m from driveways.

The existing system is made up of 2 Septic Tanks and approx. 30m of Absorption Trenches.

The proposed system is an Advanced Secondary quality of Effluent, the highest available. Viral Die Back calculations support reduction in setback distances.

**EXTRACT FROM AUSTRALIAN STANDARDS AS 1547.2012  
FLOW RATES THROUGH FIXTURES.**

**TABLE H1  
TYPICAL DOMESTIC WASTEWATER DESIGN FLOW ALLOWANCES – AUSTRALIA**

Source	Typical wastewater design flows (L/person/day)	
	On-site roof water tank supply	Reticulated water supply
Residential premises	120	150
Source: Australian Bureau of Statistics. Water Account 2004/2005. Chapter 7 Figure 7.3		

**EXTRACT FROM AUSTRALIAN STANDARDS AS 1547.2012  
SETBACK DISTANCES.**

**TABLE R1**  
**GUIDELINES FOR HORIZONTAL AND VERTICAL SETBACK DISTANCES**  
(to be used in conjunction with Table R2)

Site feature	Setback distance range (m) (See Note 1)	Site constraint items of specific concern (from Table R2) (see Note 1)
	<i>Horizontal setback distance (m)</i>	
Property boundary	1.5 – 50 (see Note 2)	A, D, J
Buildings/houses	2.0 – > 6 (see Note 3)	A, D, J
Surface water (see Note 4)	15 – 100	A, B, D, E, F, G, J
Bore, well (see Notes 5 and 6)	15 – 50	A, C, H, J
Recreational areas (Children's play areas, swimming pools and so on) (see Note 7)	3 – 15 (see Notes 8 and 9)	A, E, J
In-ground water tank	4 – 15 (see Note 10)	A, E, J
Retaining wall and Embankments, escarpments, cuttings (see Note 11)	3.0 m or 45° angle from toe of wall (whichever is greatest)	D, G, H
	<i>Vertical setback distance (m)</i>	
Groundwater (see Notes 5, 6, and 12)	0.6 – > 1.5	A, C, F, H, I, J
Hardpan or bedrock	0.5 – ≥ 1.5	A, C, J

**NOTES:**

- 1 The overall setback distance should be commensurate with the level of risk to public health and the environment. For example, the maximum setback distance should be adopted where site/system features are on the high end of the constraint scale. The setback distance should be based on an evaluation of the constraint items and corresponding sensitive features in Table R2 and how these interact to provide a pathway or barrier for wastewater movement.
- 2 Subject to local regulatory rules and design by a suitably qualified and experienced person, the separation of a drip line system from an upslope boundary, for slopes greater than 5%, may be reduced to 0.5 m.



**TABLE R1**  
**GUIDELINES FOR HORIZONTAL AND VERTICAL SETBACK DISTANCES**  
(to be used in conjunction with Table R2) (continued)

3	Setback distances of less than 3 m from houses are appropriate only where a drip irrigation land application system is being used with low design irrigation rates, where shallow subsurface systems are being used with equivalent low areal loading rates, where the risk of reducing the bearing capacity of the foundation or damaging the structure is low, or where an effective barrier (designed by a suitably qualified and experienced person) can be installed. This may require consent from the regulatory authority.
4	Setback distance from surface water is defined as the areal edge of the land application system to the edge of the water. Where land application areas are planned in a water supply catchment, advice on adequate buffer distances should be sought from the relevant water authority and a hydrogeologist. Surface water, in this case, refers to any fresh water or geothermal water in a river, lake, stream, or wetland that may be permanently or intermittently flowing. Surface water also includes water in the coastal marine area and water in man-made drains, channels, and dams unless these are to specifically divert surface water away from the land application area. Surface water excludes any water in a pipe or tank.
5	Highly permeable stony soils and gravel aquifers potentially allow microorganisms to be readily transported up to hundreds of metres down the gradient of an on-site system (see R3, Table 1 in Pang et al. 2005). Maximum setback distances are recommended where site constraints are identified at the high scale for items A, C, and H. For reading and guidance on setback distances in highly permeable soils and coarse-grained aquifers see R3. As microbial removal is not linear with distance, data extrapolation of experiments should not be relied upon unless the data has been verified in the field. Advice on adequate buffer distances should be sought from the relevant water authority and a hydrogeologist.
6	Setback distances from water supply bores should be reviewed on a case-by-case basis. Distances can depend on many factors including soil type, rainfall, depth and casing of bore, direction of groundwater flow, type of microorganisms, existing quality of receiving waters, and resource value of waters.
7	Where effluent is applied to the surface by covered drip or spray irrigation, the maximum value is recommended.
8	In the case of subsurface application of primary treated effluent by LPED irrigation, the upper value is recommended.
9	In the case of surface spray, the setback distances are based on a spray plume with a diameter not exceeding 2 m or a plume height not exceeding 0.5 m above finished surface level. The potential for aerosols being carried by the wind also needs to be taken into account.
10	It is recommended that land application of primary treated effluent be down gradient of in-ground water tanks.
11	When determining minimum distances from retaining walls, embankments, or cut slopes, the type of land application system, soil types, and soil layering should also be taken into account to avoid wastewater collecting in the subsoil drains or seepage through cuts and embankments. Where these situations occur setback clearances may need to be increased. In areas where slope stability is of concern, advice from a suitably qualified and experienced person may be required.
12	Groundwater setback distance (depth) assumes unsaturated flow and is defined as the vertical distance from the base of the land application systems to the highest seasonal water table level. To minimise potential for adverse impacts on groundwater quality, minimum setback distances should ensure unsaturated, aerobic conditions in the soil. These minimum depths will vary depending on the scale of site constraints identified in Table R2. Where groundwater setback is insufficient, the ground level can be raised by importing suitable topsoil and improving effluent treatment. The regulatory authority should make the final decision in this instance. (See also the guidance on soil depth and groundwater clearance in Tables K1 and K2.)



**TABLE R2**  
**SITE CONSTRAINT SCALE FOR DEVELOPMENT OF SETBACK DISTANCES**

(used as a guide in determining appropriate setback distances from ranges given in Table R1)

