

Our Ref: 20-12/001182
CRC Ref: mcuc 2021_4490/1
Date: 18 March 2022

Attn: Mr Neil Beck
Chief Executive Officer
Douglas Shire Council
PO Box 723
MOSSMAN QLD 4873

VIA EMAIL: N.beck@douglas.qld.gov.au

Dear Sir,

RE: RESPONSE TO INFORMATION REQUEST IN RELATION TO AN APPLICATION FOR MATERIAL CHANGE OF USE FOR 'MULTIPLE DWELLINGS' AND 'SHORT-TERM ACCOMMODATION' OVER LAND AT 69 – 73 MURPHY STREET, PORT DOUGLAS

Planning Plus acts on behalf of Gurner TM Nominee Pty Ltd (the 'applicant') in relation to the above-described matter.

We hereby provide the following information in response to Council's Information Request dated 22 December 2021.

The proposed mixed use development is understood to comprise of:

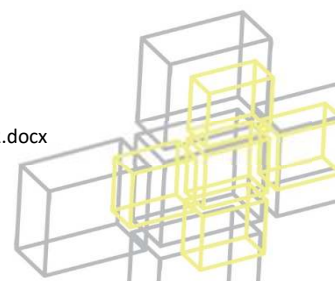
- ***4 dwellings,***
- ***13 car parking spaces; and***
- ***Site landscaping and open space.***

The proposed development is 5 storeys with a height of 17.5 metres. It is noted the labelling and referencing of the various levels are not consistent throughout the set of plans whereby some plans nominate reference to 2 levels over lower ground, ground and upper ground while other plans nominate 3 levels over lower ground and ground levels. It is preferred that the plans reference ground level and then each level thereafter i.e Level 1, Level 2 etc.

Please see revised Architectural Plans included as **Annexure 1**. Requested changes to labelling have been made.

Building Height

1. Concern is raised with the proposed building height, in particular of Dwelling No1 and the extensive use of pylons. It is considered that the building will be overbearing and will have an adverse impact on the visual amenity of the immediate area, particularly when viewed from Jalun Park. It is suggested that the height of the building be reduced by reducing the height of the pylons and removing the area referred to as upper ground level or garden level.



Further detail is requested in relation to the visual impact of the proposed development having regard to:-

- The construction of the access;***
- Detailing all existing vegetation and that vegetation that will be removed as a consequence of the construction of the access and/or will be compromised by undertaking building work and the provision of services to the site;***
- The response to this information request item is required to be undertaken by an appropriately qualified professional and supported by a series of plans showing accurate visual representations of the development.***

Please see revised Architectural Plans included as **Annexure 1**. Overall building height and the length of the columns of Dwelling 1 have been reduced by 1m.

Further details are provided below regarding the access driveway and associated vegetation clearing and landscaping, however 3D Views are provided from Julian Park and the driveway entrance based on this information and are included as **Annexure 2**.

2. The application does not include an updated engineering report, therefore proposals for sewerage, water supply, stormwater drainage etc relevant to the revised development concept are required to be prepared for review.

It is unclear whether the water supply will require on site booster systems given the FFL's proposed for the highest levels of the development.

The existing sewer will need to be decommissioned as it is under the Dwelling 3 footprint.

Provide an engineering report detailing how the site will be serviced and adequately cater for stormwater.

Please see updated Engineering Services Report included as **Annexure 3**.

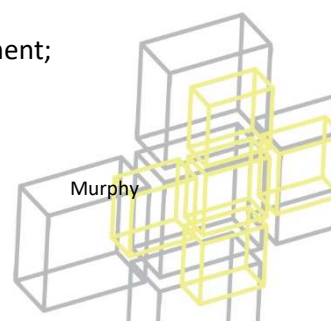
3. Drawing DA010.01 (Lower Floor plan) appears to show columns for the subsequent levels of the development being located within the internal driveway and in front of garages. The applicant is to review the location of columns and confirm that all garages are able to be accessed in accordance with the requirements of AS2890.1 – Off Street Parking Code and AS2890.6 – Parking Facilities – Off-Street Parking for people with disabilities. Swept path diagrams are also required. Supporting information is also to show how the development is serviced by refuse vehicles.

Please see Traffic Engineering Assessment included as **Annexure 4**. The report confirms that the parking layout complies with AS2890.

4. The application does not include plans and details of the access into the site. Detail of the access driveway east from the extent shown on drawing DA010.01 is required. It is noted that the access will be in road reserve and the previous approval issued over the site required this road to be constructed to an access street standard. Particular design details is required from the Applicant regarding the design of the access, departure from FNQROC Development Manual if proposed, and ongoing maintenance obligations post construction and ability for the access to accommodate refuse vehicles. Details on all existing vegetation to be removed and / or compromised is also required.

Please see revised Architectural Plans included as **Annexure 1**, Engineering Services Report included as **Annexure 3**, Traffic Engineering Assessment included as **Annexure 4** and Landscape Plans included as **Annexure 5**.

- Architectural Drawings DA03-001 & 002 illustrate the proposed general arrangement;***



- Civil Drawings are included within the Engineering Services Report;
- Commentary is provided in the Traffic Engineering Assessment; and
- Details of trees to be removed/retained and additional landscaping works are provided within the Landscaping Plans.

Generally, the proposed access has been designed to minimise site disturbance and significant engineering works by achieving an at-grade solution which allows for retention of vegetation and significant landscape embellishment to ensure an appropriate visual amenity outcome.

Specifically in relation to refuse collection, we note that the low-impact design of the driveway means that refuse collection would need to occur at the bottom of the driveway where it ties in with the existing carpark. The plans show a proposed bin collection enclosure location, and it is proposed that this enclosure would be built to a high standard, commensurate with the location. The proposed development includes onsite bin storage (see Drawings DA03.002 & DA010.01) and will include a management arrangement for the transportation of the bins to and from the external collection point as required.

5. With reference to drawing DA010.01, the application does not demonstrate how it will provide for disabled access to the site and the buildings as required for this development classification. Visitor parking and compliant accessible path of travel from the parking will need to be demonstrated in the proposed layout.

In relation to providing pedestrian access to the site, the applicant is to provide advice on how the development ensures that it will not be in conflict with the requirements of the:

- a) The Disability Discrimination Act (1992);***
- b) The Disability (Access to Premises – Buildings) Standard (2010); and***
- c) The Disability Standards for Accessible Public Transport (2002).***

The applicant hereby seeks to amend the application to no longer include the Short-Term Accommodation component. Moving forward, the application seeks approval for Multiple Dwellings only. We understand that as this change is in response to an Information Request, it will not impact on the current development assessment process.

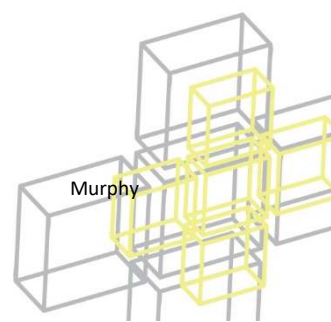
6. Drawing DA010.03 (Ground floor plan) and Sections 1 and 2 on Drawing DA30.001 indicate that the boundary wall adjacent Murphy Street is very close to the property boundary.

Section 1 on Drawing DA30.001 “Typical Sections” shows cut required in the existing batter potentially undermining the road reserve.

Section 2 on Drawing DA30.001 “Typical Sections” shows fill required within the site and extending into the Murphy Street road reserve.

The applicant is to confirm how the walls adjacent Murphy Street are proposed to be constructed and if any disturbance or reliance of Murphy Street is proposed to achieve the development outcome.

We refer to the Geotechnical Advice provided by GeoDesign which was included in the Development Application and refer you in particular to the “Stability” section. We note that the existing batter to Murphy Street exhibits stability issues and that the proposed development will rectify these issues in accordance with the geotechnical advice. Structural engineering details for the wall will be sought following approval of final plans and Council may condition the provision of this information prior to obtaining Building Works approval. The proposed construction of these elements are noted on the Architectural plans prepared by Warren & Mahony Architects included as **Annexure 1**



7. The applicant is requested to clarify the line-type/hatching used on Sections 1 and 2 on Drawing DA30.001 "Typical Sections" and on the East Elevation drawing DA20.002. Council Officers interpret that the diagonal hatching represents earthworks fill, the applicant is requested to clarify this interpretation.

The vertical hatching used on the East Elevation drawing DA20.002 for the lower southern portion of the site appears to be timber fencing, however the height scales as up to 3.6m with another fence type on top of this for a total height appearing to scale at approximately 4.7m at the intermediate step down. (Fence at the southern boundary scales at 2.9m timber and 3.9m overall). The applicant is requested to clarify the heights, finished ground levels and construction material for this eastern fence and detail what filling if being retained by the fence which extends to the property boundary.

Additional sections through the proposed pools for each dwelling are requested to confirm the founding levels and whether the pools are founded on existing ground, founded in new filling, or suspended above the ground.

Please see revised drawing set included as **Annexure 1** and note:

- Legend has been added to sections – hatched pattern is indicative fill.
- Eastern boundary fence shown on Drawing DA20.002 is to follow the ground line and is nominally 1.8m high.
- Pool sections have been added (Drawing DA30.003) – these are a combination of suspended slabs and being cut into existing ground.

8. The applicant is requested to clarify the proposed volume to be filled/removed and to confirm the expected truck movements to achieve required earthworks. The confirmation should include the existing surface contours overlaid with design site levels.

Proposed excavation areas are shown on DA50.002 within **Annexure 1** and are relatively minor. Fill figures are not available at this stage. In any case, this is considered to be a construction management issue which would be regulated by a future Operational Works approval.

9. There are significant existing drainage issues on Murphy Street and the development must ensure that the overland flows are able to be conveyed through the site in the existing easement and flow path. Details of site finished levels, landscaping etc in the southern easement, through Council land and across the easement are to be provided;

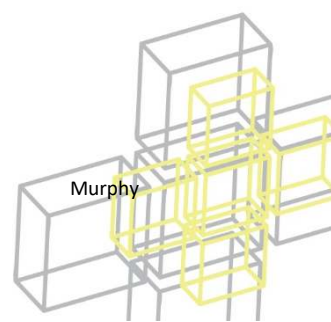
Please see updated Engineering Services Report included as **Annexure 3**.

10. The applicant is to confirm legal point of discharge of the site and advise if the existing underground stormwater pipe along southern boundary of the site will be utilised for discharges from the development site.

Please see updated Engineering Services Report included as **Annexure 3**.

11. The capacity and condition of the existing stormwater pipe through the site is not addressed in the supporting material submitted with the application. Council requires an assessment of the required capacity to convey upstream flows through the site for the 100-year ARI, (1% AEP) rainfall event. However, if provision for overland flow is not provided (or is compromised) then a severe impact statement will be required, and additional capacity may need to be provided. Advice on the proposed pipe design is required.

Please see updated Engineering Services Report included as **Annexure 3**.



12. Capacity limitations are known to exist in the stormwater system downstream from the site and these are expected to be further compromised if the access filling constrains the overland flow paths from the site.

Stormwater calculations must consider the receiving environment and make appropriate allowance for actual operating conditions. Council's preliminary assessment indicates increased pipe sizes will be required. Advice on the proposed pipe size and design is required.

Please see updated Engineering Services Report included as **Annexure 3**.

13. An opportunity to address stormwater flows from Murphy Street may exist along the western boundary of the site, through provision of additional underground capacity in the 4m landscaped setback. Council seeks advice on the applicant's willingness to consider acceptance of an easement for this purpose noting that effective capture and conveyance of stormwater assists the development along the southern boundary and across the esplanade.

Alternative options may include stormwater pipes along Murphy Street. These options will need to be considered in relation to the development proximity to the road, proposed geotechnical treatments and depth of structures adjacent current or future stormwater works. Council seeks further information from the Applicant in this regard to adequately address the issue of stormwater for the site and for the existing drainage regime in Murphy Street. It is important to Council that an ability to address stormwater issues in Murphy Street is preserved in the event they are not overcome by the proposed development. It is also noted that effective stormwater control when considering the geotechnical elements proposed with cutting and filling within the Murphy Street road reserve.

Please see updated Engineering Services Report included as **Annexure 3**.

14. Water reticulation flow and pressure near the site is to be confirmed in addition to establishing the existing operating pressure at the boundary of the site. Council is not responsible for providing water capacity and pressure for the development demands and in particular, the height of the development. Further information detailing adequate water pressure and capacity is required.

Please see flow and pressure test certificate included as **Annexure 6**.

15. Power demand and the location of this demand at the edge of the power supply network may require that additional electrical infrastructure being required which may have implications for the layout and access arrangements. Advice from Ergon Energy regarding the local network capacity is requested.

We request that this matter be addressed by way of a condition of approval.

This letter and attachments constitute the applicant's full response to the information requested.

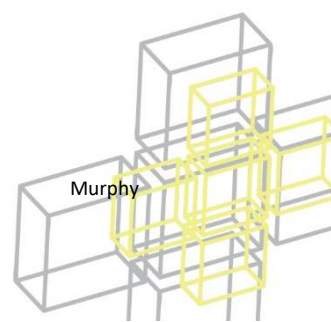
We trust this information is sufficient for your purposes; however should you require any further details or clarification, please do not hesitate to contact the undersigned.

Yours Faithfully

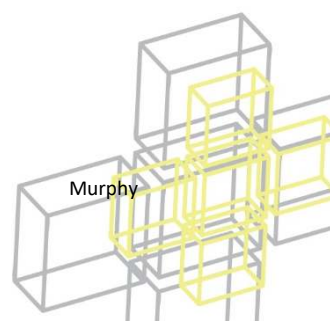


**Evan Yelavich
Director / Planner
Planning Plus QLD Pty Ltd**

enc. Annexure 1: Architectural Plans

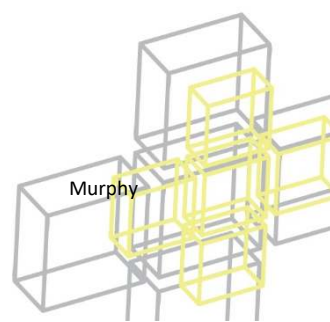


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| Annexure 2: | 3d Views |
| Annexure 3: | Engineering Services Report |
| Annexure 4: | Traffic Engineering Assessment |
| Annexure 5: | Landscape Plans |
| Annexure 6: | Pressure and Flow Test Certificate |



Annexure 1

Architectural Plans





All dimension to be verified on site before producing shop drawings or commencing any work. Do not scale. The copyright of this drawing remains with Warren and Mahoney Architects New Zealand Ltd.

Issue Status & No

DEVELOPMENT APPLICATION

ExRL +00.000

RL +00.000

EXISTING RL - REFER TO SURVEY

PROPOSED LEVEL

INDICATIVE SITE FILL

ORIGINAL DRAWING IN COLOUR

Consultants

Project Manager

Structural Engineer

Mechanical Engineer

Fire Engineer

Electrical Engineer

Client

GURNER TM

GURNERTM

Warren and Mahoney Architects Australia Pty Ltd

Level 4, 141 Flinders Lane
Melbourne VIC 3000
Australia
Phone + 61 3 8547 6977

Registered Architects and Designers
www.warrenandmahoney.com

Project Title

69-73 MURPHY STREET
PORT DOUGLAS

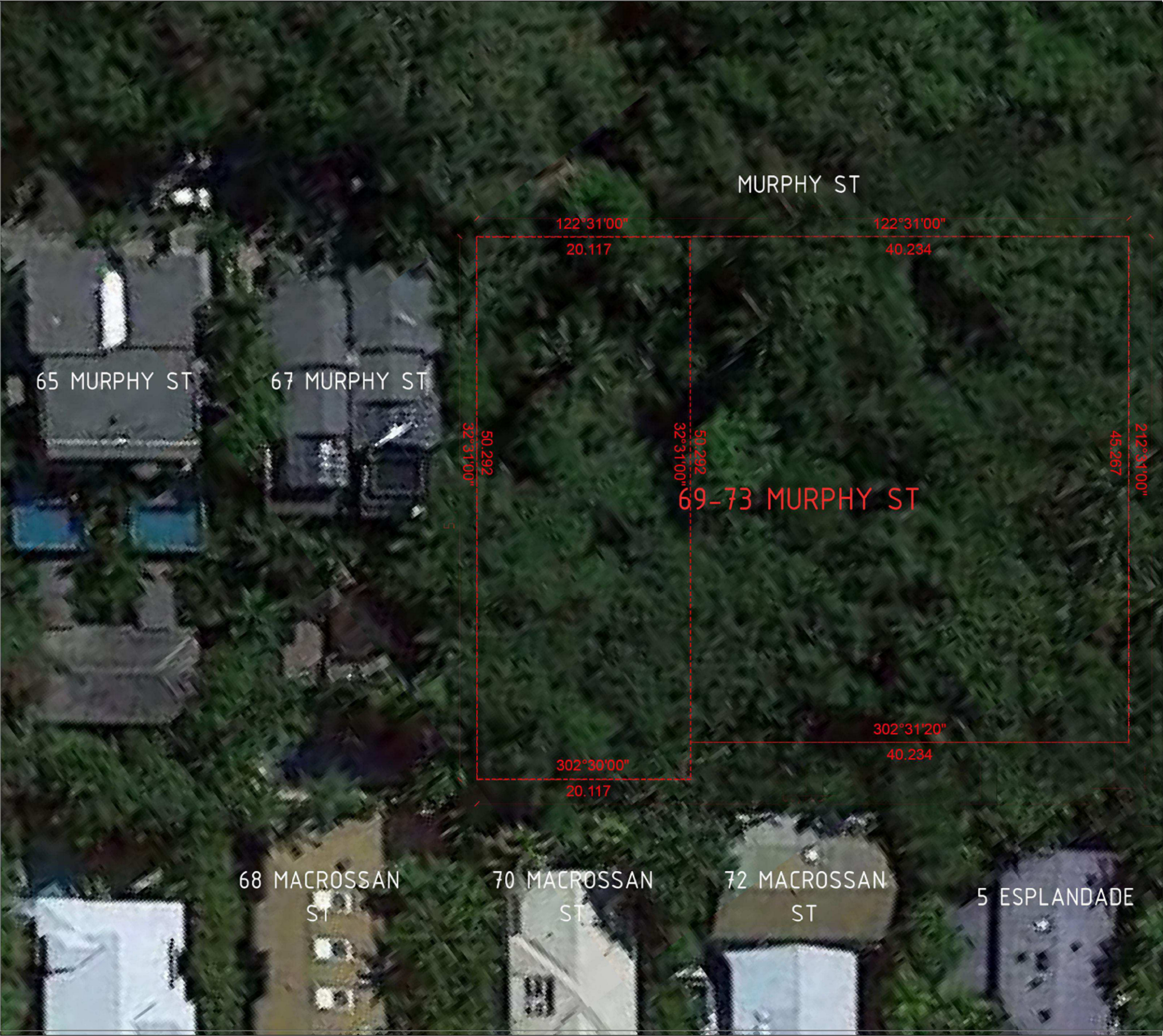
69 - 73 MURPHY STREET | PORT DOUGLAS

DEVELOPMENT APPLICATION

MARCH 2022

DA DRAWING LIST

| | | | | | |
|----------|---------------------|---|----------|----------------------------------|---|
| DA00.001 | COVER SHEET | E | DA30.001 | TYPICAL SECTIONS | J |
| DA01.001 | SITE CONTEXT | D | DA30.002 | TYPICAL SECTIONS | F |
| DA01.002 | SITE IMAGERY | D | DA30.003 | POOL SECTIONS | A |
| DA01.003 | SITE IMAGERY | D | DA50.001 | DEVELOPMENT SUMMARY - GFA | E |
| DA01.004 | SITE ANALYSIS | D | DA50.002 | DEVELOPMENT SUMMARY - SITE COVER | E |
| DA01.005 | SITE SURVEY | D | DA50.003 | DEVELOPMENT SUMMARY - LANDSCAPE | E |
| DA01.006 | SITE SURVEY | D | | | |
| DA01.007 | INTERPOLATED SURVEY | E | DA80.001 | SOLAR ANALYSIS - JUNE 21 | E |
| | | | DA80.002 | SOLAR ANALYSIS - DECEMBER 21 | E |
| DA03.001 | PROPOSED SITE PLAN | F | | | |
| DA03.002 | SITE ACCESS PLAN | B | DA90.001 | MATERIALS | C |
| | | | DA90.011 | PERSPECTIVES - STREET VIEW 01 | D |
| DA010.01 | GROUND FLOOR PLAN | J | DA90.012 | PERSPECTIVES - STREET VIEW 02 | B |
| DA010.02 | L01 FLOOR PLAN | J | DA90.013 | PERSPECTIVES - STREET VIEW 03 | B |
| DA010.03 | L02 FLOOR PLAN | J | DA90.014 | PERSPECTIVES - STREET VIEW 04 | B |
| DA010.04 | L03 FLOOR PLAN | J | DA90.020 | PERSPECTIVES - EX TREE CANOPY | B |
| DA010.05 | ROOF PLAN | H | 33 | | |
| | | | | | |
| DA20.001 | NORTH ELEVATION | G | | | |
| DA20.002 | EAST ELEVATION | G | | | |
| DA20.003 | SOUTH ELEVATION | G | | | |
| DA20.004 | WEST ELEVATION | F | | | |



Warren and Mahoney Architects
Australia Pty Ltd

Level 4, 141 Flinders Lane
Melbourne VIC 3000
Australia
Phone + 61 3 8547 6977

Registered Architects and Designers
www.warrenandmahoney.com

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Revisions

| | |
|------------|--------------------------------|
| A 09/09/21 | FOR CONSULTANT COORDINATION |
| B 15/09/21 | FOR INFORMATION |
| C 22/09/21 | DRAFT DA |
| D 04/10/21 | ISSUE FOR DA |

Notes

Consultants

Project Manager
Structural Engineer
Mechanical Engineer
Fire Engineer
Electrical Engineer

Client

GURNER TM
GURNER™

Project Title

69-73 MURPHY
STREET
PORT DOUGLAS

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Drawing Title

SITE CONTEXT

Drawing Status

DEVELOPMENT
APPLICATION

Drawing Details

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| Date | 04/10/21 |
| Job No | 9663 |
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| Checked | - |

Drawing No

DA01.001

Revision

D



UAV DRONE POSITION 1
Lat 16.29.1090 Long 145.28.0318



UAV DRONE POSITION 2
Lat 16.29.0733 Long 145.27.5673



UAV DRONE POSITION 2
Lat 16.29.1991 Long 145.28.0479

Warren and Mahoney Architects
Australia Pty Ltd

Level 4, 141 Flinders Lane
Melbourne VIC 3000
Australia
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Notes

Consultants

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Mechanical Engineer
Fire Engineer
Electrical Engineer

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STREET**
PORT DOUGLAS

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SITE IMAGERY

Drawing Status

**DEVELOPMENT
APPLICATION**

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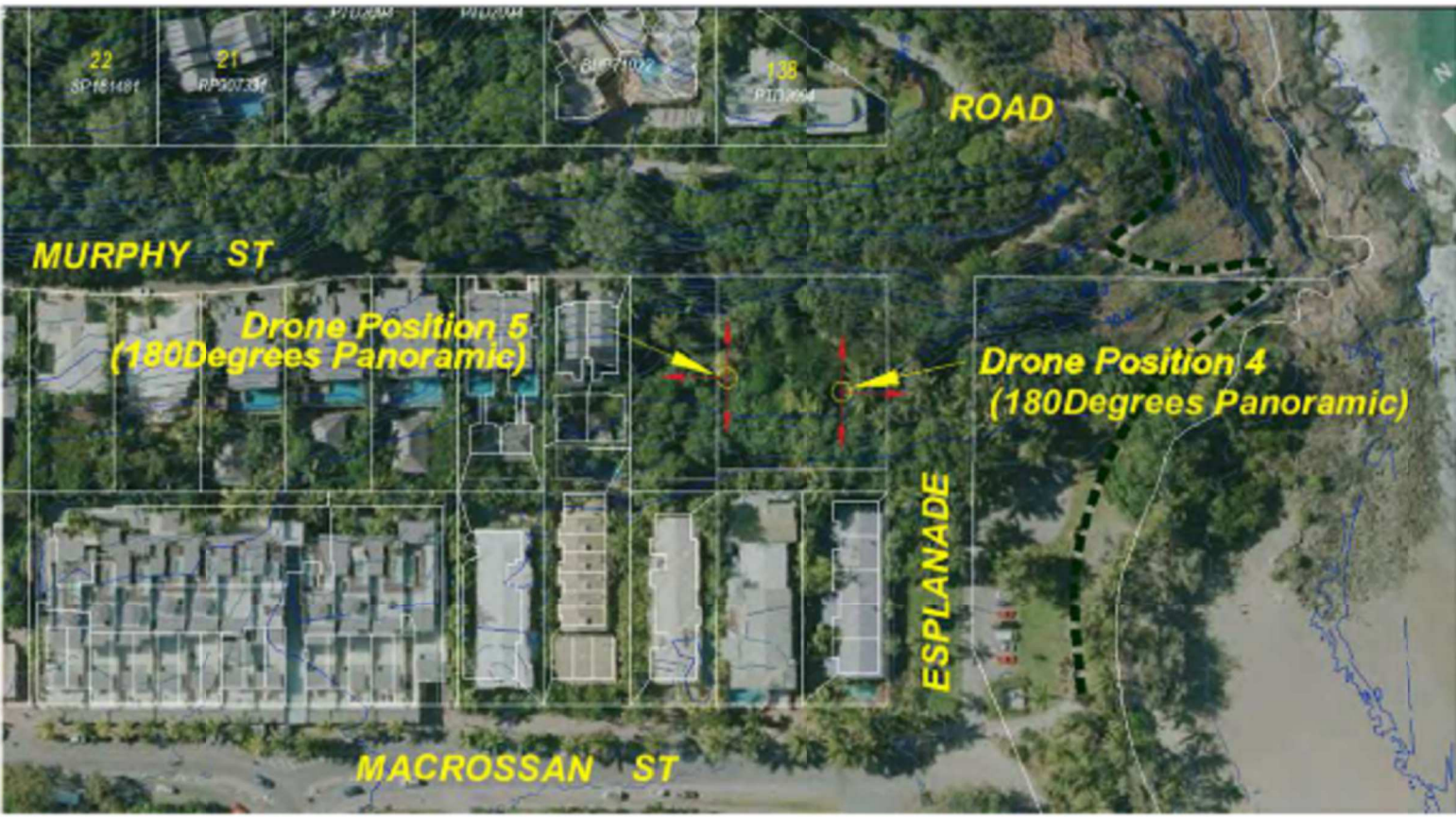
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Site 4 – Elevation 1.5m



