

DA Form 1 – Development application details

Approved form (version 1.2 effective 7 February 2020) made under section 282 of the Planning Act 2016.

This form must be used to make a development application involving code **assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use DA Form 2 – Building work details.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (DA Form 1) and parts 4 to 6 of DA Form 2 – Building work details.

Unless stated otherwise, all parts of this form must be completed in full and all required supporting information must accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the Transport Infrastructure Act 1994, and airport land under the Airport Assets (Restructuring and Disposal) Act 2008. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) <i>(individual or company full name)</i>	Dixon Homes Cairns
Contact name <i>(only applicable for companies)</i>	Nicole Cecchin
Postal address <i>(P.O. Box or street address)</i>	PO Box 1014
Suburb	BUNGALOW
State	QLD
Postcode	4870
Country	
Contact number	07 4050 5200
Email address <i>(non-mandatory)</i>	admin2@dixonhomescairns.com.au
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	
Applicant's reference number(s) <i>(if applicable)</i>	

2) Owner's consents	
2.1) Is written consent of the owner required for this development application?	
<input checked="" type="checkbox"/>	Yes – the written consent of the owner(s) is attached to this development application
<input type="checkbox"/>	No – proceed to 3)

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1 or 3.2, and 3.3) as applicable

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#)

3.1) Street address and lot on plan

- Street address **AND** lot on plan (all lots must be listed), **or**
- Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon; all lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		8	Kadan Cl	WONGA BEACH
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	37	RP 742279	Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row. Only one set of coordinates is required for this part.

- Coordinates of premises by longitude and latitude

Longitude(s)	Longitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

- Coordinates of premises by easting and northing

Longitude(s)	Longitude(s)	Zone Ref	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

3.3) Additional premises

- Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
- Not required

4) Identify any of the following that apply to the premises and provide any relevant details

- In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

- On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

Name of airport:

- Listed on the Environmental Management Register (EMR) under the *Environmental Protection Act 1994*

EMR site identification:	
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>	
CLR site identification:	

5) Are there any existing easements over the premises?
Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see DA Forms Guide.

Yes – All easement locations, types and dimensions are included in plans submitted with this development application

No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

<input checked="" type="checkbox"/> Material change of use	<input type="checkbox"/> Reconfiguring a lot	<input type="checkbox"/> Operational work	<input type="checkbox"/> Building work
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b) What is the approval type? *(tick only one box)*

<input checked="" type="checkbox"/> Development permit	<input type="checkbox"/> Preliminary approval	<input type="checkbox"/> Preliminary approval that includes a variation approval
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c) What is the level of assessment?

<input checked="" type="checkbox"/> Code assessment	<input type="checkbox"/> Impact assessment <i>(requires public notification)</i>
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d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

New Construction of Dwelling - 1 Storey & New Construction of Attached Garage & New Construction of Attached Alfresco

e) Relevant plans
Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms guide: Relevant plans.

Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

<input type="checkbox"/> Material change of use	<input type="checkbox"/> Reconfiguring a lot	<input type="checkbox"/> Operational work	<input type="checkbox"/> Building work
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b) What is the approval type? *(tick only one box)*

<input type="checkbox"/> Development permit	<input type="checkbox"/> Preliminary approval	<input type="checkbox"/> Preliminary approval that includes a variation approval
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c) What is the level of assessment?

<input type="checkbox"/> Code assessment	<input type="checkbox"/> Impact assessment <i>(requires public notification)</i>
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d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans
Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms guide: Relevant plans.

Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application

Not required

Section 2 – Further development details

7) Does the proposed development application involve any of the following?

Material change of use	<input checked="" type="checkbox"/>	Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/>	Yes – complete division 2
Operational work	<input type="checkbox"/>	Yes – complete division 3
Building work	<input checked="" type="checkbox"/>	Yes – complete DA Form 2 – <i>Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (<i>include each definition in a new row</i>)	Number of dwelling units (<i>if applicable</i>)	Gross floor area (m ²) (<i>if applicable</i>)
New Dwelling	Dwelling	One	221m2

8.2) Does the proposed use involve the use of existing buildings on the premises?

- Yes
 No

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

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9.2) What is the nature of the lot reconfiguration? (*tick all applicable boxes*)

<input type="checkbox"/> Subdivision (<i>complete 10</i>)	<input type="checkbox"/> Dividing land into parts by agreement (<i>complete 11</i>)
<input type="checkbox"/> Boundary realignment (<i>complete 12</i>)	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a construction road (<i>complete 13</i>)

10) Subdivision

10.1) For this development, how many lots are being created and what is the intended use of those lots:

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?

- Yes
 No

How many stages will the works include?	
What stage(s) will this development application apply to?	

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment

12.1) What are the current and proposed areas for each lot comprising the premises?

Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)

12.2) What is the reason for the boundary realignment?

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13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement?
(attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?

<input type="checkbox"/> Road work	<input type="checkbox"/> Stormwater	<input type="checkbox"/> Water infrastructure
<input type="checkbox"/> Drainage work	<input type="checkbox"/> Earthworks	<input type="checkbox"/> Sewage infrastructure
<input type="checkbox"/> Landscaping	<input type="checkbox"/> Signage	<input type="checkbox"/> Clearing vegetation
<input type="checkbox"/> Other – please specify:	<input type="text"/>	

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)

<input type="checkbox"/> Yes – specify number of new lots:	<input type="text"/>
<input type="checkbox"/> No	

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$ <input type="text"/>

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Douglas Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

<input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application
<input type="checkbox"/> Local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
<input checked="" type="checkbox"/> No

17) Do any aspects of the proposed development require referral for any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

- No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the *Planning Act 2016***:

- Clearing native vegetation
- Contaminated land (*unexploded ordnance*)
- Environmentally relevant activities (ERA) (*only if the ERA have not been devolved to a local government*)
- Fisheries – aquaculture
- Fisheries – declared fish habitat area
- Fisheries – marine plants
- Fisheries – waterway barrier works
- Hazardous chemical facilities
- Heritage places - Queensland heritage place (*on or near a Queensland heritage place*)
- Infrastructure-related referrals – designated premises
- Infrastructure-related referrals – state transport infrastructure
- Infrastructure-related referrals – State transport corridors and future State transport corridors
- Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- Infrastructure-related referrals – near a state-controlled road intersection
- Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- Koala habitat in SEQ region – key resource areas
- Ports - Brisbane core port land - near a State transport corridor or future State transport corridor
- Ports – Brisbane core port land – environmentally relevant activity (ERA)
- Ports – Brisbane core port land – tidal works or work in a coastal management district
- Ports – Brisbane core port land – hazardous chemical facility
- Ports – Brisbane core port land – taking or interfering with water
- Ports – Brisbane core port land – referable dams
- Ports – Brisbane core port land – fisheries
- Ports – Land within Port of Brisbane’s port limits (*below high-water mark*)
- SEQ development area
- SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- SEQ regional landscape and rural production area or SEQ rural living area – community activity
- SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- SEQ regional landscape and rural production area or SEQ rural living area – combined use
- Tidal works or works in a coastal management district
- Reconfiguring a lot in a coastal management district or for a canal
- Erosion prone area in a coastal management district
- Urban design
- Water-related development – taking or interfering with water
- Water-related development – removing quarry material (*from a watercourse or lake*)
- Water-related development – referable dams
- Water-related development – levees (*category 3 levees only*)
- Wetland protection area

Matters requiring referral to the **local government**:

- Airport land
- Environmentally relevant activities (ERA) (*only if the ERA have been devolved to local government*)
- Heritage places – Local heritage places

Matters requiring referral to the Chief Executive of the distribution entity or transmission entity : <input type="checkbox"/> Infrastructure-related referrals – Electricity infrastructure
Matters requiring referral to: <ul style="list-style-type: none"> • The Chief executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual <input type="checkbox"/> Infrastructure-related referrals – Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council : <input type="checkbox"/> Ports – Brisbane core port land
Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994 : <input type="checkbox"/> Ports – Brisbane core port land (<i>where inconsistent with the Brisbane port LUP for transport reasons</i>) <input type="checkbox"/> Ports – Strategic port land
Matters requiring referral to the relevant port operator , if applicant is not port operator: <input type="checkbox"/> Ports – Land within Port of Brisbane's port limits (<i>below high-water mark</i>)
Matters requiring referral to the Chief Executive of the relevant port authority : <input type="checkbox"/> Ports – Land within limits of another port (<i>below high-water mark</i>)
Matters requiring referral to the Gold Coast Waterways Authority : <input type="checkbox"/> Tidal works or work in a coastal management district (<i>in Gold Coast waters</i>)
Matters requiring referral to the Queensland Fire and Emergency Service : <input type="checkbox"/> Tidal works or work in a coastal management district (<i>involving a marina (more than six vessel berths)</i>)

18) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application		
<input checked="" type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (<i>if applicable</i>).		

