

Our ref: PR151295

135 Abbott Street
Cairns QLD 4870
T +61 7 4031 1336

Date: 29 June 2022

Chief Executive Officer
Douglas Shire Council
PO Box 723
Mossman QLD 4873

Attn: Daniel Lamond

Dear Daniel,

**1 Marine Parade, Newell, Material Change of Use (Dwelling house) and Early
Concurrence Response for Siting
Application for a minor change to a development approval (pursuant to Section 78 of the Planning
Act 2016)
Your Ref: MCUC 2022_4577/1**

We refer to Douglas Shire Councils Material Change of Use (Dwelling house) and Early Concurrence Response dated 28 January 2022 at the above site (Council ref: MCUC 2022_4577/1).

On behalf of Nathan Verri Pty Ltd, we lodge this application for a minor change to this development approval to provide for a change of approved plans. The changes include:

- An increase in the setback to the secondary street frontage to 1.5 metres;
- An increase to the setback to the coastal (rear) boundary to 6.0 metres;
- A reduction in the width of the outdoor living area to the rear;
- A reduction in the overall width of the Dwelling house; and,
- An amendment to the engineered construction to provide piers to the Dwelling House to achieve resilience to coastal processes and the deletion of the previously proposed sheet piling.

A copy of the proposed amended plans are attached for reference. In term of the proposed engineering solution, rather than the previously proposed sheet piling to the rear, adjacent the pool and to the secondary street frontage (south), it is proposed to implement strategically located piers to a suitably acceptable depth to support the structure in the event the assets is washed out from underneath. Subject to final engineering this may reflect the piers proposed by JPB in the engineering associated with the Sheet Pile works. As per image below.

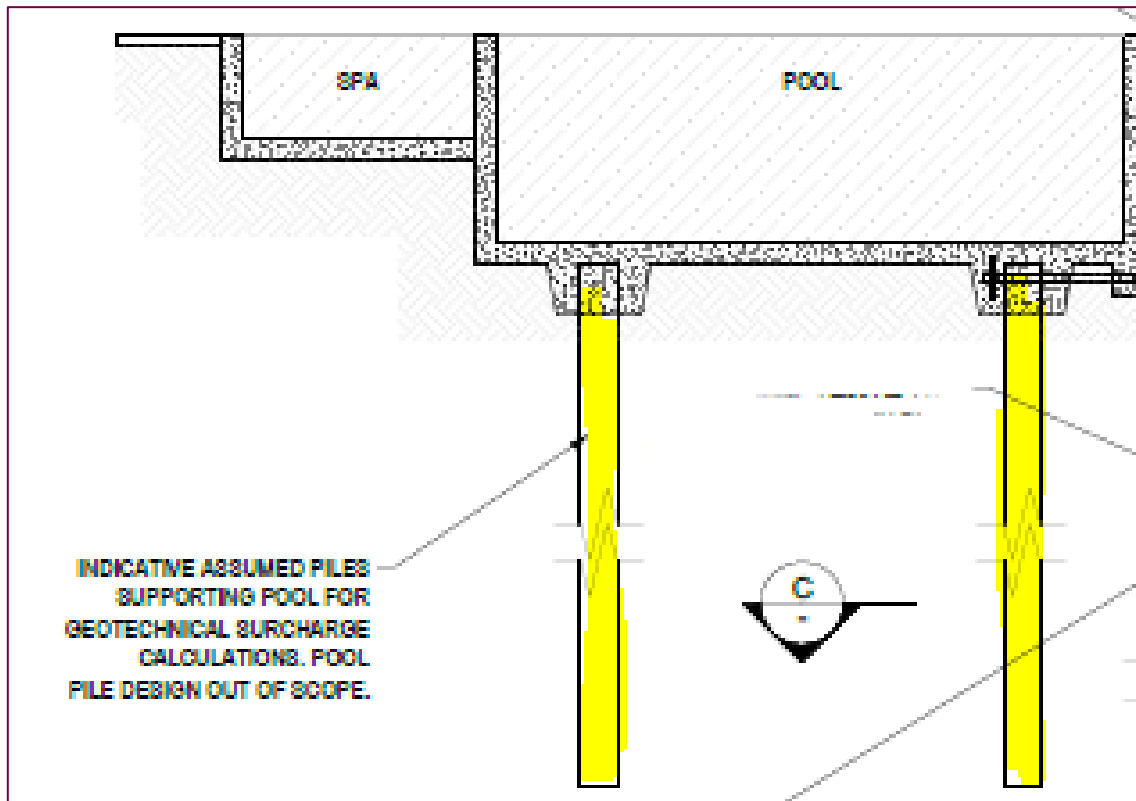


Image 1: section of proposed piers

The location of the piers would be subject to final engineering design; however, they may indicatively be located beneath the development as shown in pink on the drawing below.