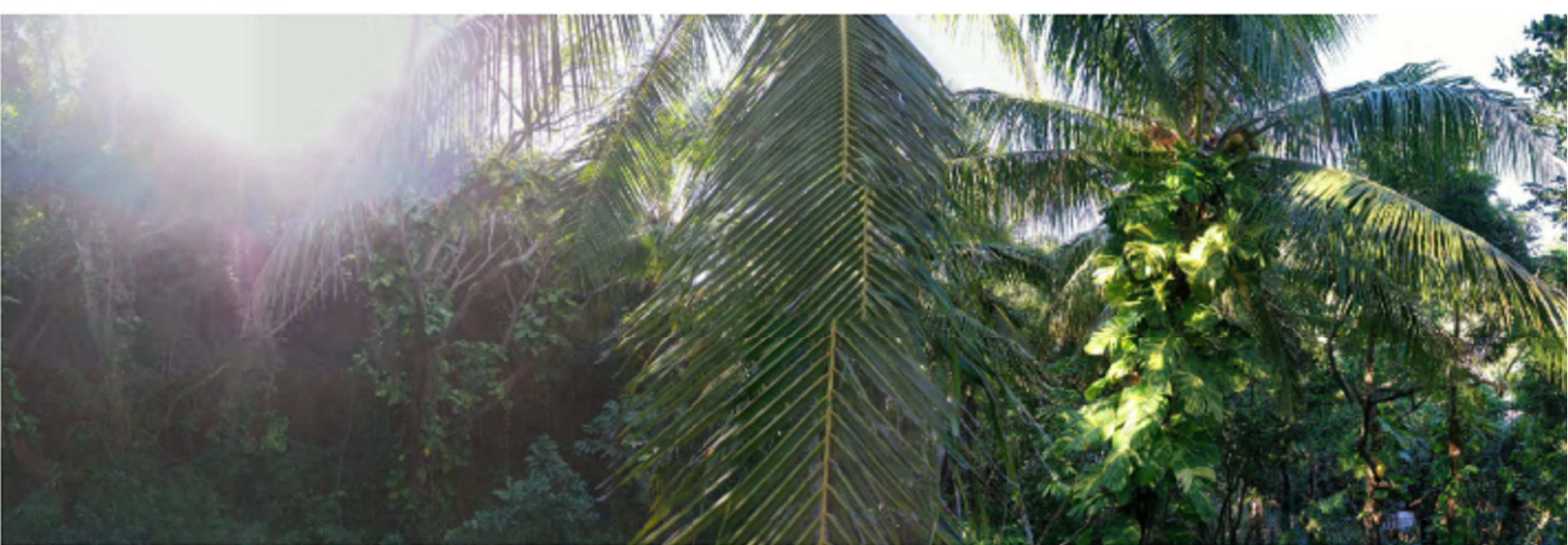
Site 4 – Elevation 4.5m



Site 4 – Elevation 7.5m



Site 4 – Elevation 10.5m



Site 4 – Elevation 22m



Site 5 – Elevation 1.5m



Site 5 – Elevation 4.5m



Site 5 – Elevation 7.5m



Site 5 – Elevation 22m



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Australia Pty Ltd

Level 4, 141 Flinders Lane
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Registered Architects and Designers
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| C 22/09/21 | DRAFT DA |
| D 04/10/21 | ISSUE FOR DA |

Notes

Consultants

Project Manager
Structural Engineer
Mechanical Engineer
Fire Engineer
Electrical Engineer

Client

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Project Title

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PORT DOUGLAS

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Drawing Title

SITE IMAGERY

Drawing Status

DEVELOPMENT
APPLICATION

Drawing Details

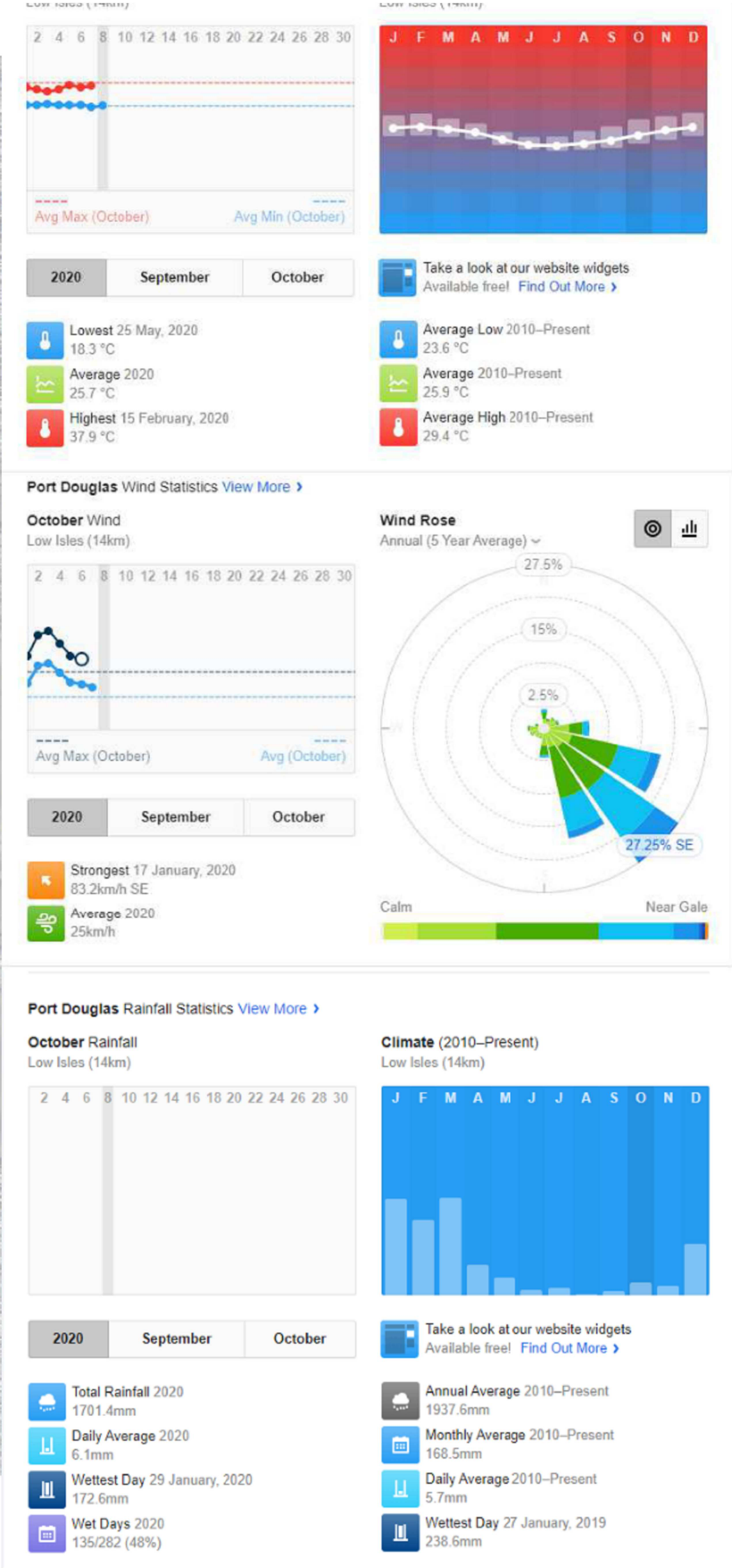
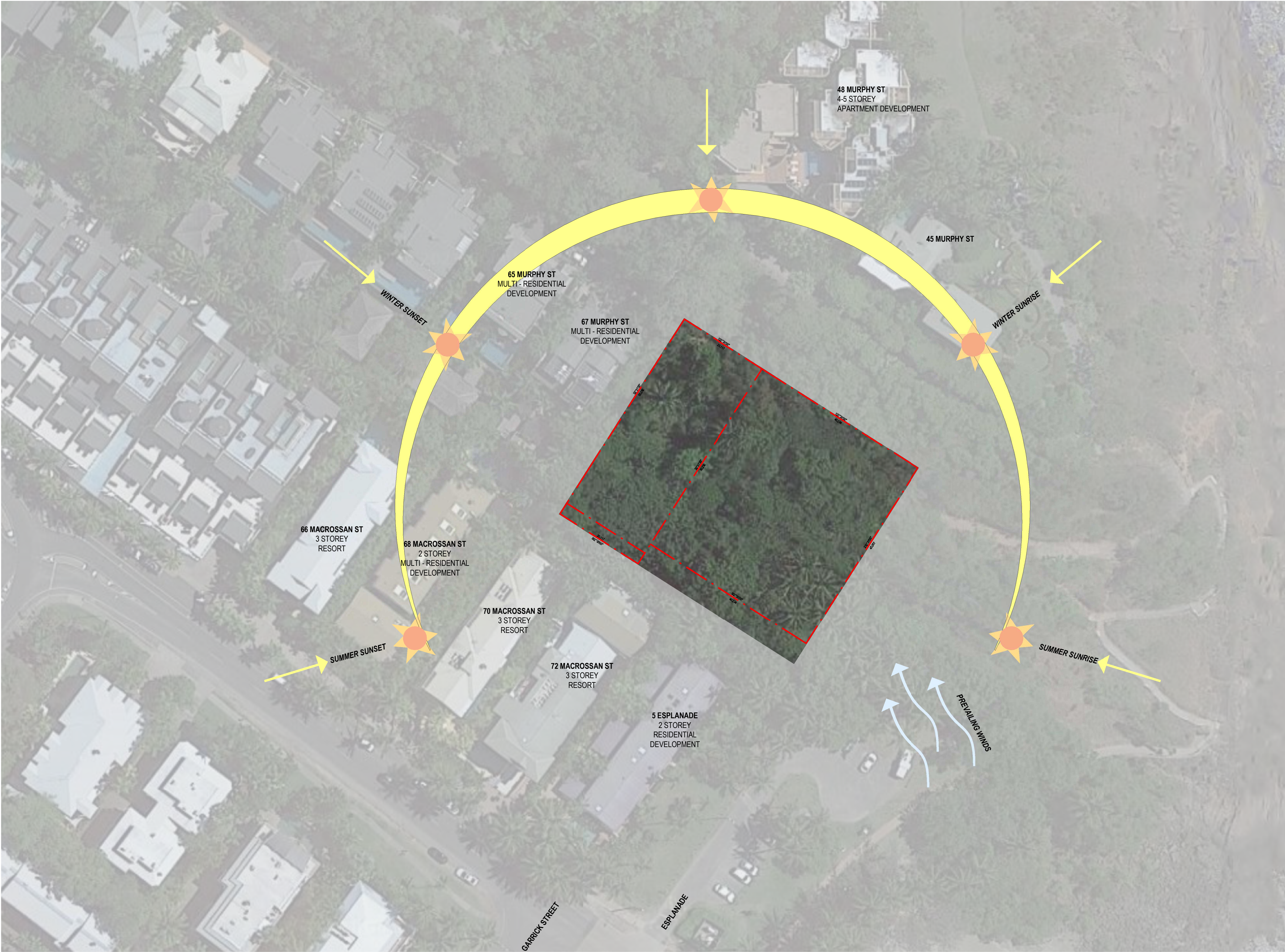
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DA01.003

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Australia Pty Ltd

Level 4, 141 Flinders Lane
Melbourne VIC 3000
Australia
Phone + 61 3 8547 6977

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| D 04/10/21 | ISSUE FOR DA |

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Consultants

Project Manager
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Mechanical Engineer
Fire Engineer
Electrical Engineer

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Project Title

69-73 MURPHY STREET
PORT DOUGLAS

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Drawing Title

SITE SURVEY

Drawing Status

DEVELOPMENT APPLICATION

Drawing Details

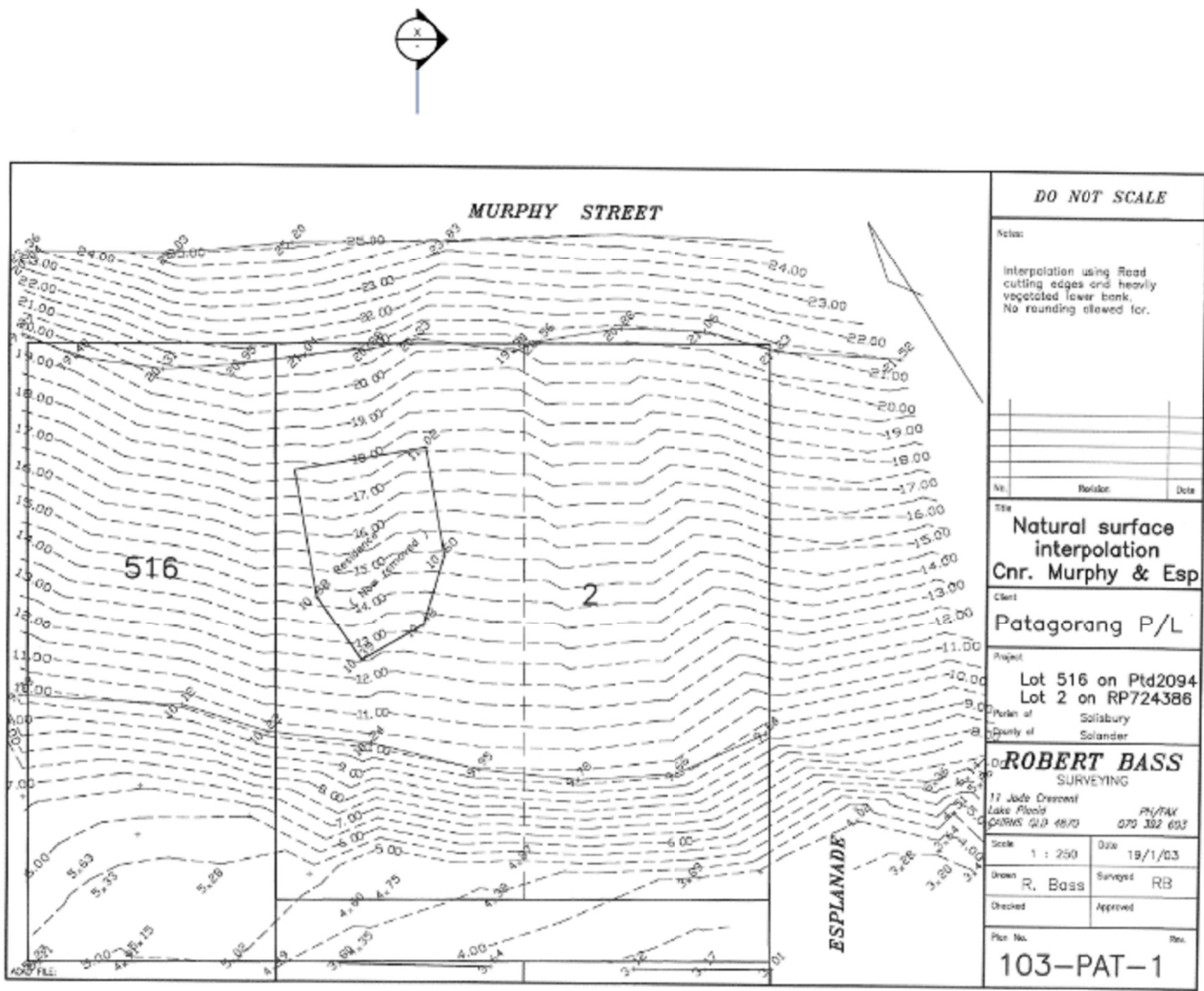
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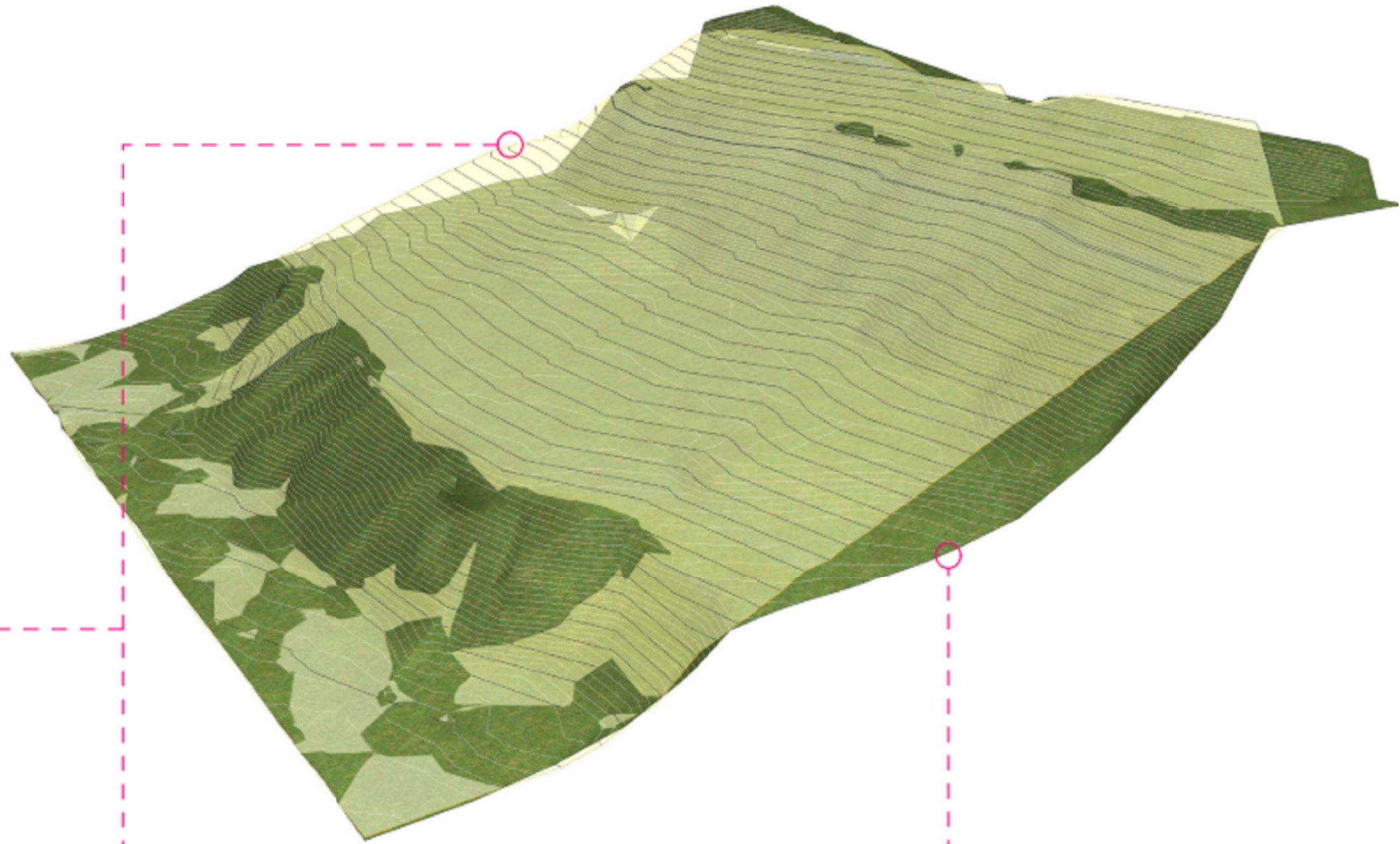
Revision

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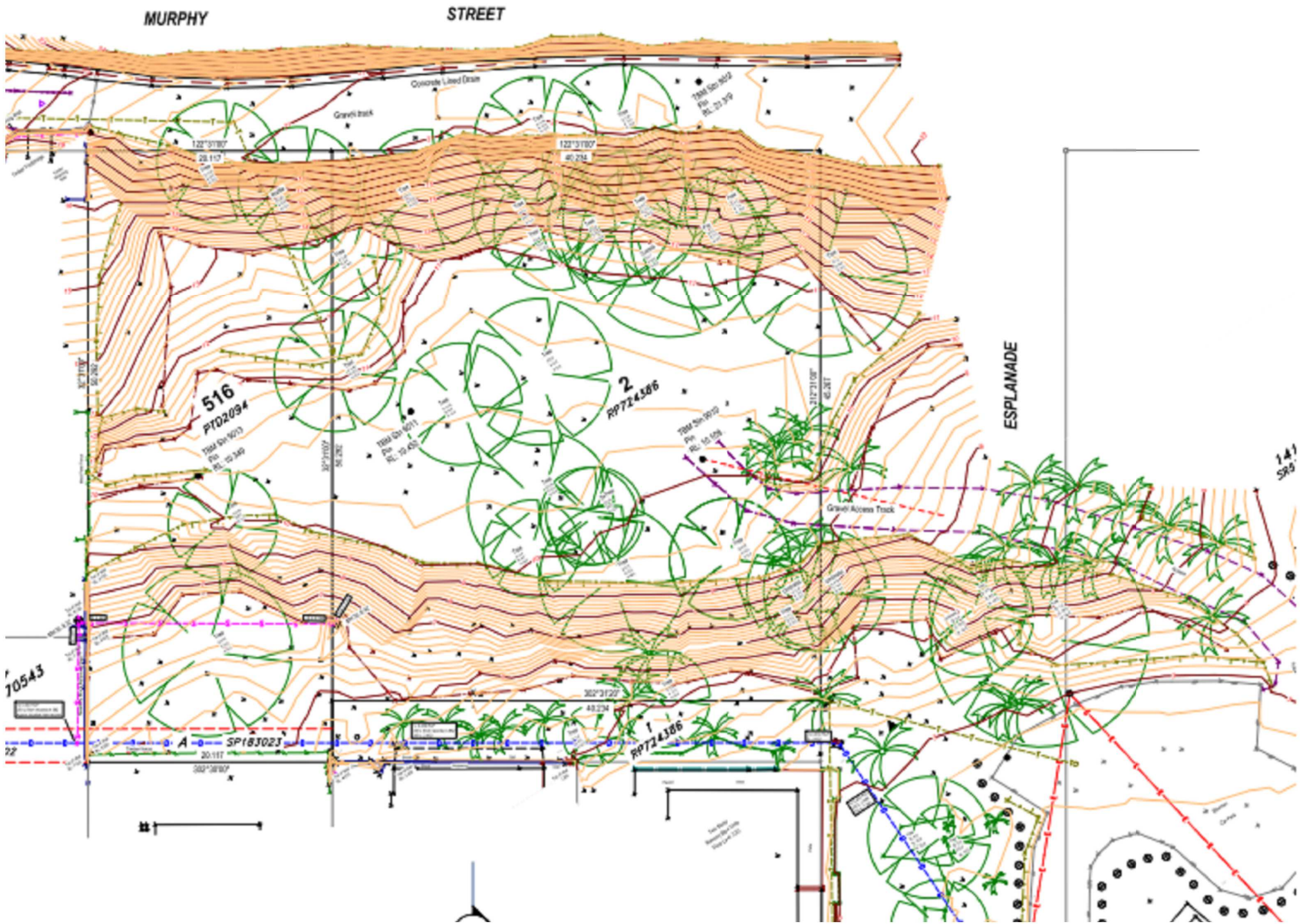


INTERPOLATED SURVEY PREPARED BY ROBERT BASS
DATED 19/01/2003
SURVEY SHOWS ORIGINAL NATURAL GROUND LEVELS
THESE LEVELS FORMED THE BASIS OF THE CURRENT
DEVELOPMENT APPROVAL ON THE SUBJECT SITE.