PART 6 – INFORMATION REQUEST

19) Information request under Part 3 of the DA Rules
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application
<input type="checkbox"/> I do not agree to accept an information request for this development application
Note: <i>By not agreeing to accept an information request I, the applicant, acknowledge:</i>
<ul style="list-style-type: none"> • <i>that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties</i> • <i>Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.</i>
<i>Further advice about information requests is contained in the DA Forms Guide.</i>

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)			
<input type="checkbox"/> Yes – provide details below or include details in a schedule to this development application <input checked="" type="checkbox"/> No			
List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)			
<input type="checkbox"/> Yes – a copy of the receipted QLeave form is attached to this development application <input checked="" type="checkbox"/> No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid <input type="checkbox"/> Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)			
Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)	
\$			
22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?			
<input type="checkbox"/> Yes – show cause or enforcement notice is attached <input checked="" type="checkbox"/> No			
23) Further legislative requirements			
<u>Environmentally relevant activities</u>			
23.1) Is this development application also taken to be an application for an environmental authority for an <u>Environmentally Relevant Activity (ERA)</u> under section 115 of the <i>Environmental Protection Act 1994</i>?			
<input type="checkbox"/> Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below <input checked="" type="checkbox"/> No			
<i>Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.</i>			
Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			
<input type="checkbox"/> Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.			
<u>Hazardous chemical facilities</u>			
23.2) Is this development application for a <u>hazardous chemical facility</u>?			
<input type="checkbox"/> Yes – <i>Form 69: Notification of a facility exceeding 10% of schedule 15 threshold</i> is attached to this development application <input checked="" type="checkbox"/> No			
<i>Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.</i>			

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work within an assessable development area under Schedule 10, Part 10 of the *Planning Regulation 2017*?

- Yes – the development application involves premises in the koala habitat area in the koala priority area
- Yes – the development application involves premises in the koala habitat area outside the koala priority area
- No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.des.qld.gov.au for further information

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000**?

- Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development
- No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve waterway barrier works?

- Yes – the relevant template is completed and attached to this development application
- No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

- Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*
- No

Note: See guidance materials at <http://www.daf.qld.gov.au/> for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- No

Note: Contact the Department of Environment and Science at www.des.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

- Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application
- No

Note: See guidance materials at www.dnrme.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- Yes – the following is included with this development application:
- Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - A certificate of title
- No

Note: See guidance materials at www.des.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- Yes – details of the heritage place are provided in the table below
- No

Note: See guidance materials at www.des.qld.gov.au for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
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Brothels

23.14) Does this development application involve a **material change of use for a brothel**?

- Yes – *this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the Prostitution Regulation 2014*
- No

Decision under section 62 of the Transport Infrastructure Act 1994

23.15) Does this development application involve new or changed access to a state-controlled road?

- Yes - this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
- No

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist	
I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17 <i>Note: See the Planning Regulation 2017 for referral requirements</i>	<input checked="" type="checkbox"/> Yes
If building work is associated with the proposed development, Parts 4 to 6 of DA Form 2 – Building work details have been completed and attached to this development application	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not applicable
Supporting information addressing any applicable assessment benchmarks is with the development application <i>Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see DA Forms Guide: Planning Report Template</i>	<input checked="" type="checkbox"/> Yes
Relevant plans of the development are attached to this development application <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (<i>see 21</i>)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not applicable

25) Applicant declaration	
<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct	
<input checked="" type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the Electronic Transactions Act 2001	
<i>Note: It is unlawful to intentionally provide false or misleading information.</i>	
<p>Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i>, <i>Planning Regulation 2017</i> and the DA Rules except where:</p> <ul style="list-style-type: none"> • such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the <i>Planning Regulation 2017</i>, and the access rules made under the <i>Planning Act 2016</i> and <i>Planning Regulation 2017</i>; or • required by other legislation (including the <i>Right to Information Act 2009</i>); or • otherwise required by law. <p>This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i>.</p>	

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER - FOR OFFICE USE ONLY

Date received:

Reference number(s):

Notification of engagement of alternative assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment		
<i>Note: For completion by assessment manager if applicable</i>		
Description of the work		
QLeave project number		
Amount paid (\$)		Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager		
Name of officer who sighted the form		

DA Form 2 – Building work details

Approved form (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving building work**.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use DA Form 1 – Development application details and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Dixon Homes Cairns
Contact name (only applicable for companies)	Nicole Cecchin
Postal address (PO Box or street address)	PO Box 1014
Suburb	BUNGALOW
State	QLD
Postcode	4870
Country	
Contact number	07 4050 5200
Email address (non-mandatory)	admin2@dixonhomescairns.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	na
Applicant's reference number(s) (if applicable)	

PART 2 – LOCATION DETAILS

2) Location of the premises (complete 2.1 and/or 2.2 if applicable)	
Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans .	
2.1) Street address and lot on plan	
<input checked="" type="checkbox"/>	Street address AND lot on plan (all lots must be listed), OR
<input type="checkbox"/>	Street address AND lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

Unit No.	Street No.	Street Name and Type	Suburb
	8	Kadan Cl	WONGA BEACH
Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
4873	37	RP 742279	Douglas Shire Council

2.2) Additional premises

- Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
- Not required

3) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the [DA Forms Guide](#)

- Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- No

PART 3 – FURTHER DETAILS

4) Is the application only for building work assessable against the building assessment provisions?

- Yes – (proceed to 8)
- No

5) Identify the assessment manager(s) who will be assessing this development application

Douglas Shire Council & GMA Certification Group

6) Has the local government agreed to apply a superseded planning scheme for this development application?

- Yes – a copy of the decision notice is attached to this development application
- The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- No

7) Information request under Part 3 of the DA Rules

- I agree to receive an information request if determined necessary for this development application
- I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

8) Are there any associated development applications or current approvals?

- Yes – provide details below or include details in a schedule to this development application
- No

List of approval/development application	Reference	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

9) Has the portable long service leave levy been paid?

- Yes – a copy of the receipted QLeave form is attached to this development application

- No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
- Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLLeave levy number (A, B or E)
\$		

10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- Yes – show cause or enforcement notice is attached
- No

11) Identify any of the following further legislative requirements that apply to any aspect of this development application

- The proposed development is on a place entered in the **Queensland Heritage Register** or in a local government's **Local Heritage Register**. See the guidance provided at www.des.qld.gov.au about the requirements in relation to the development of a Queensland heritage place

Name of the heritage place:		Place ID:	
-----------------------------	--	-----------	--

PART 4 – REFERRAL DETAILS

12) Does this development application include any building work aspects that have any referral requirements?

- Yes – the Referral checklist for building work is attached to this development application
- No – proceed to Part 5

13) Has any referral agency provided a referral response for this development application?

- Yes – referral response(s) received and listed below are attached to this development application
- No

Referral requirement	Referral agency	Date referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and the development application the subject of this form, or include details in a schedule to this development application (if applicable)

PART 5 – BUILDING WORK DETAILS

14) Owner's details

- Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.

Name(s) (individual or company full name)	Zel & Uta Jandric
Contact name (applicable for companies)	
Postal address (P.O. Box or street address)	29 Marlin Dr
Suburb	WONGA BEACH
State	QLD
Postcode	4873
Contact number	
Email address (non-mandatory)	zeluta@optusnet.com.au
Mobile number (non-mandatory)	0435 997 733
Fax number (non-mandatory)	

15) Builder's details

Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.

Name(s) <i>(individual or company full name)</i>	Dixon Homes Cairns
Contact name <i>(applicable for companies)</i>	Nicole Cecchin
QBCC licence or owner – builder number	
Postal address <i>(P.O. Box or street address)</i>	PO Box 1014
Suburb	BUNGALOW
State	QLD
Postcode	4870
Contact number	07 4050 5200
Email address <i>(non-mandatory)</i>	admin2@dixonhomescairns.com.au
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	na

16) Provide details about the proposed building work

a) What type of approvals is being sought?