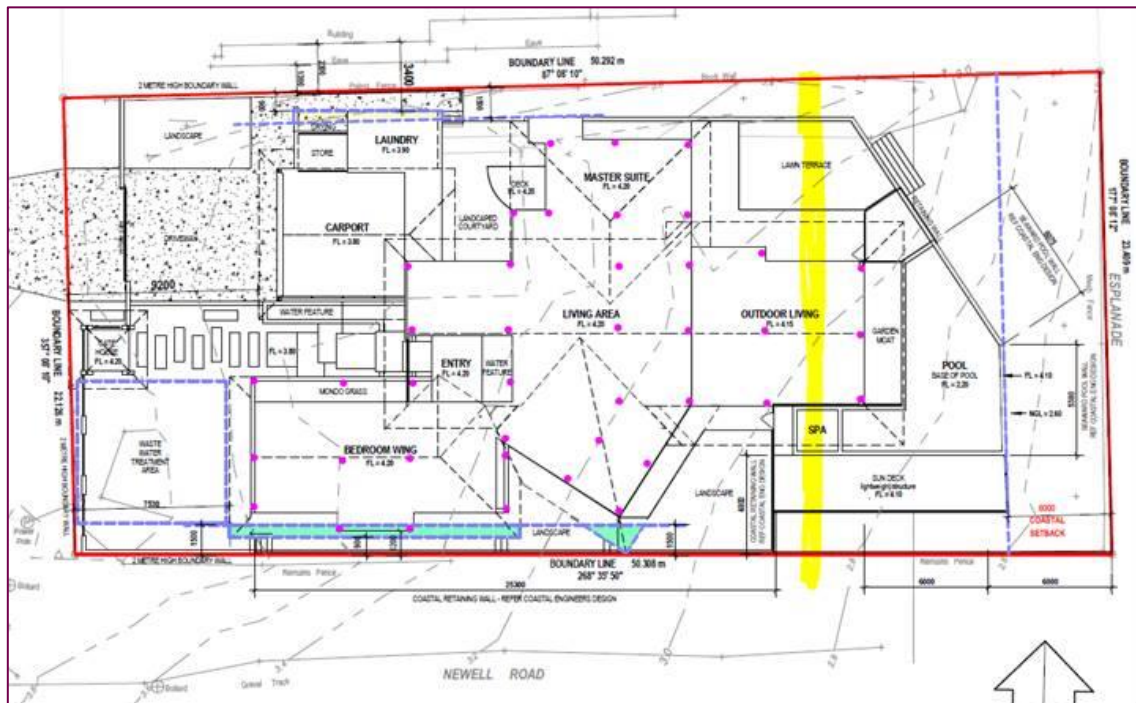


Image 2: Potential Pier Location

In accordance with Council's current fee schedule, the relevant application fee of \$333.00 is to be paid to confirm the application as properly made. It would be appreciated if Council officers could confirm the fee and the method of payment as soon as possible.

1 Minor Change Status

The proposed change to the development approval is consistent with the definition of a 'minor change' under the *Planning Act 2016* as outlined below:

1.1 Minor change definition

Under Schedule 2 of the Planning Act 2016, a minor change (for a development approval) means a change that:	Response
(i) <i>would not result in substantially different development; and</i>	The proposed change would not result in a substantially different development to that originally approved. It would not result in an increase in the height bulk form or scale of the development .
(ii) <i>if a development application for the development, including the change, were made when the change application is made would not cause</i>	
(A) <i>the inclusion of prohibited development in the application; or</i>	The proposed change would not introduce an element to the development that constitutes a prohibited development, and the overall development would remain substantially the same, being a Dwelling House.
(B) <i>referral to a referral agency, other than to the chief executive, if there were no referral agencies for the development application; or</i>	The original application was not subject to any referral requirements and the proposed change would not introduce any new referral requirements.
(C) <i>referral to extra referral agencies, other than to the chief executive; or</i>	The original application was not subject to any referral requirements and the proposed change would not introduce any new referral requirements.
(D) <i>a referral agency, in assessing the application under section 55, to assess the application against, or have regard to, a matter, other than a matter the referral agency must have assessed the application against, or had regard to, when the application was made; or</i>	There were no referral agencies in respect of the original application.
(E) <i>public notification if public notification was not required for the development application.</i>	Public Notification was not required for the original application and the proposed change does not introduce public notification requirements.