LANDSURVEY - INTERPOLATED
SCALE: 1:400

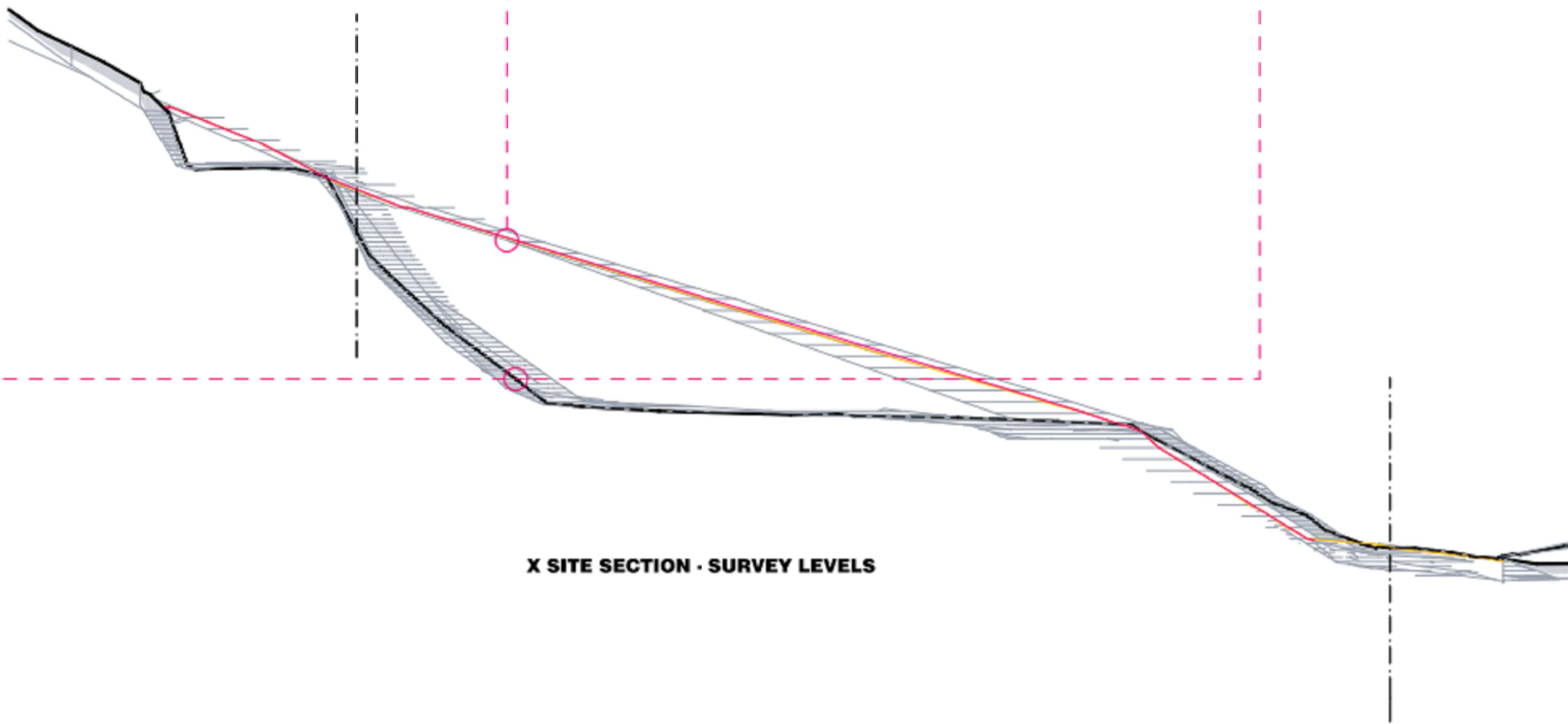


INTERPOLATED SURVEY (YELLOW) & CURRENT SURVEY (GREEN)



CURRENT SURVEY PREPARED BY RBS DATED 30.09.2020
SHOWING EXISTING GROUND LEVELS ON SITE.

LANDSURVEY - CURRENT
SCALE: 1:400



X SITE SECTION - SURVEY LEVELS

Warren and Mahoney Architects
Australia Pty Ltd

Level 4, 141 Flinders Lane
Melbourne VIC 3000
Australia
Phone + 61 3 8547 6977

Registered Architects and Designers
www.warrenandmahoney.com

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PORT DOUGLAS

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INTERPOLATED
SURVEY

Drawing Status

DEVELOPMENT
APPLICATION

Drawing Details

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Date 04/10/21
Job No 9663
Drawn -
Checked ND

Drawing No

DA01.007

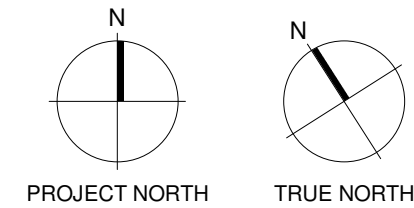
Revision

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Revisions

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| A | 03/09/21 | FOR CLIENT COMMENT |
| B | 09/09/21 | FOR CONSULTANT COORDINATION |
| C | 15/09/21 | FOR INFORMATION |
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| E | 04/10/21 | ISSUE FOR DA |
| F | 10/03/22 | ISSUE RFI 01 |

Notes



Consultants

Project Manager

Structural Engineer

Mechanical Engineer

Fire Engineer

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Project Title

69-73 MURPHY STREET
PORT DOUGLAS

Drawing Title

PROPOSED SITE PLAN

Drawing Status

DEVELOPMENT APPLICATION

Drawing Details

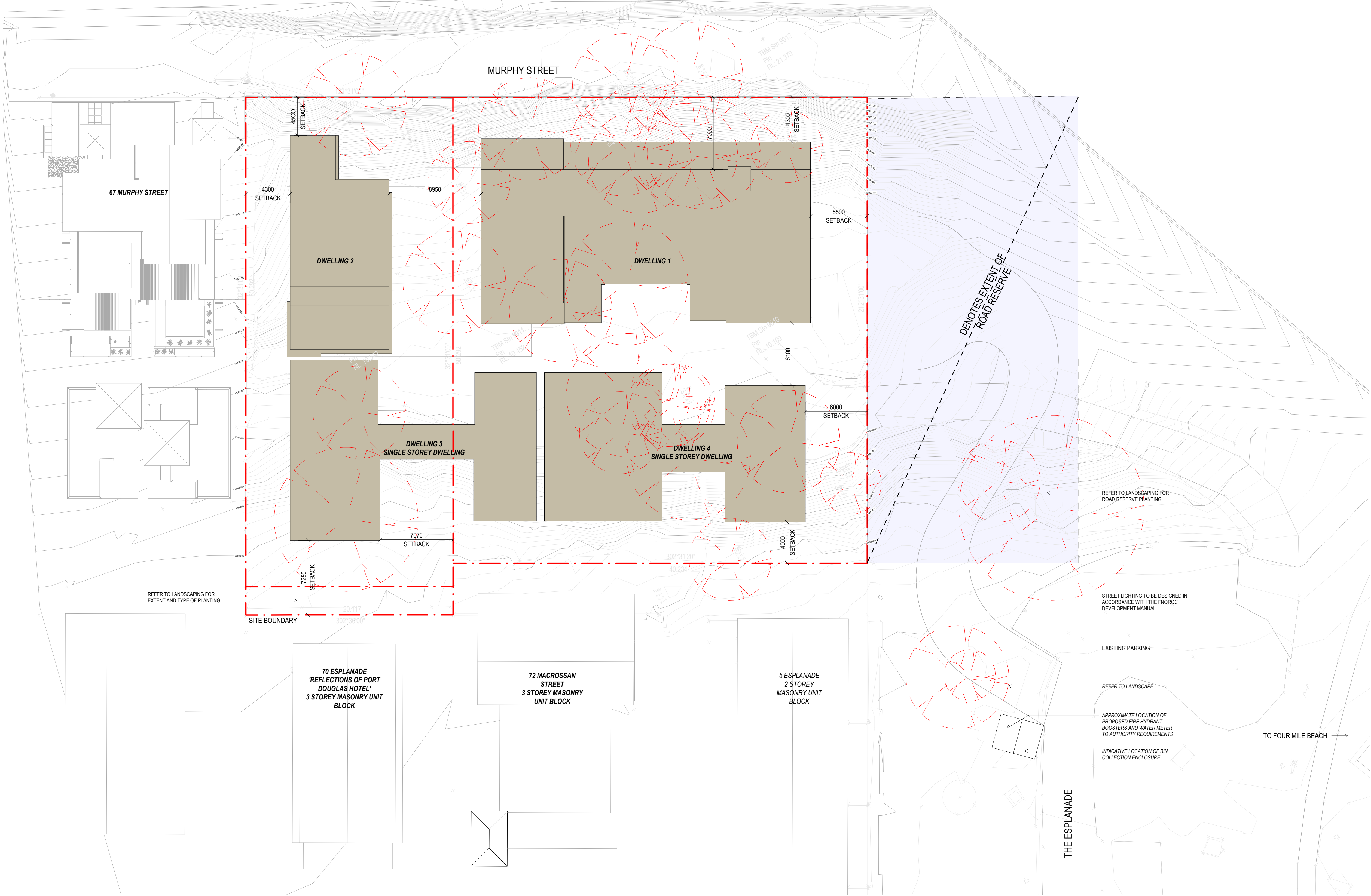
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| Job No | 9663 |
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Drawing No

DA03.001

Revision

F



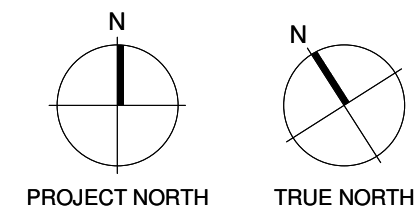
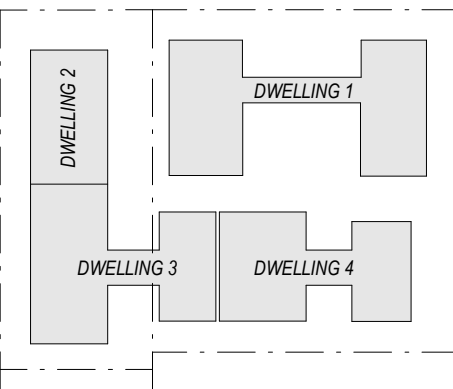
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Revisions

A 18/02/22 FOR INFORMATION
B 10/03/22 ISSUE RF1 01

Notes

| CODE | DESCRIPTION |
|------------|---|
| BAL-1 | FRAMELESS GLAZED BALUSTRADE 1200mm |
| CON-1 | IN-SITU CONCRETE |
| FEN-1 | TIMBER FENCING |
| GLZ-1/PC-3 | CLEAR GLAZING / LIGHT GREY OR SIMILAR |
| PAV-1 | TILED PAVING |
| PAV-2 | COBBLED STONE PAVING OR STAMPED CONCRETE OR SIMILAR |
| PAV-3 | CRUSHED ROCK |
| REN-1 | TEXTURED RENDER FINISH |
| ST-1 | STACKED STONE WALL |
| TC-1 | TIMBER CLADDING OR FC SHEET, OR SIMILAR |



Consultants

Project Manager

Structural Engineer

Mechanical Engineer

Fire Engineer

Electrical Engineer

Client

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Australia Pty Ltd

Level 4, 141 Flinders Lane
Melbourne VIC 3000
Australia
Phone + 61 3 8547 6977

Registered Architects and Designers
www.warrenandmahoney.com

Project Title

**69-73 MURPHY
STREET**
PORT DOUGLAS

Drawing Title

SITE ACCESS PLAN

Drawing Status

**DEVELOPMENT
APPLICATION**

Drawing Details

Scale As indicated@ A1
Date 10/03/22
Job No 9663
Drawn SG
Checked ND

Drawing No

DA03.002

Revision

B



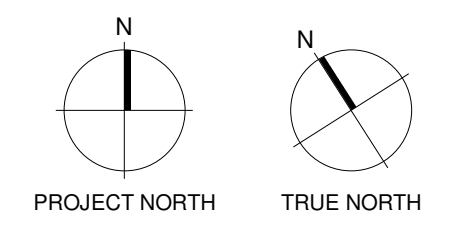
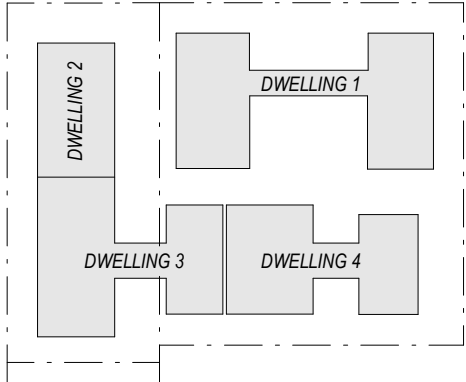
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Revisions

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| B 09/09/21 | FOR CONSULTANT COORDINATION |
| C 15/09/21 | FOR INFORMATION |
| D 17/09/21 | FOR INFORMATION |
| E 21/09/21 | FOR COORDINATION |
| F 22/09/21 | DRAFT DA |
| G 04/10/21 | ISSUE FOR DA |
| H 18/02/22 | FOR INFORMATION |
| J 10/03/22 | ISSUE RF1 01 |

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Consultants

Project Manager

Structural Engineer

Mechanical Engineer

Fire Engineer

Electrical Engineer

Client

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Level 4, 141 Flinders Lane
Melbourne VIC 3000
Australia
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Project Title

69-73 MURPHY STREET
PORT DOUGLAS

Drawing Title

GROUND FLOOR PLAN

Drawing Status

DEVELOPMENT APPLICATION

Drawing Details

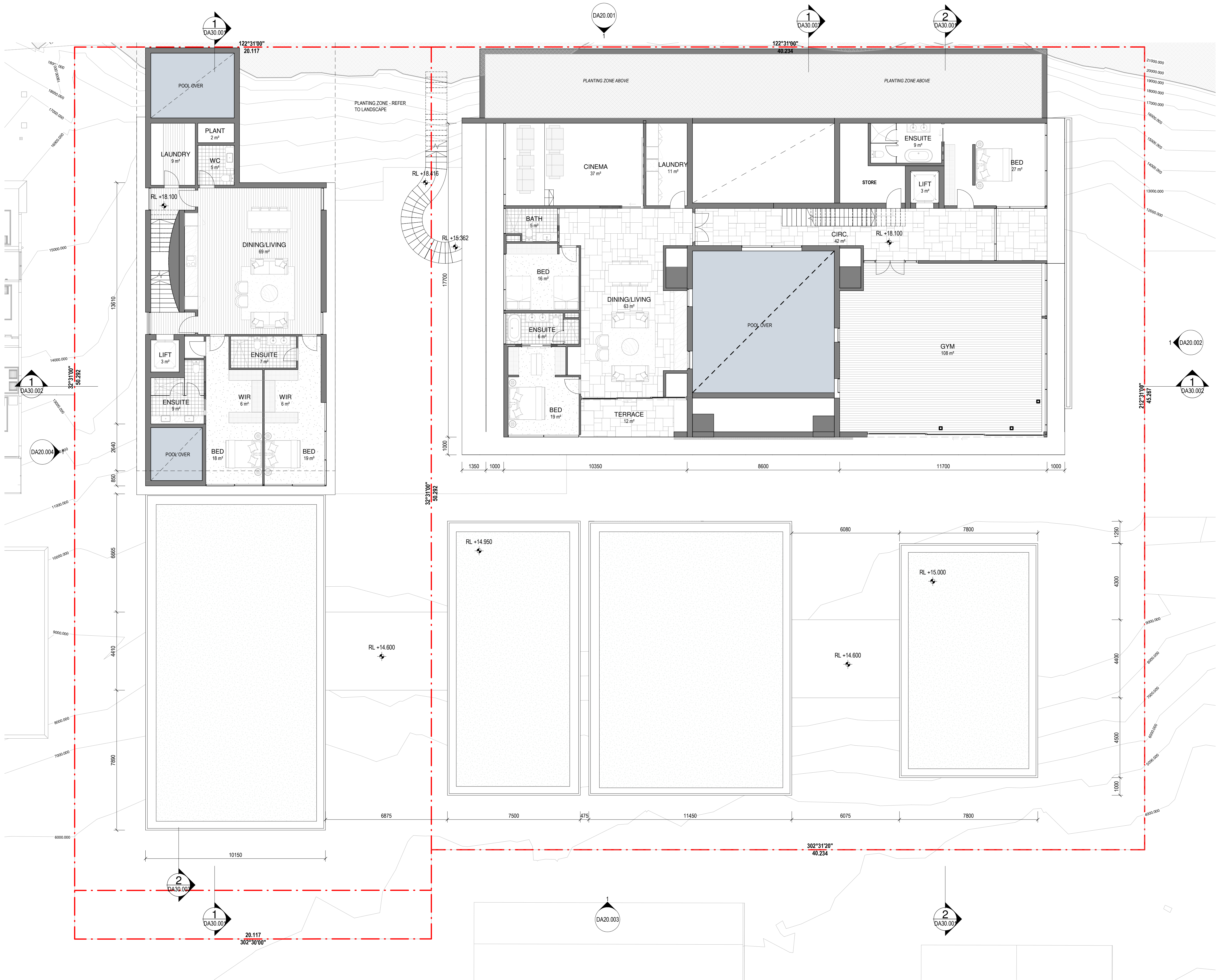
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| Job No | 9663 |
| Drawn | SG |
| Checked | ND |

Drawing No

DA010.01

Revision

J



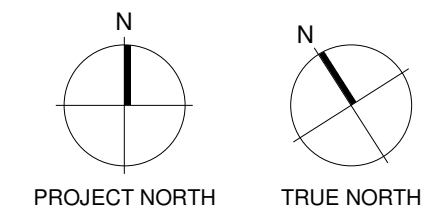
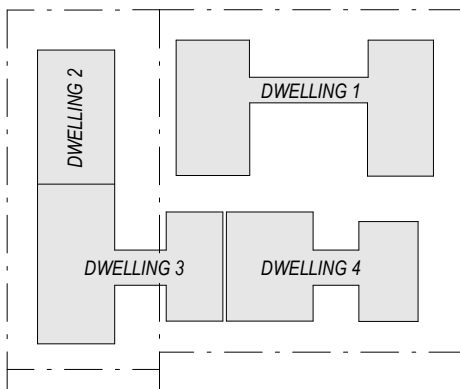
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Revisions

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| H 18/02/22 | FOR INFORMATION |
| J 10/03/22 | ISSUE RFI 01 |

Notes

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| REN-1 | TEXTURED RENDER FINISH |
| ST-1 | STACKED STONE WALL |
| TC-1 | TIMBER CLADDING OR PC SHEET, OR SIMILAR |



Consultants

Project Manager

Structural Engineer

Mechanical Engineer

Fire Engineer

Electrical Engineer

Client

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Project Title

69-73 MURPHY
STREET
PORT DOUGLAS

Drawing Title

L01 FLOOR PLAN

Drawing Status

DEVELOPMENT
APPLICATION

Drawing Details

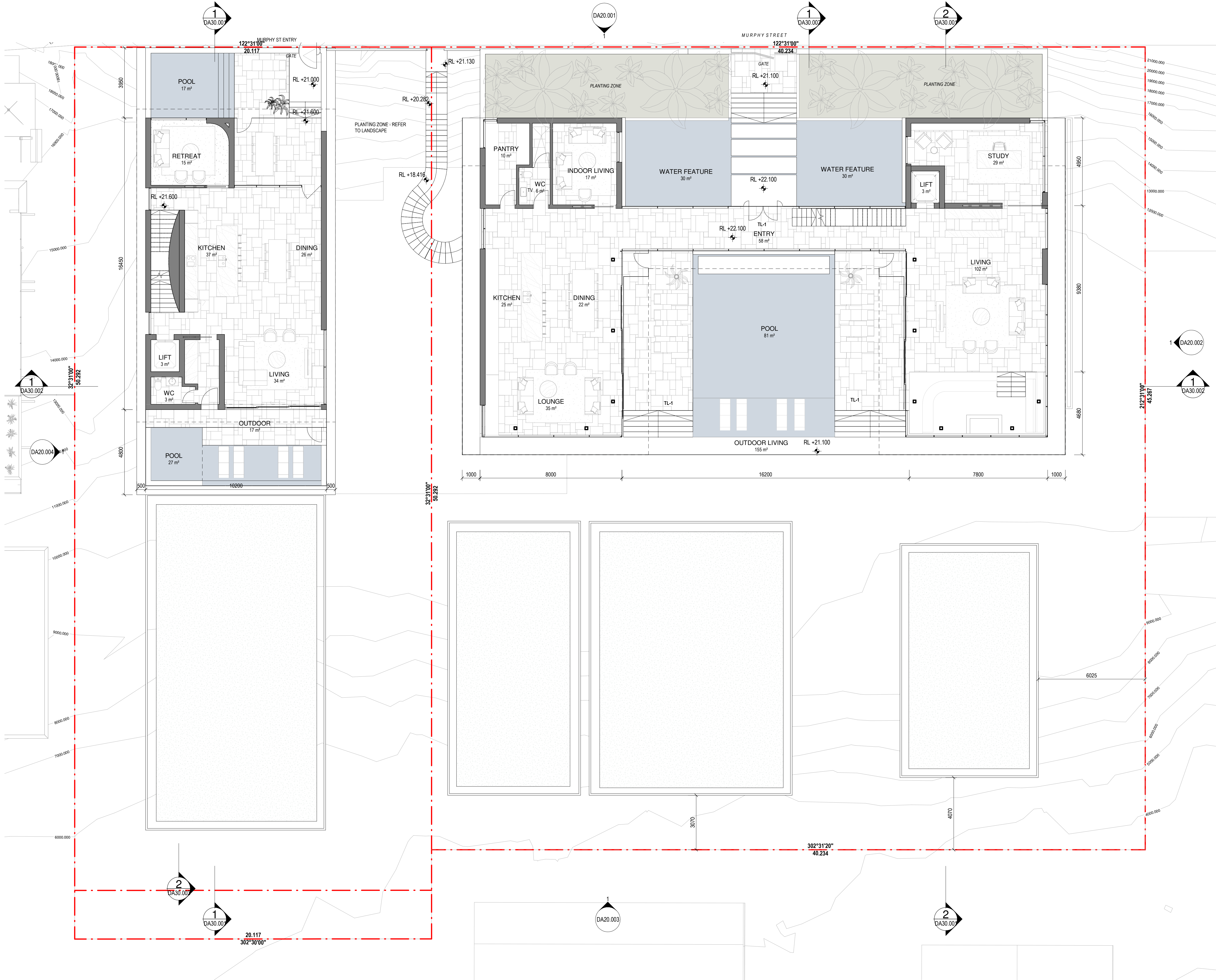
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| Job No | 9663 |
| Drawn | SG |
| Checked | ND |

Drawing No

DA010.02

Revision

J



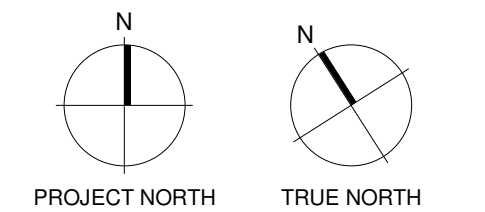
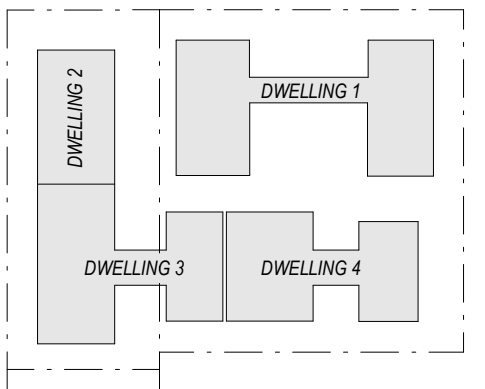
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Revisions

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| H 18/02/22 | FOR INFORMATION |
| J 10/03/22 | ISSUE RF1 01 |

Notes

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| CON-1 | IN-SITU CONCRETE |
| FEN-1 | TIMBER FENCING |
| GLZ-1/IPC-3 | CLEAR GLAZING / LIGHT GREY OR SIMILAR |
| PAV-1 | TILED PAVING |
| PAV-2 | COBBLED STONE PAVING OR STAMPED CONCRETE OR SIMILAR |
| PAV-3 | CRUSHED ROCK |
| REN-1 | TEXTURED RENDER FINISH |
| ST-1 | STACKED STONE WALL |
| TC-1 | TIMBER CLADDING OR FC SHEET, OR SIMILAR |



Consultants

Project Manager

Structural Engineer

Mechanical Engineer

Fire Engineer

Electrical Engineer

Client

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Level 4, 141 Flinders Lane
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Project Title

69-73 MURPHY STREET
PORT DOUGLAS

Drawing Title

L02 FLOOR PLAN

Drawing Status

DEVELOPMENT APPLICATION

Drawing Details

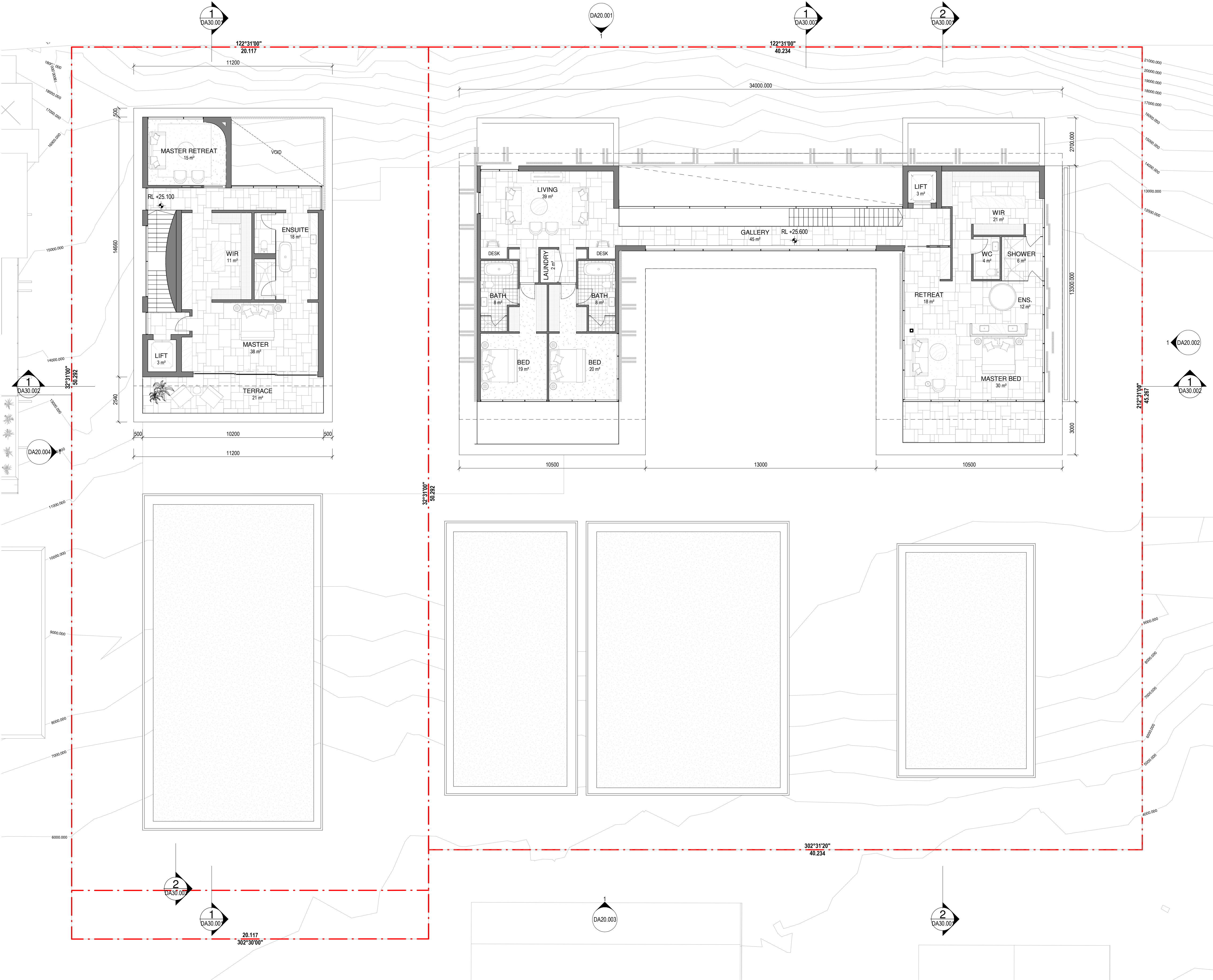
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| Job No | 9663 |
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| Checked | ND |