- Development permit
 Preliminary approval

b) What is the level of assessment?

- Code assessment
 Impact assessment *(requires public notification)*

c) Nature of the proposed building work (tick all applicable boxes)

- | | |
|---|--|
| <input checked="" type="checkbox"/> New building or structure | <input type="checkbox"/> Repairs, alterations or additions |
| <input type="checkbox"/> Change of building classification <i>(involving building work)</i> | <input type="checkbox"/> Swimming pool and/or pool fence |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Relocation or removal |

d) Provide a description of the work below or in an attached schedule.

New Construction of Dwelling - 1 Storey & New Construction of Attached Garage & New Construction of Attached Alfresco

e) Proposed construction materials

External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input checked="" type="checkbox"/> Other
Frame	<input checked="" type="checkbox"/> Timber	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input checked="" type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Other

f) Existing building use/classification? *(if applicable)*

g) New building use/classification? (if applicable)		
1a & 10a & 10a		
h) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>		
<input checked="" type="checkbox"/> Relevant plans of the proposed works are attached to the development application		
17) What is the monetary value of the proposed building work?		
\$TBC		
18) Has Queensland Home Warranty Scheme Insurance been paid?		
<input type="checkbox"/> Yes – provide details below		
<input checked="" type="checkbox"/> No		
Amount paid	Date paid (dd/mm/yy)	Reference number
\$		

PART 6 – CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist	
The relevant parts of <i>Form 2 – Building work details</i> have been completed	<input checked="" type="checkbox"/> Yes
This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not applicable
Relevant plans of the development are attached to this development application <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans</i>	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not applicable

20) Applicant declaration	
<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct	
<input checked="" type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i>	
<i>Note: It is unlawful to intentionally provide false or misleading information.</i>	
Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i> , <i>Planning Regulation 2017</i> and the DA Rules except where:	
<ul style="list-style-type: none"> • such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the <i>Planning Regulation 2017</i>, and the access rules made under the <i>Planning Act 2016</i> and <i>Planning Regulation 2017</i>; or • required by other legislation (including the <i>Right to Information Act 2009</i>); or • otherwise required by law. 	
This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i> .	

PART 7 –FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference numbers:

For completion by the building certifier		
Classification(s) of approved building work		
1a & 10a & 10a		
Name	QBCC Certification Licence number	QBCC Insurance receipt number
GMA Certification Group		

Notification of engagement of alternate chosen assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

Additional information required by the local government			
Confirm proposed construction materials:			
External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input type="checkbox"/> Steel	<input type="checkbox"/> Other

QLeave notification and payment			
<i>Note: For completion by assessment manager if applicable</i>			
Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			

Additional building details required for the Australian Bureau of Statistics			
Existing building use/classification? (if applicable)			
New building use/classification?			
Site area (m ²)	0	Floor area (m ²)	0

GMA Certification Group Pty Ltd

BUILDING SURVEYORS

Queensland's leaders in Building Certification Services



PORT DOUGLAS OFFICE

PHONE: (07) 4098 5150
FAX: (07) 4098 5180

Lot 9 Unit 5
Craiglie Business Park
Owen Street
CRAIGLIE QLD 4877

POSTAL:
P.O. Box 831,
PORT DOUGLAS QLD 4877

E-Mail: adminpd@gmacert.com.au
Web: www.gmacert.com.au

21 January 2021

The Chief Executive Officer
Douglas Shire Council
PO Box 723
MOSSMAN Q 4877

Attention: Development Assessment

Dear Sir/Madam,

**Re: Material Change of Use Application, Proposed Dwelling at 8 Kadan Close, Wonga Beach
Lot 37 RP742279**

GMA Certification Group have been engaged to assess an application for the construction of a dwelling, on the abovementioned property. The property is within the Flood and Storm Tide Inundation overlay (Storm Tide Medium Hazard & Floodplain Assessment Overlay). Accordingly, the applications for Material Change of Use is enclosed for Council's assessment, which includes:

1. DA forms 1 and 2;
2. Assessment against the applicable Acceptable Solutions & Outcomes of the relevant Overlay Codes;
3. Copy of plans; and
4. Waste Water Report.

Assessment Against the Overlay Codes

The following tables provide an assessment of the proposed development with regards to Performance Outcomes of the applicable sections of the appropriate Overlay Codes.

Flood and storm tide hazards overlay code		
Performance Outcomes	Acceptable Outcomes	Comment
For assessable and self assessable development		

BUILDING APPROVALS & INSPECTIONS

Gold Coast
(07) 5578 1622

Sunshine Coast
(07) 5449 0383

BUILDING CERTIFICATION

Cloncurry
(07) 4742 2022

Chinchilla
(07) 4669 1166

FIRE SAFETY AUDITS

Atherton
(07) 4091 4196

Childers
(07) 4126 3069

<p>PO1 Development is located and designed to: ensure the safety of all persons; minimise damage to the development and contents of buildings; provide suitable amenity; minimise disruption to residents, recovery time, and rebuilding or restoration costs after inundation events</p>	<p>For dwelling houses, AO1.2 Development within the Flood and Storm Tide hazards overlay maps (excluding the Flood plain assessment sub-category) is designed to provide immunity to the Defined Inundation Event as outlined within Table 8.2.4.3.b plus a freeboard of 300mm. AO1.3 New buildings are: (a) not located within the overlay area; (b) located on the highest part of the site to minimise entrance of flood waters; (c) provided with clear and direct pedestrian and vehicle evacuation routes off the site. AO1.4 In non urban areas, buildings and infrastructure are set back 50 metres from natural riparian corridors to maintain their natural function of reducing velocity of floodwaters.</p>	<p>The dwelling is to be constructed on an infill slab with a finished floor level of 4.35m AHD. The finished floor level is consistent with Council's current published flood data for Wonga Beach.</p> <p>The garage is to be constructed within a developed area of Wonga Beach and will therefore have a similar floor level to existing outbuildings and dwellings in the vicinity.</p> <p>The ground level where the garage is to be constructed will be raised to 3.35m AHD [approximately 500 mm of fill]. Therefore, the finished floor level of the garage will be approximately 3.45m AHD.</p> <p>It is considered the proposed finished floor level of 3.45m AHD will provide an acceptable level of flood immunity consistent with other outbuildings in the vicinity.</p> <p>N/A</p>
<p>PO3 Development siting and layout responds to flooding potential and maintains personal safety</p>	<p>For Material change of use AO3.1 New buildings are: (d) not located within the overlay area; (e) located on the highest part of the site to minimise entrance of flood waters; (f) provided with clear and direct pedestrian and</p>	<p>The proposed garage will be located on the highest part of the site so as to minimize the entrance of flood waters.</p> <p>To the owner's knowledge the property has not been inundated previously. Therefore, the proposed floor level is above any perceived flooding potential other than that projected out to 80 years.</p>

	<p>vehicle evacuation routes off the site. Or AO3.2 The development incorporates an area on site that is at least 300mm above the highest known flood inundation level with sufficient space to accommodate the likely population of the development safely for a relatively short time until flash flooding subsides or people can be evacuated. or AO3.3 Where involving an extension to an existing dwelling house that is situated below DFE /Storm tide, the maximum size of the extension does not exceed 70m² gross floor area. AO3.1 The design and layout of buildings used for residential purposes minimise risk from flooding by providing: (a) parking and other low intensive, non-habitable uses at ground level;</p>	<p>Should flooding be envisaged from a cyclonic event, there are early mandatory evacuation periods for which residents can evacuate the site, should this be necessary.</p> <p>N/A</p> <p>N/A</p>
<p>PO6 Development avoids the release of hazardous materials into floodwaters.</p>	<p>AO6.1 Materials manufactured or stored on site are not hazardous or noxious, or comprise materials that may cause a detrimental effect on the environment if discharged in a flood event; or AO6.2 If a DFE level is adopted, structures used for the manufacture or storage of hazardous materials are:</p>	<p>No manufacture or storage of hazardous or noxious materials is proposed.</p>