Item	Site/system feature	Constraint scale (see Note 1)		Sensitive features
		LOWER	HIGHER	
		Examples of constraint factors (see Note 2)		
A	Microbial quality of effluent (see Note 3)	Effluent quality consistently producing $\leq 10$ cfu/100 mL <i>E. coli</i> (secondary treated effluent with disinfection)	Effluent quality consistently producing $\geq 10^6$ cfu/100 mL <i>E. coli</i> (for example, primary treated effluent)	Groundwater and surface pollution hazard, public health hazard
B	Surface water (see Note 4)	Category 1 to 3 soils (see Note 5) no surface water down gradient within > 100 m, low rainfall area	Category 4 to 6 soils, permanent surface water <50 m down gradient, high rainfall area, high resource/environmental value (see Note 6)	Surface water pollution hazard for low permeable soils, low lying or poorly draining areas
C	Groundwater	Category 5 and 6 soils, low resource/environmental value	Category 1 and 2 soils, gravel aquifers, high resource/environmental value	Groundwater pollution hazard
D	Slope	0 – 6% (surface effluent application) 0 – 10% (subsurface effluent application)	> 10% (surface effluent application), > 30% subsurface effluent application	Off-site export of effluent, erosion
E	Position of land application area in landscape (see Note 6).	Downgradient of surface water, property boundary, recreational area	Upgradient of surface water, property boundary, recreational area	Surface water pollution hazard, off-site export of effluent
F	Drainage	Category 1 and 2 soils, gently sloping area	Category 6 soils, sites with visible seepage, moisture tolerant vegetation, low lying area	Groundwater pollution hazard
G	Flood potential	Above 1 in 20 year flood contour	Below 1 in 20 year flood contour	Off-site export of effluent, system failure, mechanical faults
H	Geology and soils	Category 3 and 4 soils, low porous regolith, deep, uniform soils	Category 1 and 6 soils, fractured rock, gravel aquifers, highly porous regolith	Groundwater pollution hazard for porous regolith and permeable soils
I	Landform	Hill crests, convex side slopes, and plains	Drainage plains and incise channels	Groundwater pollution hazard, resurfacing hazard
J	Application method	Drip irrigation or subsurface application of effluent	Surface/above ground application of effluent	Off-site export of effluent, surface water pollution

**NOTES:**

- Scale shows the level of constraint to siting an on-site system due to the constraints identified by SSE evaluator or regulatory authority. See Figures R1 and R2 for examples of on-site system design boundaries and possible site constraints.
- Examples of typical siting constraint factors that may be identified either by SSE evaluator or regulatory authority. Site constraints are not limited to this table. Other site constraints may be identified and taken into consideration when determining setback distances.

- The level of microbial removal for any on-site treatment system needs to be determined and it should be assumed that unless disinfection is reliably used then the microbial concentrations will be similar to primary treatment. Low risk microbial quality value is based on the values given in ARC (2004), ANZECC and ARMICANZ (2000), and EPA Victoria (*Guidelines for environmental management: Use of reclaimed water* 2003).
- Surface water, in this case, refers to any fresh water or geothermal water in a river, lake, stream, or wetland that may be permanently or intermittently flowing. Surface water also includes water in the coastal marine area and water in man-made drains, channels, and dams unless these are to specifically divert surface water away from the land application area. Surface water excludes any water in a pipe or tank.
- The soil categories 1 to 6 are described in Table 5.1. Surface water or groundwater that has high resource value may include potable (human or animal) water supplies, bores, wells, and water used for recreational purposes. Surface water or groundwater of high environmental value include undisturbed or slightly disturbed aquatic ecosystems as described in ANZECC and ARMICANZ (2000).
- The regulatory authority may reduce or increase setback distances at their discretion based on the distances of the land application up or downgradient of sensitive receptors.

# NOTICE TO LAND OWNER

## OPERATION AND MAINTENANCE: GENERALLY

On-site sewerage treatment plants and the associated land application facilities are complex systems that are prone to failure if operated and maintained incorrectly. All on-site sewerage facilities require a high degree of user dedication in terms of operation and maintenance to ensure that the design performance of the facility is achieved for the expected life of the facility.

All on-site sewerage facilities or components of the facility have a finite life. For instance, septic tanks may have an expected life of 25 years, whilst the associated land application facility may have an expected life of 5 to 15 years depending on the nature of the specific site.

## OPERATION & MAINTENANCE PROCEDURES

Operation and maintenance procedures are undertaken to a regular schedule appropriate to the nature and type of treatment and land application facility and in accordance with any manufacturers instructions; and

Continuity of operation and maintenance is achieved throughout changes of ownership and/or changes in use or development of the site.

## OPERATION

- Practice water conservation, and avoid exceeding the hydraulic capacity of the facility.
- Minimise the input of cleaning agents, detergents, disinfectants, bleaches, alkalis, oil, petrol, acids, degreasers, photography chemicals, cosmetics, lotions, pesticides and herbicides into the facility.
- Not place materials such as disposal nappies, female napkins, paper towels, cigarette butts, bones and coffee grounds into the facility.
- Be observant regarding signs of unsatisfactory performance, including unusual odours, leaks from the facility or choking.
- Contact the service agent following observation of unsatisfactory performance or breakdown.
- Protect facility components from structural damage, such as from vehicles.
- Be familiar with safety procedures.
- Establish a time pattern of desludging.
- Keep the area in the vicinity of the on-site sewerage facility tidy to facilitate ease of operation and maintenance.
- Where appropriate, or required by a condition of approval, enter into an annual service contract with a service agent
- Retain copies of all service reports.

## LAND APPLICATION SYSTEMS

***Regular visual checking of correct system operation by households, and an annual inspection by service contractors should be undertaken.*** Signs of system failure include:

- Surface ponding and run-off of treated effluent;
- Degrading of soil structure (Sheet or Rill erosion, surface crusts, hard surface);
- Poor vegetation growth; and
- Unusual odours.

## Appendix 5.

# BENCHMARK ASSESSMENT





20201922 – 11 Marine Parade, Newell

#### **9.4.1 Access, parking and servicing code**

##### **9.4.1.1 Application**

- (1) This code applies to assessing:
  - (a) operational work which requires a compliance assessment as a condition of a development permit; or
  - (b) a material change of use or reconfiguring a lot if:
    - (i) self-assessable or assessable development where this code is identified in the assessment criteria column of the table of assessment;
    - (ii) impact assessable development, to the extent relevant.
- (2) When using this code, reference should be made to Part 5.

##### **9.4.1.2 Purpose**

- (1) The purpose of the Access, parking and servicing code is to assess the suitability of access, parking and associated servicing aspects of a development.
- (2) The purpose of the code will be achieved through the following overall outcomes:
  - (a) sufficient vehicle parking is provided on-site to cater for all types of vehicular traffic accessing and parking on-site, including staff, guests, patrons, residents and short term delivery vehicles;
  - (b) sufficient bicycle parking and end of trip facilities are provided on-site to cater for customer and service staff;
  - (c) on-site parking is provided so as to be accessible and convenient, particularly for any short term uses;
  - (d) development provides walking and cycle routes through the site which link the development to the external walking and cycling network;
  - (e) the provision of on-site parking, loading / unloading facilities and the provision of access to the site do not impact on the efficient function of street network or on the area in which the development is located;
  - (f) new vehicular access points are safely located and are not in conflict with the preferred ultimate streetscape character and local character and do



20201922 – 11 Marine Parade, Newell

not unduly disrupt any current or future on-street parking arrangements.