Drawing No

DA010.03

Revision

J



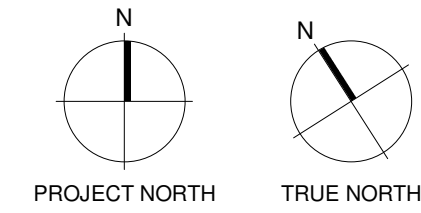
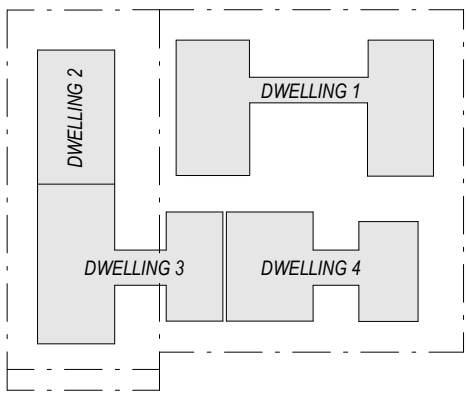
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Revisions

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| J 10/03/22 | ISSUE RFI 01 |

Notes

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Consultants

Project Manager

Structural Engineer

Mechanical Engineer

Fire Engineer

Electrical Engineer

Client

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Project Title

69-73 MURPHY STREET
PORT DOUGLAS

Drawing Title

L03 FLOOR PLAN

Drawing Status

DEVELOPMENT APPLICATION

Drawing Details

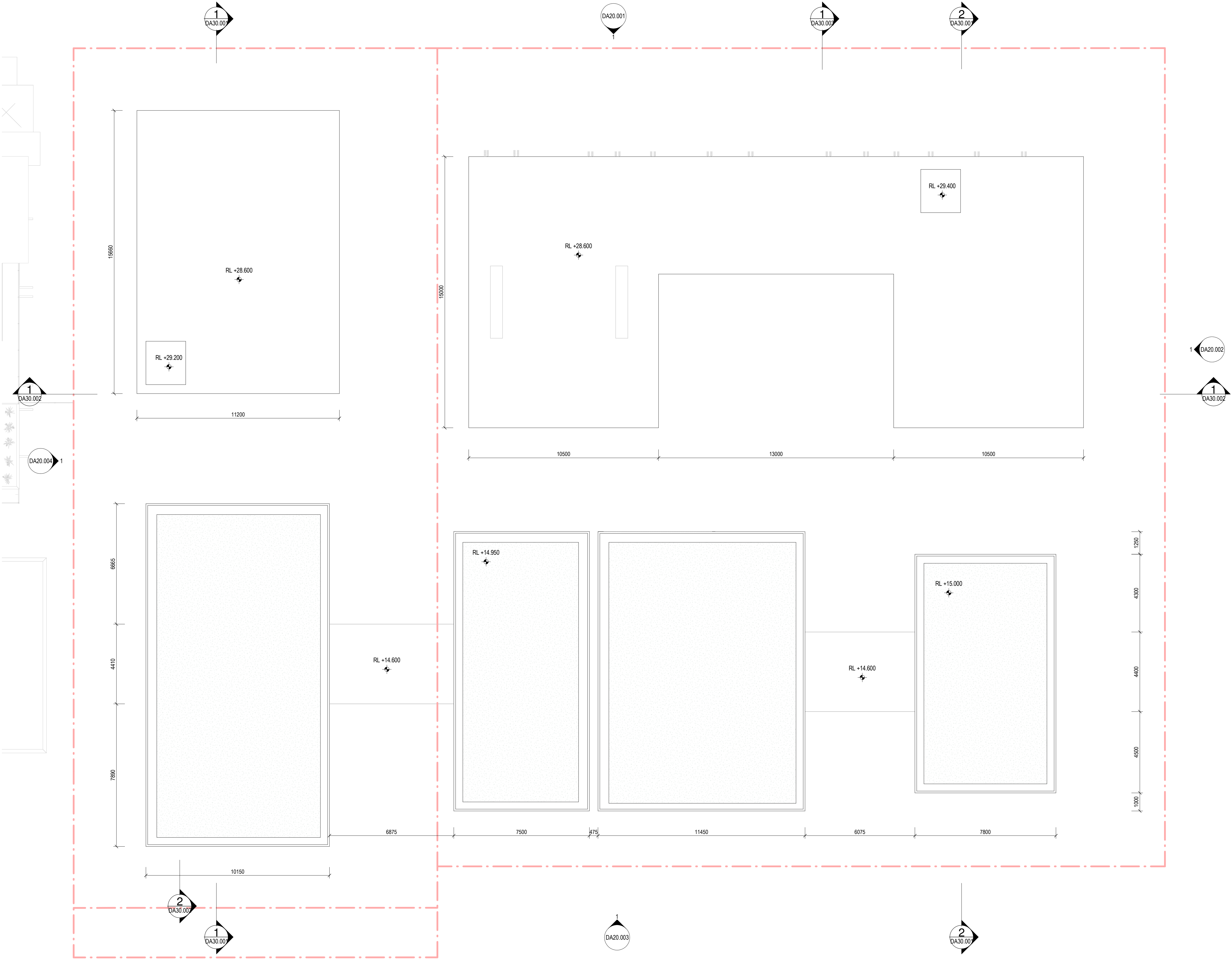
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| Checked | ND |

Drawing No

DA010.04

Revision

J



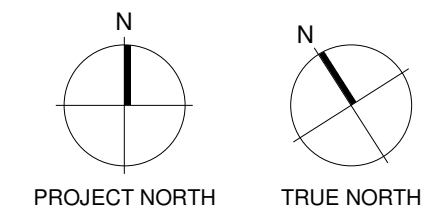
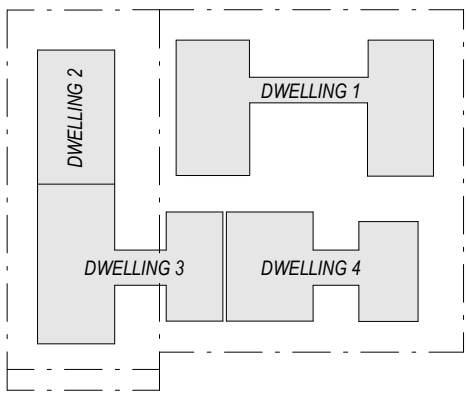
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Revisions

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| A | 03/09/21 | FOR CLIENT COMMENT |
| B | 15/09/21 | FOR INFORMATION |
| C | 17/09/21 | FOR INFORMATION |
| D | 21/09/21 | FOR COORDINATION |
| E | 22/09/21 | DRAFT DA |
| F | 04/10/21 | ISSUE FOR DA |
| G | 18/02/22 | FOR INFORMATION |
| H | 10/03/22 | ISSUE RFI 01 |

Notes

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| BAL-1 | FRAMELESS GLAZED BALUSTRADE 1200mm |
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| GLZ-1/PC-3 | CLEAR GLAZING / LIGHT GREY OR SIMILAR |
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| PAV-3 | CRUSHED ROCK |
| REN-1 | TEXTURED RENDER FINISH |
| ST-1 | STACKED STONE WALL |
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Consultants

Project Manager

Structural Engineer

Mechanical Engineer

Fire Engineer

Electrical Engineer

Client

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Project Title

69-73 MURPHY STREET
PORT DOUGLAS

Drawing Title

ROOF PLAN

Drawing Status

DEVELOPMENT APPLICATION

Drawing Details

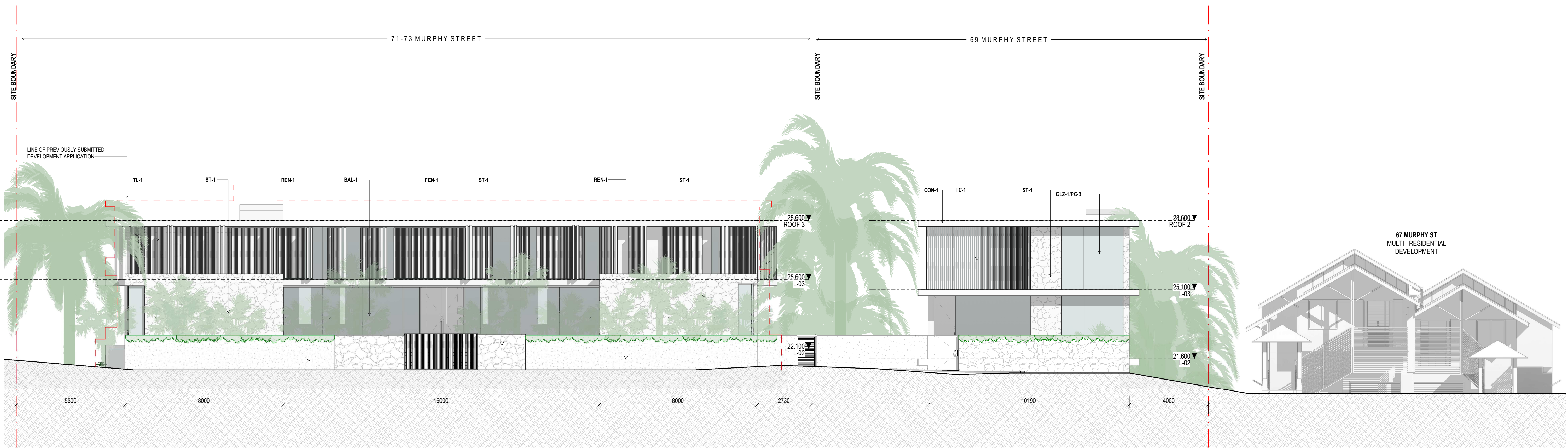
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| Job No | 9663 |
| Drawn | SG |
| Checked | ND |

Drawing No

DA010.05

Revision

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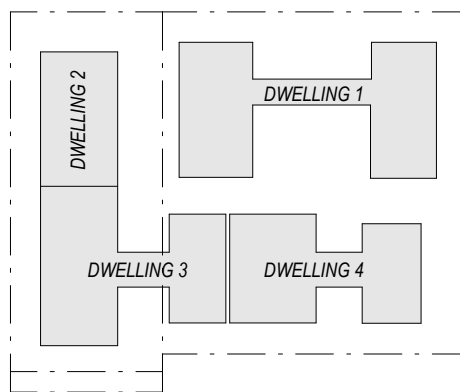
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| E 04/10/21 | ISSUE FOR DA |
| F 18/02/22 | FOR INFORMATION |
| G 10/03/22 | ISSUE RFI 01 |

| CODE | DESCRIPTION |
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| REN-1 | TEXTURED RENDER FINISH |
| ST-1 | STACKED STONE WALL |
| TC-1 | TIMBER CLADDING OR FC SHEET, OR SIMILAR |

Notes

| | |
|---------------------|-------------------------------|
| ExRL +00.000 | EXISTING RL - REFER TO SURVEY |
| RL +00.000 | PROPOSED LEVEL |
| | INDICATIVE SITE FILL |



Consultants

Project Manager
Structural Engineer
Mechanical Engineer
Fire Engineer
Electrical Engineer

Client

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Project Title

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PORT DOUGLAS

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Drawing Title

NORTH ELEVATION

Drawing Status

**DEVELOPMENT
APPLICATION**

Drawing Details

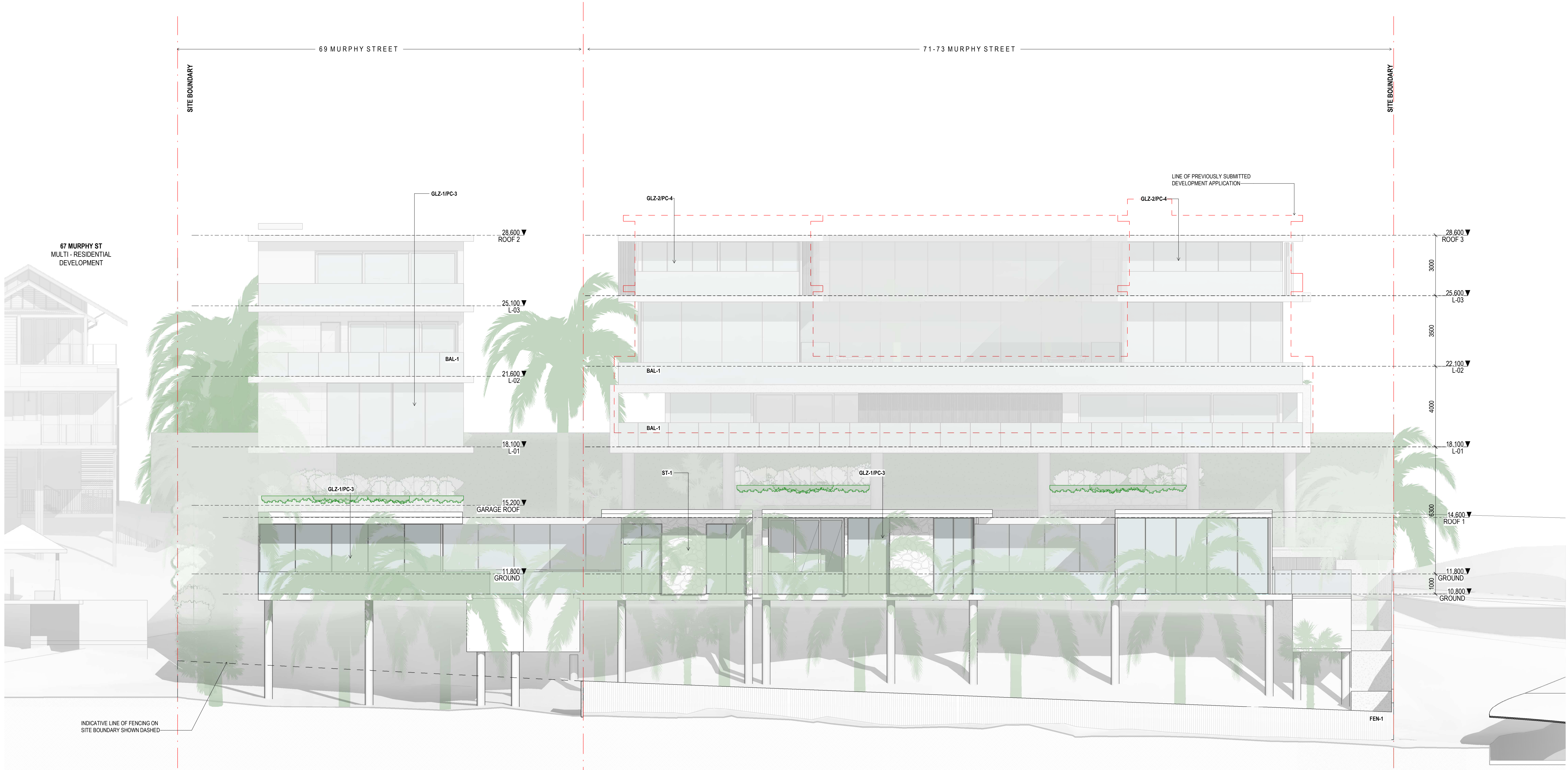
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| Job No | 9663 |
| Drawn | SG |
| Checked | ND |

Drawing No

DA20.001

Revision

G



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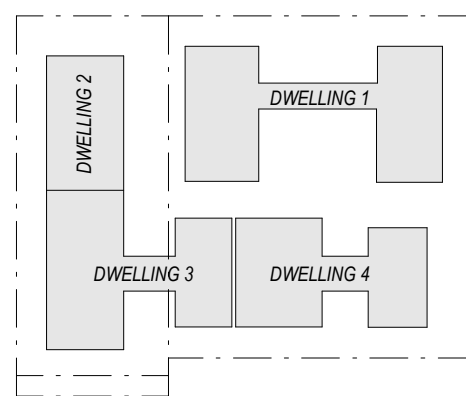
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Revisions

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| A 03/09/21 | FOR CLIENT COMMENT |
| B 15/09/21 | FOR INFORMATION |
| C 17/09/21 | FOR INFORMATION |
| D 22/09/21 | DRAFT DA |
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| TC-1 | TIMBER CLADDING OR FC SHEET, OR SIMILAR |

Notes



Consultants

Project Manager
Structural Engineer
Mechanical Engineer
Fire Engineer
Electrical Engineer

Client

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Project Title

69-73 MURPHY STREET
PORT DOUGLAS

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Drawing Title

SOUTH ELEVATION

Drawing Status

DEVELOPMENT APPLICATION

Drawing Details

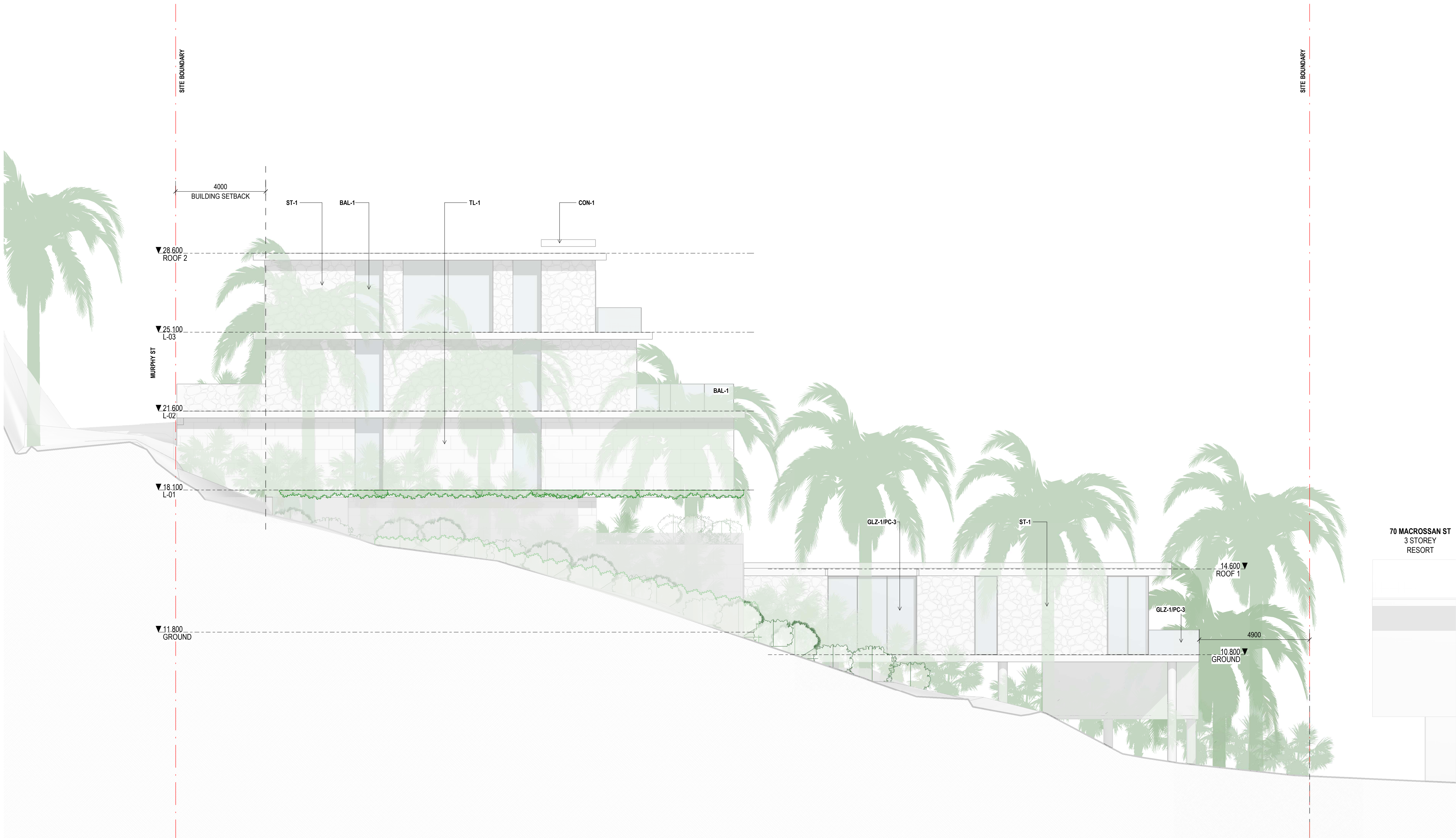
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| Drawn | SG |
| Checked | ND |

Drawing No

DA20.003

Revision

G



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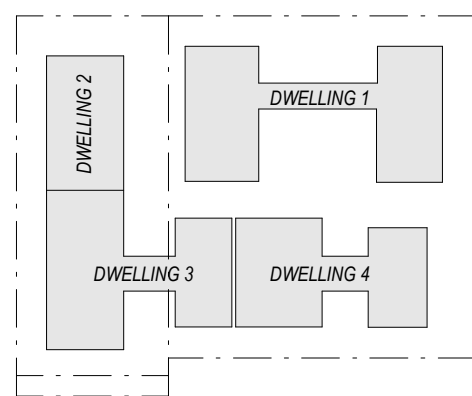
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Revisions

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| REN-1 | TEXTURED RENDER FINISH |
| ST-1 | STACKED STONE WALL |
| TC-1 | TIMBER CLADDING OR FC SHEET, OR SIMILAR |

Notes



Consultants

Project Manager
Structural Engineer
Mechanical Engineer
Fire Engineer
Electrical Engineer

Client

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Project Title

69-73 MURPHY STREET
PORT DOUGLAS

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Drawing Title

WEST ELEVATION

Drawing Status

DEVELOPMENT
APPLICATION

Drawing Details

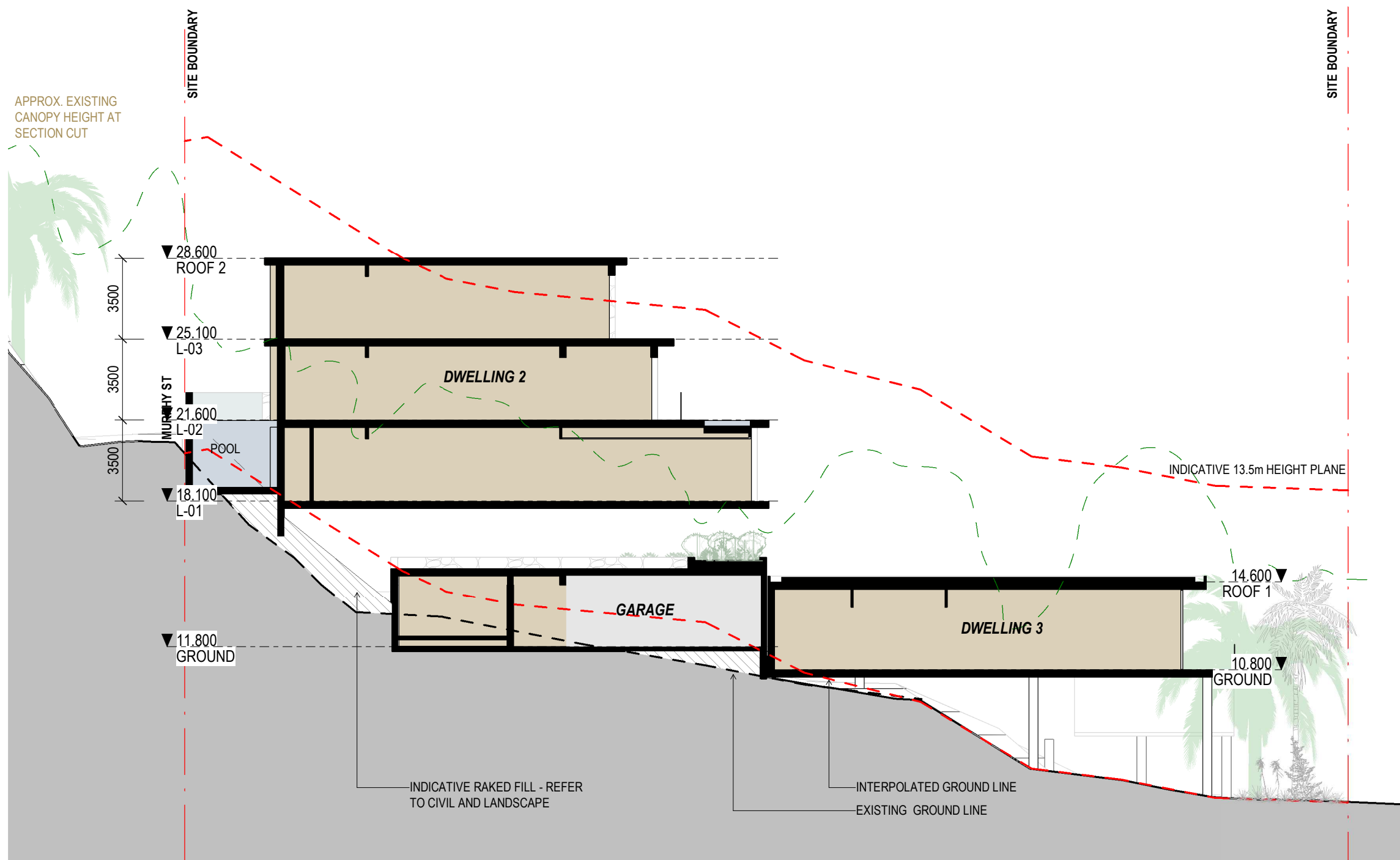
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| Checked | ND |