1.2 Substantially different development criteria

Under Schedule 1 of the Development Assessment rules, a change may be considered to result in substantially different development if any of the following apply to the change:	Response
(a) <i>involves a new use;</i>	The change does not involve a new use.
(b) <i>results in the application applying to a new parcel of land; or</i>	The change does not introduce new land.
(c) <i>dramatically changes the built form in terms of scale, bulk and appearance; or</i>	The proposed changes do not dramatically change the built form in terms of scale, bulk and appearance.
(d) <i>changes the ability of the proposed development to operate as intended; or</i>	The proposed change does not alter the operation of the proposed development or increase anticipated traffic or other infrastructure demands.
(e) <i>removes a component that is integral to the operation of the development; or</i>	The proposed change does not introduce or remove any components from the development approval granted.
(f) <i>significantly impacts on traffic flow and the transport network, such as increasing traffic to the site; or</i>	The proposed change would not increase traffic impacts from the proposed development.
(g) <i>introduces new impacts or increase the severity of known impacts; or</i>	The proposed change would not result in an increase in traffic movements, increase in stormwater flows or result in an increased demand on infrastructure services.

(h) removes an incentive or offset component that would have balanced a negative impact of the development; or

Not applicable – no offsets or incentives were provided as part of the development.

(i) impacts on infrastructure provisions.

The proposed change would not result in an increase in traffic movements, increase in stormwater flows or result in an increased demand on infrastructure services.

On the basis of the above, the proposed change is considered to constitute a minor change and it would not result in a substantially different development.

2 Changes to the Development Approval

The proposed change would require the following changes to the approval:

Approved Drawing(s) and/or Document(s)

Drawing or Document	Reference	Date
Locality Map	Balay Vandyke drawing no. 1 of 18, job no. 201835 Rev. R	13 December 2021 23 June 2022
Floor Plan	Balay Vandyke drawing no. 2 of 18, job no. 201835 Rev. R	13 December 2021 23 June 2022
Elevations	Balay Vandyke drawing no. 3 of 18, job no. 201835 Rev. R	13 December 2021 23 June 2022
Elevations	Balay Vandyke drawing no. 4 of 18, job no. 201835 Rev. R	13 December 2021 23 June 2022
Setbacks Site Plan	Balay Vandyke drawing no. 6 of 18, job no. 201835 Rev R.	13 December 2021 23 June 2022
FNQROC Regional Development Manual Standard Drawing/s for Vehicle Access		
Access Crossovers	Standard Drawing S1015 Issue E	27 August 2020
Concrete driveway for allotment access	Standard Drawing S1110 Issue F	27 August 2020

- **Condition 3**

Seawall Design Report Design for Coastal Resilience

- The engineered design for the piered footings for the proposed Dwelling House shall be prepared and certified by an RPEQ Engineer and submitted to Council for approval prior to the issue of a Development Permit for Building Works.
- The development shall maintain a setback of a minimum of 1.5 metres to the southern boundary to the unconstructed Newell Road to provide for future protection works, if required, which may include the recommendations and concept design detailed within the Seawall Design Report prepared by Jeremy Benn Pacific S3-P01 dated December 2021 and certified by Daniel Rodger. Any additional works for coastal defences will be the subject of a future development application and the works will be the responsibility of the landowner and provided at no cost to Council. ~~must be implemented. Detailed design, certification and post construction certification (Form 16) of the seawall must be provided to Council prior to house construction commencing.~~

(note: These conditions addresses the requirements of Performance Outcome PO1 of the Flood and Storm Tide Hazards Overlay Code. The piered footing design would ensure the safety of persons and minimise damage to the development and building contents. The design, including the 1.5 metre setback, provides for future works to occur within the site to address future potential coastal erosion matters should they arise).

3 Referral agencies

As determined by Schedule 9 and 10 of the *Planning Regulation 2017*, the application does not require referral to the State Assessment and Referral Agency (SARA). No referral agencies were triggered by the original application, nor as a result of the change to the application.

4 Pre-application Enquiry

The proposed minor change was discussed with Council Officers of Douglas Shire Council. On 16 June 2022, Daniel Lamond, Town Planner, advised:

The piling as detailed . is a good addition to increase the structural integrity of the house in the event of a scouring event and gives Council additional confidence in the ability for the house to be resilient to coastal processes.

Council would require the side boundary setback to the to the unconstructed road reserve to be minimum of 1500mm including footings and gutters to allow for sheet piling to be practical in the event it is needed.

The patio and pool reduction setbacks proposed are beneficial.

...Council could condition the future burden of revetment and private property protection to be the responsibility of the owner should it be required. The applicant would have to agree to the condition, and it would have to be tied back to the relevant performance outcome for relevance otherwise it would have no compliance with the Planning Act for code assessment. We invite a draft condition to be prepared by the applicant for this. Note that the performance outcome seeks to retain amenity for the public so reading between the lines the building setback prescribed in the AO is given so that if revetment and armouring is required then it can be done from within the land and not outside the land taking public use area which is beach access. The internal building work is to be set back off the boundaries to allow for practical area for a revetment solution if needed in the future. Given we already have a design, this could be conditioned and approved as the certified design for future revetment if required due to erosion.