### 9.4.1.3 Criteria for assessment

**Table Error! No text of specified style in document..a – Access, parking and servicing code –assessable development**

Performance outcomes	Acceptable outcomes	Compliance
<b>For self-assessable and assessable development</b>		
<b>PO1</b> Sufficient on-site car parking is provided to cater for the amount and type of vehicle traffic expected to be generated by the use or uses of the site, having particular regard to: (a) the desired character of the area; (b) the nature of the particular use and its specific characteristics and scale; (c) the number of employees and the likely number of visitors to the site;	<b>AO1.1</b> The minimum number of on-site vehicle parking spaces is not less than the number prescribed in Table 9.4.1.3.b for that particular use or uses. Note - Where the number of spaces calculated from the table is not a whole number, the number of spaces provided is the next highest whole number.	<b>Complies with PO1</b> The proposed development, in accordance with the code is required to provide 1.5 car spaces per dwelling unit or 7.5 spaces. However, the extant approval requires the provision of 7 on-site vehicle spaces and the proposed change would retain this number of car parking spaces.
	<b>AO1.2</b> Car parking spaces are freely available for the parking of vehicles at all times and are not used	<b>Complies with AO1.2</b> The proposed car parking spaces would be available for the paring of motor vehicles.



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
(d) the level of local accessibility; (e) the nature and frequency of any public transport serving the area; (f) whether or not the use involves the retention of an existing building and the previous requirements for car parking for the building (g) whether or not the use involves a heritage building or place of local significance; (h) whether or not the proposed use involves the retention of significant vegetation.	for external storage purposes, the display of products or rented/sub-leased.	
	<b>AO1.3</b> Parking for motorcycles is substituted for ordinary vehicle parking to a maximum level of 2% of total ordinary vehicle parking.	<b>Not applicable</b> No motor vehicle parking is proposed.
	<b>AO1.4</b> For parking areas exceeding 50 spaces parking, is provided for recreational vehicles as a substitute for ordinary vehicle parking to a maximum of 5% of total ordinary vehicle parking rate.	<b>Not applicable</b> Only 7 parking spaces would be provided.
<b>PO2</b> Vehicle parking areas are designed and constructed in accordance with relevant standards.	<b>AO2</b> Vehicle parking areas are designed and constructed in accordance with Australian Standard:	<b>Complies with AO2</b> All vehicle parking spaces would be provided with dimensions and aisle widths consistent with the standard drawings contained in the Australian



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
	(a) AS2890.1; (b) AS2890.3; (c) AS2890.6.	Standard with all vehicles able to enter and leave the site in a forward gear.
<b>PO3</b>  Access points are designed and constructed: (a) to operate safely and efficiently; (b) to accommodate the anticipated type and volume of vehicles (c) to provide for shared vehicle (including cyclists) and pedestrian use, where appropriate; (d) so that they do not impede traffic or pedestrian movement on the adjacent road area;	<b>AO3.1</b>  Access is limited to one access cross over per site and is an access point located, designed and constructed in accordance with: (a) Australian Standard AS2890.1; (b) Planning scheme policy SC6.5 – FNQROC Regional Development Manual - access crossovers.	<b>Complies with PO3</b>  The proposed change would result in the construction of an additional vehicle crossover to improve vehicle access to the parking spaces proposed in the front setback area and will require the relocation of an existing Telstra box.  The proposed secondary access would improve the safe and efficient operation of the car parking spaces and to improve overall accessibility and reduce the preference for on-street parking, which is acknowledged as an issue in the area and which affect safe traffic and pedestrian movement.



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
<p>(e) so that they do not adversely impact upon existing intersections or future road or intersection improvements;</p> <p>(f) so that they do not adversely impact current and future on-street parking arrangements;</p> <p>(g) so that they do not adversely impact on existing services within the road reserve adjacent to the site;</p> <p>(h) so that they do not involve ramping, cutting of the adjoining road reserve or any built structures (other than what may be necessary to cross over a stormwater channel).</p>	<p><b>AO3.2</b></p> <p>Access, including driveways or access crossovers:</p> <p>(a) are not placed over an existing:</p> <ul style="list-style-type: none"> <li>(i) telecommunications pit;</li> <li>(ii) stormwater kerb inlet;</li> <li>(iii) sewer utility hole;</li> <li>(iv) water valve or hydrant.</li> </ul> <p>(b) are designed to accommodate any adjacent footpath;</p> <p>(c) adhere to minimum sight distance requirements in accordance with AS2980.1.</p>	<p><b>Complies with PO3</b></p> <p>The proposed change would result in the construction of an additional vehicle crossover to improve vehicle access to the parking spaces proposed in the front setback area and will require the relocation of an existing Telstra box.</p> <p>The proposed additional access would improve the safe and efficient operation of the car parking spaces and to improve overall accessibility and reduce the preference for on-street parking, which is acknowledged as an issue in the area and which affect safe traffic and pedestrian movement.</p> <p>Should the application be approved, the applicant would accept a condition requiring the relocation of the Telstra box prior to the commencement of works.</p>
	<p><b>AO3.3</b></p>	<p><b>Complies with AO3.3</b></p>



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
	<p>Driveways are:</p> <ul style="list-style-type: none"><li>(a) designed to follow as closely as possible to the existing contours, but are no steeper than the gradients outlined in Planning scheme policy SC6.5 – FNQROC Regional Development Manual;</li><li>(b) constructed such that where there is a grade shift to 1 in 4 (25%), there is an area with a grade of no more than 1 in 6 (16.6%) prior to this area, for a distance of at least 5 metres;</li><li>(c) on gradients greater than 1 in 6 (16.6%) driveways are constructed to ensure the cross-fall of the driveway is one way and directed into the hill, for vehicle safety and drainage purposes;</li><li>(d) constructed such that the transitional change in grade from the road to the lot is fully</li></ul>	<p>The site is relatively flat and provides for ease of driveway construction.</p>



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
	<p>contained within the lot and not within the road reserve;</p> <p>(e) designed to include all necessary associated drainage that intercepts and directs storm water runoff to the storm water drainage system.</p>	
	<p><b>AO3.4</b></p> <p>Surface construction materials are consistent with the current or intended future streetscape or character of the area and contrast with the surface construction materials of any adjacent footpath.</p>	<p><b>Complies with AO3.4</b></p> <p>The new driveway would be constructed of material consistent with the existing driveway.</p>
<p><b>PO4</b></p> <p>Sufficient on-site wheel chair accessible car parking spaces are provided and are identified and reserved for such purposes.</p>	<p><b>AO4</b></p> <p>The number of on-site wheel chair accessible car parking spaces complies with the rates specified in AS2890 Parking Facilities.</p>	<p><b>Not applicable</b></p> <p>No on-site wheel chair accessible spaces are required.</p>
<p><b>PO5</b></p>	<p><b>AO5</b></p>	<p><b>Not applicable</b></p>