Drawing No

DA20.004

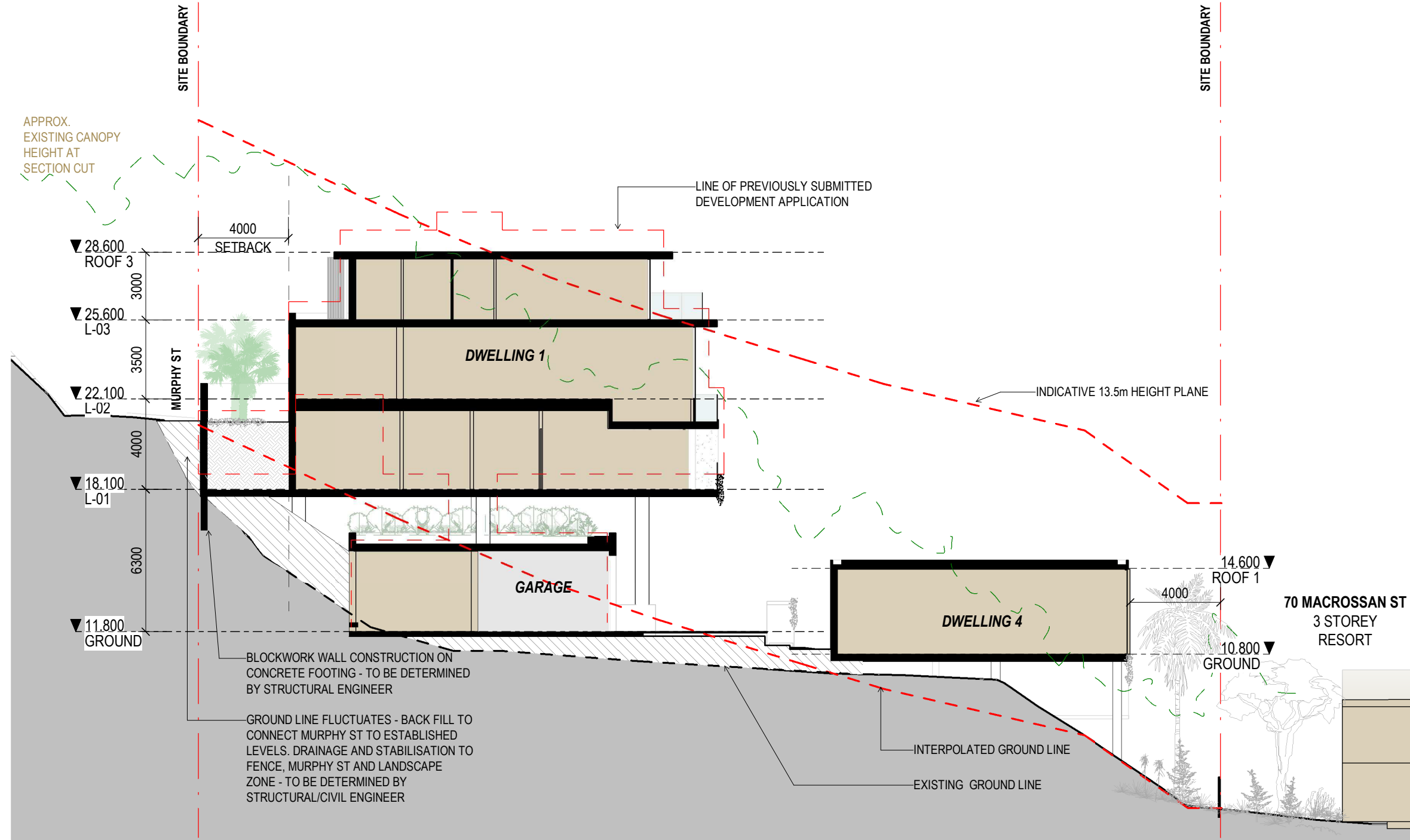
Revision

F



SECTION 1

1:200



SECTION 2

1:200

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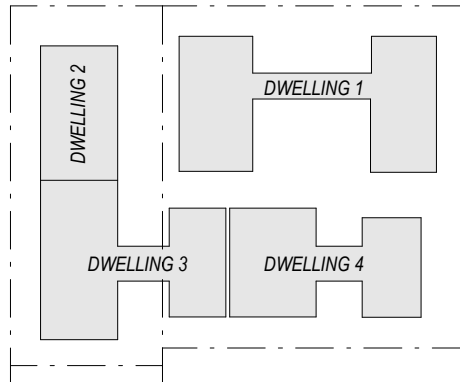
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Revisions

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| B 09/09/21 | FOR CONSULTANT COORDINATION |
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| J 10/03/22 | ISSUE RFI 01 |

Notes

| | |
|--------------|-------------------------------|
| ExRL +00.000 | EXISTING RL - REFER TO SURVEY |
| RL +00.000 | PROPOSED LEVEL |
| | INDICATIVE SITE FILL |



Consultants

Project Manager
Structural Engineer
Mechanical Engineer
Fire Engineer
Electrical Engineer

Client

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GURNER™

Project Title

69-73 MURPHY STREET
PORT DOUGLAS

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Drawing Title

TYPICAL SECTIONS

Drawing Status

DEVELOPMENT APPLICATION

Drawing Details

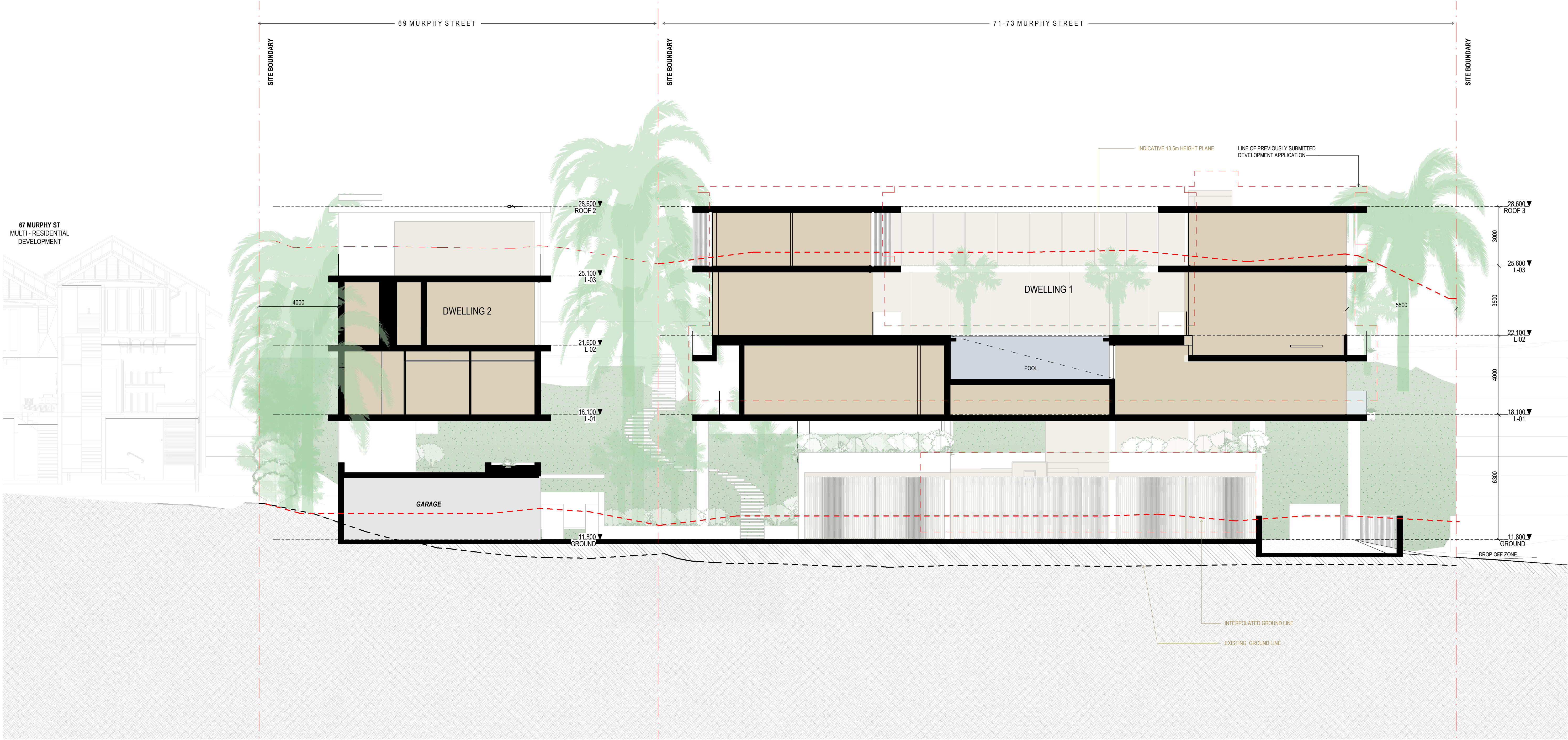
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| Checked | ND |

Drawing No

DA30.001

Revision

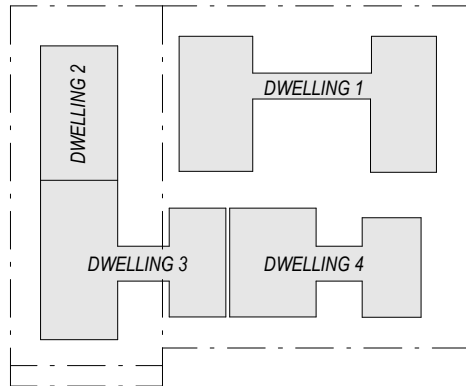
J



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Melbourne VIC 3000
Australia
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| Revisions | |
|------------|--------------------|
| A 03/09/21 | FOR CLIENT COMMENT |
| B 15/09/21 | FOR INFORMATION |
| C 17/09/21 | FOR INFORMATION |
| D 22/09/21 | DRAFT DA |
| E 04/10/21 | ISSUE FOR DA |
| F 10/03/22 | ISSUE RFI 01 |

| Notes | |
|--------------|-------------------------------|
| ExRL +00.000 | EXISTING RL - REFER TO SURVEY |
| RL +00.000 | PROPOSED LEVEL |
| | INDICATIVE SITE FILL |



Consultants
Project Manager
Structural Engineer
Mechanical Engineer
Fire Engineer
Electrical Engineer

Client
GURNER TM
GURNER™

Project Title
69-73 MURPHY STREET
PORT DOUGLAS

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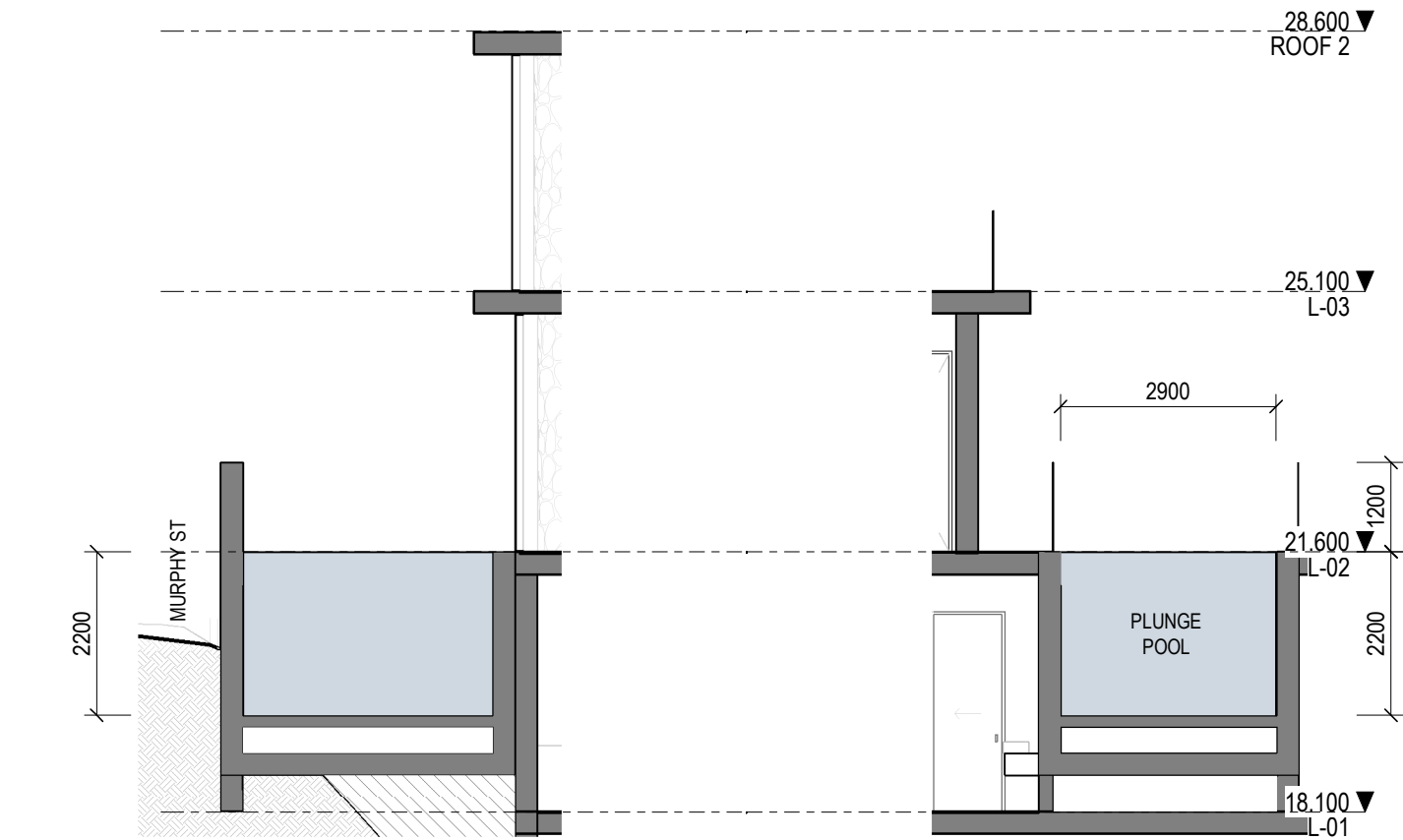
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TYPICAL SECTIONS

Drawing Status
DEVELOPMENT APPLICATION

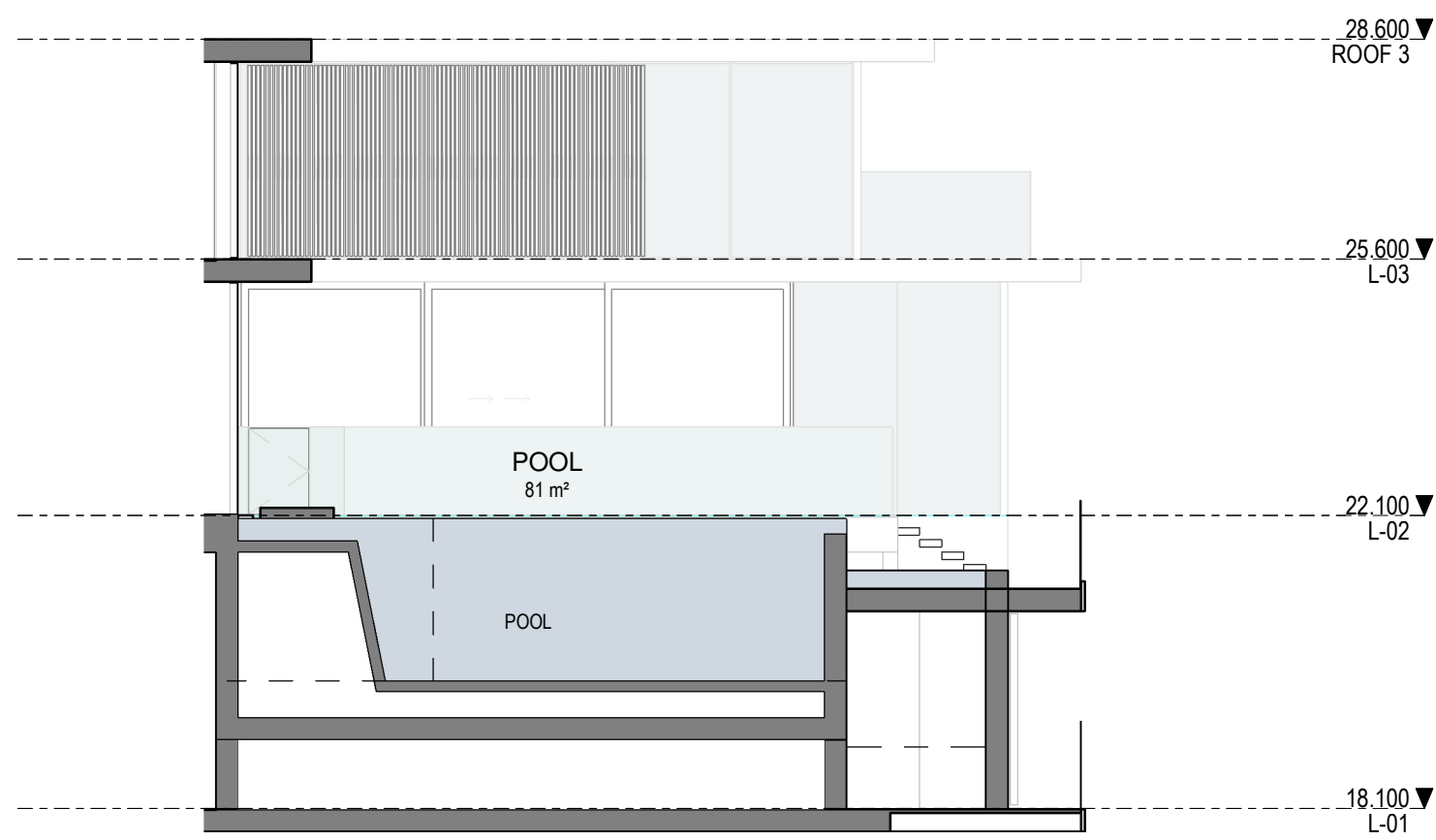
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| Scale | As indicated@ A1 |
| Date | 10/03/22 |
| Job No | 9663 |
| Drawn | SG |
| Checked | ND |

Drawing No
DA30.002

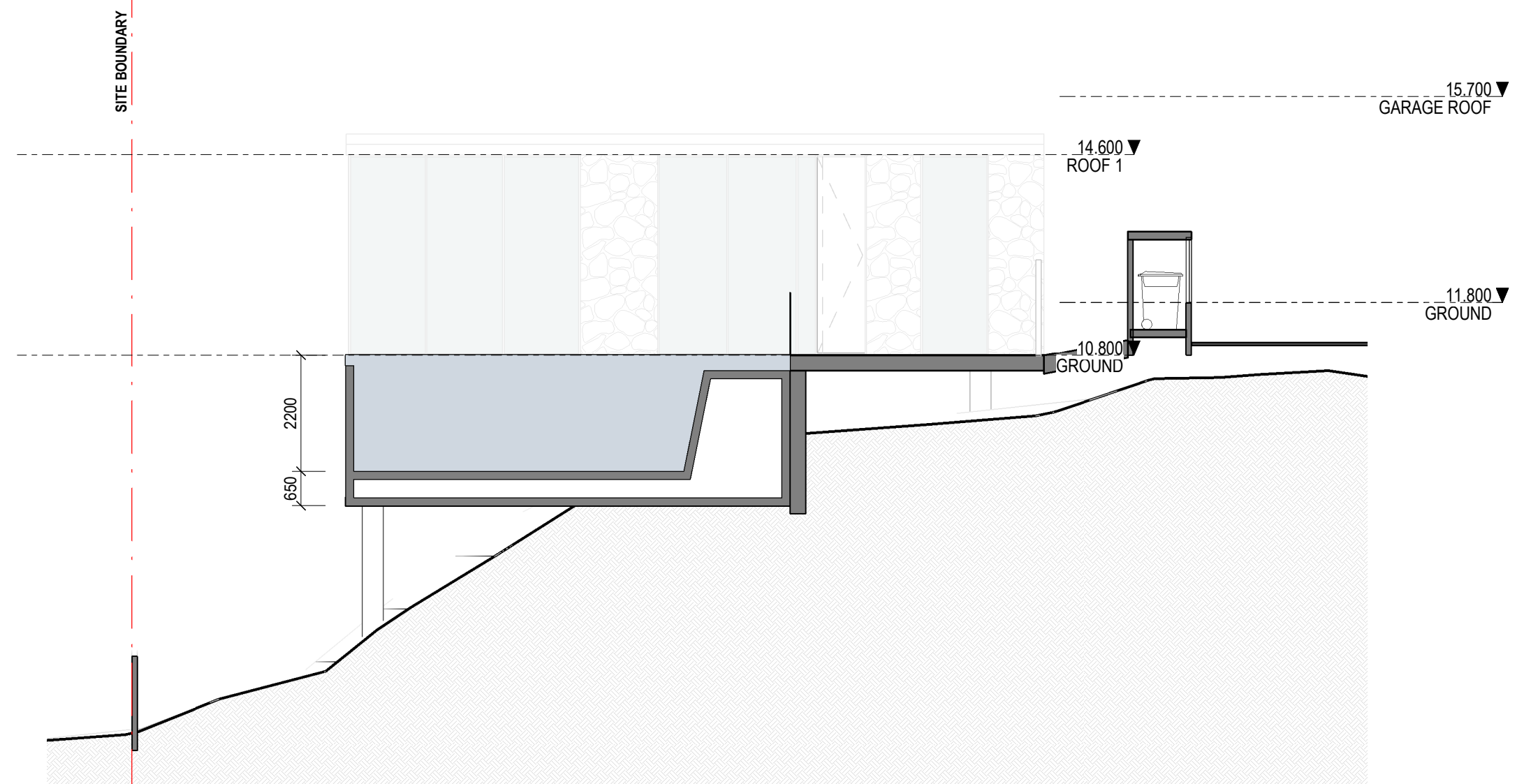
Revision
F



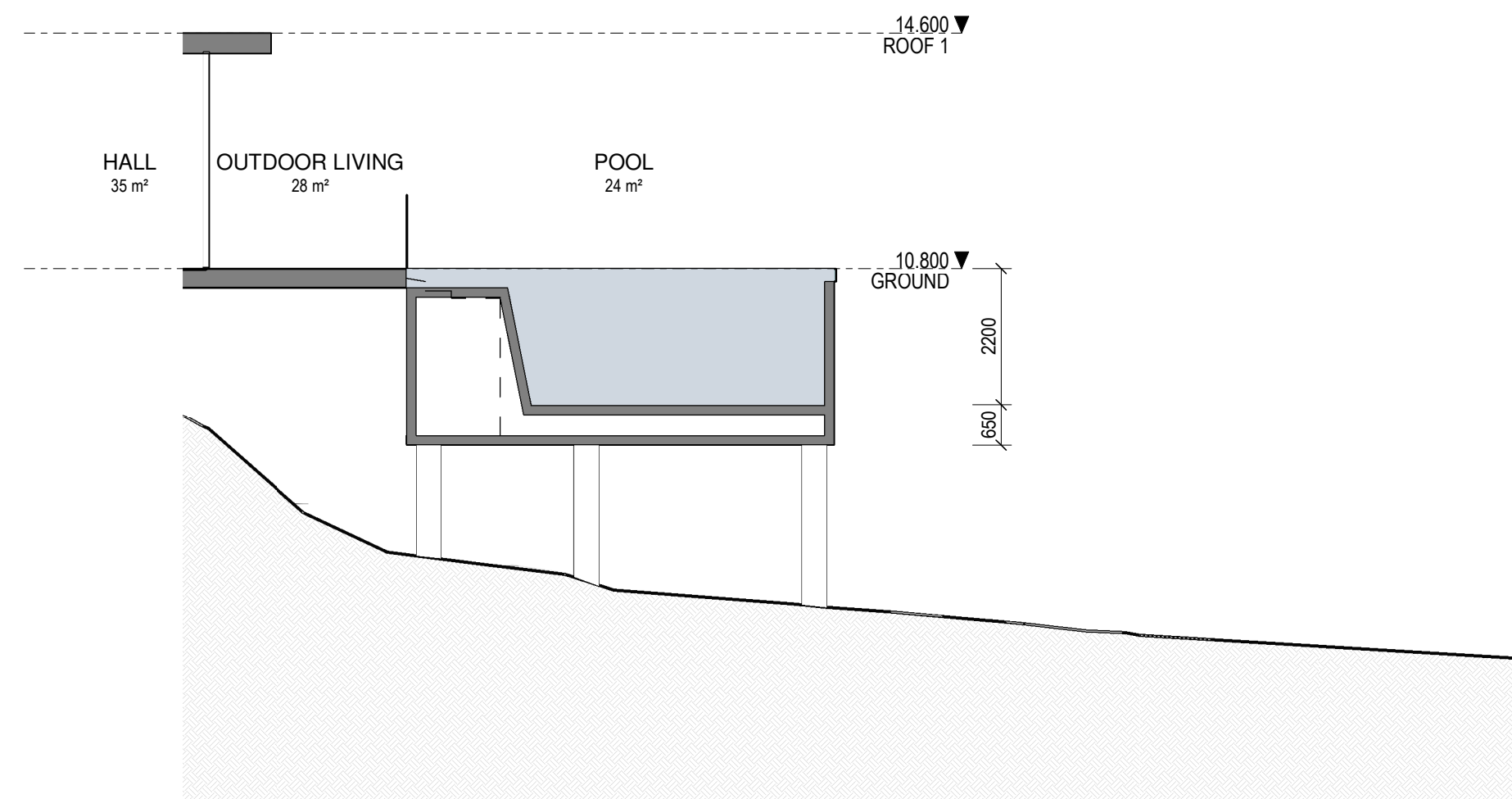
2 DWELLING 2 - POOL SECTION
DA010.02 1:100