	<p>(a) located above the DFE level; or (b) designed to prevent the intrusion of floodwaters.</p> <p>AO6.3 Infrastructure is designed and constructed to resist hydrostatic and hydrodynamic forces as a result of inundation by the DFE.</p> <p>AO6.4 If a flood level is not adopted, hazardous materials and their manufacturing equipment are located on the highest part of the site to enhance flood immunity and designed to prevent the intrusion of floodwaters.</p>	
<p>PO7 The development supports, and does not unduly burden, disaster management response or recovery capacity and capabilities.</p>	<p>AO7 Development does not: (a) increase the number of people calculated to be at risk of flooding; (b) increase the number of people likely to need evacuation; (c) shorten flood warning times; and (d) impact on the ability of traffic to use evacuation routes, or unreasonably increase traffic volumes on evacuation routes.</p>	<p>The proposal is for a dwelling and garage. Therefore, the proposal does not affect envisaged disaster management response or recovery capabilities.</p> <p>Evacuation is self-managed at times of a cyclonic event with long lead times for mandatory evacuation.</p> <p>Wonga Beach is a small community therefore, evacuation routes will not be blocked by excessive traffic.</p>

Coastal environment overlay code		
Performance Outcomes	Acceptable Outcomes	Comment
For assessable and self assessable development		
<p>PO1 No works other than coastal protection works extend</p>	<p>AO1 Development (including all buildings and other permanent structures such as swimming pools and retaining walls) does</p>	<p>N/A</p>

seaward of the coastal building line	not extend seaward of a coastal building line. Note – Coastal building lines are declared under the Coastal Protection and Management Act 1995 and are administered by the State Department of Environment and Heritage Protection.	
	AO1.2 Coastal protection works are only undertaken as a last resort where coastal erosion presents an immediate threat to public safety or existing buildings or structures and the property cannot be relocated or abandoned.	N/A
	AO1.3 Coastal protection works are as far landward as practicable on the lot containing the property to the maximum extent reasonable.	N/A
	AO1.4 Coastal protection work mitigates any increase in the coastal hazard.	
PO2 Where a coastal building line does not exist on a lot fronting	AO2 Where a coastal building line does not exist on a lot fronting	

<p>the coast or a reserve adjoining the coast, development is setback to maintain the amenity and use of the coastal resource.</p>	<p>the coast or a reserve adjoining the coast, development (including all buildings and structures such as swimming pools) and retaining walls are set back not less than 6 metres from the seaward boundary of the lot.</p>	<p>Complies – Building is greater than six metres from seaward boundary of lot</p>
<p>Erosion Prone Areas</p>		
<p>PO3</p> <p>Development identifies erosion prone areas (coastal hazards).</p>	<p>AO3</p> <p>No acceptable outcomes are prescribed.</p>	<p>N/A</p>
<p>PO4</p> <p>Erosion prone areas are free from development to allow for natural coastal processes.</p>	<p>AO4.1</p> <p>Development is not located within the Erosion prone area, unless it can be demonstrated that the development is for:</p> <ul style="list-style-type: none"> (a) community infrastructure where no suitable alternative location or site exists for this infrastructure; or (b) development that reflects the preferred development outcomes in accordance with the zoning of the site (i.e. in the Low density residential zone, a dwelling house is a preferred development outcome in accordance 	<p>Proposal is for a dwelling and associated buildings and structures, therefore complies.</p>

	with the zoning of the site).	
	<p>AO4.2</p> <p>Development involving existing permanent buildings and structures within an erosion prone area does not increase in intensity of its use by:</p> <p>(a) adding additional buildings or structures; or</p> <p>(b) incorporating a land use that will result in an increase in the number of people or employees occupying the site.</p>	N/A

Should you require any further information or wish to discuss the application, please contact me on 4041 0111 or by email admincons@amacert.com.au

Kind Regards,



Scott Dillon
GMA Certification Group

Individual owner's consent for making a development application under the *Planning Act 2016*

I, Zel & Uta Jandric

as owner of the premises identified as follows:

Lot 37 RP742279, Number 8 Kadan Close Wonga Beach

consent to the making of a development application under the *Planning Act 2016* by:

GMA Certification Group

on the premises described above for:

Material Change of Use for new Dwelling

Zel Jandric

Zel Jandric (Jan 20, 2021 13:26 GMT+11)

Uta Jandric

Uta Jandric (Jan 20, 2021 13:30 GMT+11)

[signature of owner and
date signed]

Jan 20, 2021

20 January 2021

The Chief Executive Officer

Douglas Shire Council

PO Box 723

MOSSMAN Q 4877

Attention: Development Assessment

Dear Sir,

Re: Proposed Dwelling – 8 Kadan Close, Wonga Beach

Lot 37 RP742279

We refer to the application for Material Change of Use to be submitted to Council for the abovementioned allotment.

The existing ground level in the location of the proposed dwelling is approximately 3.0m AHD.

The floor level of the proposed dwelling is to be 4.35m AHD, and garage at approximately 3.10m AHD. We understand that Council have recently indicated that they require a minimum habitable floor level of 5.04m AHD for dwellings which are located within 200m from the Coral Sea.

As the owner/s of the property, I/we acknowledge the risks associated with flooding and believe the proposed floor level of the subject dwelling will adequately provide for an acceptable level of flood immunity.

Regards,

Zel Jandric

Uta Jandric


Zel Jandric (Jan 20, 2021 13:26 GMT+11)


Uta Jandric (Jan 20, 2021 13:30 GMT+11)

Jan 20, 2021

Owners Consent DA - Lot 37 Kadan Close, Wonga Beach

Final Audit Report

2021-01-20

Created:	2021-01-20
By:	Andrew Thomas (admin2@dixonhomescairns.com.au)
Status:	Signed
Transaction ID:	CBJCHBCAABAAGbr_Sg4VISCcverd4yvGo1QWAdc4G5TUD

"Owners Consent DA - Lot 37 Kadan Close, Wonga Beach" History

-  Document created by Andrew Thomas (admin2@dixonhomescairns.com.au)
2021-01-20 - 2:17:37 AM GMT- IP address: 58.162.237.221
-  Document emailed to Zel Jandric (zeluta@optusnet.com.au) for signature
2021-01-20 - 2:18:28 AM GMT
-  Email viewed by Zel Jandric (zeluta@optusnet.com.au)
2021-01-20 - 2:20:10 AM GMT- IP address: 49.181.168.101
-  Document e-signed by Zel Jandric (zeluta@optusnet.com.au)
Signature Date: 2021-01-20 - 2:26:11 AM GMT - Time Source: server- IP address: 49.181.168.101
-  Agreement completed.
2021-01-20 - 2:26:11 AM GMT