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
Access for people with disabilities is provided to the building from the parking area and from the street.	Access for people with disabilities is provided in accordance with the relevant Australian Standard.	No on-site wheel chair accessible spaces are required.
<b>PO6</b> Sufficient on-site bicycle parking is provided to cater for the anticipated demand generated by the development.	<b>AO6</b> The number of on-site bicycle parking spaces complies with the rates specified.	<b>Not applicable</b> The original approval does not require the provision of bicycle parking spaces.
<b>PO7</b> Development provides secure and convenient bicycle parking which: (a) for visitors is obvious and located close to the building's main entrance; (b) for employees is conveniently located to provide secure and convenient access	<b>AO7.1</b> Development provides bicycle parking spaces for employees which are co-located with end-of-trip facilities (shower cubicles and lockers);	<b>Not applicable</b> The original approval does not require the provision of bicycle parking spaces.
	<b>AO7.2</b> Development ensures that the location of visitor bicycle parking is discernible either by direct view or using signs from the street.	<b>Not applicable</b> The original approval does not require the provision of bicycle parking spaces





20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
<p>between the bicycle storage area, end-of-trip facilities and the main area of the building;</p> <p>(c) is easily and safely accessible from outside the site.</p>	<p><b>AO7.3</b></p> <p>Development provides visitor bicycle parking which does not impede pedestrian movement.</p>	<p><b>Not applicable</b></p> <p>The original approval does not require the provision of bicycle parking spaces</p>
<p><b>PO8</b></p> <p>Development provides walking and cycle routes through the site which:</p> <p>(a) link to the external network and pedestrian and cyclist destinations such as schools, shopping centres, open space, public transport stations, shops and local activity centres along the safest, most direct and convenient routes;</p> <p>(b) encourage walking and cycling;</p> <p>(c) ensure pedestrian and cyclist safety.</p>	<p><b>AO8</b></p> <p>Development provides walking and cycle routes which are constructed on the carriageway or through the site to:</p> <p>(a) create a walking or cycle route along the full frontage of the site;</p> <p>(b) connect to public transport and existing cycle and walking routes at the frontage or boundary of the site.</p>	<p><b>Not applicable</b></p> <p>No walking or cycle routes are required through the site.</p>
<p><b>PO9</b></p>	<p><b>AO9.1</b></p>	<p><b>Complies with AO9.1</b></p>



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
<p>Access, internal circulation and on-site parking for service vehicles are designed and constructed:</p> <p>(a) in accordance with relevant standards;</p> <p>(b) so that they do not interfere with the amenity of the surrounding area;</p> <p>(c) so that they allow for the safe and convenient movement of pedestrians, cyclists and other vehicles.</p>	<p>Access driveways, vehicle manoeuvring and on-site parking for service vehicles are designed and constructed in accordance with AS2890.1 and AS2890.2.</p>	<p>The proposed new car parking areas and driveway would have dimensions that are consistent with the standard drawings and requirements of the Australian Standards.</p>
	<p><b>AO9.2</b></p> <p>Service and loading areas are contained fully within the site.</p>	<p><b>Not applicable</b></p> <p>No service and loading facilities are required.</p>
	<p><b>AO9.3</b></p> <p>The movement of service vehicles and service operations are designed so they:</p> <p>(a) do not impede access to parking spaces;</p> <p>(b) do not impede vehicle or pedestrian traffic movement.</p>	<p><b>Not applicable</b></p> <p>No service and loading facilities are required.</p>
<p><b>PO10</b></p>	<p><b>AO10.1</b></p>	<p><b>Not applicable</b></p> <p>No vehicle queueing arrangements are required.</p>



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
Sufficient queuing and set down areas are provided to accommodate the demand generated by the development.	Development provides adequate area on-site for vehicle queuing to accommodate the demand generated by the development where drive through facilities or drop-off/pick-up services are proposed as part of the use, including, but not limited to, the following land uses:  (a) car wash;  (b) child care centre;  (c) educational establishment where for a school;  (d) food and drink outlet, where including a drive-through facility;  (e) hardware and trade supplies, where including a drive-through facility;  (f) hotel, where including a drive-through facility;  (g) service station.	
	<b>AO10.2</b>	<b>Not applicable</b>



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
	Queuing and set-down areas are designed and constructed in accordance with AS2890.1.	No set down areas are required.



20201922 – 11 Marine Parade, Newell

#### **9.4.5 Infrastructure works code**

##### **9.4.5.1 Application**

- (1) This code applies to assessing:
  - (a) operational work which requires an assessment as a condition of a development permit or is assessable development if this code is identified in the assessment criteria column of a table of assessment;
  - (b) a material change of use or reconfiguring a lot if:
    - (i) assessable development where this code is identified in the assessment criteria column of the table of assessment;
    - (ii) impact assessable development, to the extent relevant.

Note – The Filling and excavation code applies to operational work for filling and excavation.

- (2) When using this code, reference should be made to Part 5.

##### **9.4.5.2 Purpose**

- (1) The purpose of the Infrastructure works code is to ensure that development is safely and efficiently serviced by, and connected to, infrastructure.
- (2) The purpose of the code will be achieved through the following overall outcomes:
  - (a) the standards of water supply, waste water treatment and disposal, stormwater drainage, local electricity supply, telecommunications, footpaths and road construction meet the needs of development and are safe and efficient;
  - (b) development maintains high environmental standards;
  - (c) development is located, designed, constructed and managed to avoid or minimise impacts arising from altered stormwater quality or flow, wastewater discharge, and the creation of non-tidal artificial waterways;



20201922 – 11 Marine Parade, Newell

- (d) the integrity of existing infrastructure is maintained;
- (e) development does not detract from environmental values or the desired character and amenity of an area.

#### 9.4.5.3 Criteria for assessment

**Table Error! No text of specified style in document..a – Filling and excavation code –assessable development**

Performance outcomes	Acceptable outcomes	Compliance
<b>For self-assessable and assessable development</b>		
<b>Works on a local government road</b>		
<b>PO1</b>  Works on a local government road do not adversely impact on footpaths or existing infrastructure within the road verge and maintain the flow, safety and efficiency of pedestrians, cyclists and vehicles.	<b>AO1.1</b>  Footpaths/pathways are located in the road verge and are provided for the hierarchy of the road and located and designed and constructed in accordance with Planning scheme policy SC5 – FNQROC Regional Development Manual.	<b>Not applicable</b>  No works are proposed on a local government road.
	<b>AO1.2</b>  Kerb ramp crossovers are constructed in accordance with Planning scheme policy SC 5 –	<b>Not applicable</b>  No works are proposed on a local government



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
	FNQROC Regional Development Manual.	road.
	<b>AO1.3</b> New pipes, cables, conduits or other similar infrastructure required to cross existing footpaths: (a) are installed via trenchless methods; or (b) where footpath infrastructure is removed to install infrastructure, the new section of footpath is installed to the standard detailed in the Planning scheme policy SC5 – FNQROC Regional Development Manual, and is not less than a 1.2 metre section.	<b>Not applicable</b> No works are proposed on a local government road.
	<b>AO1.4</b> Where existing footpaths are damaged as a result of development, footpaths are reinstated ensuring: (a) similar surface finishes are used; (b) there is no change in level at joins of new	<b>Not applicable</b> No works are proposed on a local government road.