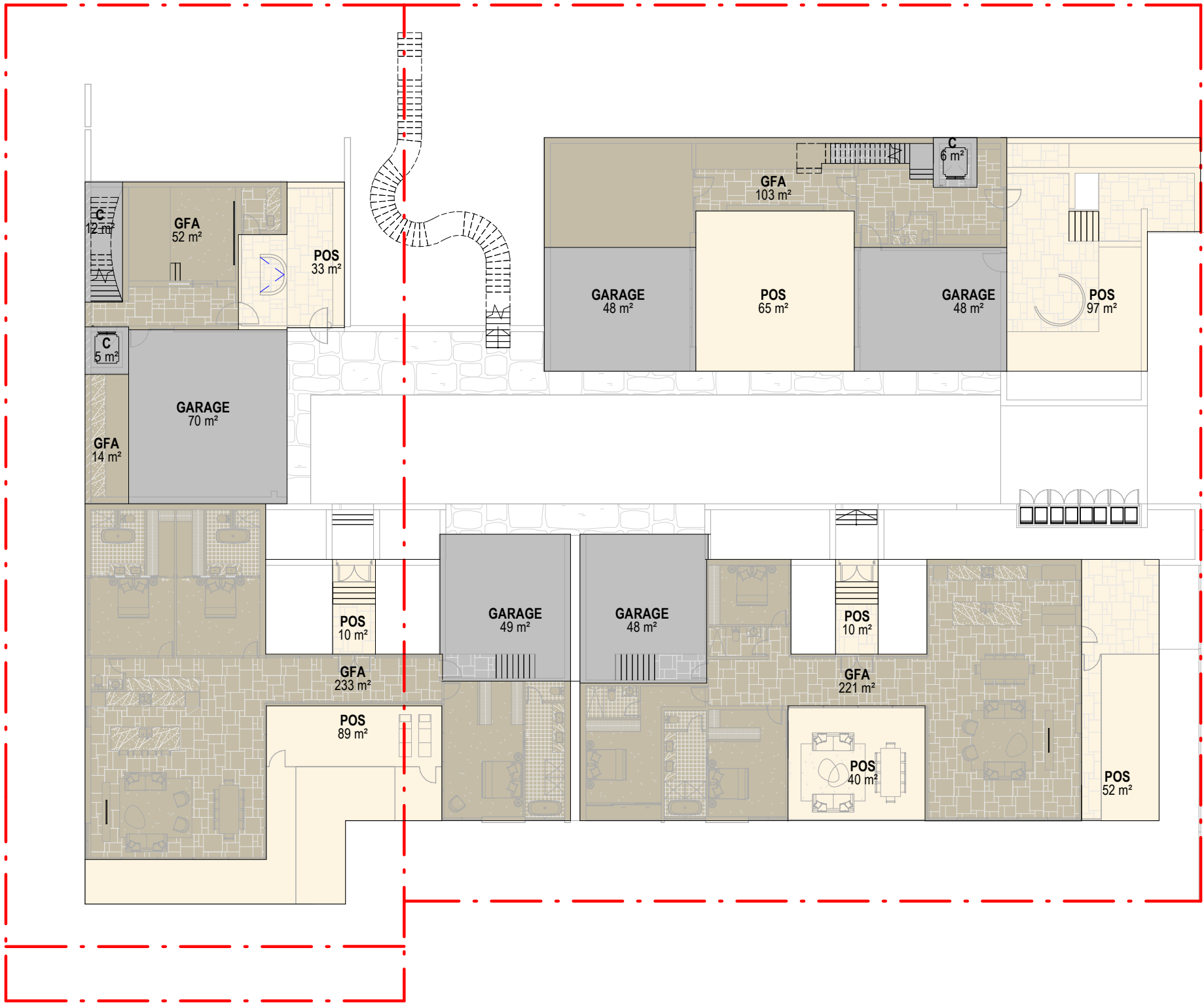
1 DWELLING 1 - POOL SECTION
DA010.02 1:100



4 DWELLING 4 - POOL SECTION
DA010.01 1:100

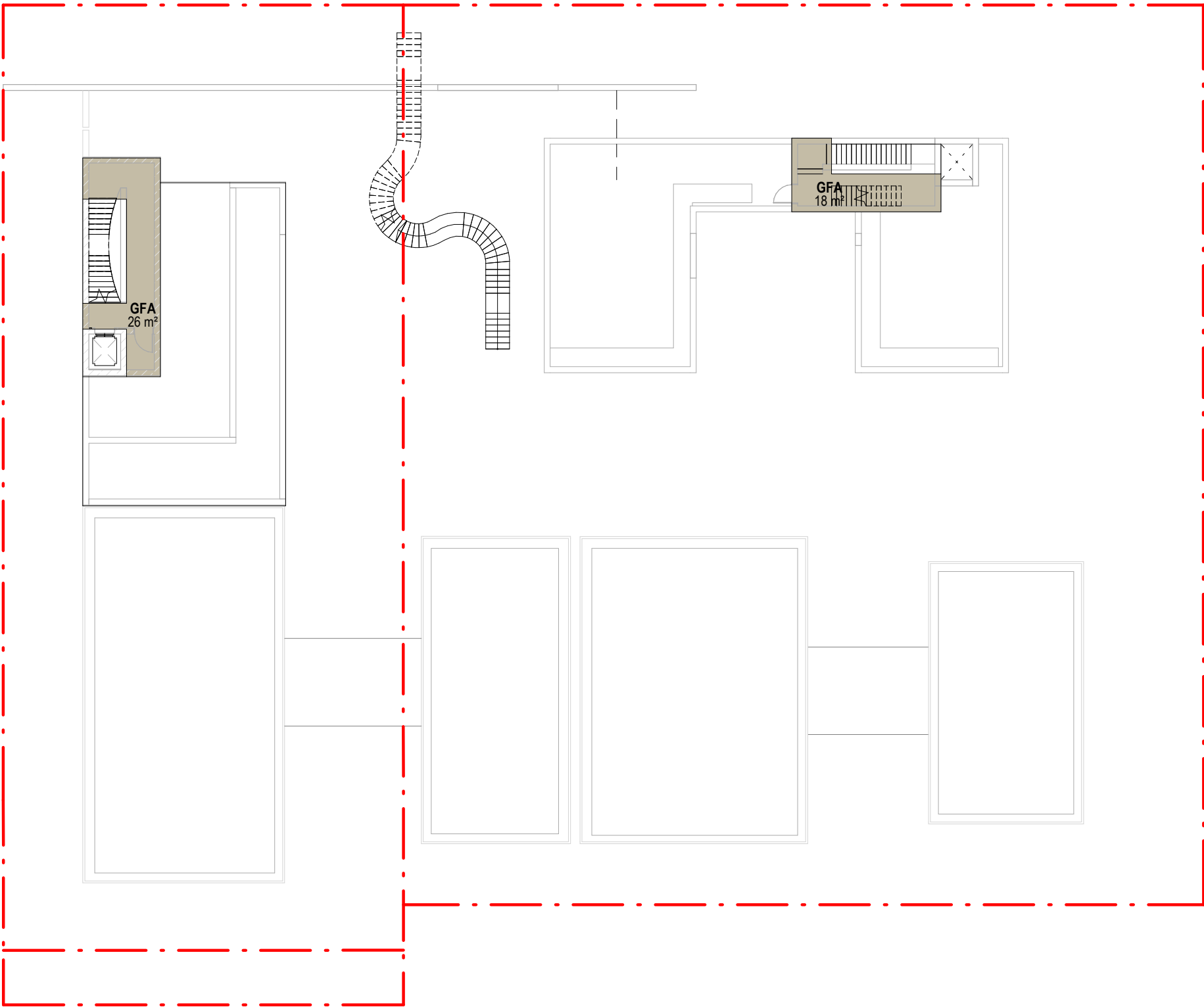


3 DWELLING 3 - POOL SECTION
DA010.01 1:100



GROUND - GFA

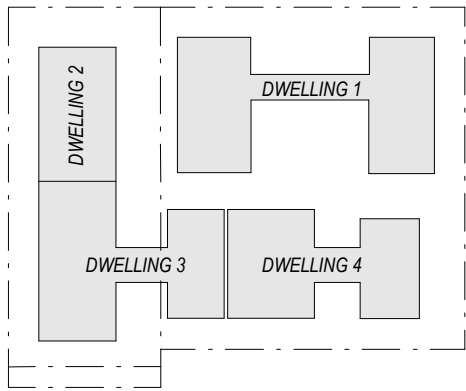
1 : 250



GARAGE ROOF - GFA

1 : 250

GURNER Scheme
GFA



GROSS FLOOR AREA (PLANNING):

The total floor area of all storeys of a building (measured from the outside of the external walls or the centre of a common wall), other than areas used for the following:
(a) building services, plant and equipment
(b) access between levels
(c) ground floor public lobby
(d) a mall
(e) the parking, loading and manoeuvring of motor vehicles
(f) unenclosed private balconies whether roofed or not.

GFA (PLANNING)

| TYPE | AREA |
|------------|---------------------|
| DWELLING 1 | |
| GFA | 1081 m ² |
| DWELLING 2 | |
| GFA | 509 m ² |
| DWELLING 3 | |
| GFA | 233 m ² |
| DWELLING 4 | |
| GFA | 221 m ² |
| | 2055 m ² |

POS (PLANNING)

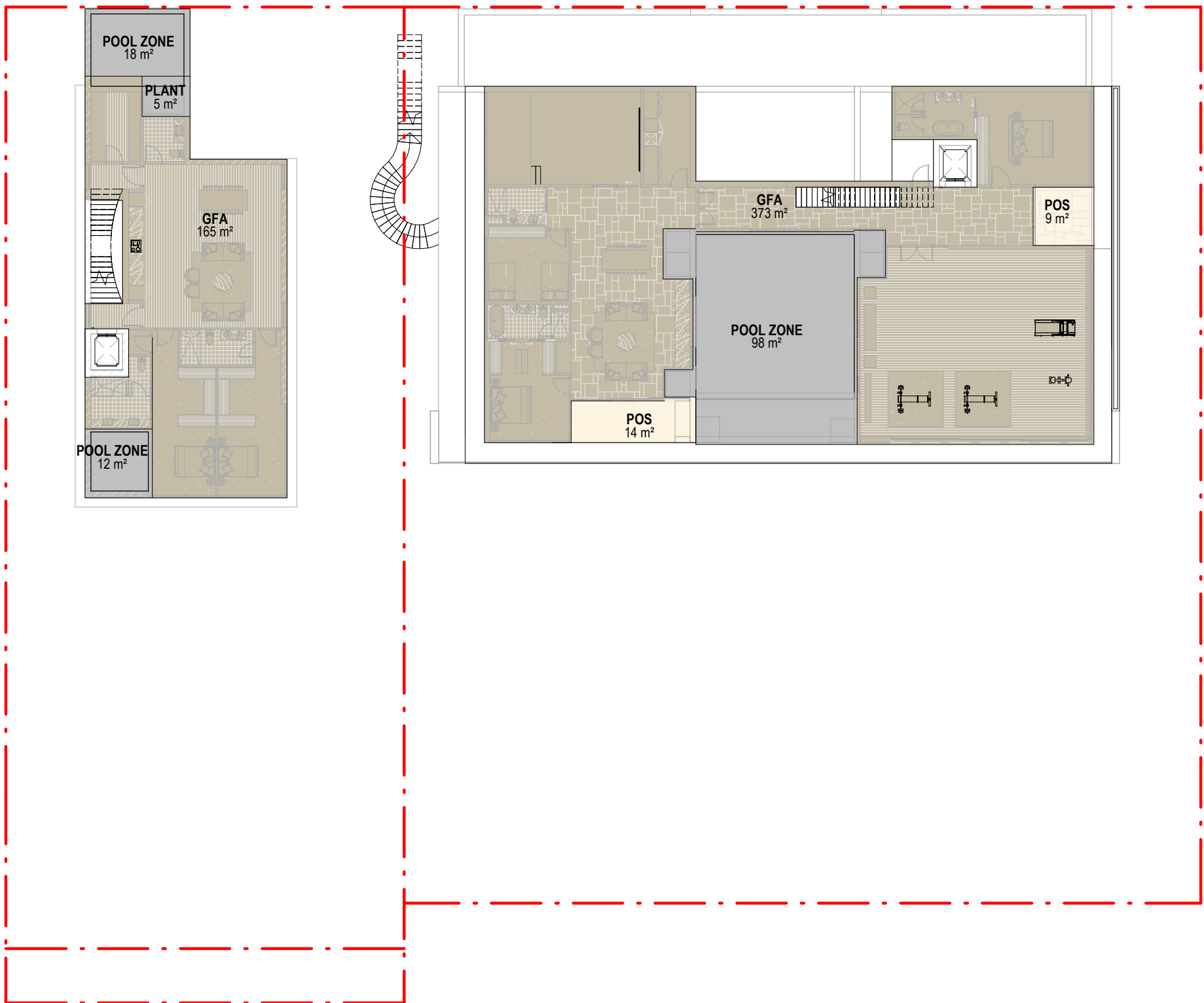
| TYPE | AREA |
|------------|---------------------|
| DWELLING 1 | |
| POS | 545 m ² |
| DWELLING 2 | |
| POS | 192 m ² |
| DWELLING 3 | |
| POS | 190 m ² |
| DWELLING 4 | |
| POS | 102 m ² |
| | 1029 m ² |

CIRCULATION AND SERVICES ZONES

| TYPE | AREA |
|-------------|--------------------|
| DWELLING 1 | |
| CARPARK | 96 m ² |
| CIRCULATION | 12 m ² |
| SERVICES | 98 m ² |
| DWELLING 2 | |
| CARPARK | 70 m ² |
| CIRCULATION | 17 m ² |
| SERVICES | 35 m ² |
| DWELLING 3 | |
| CARPARK | 49 m ² |
| DWELLING 4 | |
| CARPARK | 48 m ² |
| | 425 m ² |

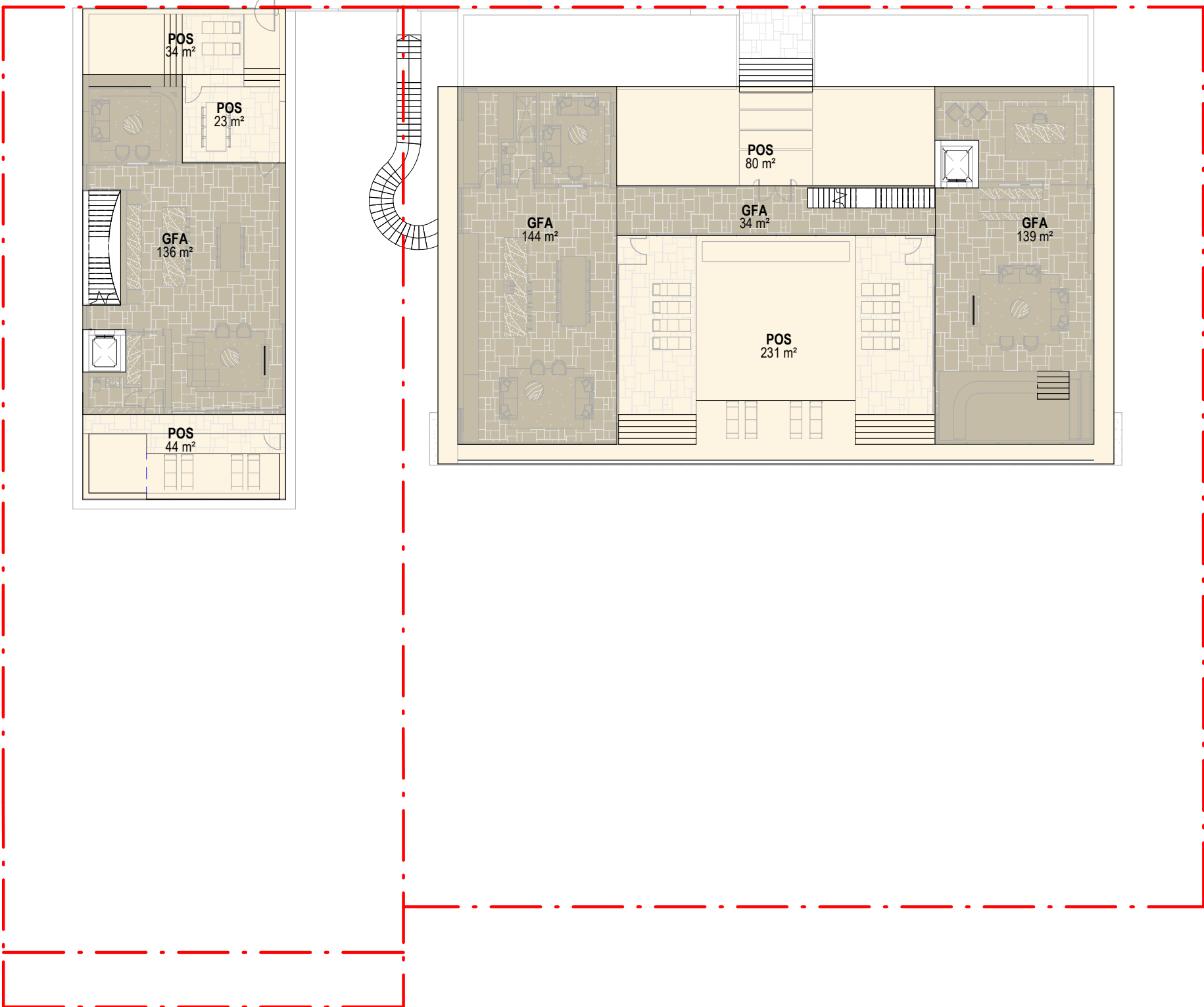
FSR (PLANNING)

| GFA | SITE AREA | FSR | FSR |
|---------------------|-----------|------|-----|
| | | | :1 |
| 2055 m ² | 2832 | 0.73 | :1 |



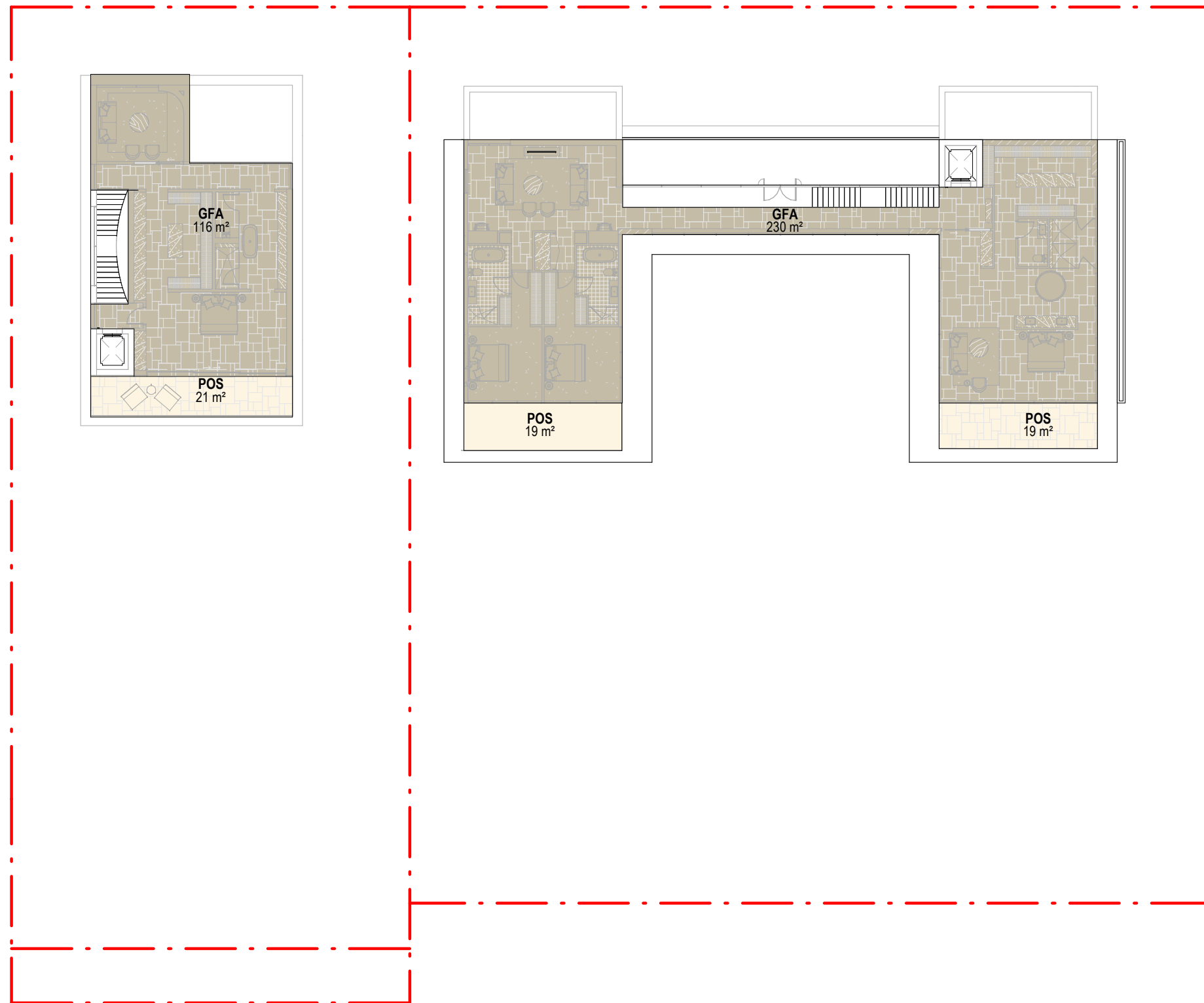
L-01 - GFA

1 : 250



L-02 - GFA

1 : 250



L-03 - GFA

1 : 250

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Revisions

A 15/09/21 FOR INFORMATION
B 22/09/21 DRAFT DA
C 04/10/21 ISSUE FOR DA
D 18/02/22 FOR INFORMATION
E 10/03/22 ISSUE RFI 01

Notes

Consultants

Project Manager

Structural Engineer

Mechanical Engineer

Fire Engineer

Electrical Engineer

Client

GURNER TM

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Project Title

69-73 MURPHY
STREET
PORT DOUGLAS

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Drawing Title

DEVELOPMENT
SUMMARY - GFA

Drawing Status

DEVELOPMENT
APPLICATION

Drawing Details

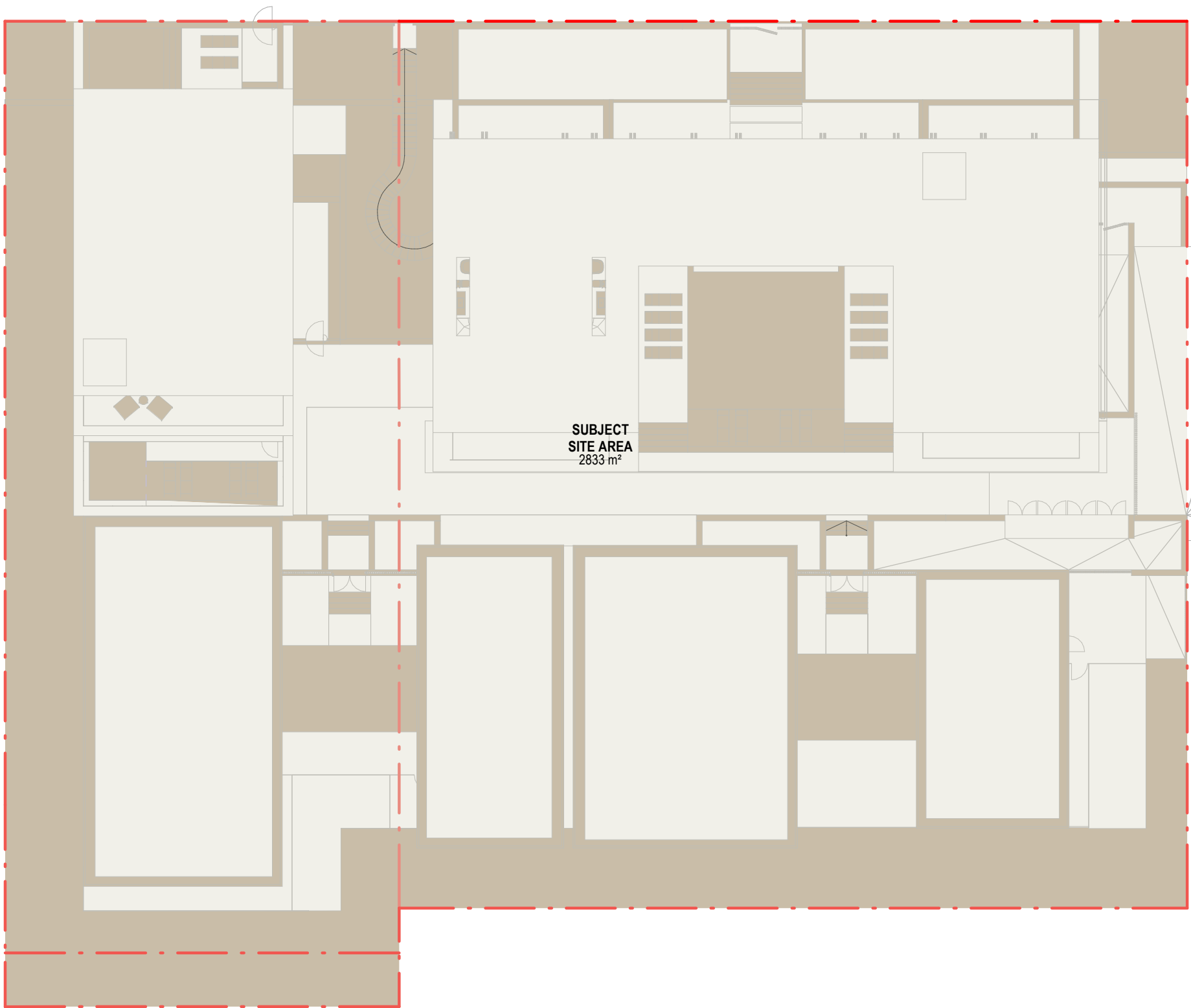
Scale As indicated@ A1
Date 10/03/22
Job No 9663
Drawn SG
Checked ND