Owners Consent DA 2 - Lot 37 Kadan Close, Wonga Beach

Final Audit Report

2021-01-20

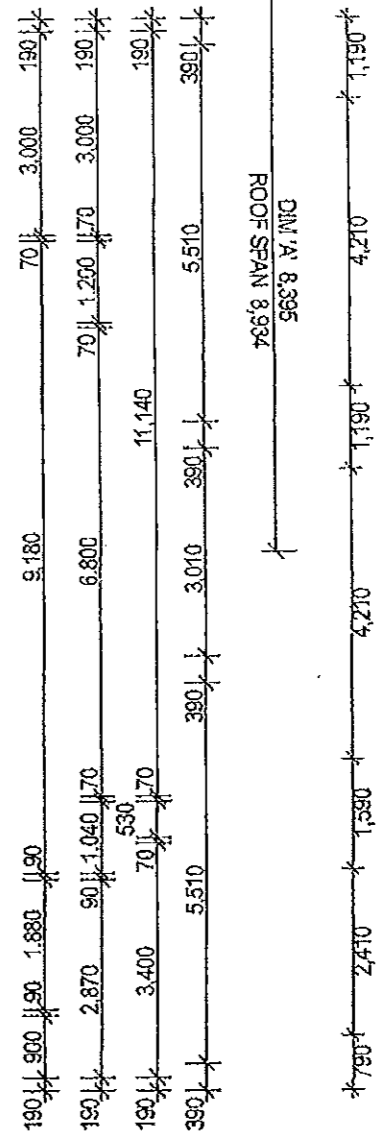
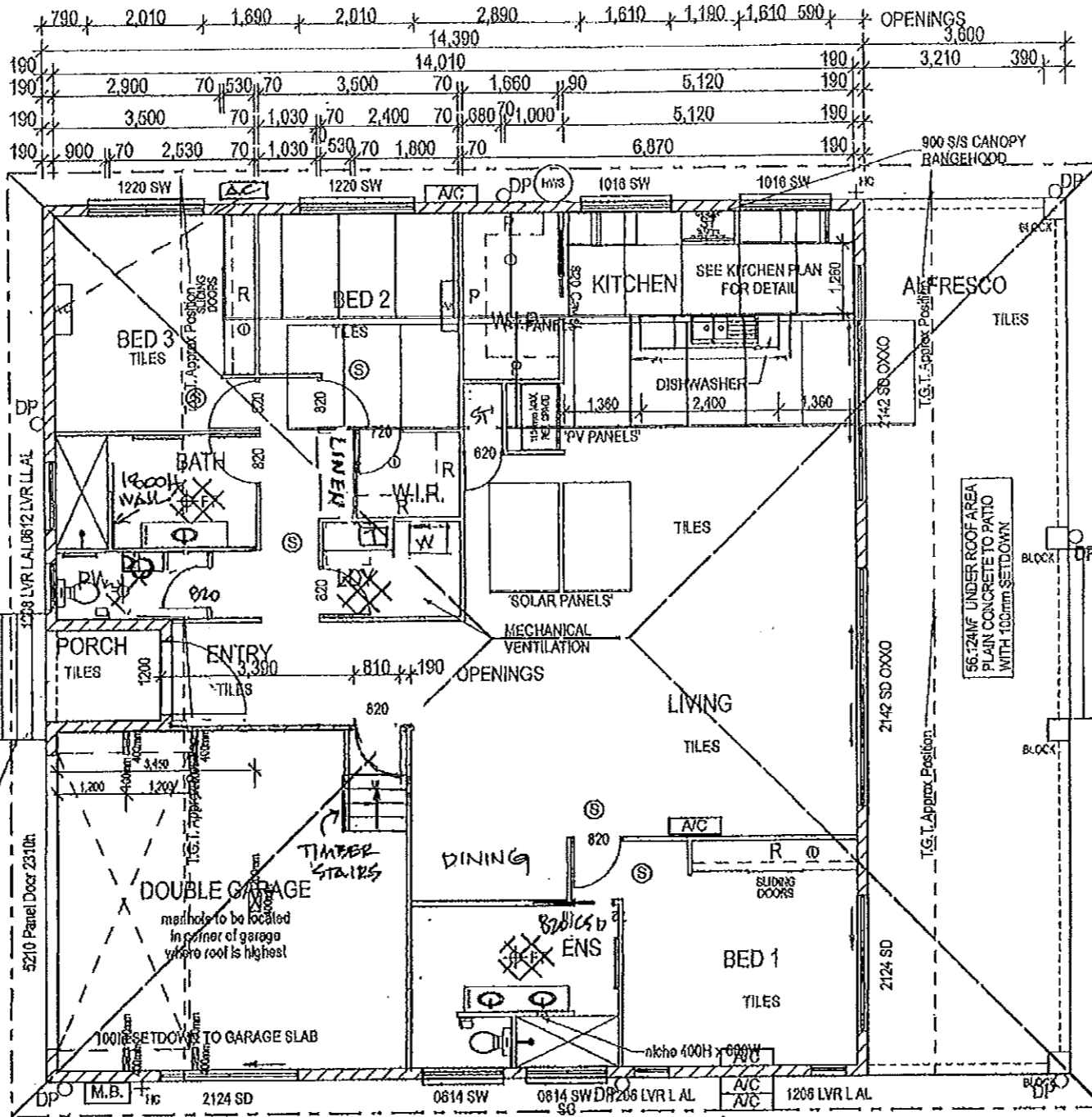
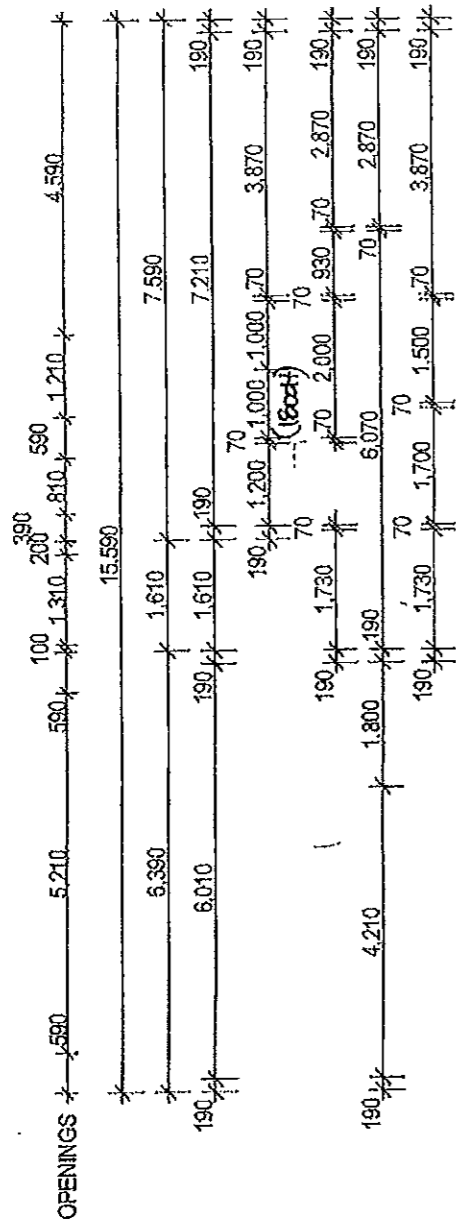
Created:	2021-01-20
By:	Andrew Thomas (admin2@dixonhomescairns.com.au)
Status:	Signed
Transaction ID:	CBJCHBCAABAApo00mFZhofQiQL_5CWARxGRCu3nPI-EE

"Owners Consent DA 2 - Lot 37 Kadan Close, Wonga Beach" History

-  Document created by Andrew Thomas (admin2@dixonhomescairns.com.au)
2021-01-20 - 2:28:04 AM GMT- IP address: 58.162.237.221
-  Document emailed to Uta Jandric (utajandric@optusnet.com.au) for signature
2021-01-20 - 2:28:32 AM GMT
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2021-01-20 - 2:28:46 AM GMT- IP address: 49.181.168.101
-  Document e-signed by Uta Jandric (utajandric@optusnet.com.au)
Signature Date: 2021-01-20 - 2:30:47 AM GMT - Time Source: server- IP address: 49.181.168.101
-  Agreement completed.
2021-01-20 - 2:30:47 AM GMT

Unauthorised use of these Dixon System's plans constitutes a breach of the Copyright Act and make you liable for significant damages.

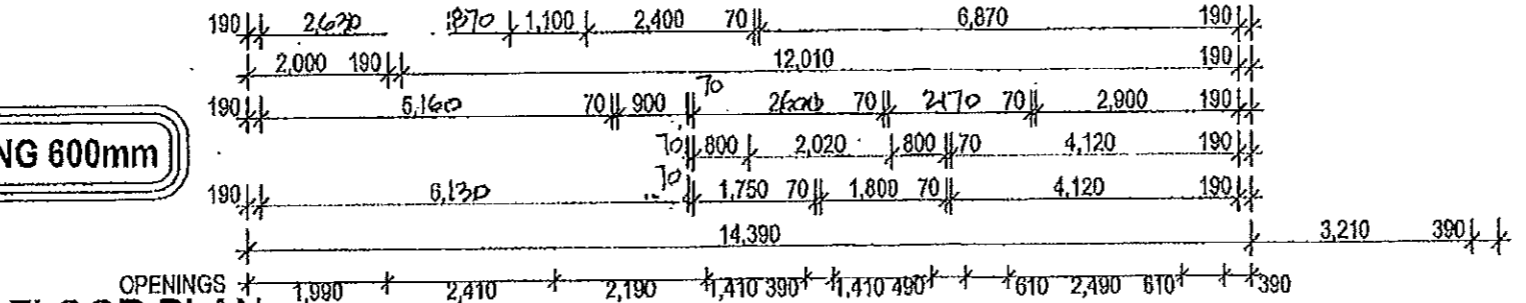
2650 CEILING HEIGHT
2600 PITCHING POINT



255cm329655560555



ROOF PITCH 20° OVERHANG 600mm



FLOOR PLAN

FLOOR AREA	221.12 M2	SCALE	1:100
PORCH/CARPORT AREA	59.34 M2	ROOF	Metal 20.1°
PATIO % OF FOOTPRINT	21.2%	EXT WALL	190 BLOCK
		CEILING HT	2550C/2600S
		WIND RATING	C3
JOB 3296	CUSTOM DESIGN	<p>THESE PLANS DO NOT COMPLY WITH ANY REQUIREMENTS FOR WHEELCHAIR OR DISABILITY ACCESS OR ACCESSIBLE LIVING</p> <p>INTELS INDICATED ON FLOOR PLAN ARE NOT TO BE QUOTED.</p>	

REFER TO ELEVATIONS FOR ALL CONSTRUCTION NOTES

COMPLIANCE INDEMNITY
The owner confirms that the land and the dwelling are not subject to town planning conditions and/or covenants which require the developer's and/or local authority approvals, and the owner indemnifies the builder and designer against any loss however sustained due to the owner's failure to ensure compliance.
Owner: _____ Witness: _____ Date: ____/____/____

COVENANT APPROVAL
Developer/Agent: _____ Estate: _____
Signature: _____ Witness: _____ Date: ____/____/____

Only sign if 100% correct. If not correct please contact your consultant.