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
	<p>and existing sections;</p> <p>(c) new sections are matched to existing in terms of dimension and reinforcement.</p> <p>Note – <b>Error! Reference source not found.</b> provides guidance on meeting the outcomes.</p>	
	<p><b>AO1.5</b></p> <p>Decks, verandahs, stairs, posts and other structures located in the road reserve do not restrict or impede pedestrian movement on footpaths or change the level of the road verges.</p>	<p><b>Not applicable</b></p> <p>No works are proposed on a local government road.</p>
<b>Accessibility structures</b>		
<p><b>PO2</b></p> <p>Development is designed to ensure it is accessible for people of all abilities and accessibility features do not impact on the efficient</p>	<p><b>AO2.1</b></p> <p>Accessibility structures are not located within the road reserve.</p>	<p><b>Not applicable</b></p> <p>No accessibility structures are proposed.</p>
	<p><b>AO2.2</b></p>	<p><b>Not applicable</b></p>





20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
<p>and safe use of footpaths.</p> <p>Note – Accessibility features are those features required to ensure access to premises is provided for people of all abilities and include ramps and lifts.</p>	<p>Accessibility structures are designed in accordance with AS1428.3.</p>	<p>No accessibility structures are proposed.</p>
	<p><b>AO2.3</b></p> <p>When retrofitting accessibility features in existing buildings, all structures and changes in grade are contained within the boundaries of the lot and not within the road reserve.</p>	<p><b>Not applicable</b></p> <p>No accessibility structures are proposed.</p>
<b>Water supply</b>		
<p><b>PO3</b></p> <p>An adequate, safe and reliable supply of potable, fire fighting and general use water is provided.</p>	<p><b>AO3.1</b></p> <p>The premises is connected to Council’s reticulated water supply system in accordance with the Design Guidelines set out in Section D6 of the Planning scheme policy SC5 – FNQROC Regional Development Manual;</p> <p>or</p>	<p><b>Complies with AO3.1</b></p> <p>The site has an existing connection to a reticulated water supply.</p>



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
	<p><b>AO3.2</b></p> <p>Where a reticulated water supply system is not available to the premises, on site water storage tank/s with a minimum capacity of 10,000 litres of stored water, with a minimum 7,500 litre tank, with the balance from other sources (e.g. accessible swimming pool, dam etc.) and access to the tank/s for fire trucks is provided for each new house or other development. Tank/s are to be fitted with a 50mm ball valve with a camlock fitting and installed and connected prior to occupation of the house and sited to be visually unobtrusive.</p>	
<b>Treatment and disposal of effluent</b>		
<p><b>PO4</b></p> <p>Provision is made for the treatment and disposal of effluent to ensure that there are no adverse impacts on water quality and no adverse ecological impacts as a result of the system or as</p>	<p><b>AO4.1</b></p> <p>The site is connected to Council's sewerage system and the extension of or connection to the sewerage system is designed and constructed in accordance with the Design Guidelines set out in</p>	<p><b>Complies with AO4.2</b></p> <p>The proposed development would be serviced by an upgraded Advanced Secondary Treatment System. Refer to details provided at <a href="#">Appendix 4</a>.</p>



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
a result of increasing the cumulative effect of systems in the locality.	<p>Section D7 of the Planning scheme policy SC5 – FNQROC Regional Development Manual;</p> <p>or</p> <p><b>AO4.2</b></p> <p>Where not in a sewerage scheme area, the proposed disposal system meets the requirements of Section 33 of the <i>Environmental Protection Policy (Water) 1997</i> and the proposed on site effluent disposal system is designed in accordance with the <i>Plumbing and Drainage Act (2002)</i>.</p>	
<b>Stormwater quality</b>		
<p><b>PO5</b></p> <p>Development is planned, designed, constructed and operated to avoid or minimise adverse impacts on stormwater quality in natural and</p>	<p><b>AO5.1</b></p> <p>A connection is provided from the premises to Council's drainage system;</p> <p>or</p>	<p><b>Complies with AO5.1</b></p> <p>The site has an existing connection to the Council's Drainage system.</p>



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
<p>developed catchments by:</p> <ul style="list-style-type: none"> <li>(a) achieving stormwater quality objectives;</li> <li>(b) protecting water environmental values;</li> <li>(c) maintaining waterway hydrology.</li> </ul>	<p><b>AO5.2</b></p> <p>An underground drainage system is constructed to convey stormwater from the premises to Council's drainage system in accordance with the Design Guidelines set out in Sections D4 and D5 of the Planning scheme policy SC5 – FNQROC Regional Development Manual.</p>	
	<p><b>AO5.3</b></p> <p>A stormwater quality management plan is prepared, and provides for achievable stormwater quality treatment measures meeting design objectives listed in <b>Error! Reference source not found.</b> and <b>Error! Reference source not found.</b>, reflecting land use constraints, such as:</p> <ul style="list-style-type: none"> <li>(a) erosive, dispersive and/or saline soil types;</li> <li>(b) landscape features (including landform);</li> <li>(c) acid sulfate soil and management of nutrients of concern;</li> </ul>	<p><b>Not applicable</b></p> <p>There would be no change to the existing stormwater management regime as part of this application.</p>



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
	(d) rainfall erosivity.	
	<b>AO5.4</b> Erosion and sediment control practices are designed, installed, constructed, monitored, maintained, and carried out in accordance with an erosion and sediment control plan.	<b>Not applicable</b> There would be no change to the existing stormwater management regime as part of this application.
	<b>AO5.5</b> Development incorporates stormwater flow control measures to achieve the design objectives set out in <b>Error! Reference source not found.</b> and <b>Error! Reference source not found.</b> , including management of frequent flows, peak flows, and construction phase hydrological impacts.  Note – Planning scheme policy SC5 – FNQROC Regional Development Manual provides guidance on soil and water control measures to meet the requirements of the <i>Environmental Protection Act</i>	<b>Not applicable</b> There would be no change to the existing stormwater management regime as part of this application.



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
	<p>1994.</p> <p>Note – During construction phases of development, contractors and builders are to have consideration in their work methods and site preparation for their environmental duty to protect stormwater quality.</p>	
<b>Non-tidal artificial waterways</b>		
<p><b>PO6</b></p> <p>Development involving non-tidal artificial waterways is planned, designed, constructed and operated to:</p> <p>(a) protect water environmental values;</p> <p>(b) be compatible with the land use constraints for the site for protecting water environmental values;</p> <p>(c) be compatible with existing tidal and non-tidal waterways;</p>	<p><b>AO6.1</b></p> <p>Development involving non-tidal artificial waterways ensures:</p> <p>(a) environmental values in downstream waterways are protected;</p> <p>(b) any ground water recharge areas are not affected;</p> <p>(c) the location of the waterway incorporates low lying areas of the catchment connected to an existing waterway;</p>	<p><b>Not applicable</b></p> <p>No waterways are proposed.</p>



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
(d) perform a function in addition to stormwater management;  (e) achieve water quality objectives.	(d) existing areas of ponded water are included.	
	<b>AO6.2</b> Non-tidal artificial waterways are located: (a) outside natural wetlands and any associated buffer areas; (b) to minimise disturbing soils or sediments; (c) to avoid altering the natural hydrologic regime in acid sulfate soil and nutrient hazardous areas.	<b>Not applicable</b> No waterways are proposed.
	<b>AO6.3</b> Non-tidal artificial waterways located adjacent to, or connected to a tidal waterway by means of a weir, lock, pumping system or similar ensures: (a) there is sufficient flushing or a tidal range of >0.3 m; or (b) any tidal flow alteration does not adversely	<b>Not applicable</b> No waterways are proposed.