Drawing No

DA50.001

Revision

E

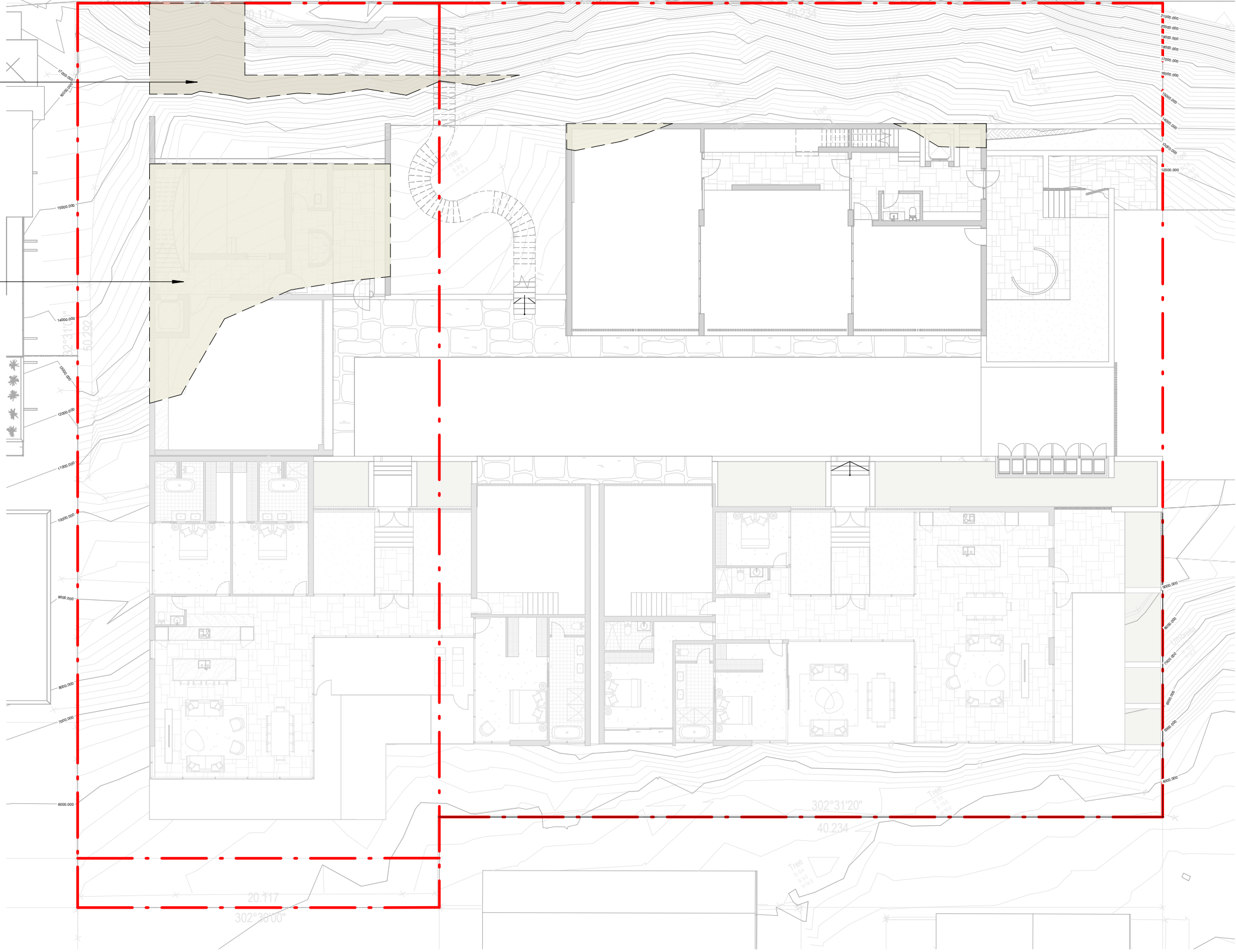


SITE AREA

2833 m²

SITE AREA

1 : 250



PROPOSED EXCAVATED AREAS

1 : 250

SITE COVER (PLANNING):

THE PROPORTION OF THE SITE COVERED BY A BUILDING(S), STRUCTURE(S) ATTACHED TO THE BUILDING(S) AND CARPORT(S), CALCULATED TO THE OUTER MOST PROJECTIONS OF THE BUILDING(S) AND EXPRESSED AS A PERCENTAGE.

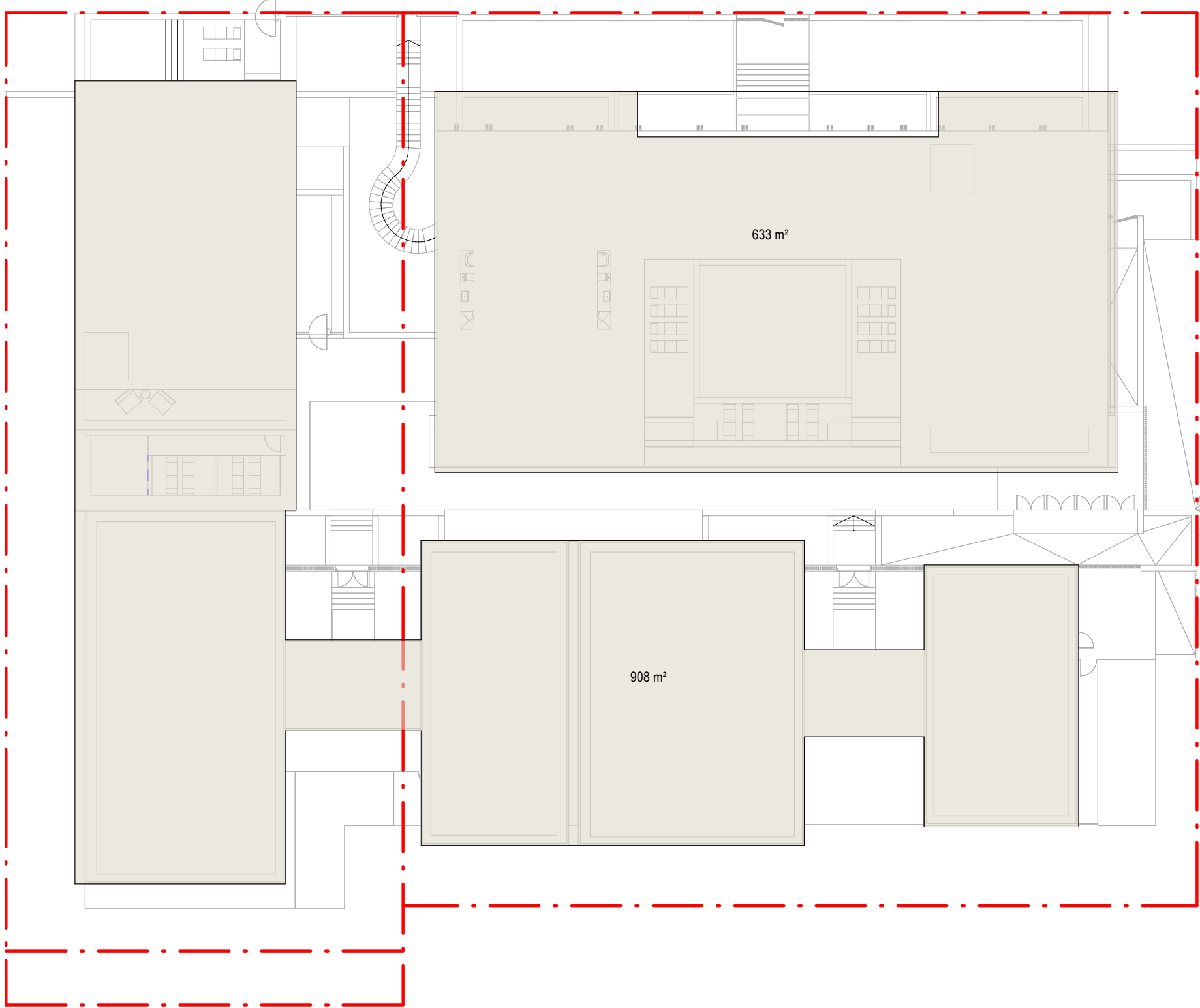
THE TERM DOES NOT INCLUDE:

(A) ANY STRUCTURE OR PART THEREOF INCLUDED IN A LANDSCAPED OPEN SPACE AREA SUCH AS A GAZEBO OR SHADE STRUCTURE;

(B) BASEMENT CAR PARKING AREAS LOCATED WHOLLY BELOW GROUND LEVEL.

GROUND LEVEL DEFINITION:

THE LEVEL OF THE NATURAL GROUND, OR, WHERE THE LEVEL OF THE NATURAL GROUND HAS BEEN CHANGED, THE LEVEL AS LAWFULLY CHANGED.



SITE COVER

1541 m²
(54%)

TOTAL SITE COVER

1 : 250

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| D 18/02/22 | FOR INFORMATION |
| E 10/03/22 | ISSUE RFI 01 |

Notes

Consultants

Project Manager

Structural Engineer

Mechanical Engineer

Fire Engineer

Electrical Engineer

Client

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GURNER™

Project Title

69-73 MURPHY STREET
PORT DOUGLAS

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Drawing Title

DEVELOPMENT SUMMARY - SITE COVER

Drawing Status

DEVELOPMENT APPLICATION

Drawing Details

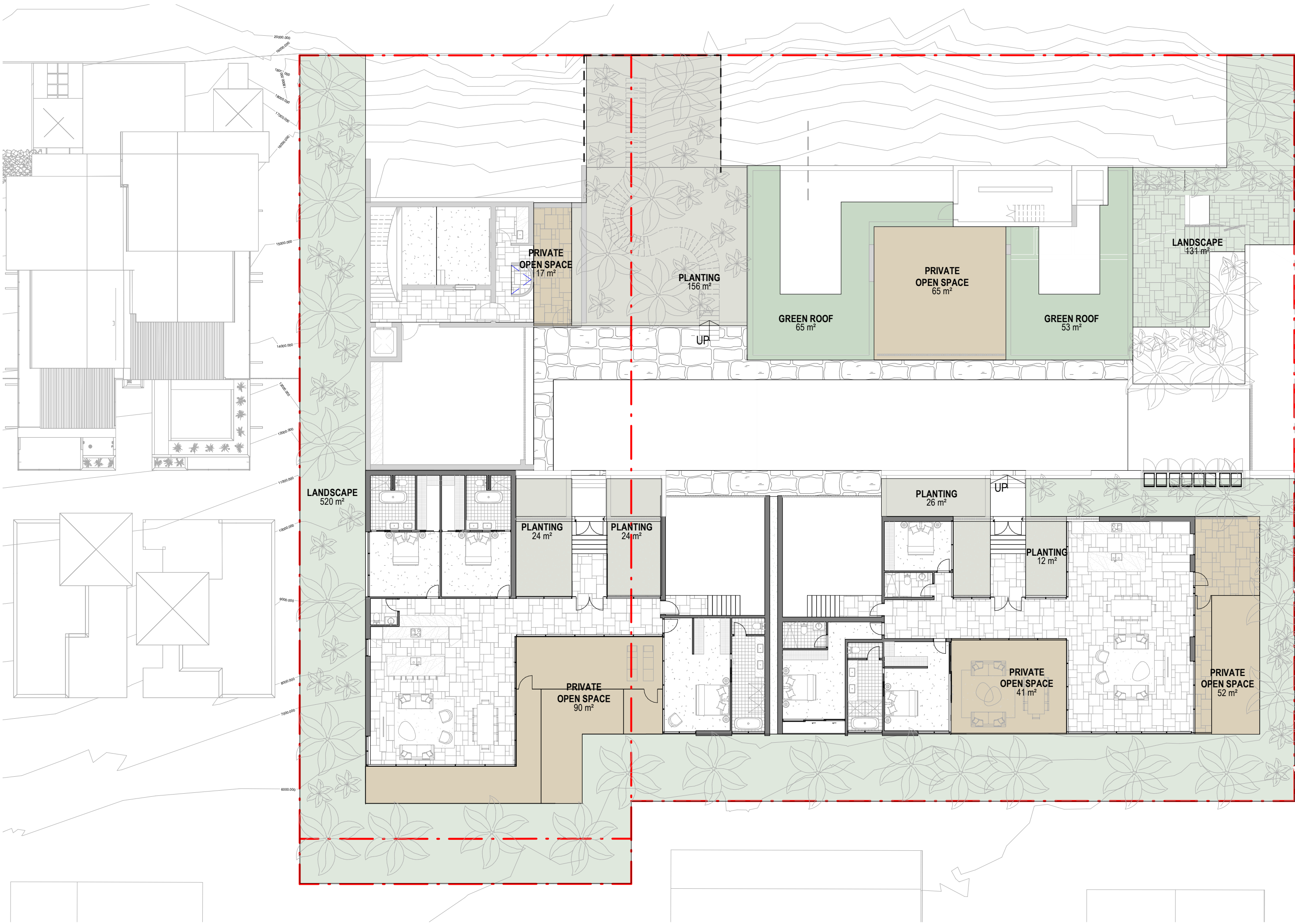
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| Scale | 1 : 250@ A1 |
| Date | 10/03/22 |
| Job No | 9663 |
| Drawn | SG |
| Checked | ND |

Drawing No

DA50.002

Revision

E



GROUND

1 : 200



L-02

1 : 200

LANDSCAPE/OPEN SPACE REQUIREMENTS:

A minimum of 35% of the site is allocated as landscaping and recreation area.

Development provides landscaping as follows:
(a) A dense landscape planting strip of at least 2 metres width suitable for deep planting is provided and maintained along all street frontages;
(b) A dense landscape planting strip of at least 1.5 metres width suitable for deep planting is provided along all side and rear boundaries.

*not including green roof area

Development provides private open space which:
(a) for ground storey dwellings, comprises of a minimum area of 35m2 with a minimum dimension of 3 metres;
(b) for dwellings above ground storey, comprises of a balcony with minimum area of 12m2 and a minimum dimension of 3 metres.

Development provides private open space areas that are:
(a) directly accessible from internal primary living area of the dwelling (not bedrooms);
(b) provided with a screened area of 2m2 minimum dimension capable of screening air conditioning plant, private clothes drying etc...
(c) provided with adjustable, moveable or operable privacy screening where appropriate.

| Name | Area |
|-----------|--------|
| LANDSCAPE | 652 m² |
| PLANTING | 347 m² |
| | 999 m² |

35% Landscape Coverage*

| Name | Area |
|------------|--------|
| GREEN ROOF | 602 m² |
| | 602 m² |

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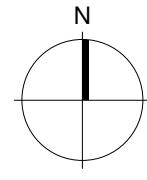
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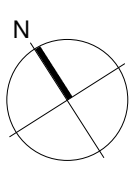
Revisions

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| D 18/02/22 | FOR INFORMATION |
| E 10/03/22 | ISSUE RFI 01 |

Notes



PROJECT NORTH



TRUE NORTH

Consultants

Project Manager

Structural Engineer

Mechanical Engineer

Fire Engineer

Electrical Engineer

Client

GURNER TM

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Project Title

69-73 MURPHY
STREET
PORT DOUGLAS

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Drawing Title

DEVELOPMENT
SUMMARY -
LANDSCAPE

Drawing Status

DEVELOPMENT
APPLICATION

Drawing Details

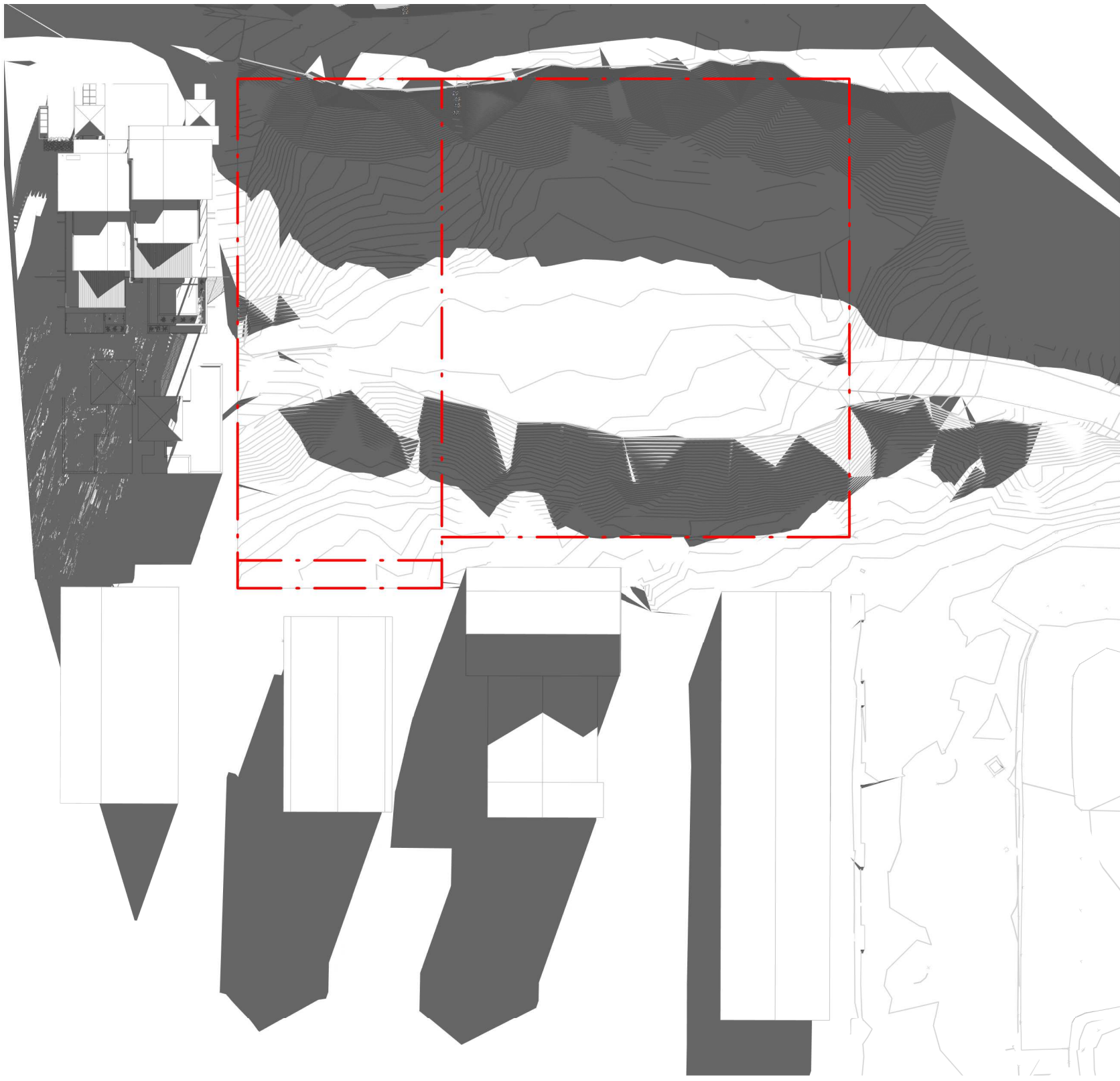
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| Date | 10/03/22 |
| Job No | 9663 |
| Drawn | SG |
| Checked | ND |