CLIENT: _____ DATE: 30/11/20
CLIENT: _____ DATE: 7/12/20
BUILDER: _____ DATE: _____

NOT TO BE MODIFIED WITHOUT WRITTEN AUTHORITY

Z. & U. JANDRIC
Lot 37 (8) Kadan Close, WONGA BEACH
QLD, 4873
RP. RP 742279 MAP REF.

3
4 2
1

ELEVATIONS

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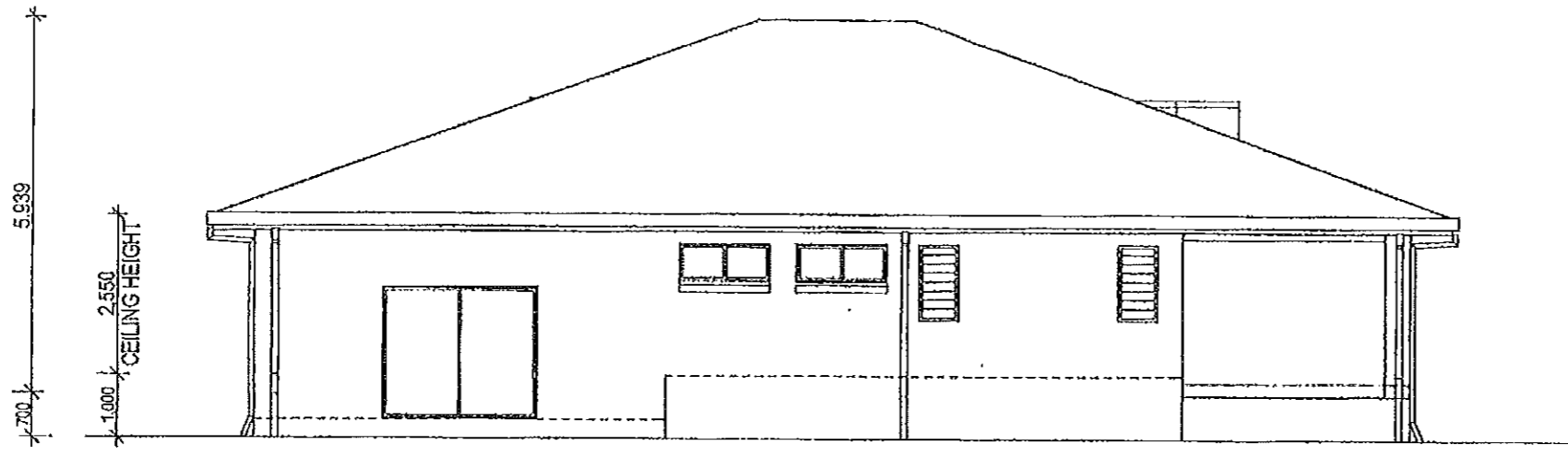
DIXONHOMES

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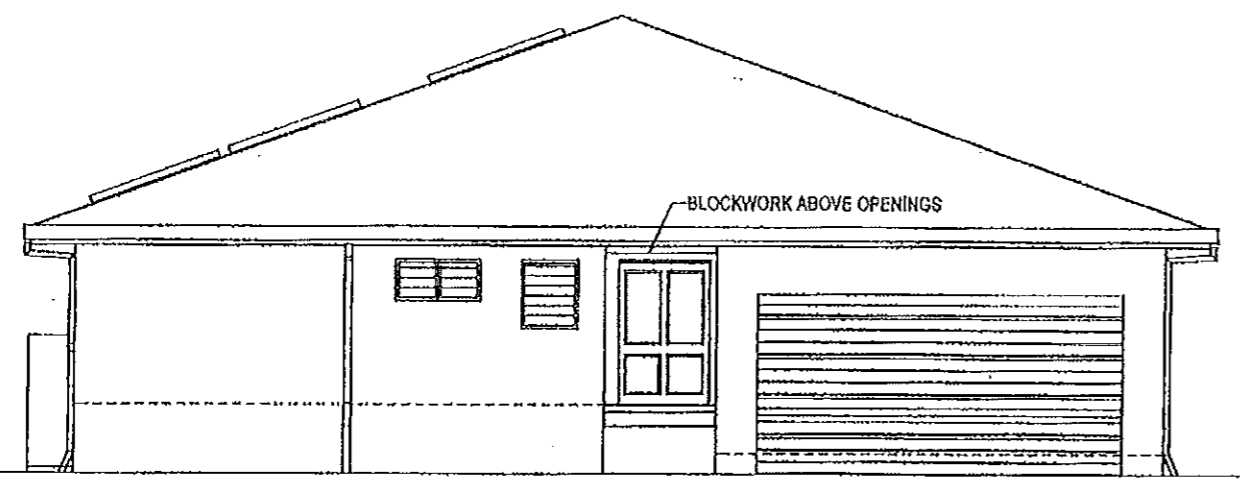
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PARAMPOOD LTD. LIC. 28375 (QLD) 74355 (NSW)
DRAWN BY: dab 03/11/2020
DRAWN FOR: Carrington, Cairns
Carrington Homes

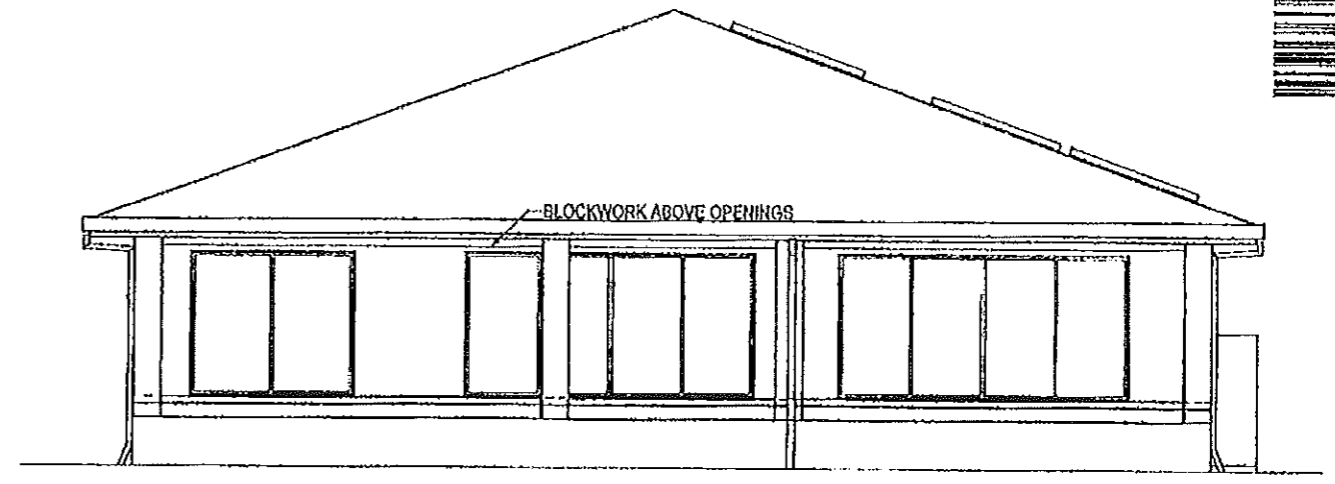
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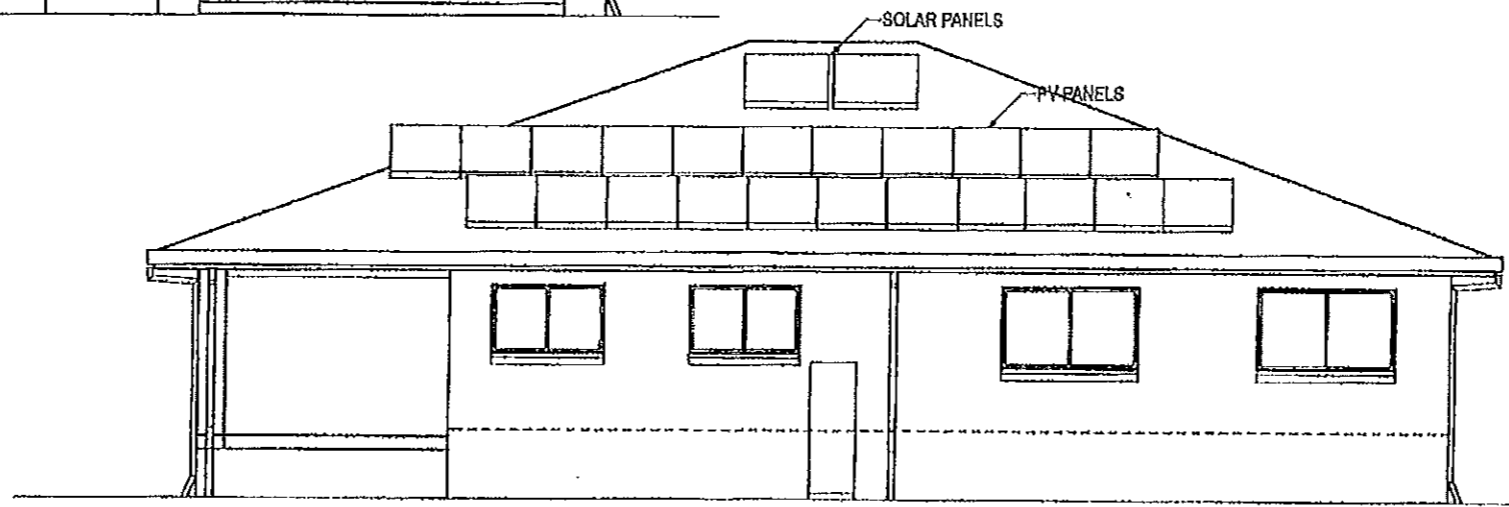
ELEVATION 1