20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
	<p>impact on the tidal waterway; or</p> <p>(c) there is no introduction of salt water into freshwater environments.</p>	
	<p><b>AO6.4</b></p> <p>Non-tidal artificial waterways are designed and managed for any of the following end-use purposes:</p> <p>(a) amenity (including aesthetics), landscaping or recreation; or</p> <p>(b) flood management, in accordance with a drainage catchment management plan; or</p> <p>(c) stormwater harvesting plan as part of an integrated water cycle management plan; or</p> <p>(d) aquatic habitat.</p>	<p><b>Not applicable</b></p> <p>No waterways are proposed.</p>
	<p><b>AO6.5</b></p> <p>The end-use purpose of the non-tidal artificial</p>	<p><b>Not applicable</b></p>



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
	waterway is designed and operated in a way that protects water environmental values.	No waterways are proposed.
	<b>AO6.6</b> Monitoring and maintenance programs adaptively manage water quality to achieve relevant water quality objectives downstream of the waterway.	<b>Not applicable</b> No waterways are proposed.
	<b>AO6.7</b> Aquatic weeds are managed to achieve a low percentage of coverage of the water surface area, and pests and vectors are managed through design and maintenance.	<b>Not applicable</b> No waterways are proposed.
<b>Wastewater discharge</b>		
<b>PO7</b> Discharge of wastewater to waterways, or off site: (a) meets best practice environmental	<b>AO7.1</b> A wastewater management plan is prepared and addresses:	<b>Not applicable</b> No off-site discharge of waste water is proposed.



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
<p>management;</p> <p>(b) is treated to:</p> <p>(i) meet water quality objectives for its receiving waters;</p> <p>(ii) avoid adverse impact on ecosystem health or waterway health;</p> <p>(iii) maintain ecological processes, riparian vegetation and waterway integrity;</p> <p>(iv) offset impacts on high ecological value waters.</p>	<p>(a) wastewater type;</p> <p>(b) climatic conditions;</p> <p>(c) water quality objectives;</p> <p>(d) best practice environmental management.</p>	
	<p><b>A07.2</b></p> <p>The waste water management plan is managed in accordance with a waste management hierarchy that:</p> <p>(a) avoids wastewater discharge to waterways; or</p> <p>(b) if wastewater discharge cannot practicably be avoided, minimises wastewater discharge to waterways by re-use, recycling, recovery and treatment for disposal to sewer, surface water and ground water.</p>	<p><b>Not applicable</b></p> <p>No off-site discharge of waste water is proposed.</p>
	<p><b>A07.3</b></p> <p>Wastewater discharge is managed to avoid or</p>	<p><b>Not applicable</b></p>



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
	<p>minimise the release of nutrients of concern so as to minimise the occurrence, frequency and intensity of algal blooms.</p>	<p>No off-site discharge of waste water is proposed.</p>
	<p><b>AO7.4</b></p> <p>Development in coastal catchments avoids or minimises and appropriately manages soil disturbance or altering natural hydrology and:</p> <p>(a) avoids lowering ground water levels where potential or actual acid sulfate soils are present;</p> <p>(b) manages wastewater so that:</p> <p>(i) the pH of any wastewater discharges is maintained between 6.5 and 8.5 to avoid mobilisation of acid, iron, aluminium and other metals;</p> <p>(ii) holding times of neutralised wastewater ensures the flocculation and removal of</p>	<p><b>Not applicable</b></p> <p>No off-site discharge of waste water is proposed.</p>



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
	<p>any dissolved iron prior to release;</p> <p>(iii) visible iron floc is not present in any discharge;</p> <p>(iv) precipitated iron floc is contained and disposed of;</p> <p>(v) wastewater and precipitates that cannot be contained and treated for discharge on site are removed and disposed of through trade waste or another lawful method.</p>	
<b>Electricity supply</b>		
<p><b>PO8</b></p> <p>Development is provided with a source of power that will meet its energy needs.</p>	<p><b>AO8.1</b></p> <p>A connection is provided from the premises to the electricity distribution network;</p> <p>or</p> <p><b>AO8.2</b></p> <p>The premises is connected to the electricity</p>	<p><b>Complies with AO8.1</b></p> <p>The site has an existing connection to the electricity distribution network.</p>



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
	<p>distribution network in accordance with the Design Guidelines set out in Section D8 of the Planning scheme policy SC5 – FNQROC Regional Development Manual.</p> <p>Note - Areas north of the Daintree River have a different standard.</p>	
<p><b>PO9</b></p> <p>Development incorporating pad-mount electricity infrastructure does not cause an adverse impact on amenity.</p>	<p><b>AO9.1</b></p> <p>Pad-mount electricity infrastructure is:</p> <ul style="list-style-type: none"> <li>(a) not located in land for open space or sport and recreation purposes;</li> <li>(b) screened from view by landscaping or fencing;</li> <li>(c) accessible for maintenance.</li> </ul>	<p><b>Not applicable</b></p> <p>No padmount infrastructure is proposed.</p>
	<p><b>AO9.2</b></p> <p>Pad-mount electricity infrastructure within a building, in a Town Centre is designed and located to enable an active street frontage.</p>	<p><b>Not applicable</b></p> <p>No padmount infrastructure is proposed.</p>



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
	Note – Pad-mounts in buildings in activity centres should not be located on the street frontage.	
<b>Telecommunications</b>		
<b>PO10</b> Development is connected to a telecommunications service approved by the relevant telecommunication regulatory authority.	<b>AO10</b> The development is connected to telecommunications infrastructure in accordance with the standards of the relevant regulatory authority.	<b>Complies with AO10</b> The site has an existing connection to the telecommunications infrastructure.
<b>PO11</b> Provision is made for future telecommunications services (e.g. fibre optic cable).	<b>AO11</b> Conduits are provided in accordance with Planning scheme policy SC5 – FNQROC Regional Development Manual.	<b>Not applicable</b> The site has an existing connection to the telecommunications infrastructure.
<b>Road construction</b>		
<b>PO12</b>	<b>AO12.1</b>	<b>Not applicable</b>