Drawing No

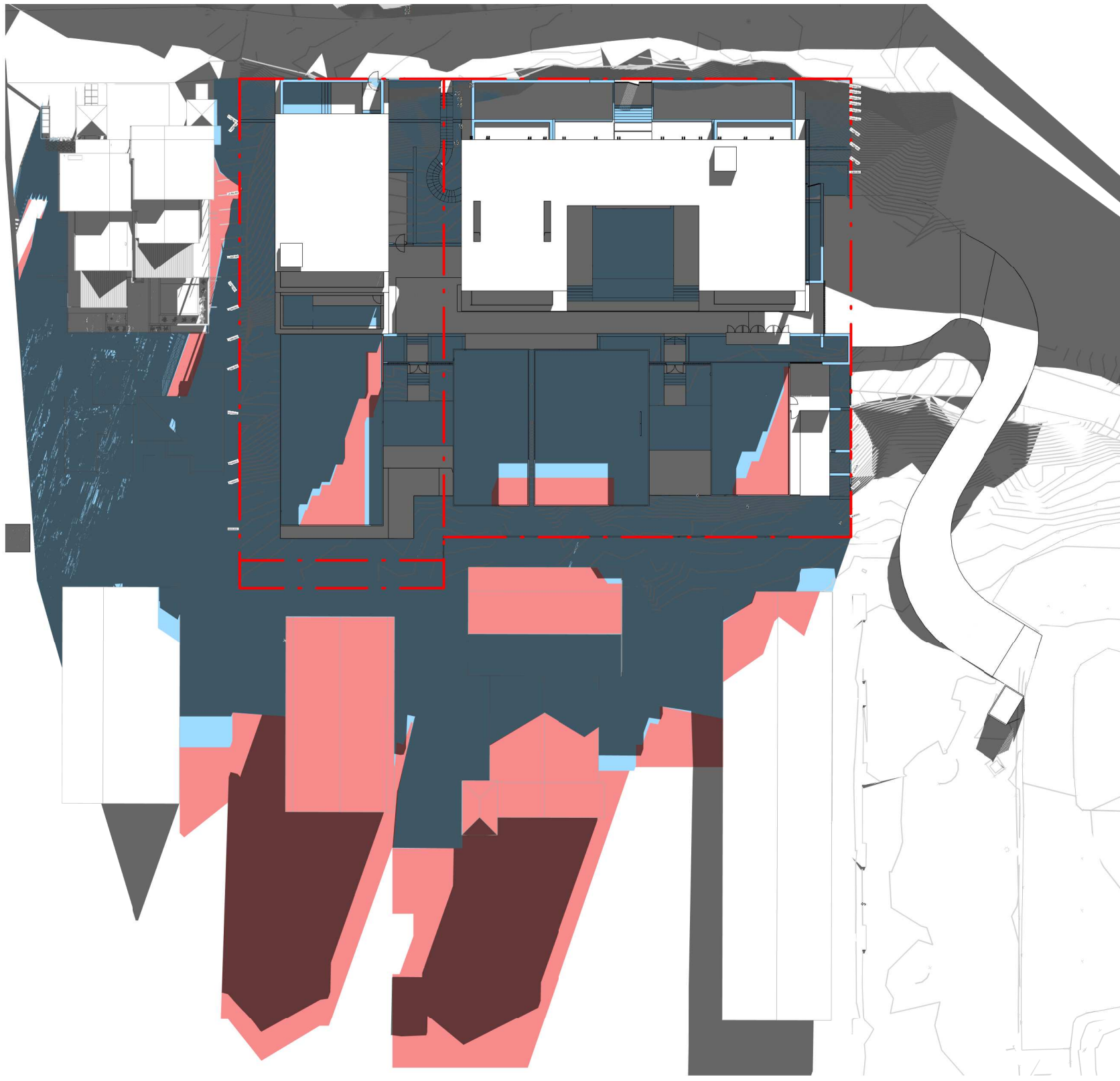
DA50.003

Revision

E

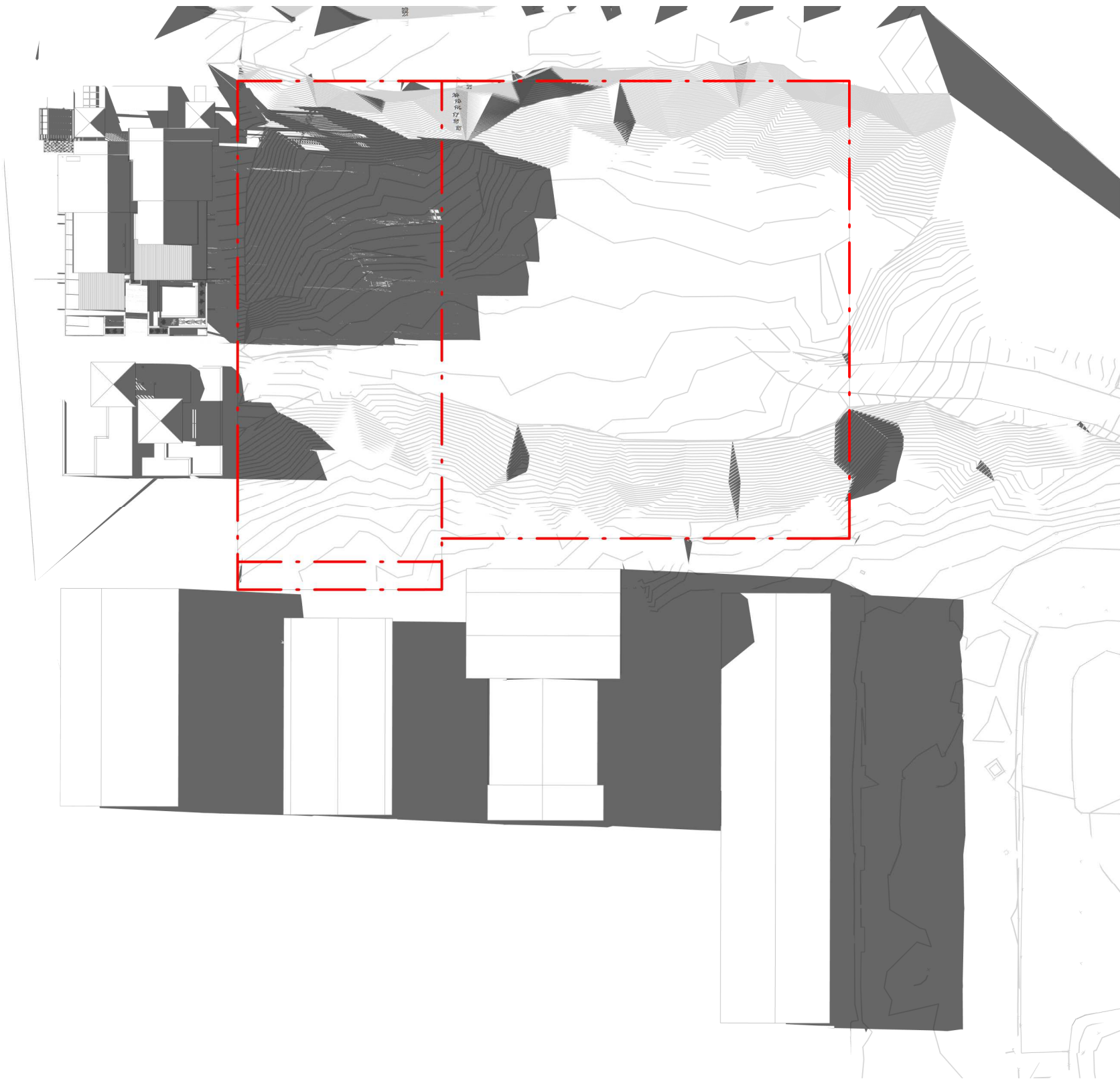


21 JUNE - 9AM EXISTING
1 : 500

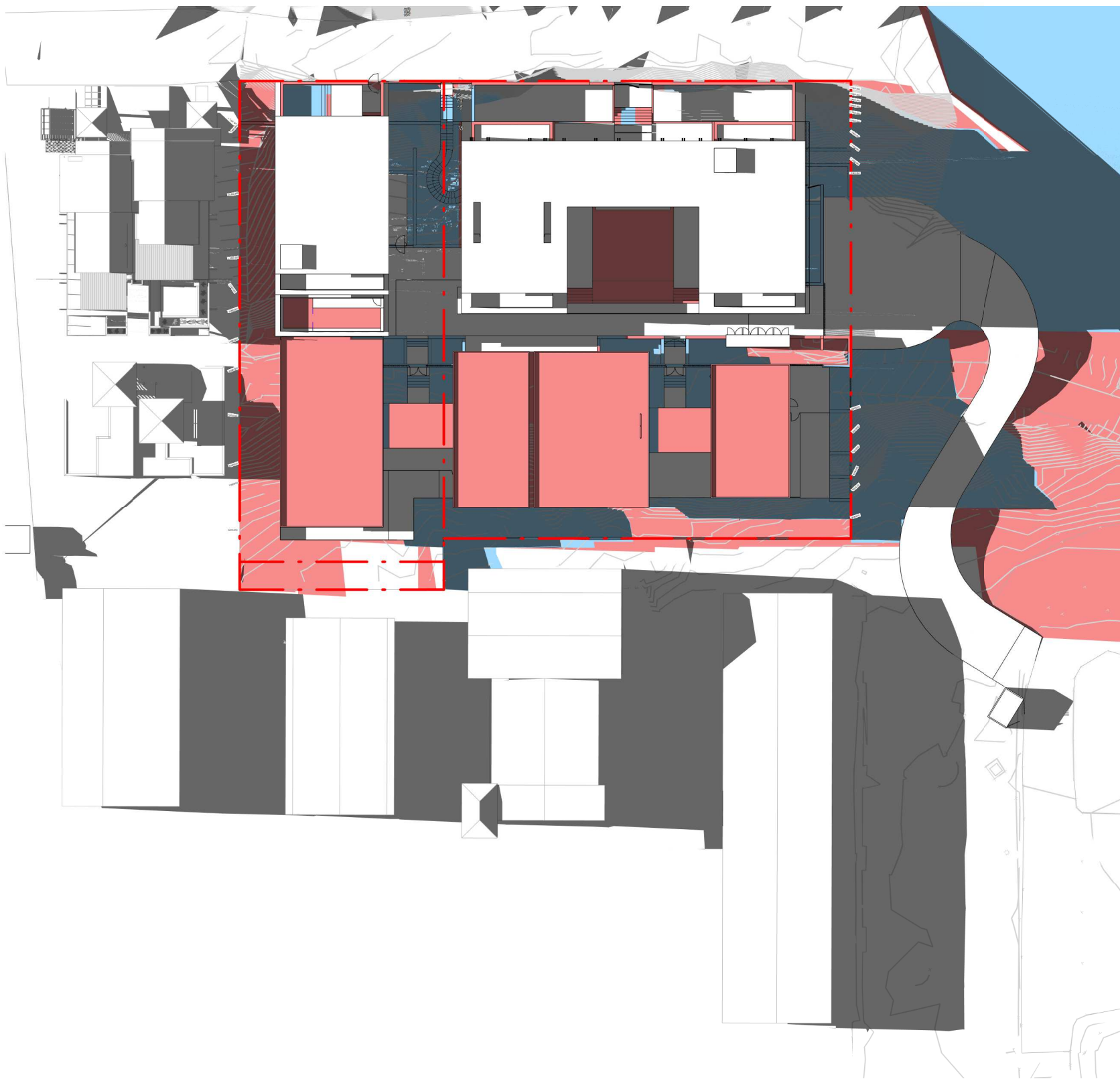


21 JUNE - 9AM PROPOSED
1 : 500

EXTENT OF PROPOSED SCHEME - SHADOW DENOTED IN BLUE
EXTENT OF HOTEL SCHEME - SHADOW DENOTED IN RED



21 JUNE - 4PM EXISTING
1 : 500



21 JUNE - 4PM PROPOSED
1 : 500

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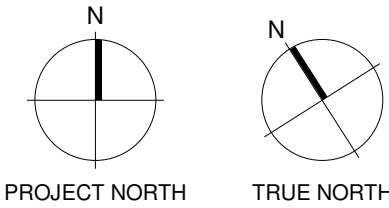
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| D 18/02/22 | FOR INFORMATION |
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Notes



Consultants

Project Manager
Structural Engineer
Mechanical Engineer
Fire Engineer
Electrical Engineer

Client

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Project Title

69-73 MURPHY
STREET
PORT DOUGLAS

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Drawing Title

SOLAR ANALYSIS -
JUNE 21

Drawing Status

DEVELOPMENT
APPLICATION

Drawing Details

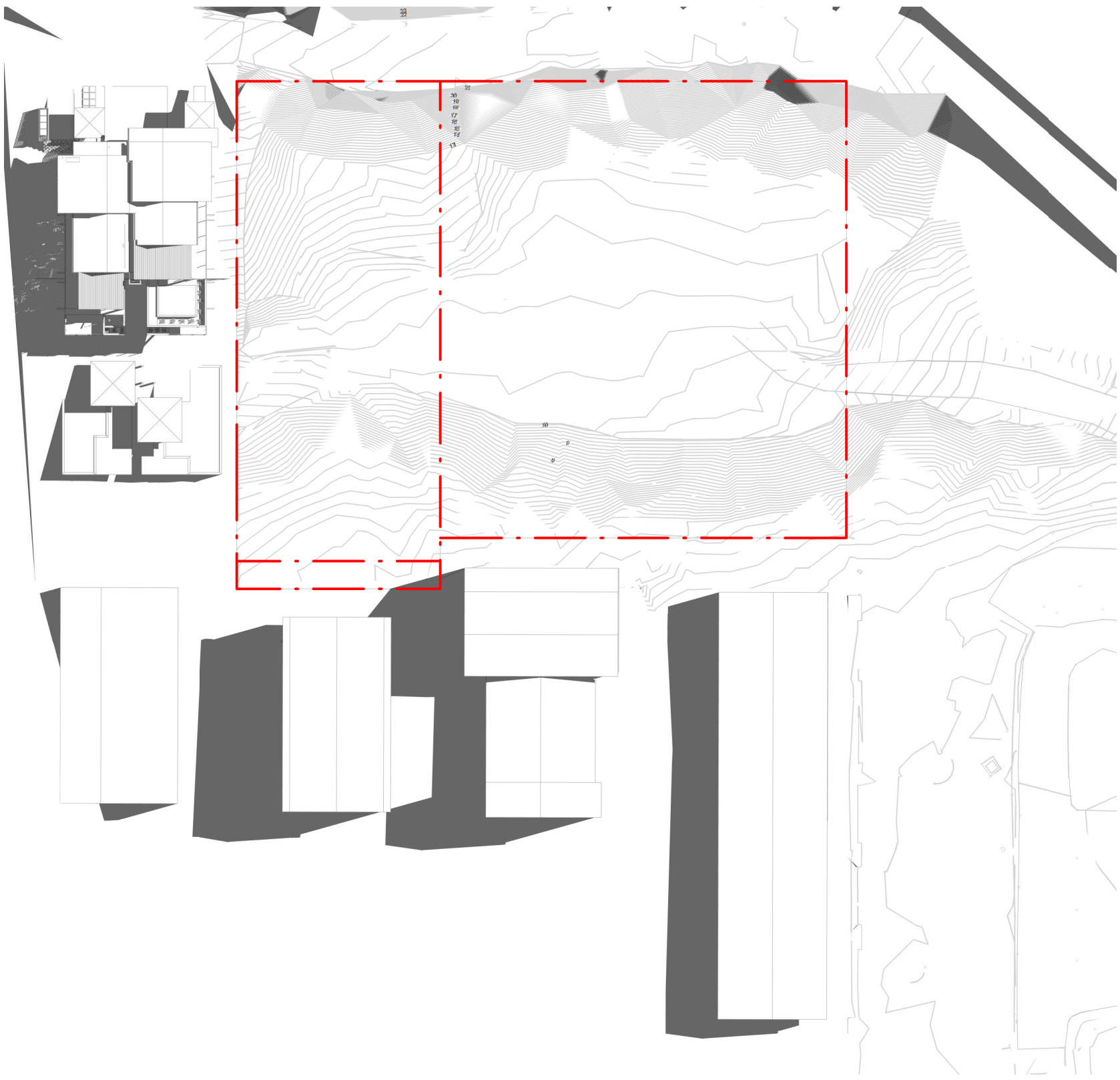
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| Job No | 9663 |
| Drawn | SG |
| Checked | ND |

Drawing No

DA80.001

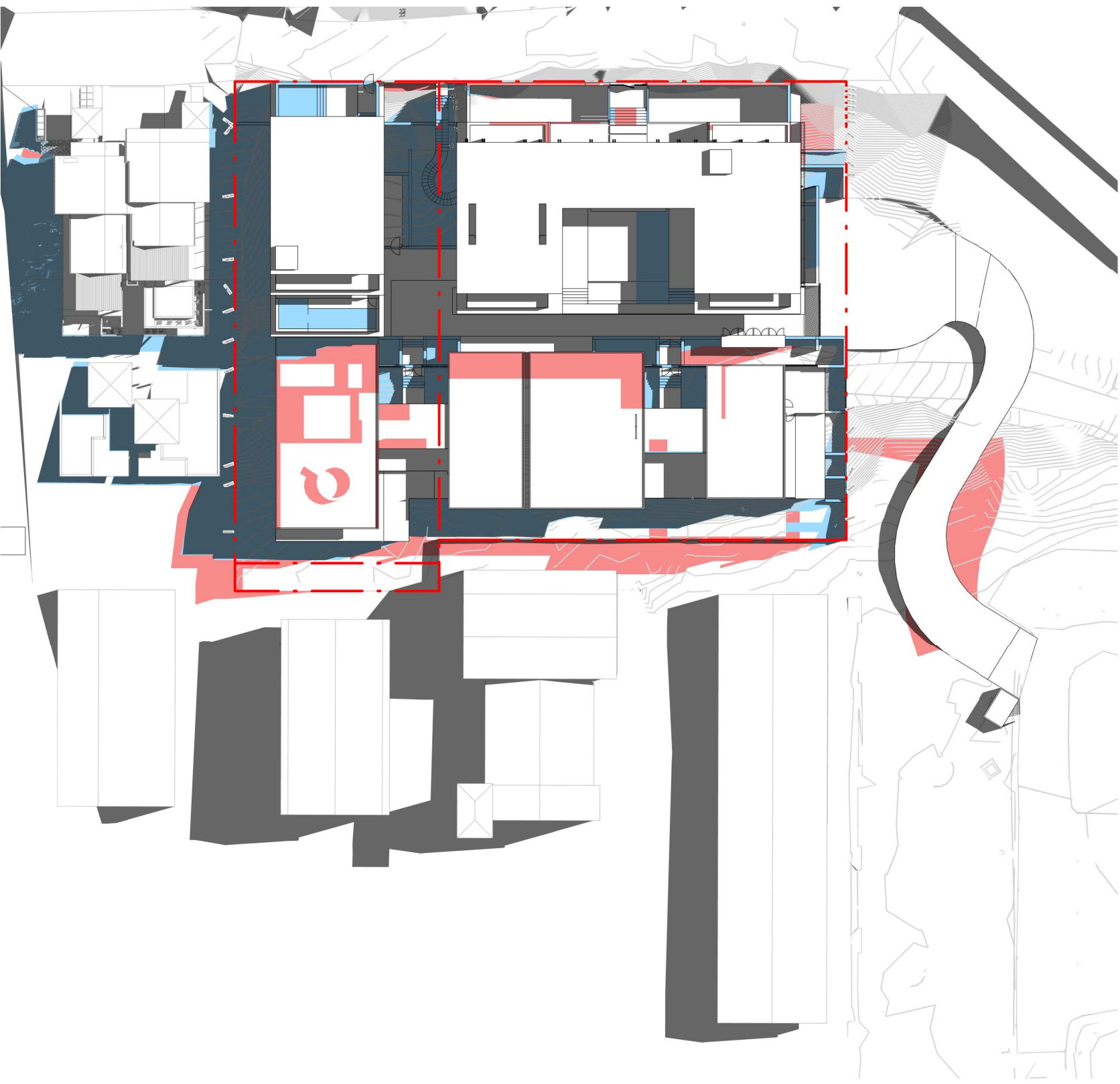
Revision

E



21 DEC - 9AM EXISTING

1 : 500



21 DEC - 9AM PROPOSED

1 : 500



21 DEC - 4PM EXISTING

1 : 500



21 DEC - 4PM PROPOSED

1 : 500

EXTENT OF PROPOSED SCHEME - SHADOW DENOTED IN BLUE
EXTENT OF HOTEL SCHEME - SHADOW DENOTED IN RED

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| D 18/02/22 | FOR INFORMATION |
| E 10/03/22 | ISSUE RFI 01 |

Notes

Consultants

Project Manager
Structural Engineer
Mechanical Engineer
Fire Engineer
Electrical Engineer

Client

GURNER TM
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Project Title

69-73 MURPHY
STREET
PORT DOUGLAS

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Drawing Title

SOLAR ANALYSIS -
DECEMBER 21

Drawing Status

DEVELOPMENT
APPLICATION

Drawing Details

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|---------|-------------|
| Scale | 1 : 500@ A1 |
| Date | 10/03/22 |
| Job No | 9663 |
| Drawn | SG |
| Checked | ND |

Drawing No

DA80.002

Revision

(E)

MATERIAL FINISHES PALETTE



REN-1



REN-2



CON-1



TC-1



ST-1



GLZ-1 / PC-3



TC-2



RET-1



TL-1



PAV-1



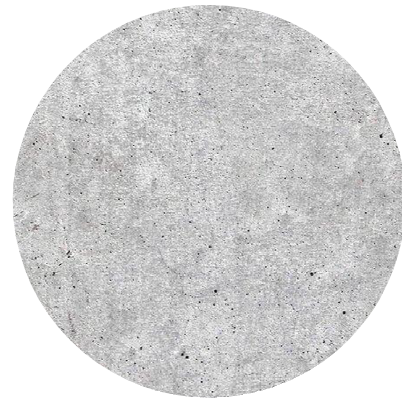
PAV-2



TD-1



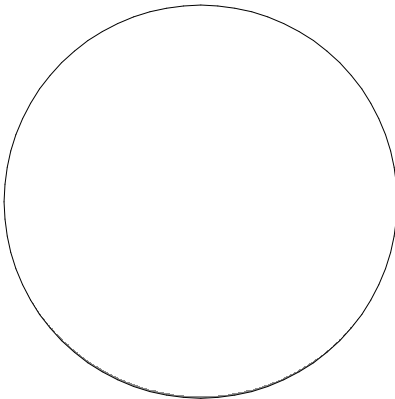
CON-1



CON-1



FEN-1



PC-1

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B 22/09/21 DRAFT DA
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Notes

| CODE | DESCRIPTION |
|------------|---|
| BAL-1 | FRAMELESS GLAZED BALUSTRADE 1200mm |
| CON-1 | IN-SITU CONCRETE |
| FEN-1 | TIMBER FENCING |
| GLZ-1/PC-3 | CLEAR GLAZING / LIGHT GREY OR SIMILAR |
| PAV-1 | TILED PAVING |
| PAV-2 | COBBLED STONE PAVING OR STAMPED CONCRETE OR SIMILAR |
| PAV-3 | CRUSHED ROCK |
| REN-1 | TEXTURED RENDER FINISH |
| ST-1 | STACKED STONE WALL |
| TC-1 | TIMBER CLADDING OR FC SHEET, OR SIMILAR |

Consultants

Project Manager

Structural Engineer

Mechanical Engineer

Fire Engineer

Electrical Engineer

Client

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Project Title

69-73 MURPHY STREET
PORT DOUGLAS

Drawing Title

MATERIALS

Drawing Status

DEVELOPMENT APPLICATION

Drawing Details

Scale 1 : 1 @ A1
Date 04/10/21
Job No 9663
Drawn SG
Checked ND

Drawing No

DA90.001

Revision

C



VIEW 1A: VIEW FROM THE ESPLANADE - LOOKING NORTH
PROPOSED BUILDING ARTIST IMPRESSION



VIEW 1B: VIEW FROM THE ESPLANADE - LOOKING NORTH
PROPOSED BUILDING OUTLINE



VIEW 2A: VIEW FROM GARRICK ST - LOOKING NORTH
PROPOSED BUILDING ARTIST IMPRESSION



VIEW 2B: VIEW FROM GARRICK ST - LOOKING NORTH
PROPOSED BUILDING OUTLINE



VIEW 3: VIEW FROM THE ESPLANADE - LOOKING NORTH
PROPOSED BUILDING OUTLINE



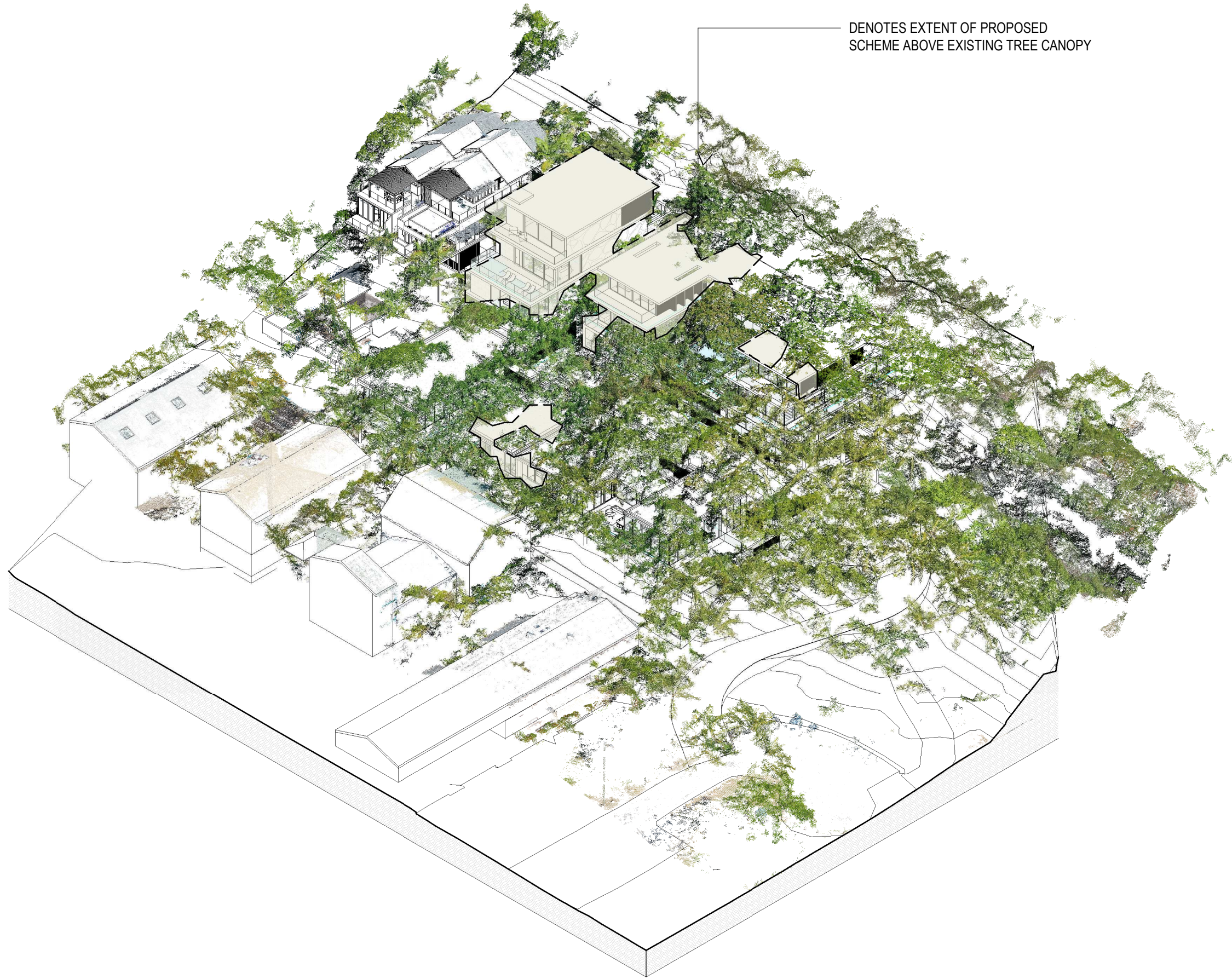
VIEW 3A: VIEW FROM THE ESPLANADE - LOOKING NORTH
PROPOSED BUILDING MASSING
PREVIOUS DA - SHOWN DASHED



VIEW 4A-2: VIEW LOOKING WEST
PROPOSED BUILDING MASSING

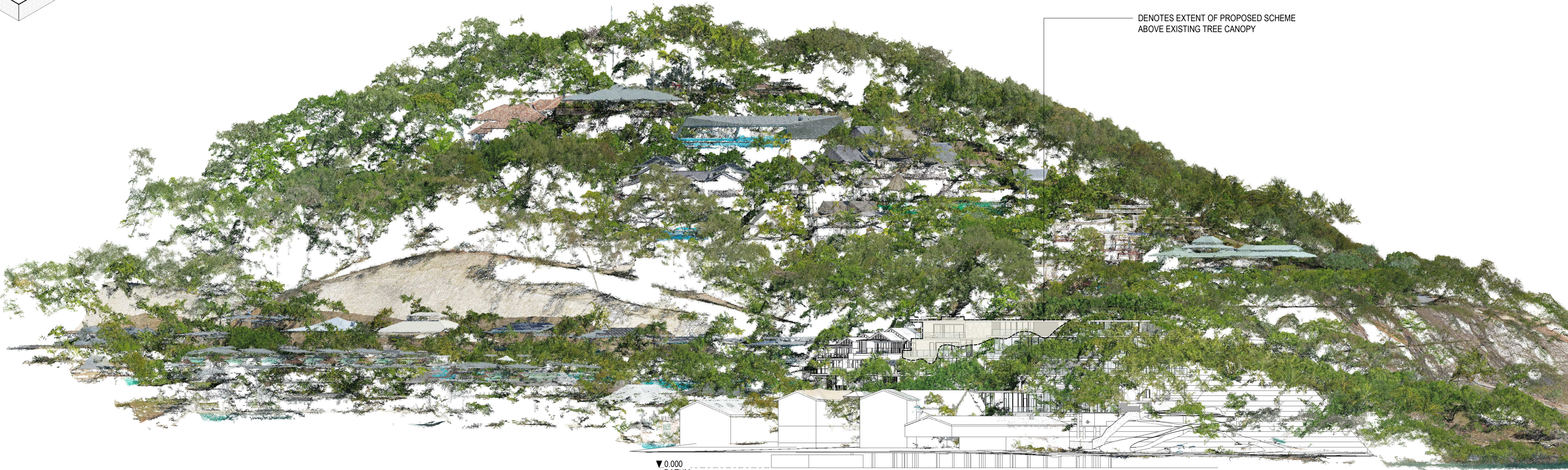


VIEW 4B-2: VIEW LOOKING WEST
PROPOSED BUILDING MASSING OUTLINE
PREVIOUS DA - SHOWN DASHED



DENOTES EXTENT OF PROPOSED
SCHEME ABOVE EXISTING TREE CANOPY

PERSPECTIVE - AERIAL



DENOTES EXTENT OF PROPOSED SCHEME
ABOVE EXISTING TREE CANOPY

▼ 0.000
DATUM

PERSPECTIVE - LOOKING DUE NORTH

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Notes

Consultants

Project Manager
Structural Engineer
Mechanical Engineer
Fire Engineer
Electrical Engineer

Client

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Project Title

69-73 MURPHY
STREET
PORT DOUGLAS

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Drawing Title

PERSPECTIVES - EX.
TREE CANOPY

Drawing Status

DEVELOPMENT
APPLICATION

Drawing Details

Scale 1 : 500@ A1
Date 04/10/21
Job No 9663
Drawn SG
Checked ND

Drawing No

DA90.020

Revision

(B)

Annexure 2

3D Views