ELEVATION 4



ELEVATION 2



ELEVATION 3

ARTICULATION JOINT SPACING: 5m

TAMARWOOD LTD. LK. 2533 (CLD) 7433 (NSW)
DRAWN BY: ddb 03/11/2020
DRAWN FOR: Carabigan, Cairns
Cambridge Homes

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 Admired since 1959

FLOOR AREA	221.12 M2
PORCH/CARPORT AREA	59.34 M2
PATIO % OF FOOTPRINT	21.2%

SCALE	1:100
ROOF	Metal 20.1°
EXT WALL	190 BLOCK
CEILING HT	2550C/2600S
WIND RATING	C3

NOTE: WINDOWS AND DOORS SHOWN ARE STANDARD BLOCKS ONLY. FOR DETAIL ON PANEL SIZE & POSITION SEE CODES ON THE FLOOR PLAN. WINDOW SIZE AND STYLE ARE INDICATIVE ONLY AND MAY VARY DEPENDING ON SUPPLIER

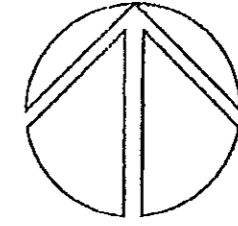
Plan Dimensions/Errors and Omissions. Where inadvertent changes to the originally specified dimensions and/or spaces occur, the Owner(s) will only be entitled to compensation for consequential financial loss on a resale basis, as assessed by a registered valuer nominated by the Queensland Institute of Valuers and a refund for items charged for, but not incorporated in the Contract

Only sign if 100% correct. If not correct please contact your consultant.
 CLIENT: [Signature] DATE: 30/11/20
 CLIENT: [Signature] DATE: 7/12/20
 BUILDER: [Signature] DATE: 7/12/20
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Z. & U. JANDRIC
 Lot 37 (8) Kadan Close, WONGA BEACH
 QLD, 4873
 RP. RP 742279 MAP REF.

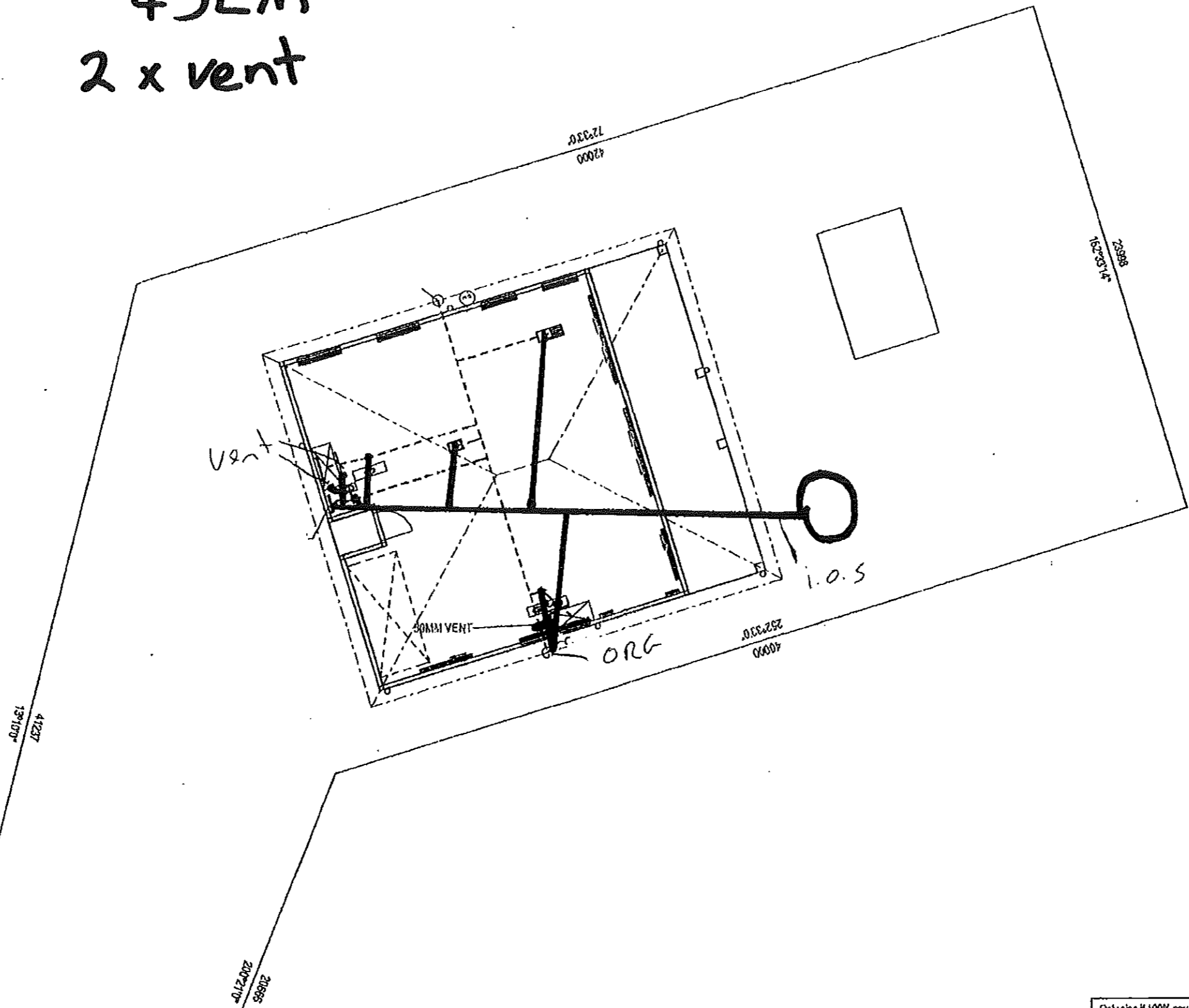
3296

45LM
2 x vent

3296
k55860axkge



218cm3296151835andgc



DRAINAGE PLAN SCALE 1:200

FLOOR AREA	221.12 M ²
PORCH/CARPORT AREA	59.34 M ²
RATIO % OF FOOTPRINT	21.2%
WIND RATING	C3

SCALE	1:100
ROOF	Metal 20.1°
EXT WALL	190 BLOCK
CEILING HT	2550C/2800S

LEGEND:	
B	BASIN
BTH	BATH
CYJ	CAPPED 'Y' JUNCTION
FFL	FINISHED FLOOR LEVEL
FT	FIXTURE TRAP
HC	HOUSE COCK
IL	INVERT LEVEL
IO	INSPECTION OPENING