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
<p>The road to the frontage of the premises is constructed to provide for the safe and efficient movement of:</p> <p>(a) pedestrians and cyclists to and from the site;</p> <p>(b) pedestrians and cyclists adjacent to the site;</p> <p>(c) vehicles on the road adjacent to the site;</p> <p>(d) vehicles to and from the site;</p> <p>(e) emergency vehicles.</p>	<p>The road to the frontage of the site is constructed in accordance with the Design Guidelines set out in Sections D1 and D3 of the Planning scheme policy SC5 – FNQROC Regional Development Manual, for the particular class of road, as identified in the road hierarchy.</p>	<p>No new roads are proposed.</p>
	<p><b>AO12.2</b></p> <p>There is existing road, kerb and channel for the full road frontage of the site.</p>	<p><b>Not applicable</b></p> <p>No new roads are proposed.</p>
	<p><b>AO12.3</b></p> <p>Road access minimum clearances of 3.5 metres wide and 4.8 metres high are provided for the safe passage of emergency vehicles.</p>	<p><b>Not applicable</b></p> <p>No new roads are proposed.</p>
<b>Alterations and repairs to public utility services</b>		
<b>PO13</b>	<b>AO13</b>	<b>Not applicable</b>





20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
Infrastructure is integrated with, and efficiently extends, existing networks.	Development is designed to allow for efficient connection to existing infrastructure networks.	No changes to public utility services are required.
<b>PO14</b>  Development and works do not affect the efficient functioning of public utility mains, services or installations.	<b>AO14.1</b>  Public utility mains, services and installations are not required to be altered or repaired as a result of the development;  or  <b>AO14.2</b>  Public utility mains, services and installations are altered or repaired in association with the works so that they continue to function and satisfy the relevant Design Guidelines set out in Section D8 of the Planning scheme policy SC5 – FNQROC Regional Development Manual.	<b>Not applicable</b>  No changes to public utility services are required.
<b>Construction management</b>		



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
<p><b>PO15</b></p> <p>Work is undertaken in a manner which minimises adverse impacts on vegetation that is to be retained.</p>	<p><b>AO15</b></p> <p>Works include, at a minimum:</p> <ul style="list-style-type: none"><li>(a) installation of protective fencing around retained vegetation during construction;</li><li>(b) erection of advisory signage;</li><li>(c) no disturbance, due to earthworks or storage of plant, materials and equipment, of ground level and soils below the canopy of any retained vegetation;</li><li>(d) removal from the site of all declared noxious weeds.</li></ul>	<p><b>Not applicable</b></p> <p>No trees would be affected by the proposed change.</p>
<p><b>PO16</b></p> <p>Existing infrastructure is not damaged by construction activities.</p>	<p><b>AO16</b></p> <p>Construction, alterations and any repairs to infrastructure is undertaken in accordance with the Planning scheme policy SC5 – FNQROC Regional Development Manual.</p>	<p><b>Not applicable</b></p> <p>No change to the existing infrastructure is required.</p>



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
	Note - Construction, alterations and any repairs to State-controlled roads and rail corridors are undertaken in accordance with the Transport Infrastructure Act 1994.	
<b>For assessable development</b>		
<b>High speed telecommunication infrastructure</b>		
<b>PO17</b> Development provides infrastructure to facilitate the roll out of high speed telecommunications infrastructure.	<b>AO17</b> No acceptable outcomes are prescribed.	<b>Not applicable</b> The site is provided with existing connections.
<b>Trade waste</b>		
<b>PO18</b> Where relevant, the development is capable of providing for the storage, collection treatment and disposal of trade waste such that:	<b>AO18</b> No acceptable outcomes are prescribed.	<b>Not applicable</b> No trade waste would be generated by the proposed development.



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
<p>(a) off-site releases of contaminants do not occur;</p> <p>(b) the health and safety of people and the environment are protected;</p> <p>(c) the performance of the wastewater system is not put at risk.</p>		
<b>Fire services in developments accessed by common private title</b>		
<p><b>PO19</b></p> <p>Hydrants are located in positions that will enable fire services to access water safely, effectively and efficiently.</p>	<p><b>AO19.1</b></p> <p>Residential streets and common access ways within a common private title places hydrants at intervals of no more than 120 metres and at each intersection. Hydrants may have a single outlet and be situated above or below ground.</p>	<p><b>Not applicable</b></p> <p>No change to the fire services are proposed or required.</p>
	<p><b>AO19.2</b></p> <p>Commercial and industrial streets and access ways within a common private title serving commercial properties such as factories and</p>	<p><b>Not applicable</b></p> <p>No change to the fire services are proposed or required.</p>



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
	warehouses and offices are provided with above or below ground fire hydrants located at not more than 90 metre intervals and at each intersection. Above ground fire hydrants have dual-valved outlets.	
<b>PO20</b>  Hydrants are suitable identified so that fire services can locate them at all hours.  Note – Hydrants are identified as specified in the Department of Transport and Main Roads Technical Note: 'Identification of street hydrants for fire fighting purposes' available under 'Publications'.	<b>AO20</b>  No acceptable outcomes are prescribed.	<b>Not applicable</b>  No change to the fire services are proposed or required.



20201922 – 11 Marine Parade, Newell

## **9.4.6 Landscaping code**

### **9.4.6.1 Application**

- (1) This code applies to assessing:
  - (a) operational work which requires a compliance assessment as a condition of a development permit; or
  - (b) a material change of use or reconfiguring a lot if:
    - (i) assessable development where this code is identified in the assessment criteria column of the table of assessment;
    - (ii) impact assessable development, to the extent relevant.
- (2) When using this code, reference should be made to Part 5.

### **9.4.6.2 Purpose**

- (1) The purpose of the Landscaping code is to assess the landscaping aspects of a development.
- (2) The purpose of the code will be achieved through the following overall outcomes:
  - (a) The tropical, lush landscape character of the region is retained, promoted and enhanced through high quality landscape works;
  - (b) The natural environment of the region is enhanced;
  - (c) The visual quality, amenity and identity of the region is enhanced;
  - (d) Attractive streetscapes and public places are created through landscape design;
  - (e) As far as practical, existing vegetation on site is retained, and protected during works and integrated with the built environment;
  - (f) Landscaping is provided to enhance the tropical landscape character of development and the region;
  - (g) Landscaping is functional, durable, contributes to passive energy conservation and provides for the efficient use of water and ease of ongoing



20201922 – 11 Marine Parade, Newell

- maintenance;
- (h) Landscaping takes into account utility service protection;
- (i) Weed species and invasive species are eliminated from development sites;
- (j) Landscape design enhances personal safety and incorporates CPTED principles.