IOS	INSPECTION OPENING TO SURFACE
LT	LAUNDRY TUB
ORG	OVERFLOW RELIEF GULLY
SH	SHOWER
SK	SINK
SL	SURFACE LEVEL
WC	TOILET
WM	WASHING MACHINE
WTNK	WATER TANK

DESIGNER:	Lev Mizikovsky
BUILDING DESIGN LICENCE NO.:	22416

Only sign if 100% correct. If not correct please contact your consultant.
 CLIENT:..... DATE:.....
 CLIENT:.....
 BUILDER:..... DATE:.....
 NOT TO BE MODIFIED WITHOUT WRITTEN AUTHORITY

Z. & U. JANDRIC
 Lot 37 (8) Kadan Close, WONGA BEACH
 QLD, 4873
 RP. RP 742279 MAP REF.

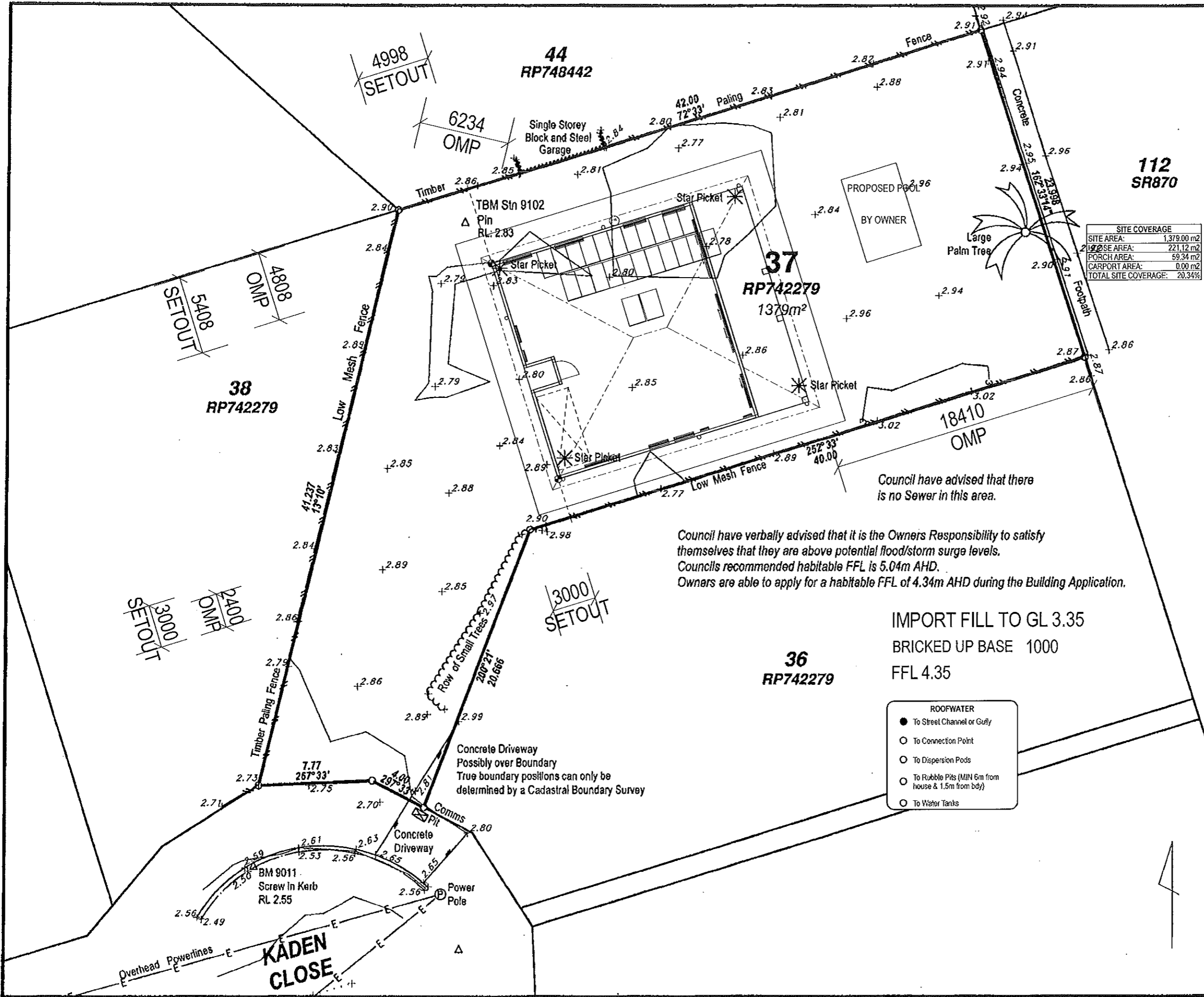
TAMWOOD LTD. LIC. 25973 (QLD) 74336 (NSW)
 DRAWN BY: ddb 17/12/2020
 DRAWN FOR: Carrington Cairns
 Carrington Homes

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JOB 3296 CUSTOM DESIGN

3296

3296
 14/1/21

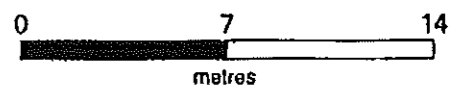


SITE COVERAGE	
SITE AREA:	1,379.00 m ²
HOUSE AREA:	221.12 m ²
PORCH AREA:	59.34 m ²
CARPORT AREA:	0.00 m ²
TOTAL SITE COVERAGE:	20.34%

- IMPORTANT NOTE**
- This plan was prepared for the sole purpose of the effort for the specific purpose of producing a site plan. This plan is strictly for the purpose and does not apply to any other use or matter. The plan is prepared without the assumption of a duty of care to any other person (other than the Client) (Third Party) and may not be relied on by Third Party.
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 - RPS Australia East Pty Ltd relying on surface indications that are incorrect or inaccurate;
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 - Scale shown is correct for the original plan and any copies of this plan should be verified by checking against the best scale.
 - The site boundaries as shown hereon are not to be used as the basis of any survey and have been determined by plan dimensions only and not by field survey. If it is to be so located, surveys have been plotted from the records of relevant landowners where available and have been noted accordingly on this plan. Where such records were not available or are inadequate a station has been made hereon.
 - Prior to any decision, excavation or construction on the site, the relevant authority should be contacted for possible location of other underground services and detailed location of all services.

NO OVERHEAD OBSTRUCTIONS

Level Datum: AHD D
 Contour Interval: 0.2m
 Index: 1.0m
 Meridian: RP742279



SCALE 1:250 IS APPLICABLE ONLY TO THE ORIGINAL SHEET SIZE (A3).

PROJECT MANAGER	CHECKED
D. Garget	
SURVEYED	DRAFTING CHECKED
MW	
DRAWN	CAD REF
MW/DG	
SHEET SIZE	SHEET 1 OF SHEETS 1
A3	6295-1708.mjo

RPS Australia East Pty Ltd
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 135 Abbott St
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 F +61 7 4031 2942
 W rpsgroup.com.au

DIXON HOMES

Zel & Uta Jandric

Contour & Detail Survey
 Lot 37 on RP742279
 Kaden Close
 WONGA BEACH
 Local Govt: Douglas Shire

SCALE	DATE	DRAWING NO.	ISSUE
1:250	9/09/20	6295-1708	

Council have verbally advised that it is the Owners Responsibility to satisfy themselves that they are above potential flood/storm surge levels. Councils recommended habitable FFL is 5.04m AHD. Owners are able to apply for a habitable FFL of 4.34m AHD during the Building Application.

Council have advised that there is no Sewer in this area.

IMPORT FILL TO GL 3.35
 BRICKED UP BASE 1000
 FFL 4.35

- ROOFWATER**
- To Street Channel or Gully
 - To Connection Point
 - To Dispersion Pods
 - To Rubble Pits (MIN 6m from house & 1.5m from bdy)
 - To Water Tanks

Concrete Driveway
 Possibly over Boundary
 True boundary positions can only be determined by a Cadastral Boundary Survey

KADEN CLOSE