#### 9.4.6.3 Criteria for assessment

**Table Error! No text of specified style in document..a – Landscaping code –assessable development**

Performance outcomes	Acceptable outcomes	Compliance
<b>For self-assessable and assessable development</b>		
<b>Landscaping design</b>		
<b>PO1</b> Development provides landscaping that contributes to and creates a high quality landscape character for the site, street and local areas of the Shire by: ( <ul style="list-style-type: none"> <li>(a) promoting the Shire’s character as a tropical environment;</li> <li>(b) softening the built form of development;</li> </ul>	<b>AO1</b> Development provides landscaping: <ul style="list-style-type: none"> <li>(a) in accordance with the minimum area, dimensions and other requirements of applicable development codes;</li> <li>(b) that is designed and planned in a way that meets the guidelines for landscaping outlined in Planning Scheme Policy SC6.7</li> </ul>	<b>Complies with PO1</b> The proposed change would retain the existing communal recreation area and provide an improved landscaped interface with the foreshore. However, it would offer reduced landscaping to the front boundary, which would be buffered by a front boundary fence. Whilst the proposal would not provide a landscaped buffer to the street, it would not



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
<p>(c) enhancing the appearance of the development from within and outside the development and makes a positive contribution to the streetscape;</p> <p>(d) screening the view of buildings, structures, open storage areas, service equipment, machinery plant and the like from public places, residences and other sensitive development;</p> <p>(e) where necessary, ensuring the privacy of habitable rooms and private outdoor recreation areas;</p> <p>(f) contributing to a comfortable living environment and improved energy efficiency, by providing shade to reduce glare and heat absorption and re-radiation from buildings, parking areas and other hard surfaces;</p> <p>(g) ensuring private outdoor recreation space is useable;</p>	<p>– Landscaping;</p> <p>(c) that is carried out and maintained in accordance with a landscaping plan that meets the guidelines for landscaping outlined in Planning Scheme Policy SC6.7</p> <p>– Landscaping.</p> <p>Note - Planning scheme policy SC6.7 – Landscaping provides guidance on meeting the outcomes of this code. A landscape plan submitted for approval in accordance with the Planning policy is one way to achieve this outcome.</p>	<p>increase visibility of service equipment or plant and would not adversely impact on the amenity of the residents. It would also not adversely affect the streetscape which is dominated by open street fronts.</p>





20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
<ul style="list-style-type: none"> <li>(h) providing long term soil erosion protection;</li> <li>(i) providing a safe environment;</li> <li>(j) integrating existing vegetation and other natural features of the premises into the development;</li> <li>(k) not adversely affecting vehicular and pedestrian sightlines and road safety</li> </ul>		
<b>For assessable development</b>		
<b>PO2</b> Landscaping contributes to a sense of place, is functional to the surroundings and enhances the streetscape and visual appearance of the development.	<b>AO2.1</b> No acceptable outcomes are specified. Note - Landscaping is in accordance with the requirements specified in Planning scheme policy SC6.7 – Landscaping.	<b>Complies with PO2</b> The proposed change would offer limited landscaping to the street front; however, this is considered consistent with the dominant visual appearance of the streetscape.
	<b>AO2.2</b> Tropical urbanism is incorporated into building design. Note – ‘Tropical urbanism’ includes many things such as green walls, green roofs, podium planting and vegetation	<b>Not applicable</b> No changes to the existing built form are proposed.



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
	incorporated into the design of a building	
<b>PO3</b> Development provides landscaping that is , as far as practical, consistent with the existing desirable landscape character of the area and protects trees, vegetation and other features of ecological, recreational, aesthetic and cultural value.	<b>AO3.1</b> Existing vegetation on site is retained and incorporated into the site design, wherever possible, utilising the methodologies and principles outline in AS4970-2009 Protection of Trees on Development Sites.	<b>Complies with AO3.1</b> The majority of landscaping would be retained with the exception of the landscaping in the front setback area.
	<b>AO3.2</b> Mature vegetation on the site that is removed or damaged during development is replaced with advanced species	<b>Not applicable</b> No mature vegetation or substantial trees would be removed.
	<b>AO3.3</b> Where there is an existing landscape character in a street or locality which results from existing vegetation, similar species are incorporated into new development	<b>Complies with AO3.3</b> The majority of landscaping would be retained with the exception of the landscaping in the front setback area.
	<b>AO3.4</b>	<b>Not applicable</b>



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
	Street trees are species which enhance the landscape character of the streetscape, with species chosen from the Planning scheme policy SC6.7 – Landscaping.	No street trees are proposed.
<b>PO4</b> Plant species are selected with consideration to the scale and form of development, screening, buffering, streetscape, shading and the locality of the area.	<b>AO4</b> Species are selected in accordance with Planning scheme policy SC6.7 – Landscaping.	<b>Complies with AO4</b> The majority of landscaping would be retained with the exception of the landscaping in the front setback area.
<b>PO5</b> Shade planting is provided in car parking areas where uncovered or open, and adjacent to driveways and internal roadways.	<b>AO5</b> Species are selected in accordance with Planning scheme policy SC6.7 – Landscaping.	<b>Not applicable</b> The car parking areas would be shade by existing vegetation and built form.
<b>PO6</b> Landscaped areas are designed in order to allow for efficient maintenance.	<b>AO6.1</b> A maintenance program is undertaken in accordance with Planning scheme policy SC6.7 – Landscaping.	<b>Not applicable</b> The change would not affect the existing maintenance regime.



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
	<b>AO6.2</b> Tree maintenance is to have regard to the 'Safe Useful Life Expectancy of Trees (SULE). Note – It may be more appropriate to replace trees with a SULE of less than 20 years (as an example), and replant with younger healthy species	<b>Not applicable</b> The change would not affect the existing maintenance regime.
<b>PO7</b> Podium planting is provided with appropriate species for long term survival and ease of maintenance, with beds capable of proper drainage.	<b>AO7.1</b> Podium planting beds are provided with irrigation and are connected to stormwater infrastructure to permit flush out.	<b>Not applicable</b> No changes to the existing built form are proposed
	<b>AO7.2</b> Species of plants are selected for long term performance designed to suit the degree of access to podiums and roof tops for maintenance.	<b>Not applicable</b> No changes to the existing built form are proposed
<b>PO8</b> Development provides for the removal of all weed and invasive species and implement on-going measures to ensure that weeds and invasive	<b>AO8</b> Weed and invasive species detected on a development site are removed in accordance with a management plan prepared by an appropriately	<b>Not applicable</b> No weed species have been identified on site.



20201922 – 11 Marine Parade, Newell

Performance outcomes	Acceptable outcomes	Compliance
species do not reinfest the site and nearby premises	qualified person.	
<b>PO9</b> The landscape design enhances personal safety and reduces the potential for crime and vandalism	<b>AO9</b> No acceptable outcomes are specified. Note - Planning scheme policy SC6.3 – Crime prevention through environmental design (CPTED) provides guidance on meeting this outcome.	<b>Not applicable</b> No change to the existing development would occur as a result of the change application.
<b>PO10</b> The location and type of plant species does not adversely affect the function and accessibility of services and facilities and service areas.	<b>AO10</b> Species are selected in accordance with Planning scheme policy SC6.7 – Landscaping.	<b>Not applicable</b> With the exception of the front setback area all vegetation would be retained as part of this change application.



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