A minor change or a new application can be submitted. The application fee is the same. A new application may be tidier...

As part of the application a draft condition has been prepared and submitted for Councils consideration. As this draft condition now forms part of the common material, as defined by the *Planning Act 2016*, it is part of the application and able to be applied by Council. The application is considered to be consistent with the outcomes of the pre-application discussion with Council Officers.

Our ref: PR151295

5 SUPPORTING INFORMATION

In support of these changes, please find attached the following information, which satisfied the requirements of Section 79 of the *Planning Act 2016*:

- **Appendix A:** Relevant Application Form 5 – Change application; and,
- **Appendix B:** Amended proposal plans, prepared by Balay Van Dyke, Ref 201835 Rev. R

We look forward to continuing working with you on this development. In the meantime, if you have any queries please contact the writer (contact details below).

Yours sincerely,
for RPS Australia East Pty Ltd



Patrick Clifton
Principal Planner
patrick.clifton@rpsgroup.com.au
+61 7 4276 1017

Appendix A

Relevant Application Form 5 – Change application

Individual owner's consent for making a development application under the *Planning Act 2016*

I, Gerard Zurawski

as owner of the premises identified as follows:

1 Marine Parade. Newell, described as Lot 9 on RP711018.

consent to the making of a development application under the *Planning Act 2016* by:

Nathan Verri Pty Ltd

on the premises described above for:

An application for a minor change to a development permit for a Dwelling House (Council Ref: MCUC 2022_4577/1)

Gerard Zurawski

Gerard Zurawski
June 30th 2022

Date:

Change application form

Planning Act Form 5 (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form is to be used for a change application made under section 78 of the *Planning Act 2016*. It is important when making a change application to be aware of whether the application is for a minor change that will be assessed under section 81 of the *Planning Act 2016* or for an other change that will be assessed under section 82 of the *Planning Act 2016*.

An applicant must complete all parts of this form, and provide any supporting information that the form identifies as being required to accompany the change application, unless stated otherwise. Additional pages may be attached if there is insufficient space on the form to complete any part.

Note: All terms used in this form have the meaning given under the *Planning Act 2016*, the *Planning Regulation 2017*, or the *Development Assessment Rules (DA Rules)*.

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Nathan Verri Pty Ltd
Contact name (only applicable for companies)	c/- RPS Australia East Pty Ltd , Patrick Clifton
Postal address (P.O. Box or street address)	PO Box 1949
Suburb	Cairns
State	QLD
Postcode	4870
Country	Australia
Email address (non-mandatory)	Patrick.clifton@rpsgroup.com.au
Mobile number (non-mandatory)	
Applicant's reference number(s) (if applicable)	PR151295

2) Owner's consent - Is written consent of the owner required for this change application?

Note: Section 79(1A) of the *Planning Act 2016* states the requirements in relation to owner's consent.

- ☒ Yes – the written consent of the owner(s) is attached to this change application
☐ No

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)				
3.1) Street address and lot on plan				
<input checked="" type="checkbox"/> Street address AND lot on plan (all lots must be listed), or <input type="checkbox"/> Street address AND lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).				
a)	Unit No.	Street No.	Street Name and Type	Suburb
		1	Marine Parade	Newell
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	9	RP711018	Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)



**Queensland
Government**

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

- ☐ Additional premises are relevant to the original development approval and the details of these premises have been attached in a schedule to this application
- ☒ Not required

PART 3 – RESPONSIBLE ENTITY DETAILS

4) Identify the responsible entity that will be assessing this change application

Note: see section 78(3) of the Planning Act 2016

Douglas Shire Council

PART 4 – CHANGE DETAILS

5) Provide details of the existing development approval subject to this change application

Approval type	Reference number	Date issued	Assessment manager/approval entity
<input checked="" type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval	MCUC 2022_4577/1	28 January 2022	Douglas Shire Council
<input type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval			

6) Type of change proposed

6.1) Provide a brief description of the changes proposed to the development approval (e.g. changing a development approval for a five unit apartment building to provide for a six unit apartment building):

Changing the approved plans

6.2) What type of change does this application propose?

- ☒ Minor change application – proceed to Part 5
- ☐ Other change application – proceed to Part 6

PART 5 – MINOR CHANGE APPLICATION REQUIREMENTS

7) Are there any affected entities for this change application

☒ No – proceed to Part 7

☐ Yes – list all affected entities below and proceed to Part 7

Note: section 80(1) of the Planning Act 2016 states that the person making the change application must give notice of the proposal and the details of the change to each affected entity as identified in section 80(2) of the Planning Act 2016.

Affected entity	Pre-request response provided? (where a pre-request response notice for the application has been given, a copy of the notice must accompany this change application)	Date notice given (where no pre-request response provided)
	<input type="checkbox"/> No <input type="checkbox"/> Yes – pre-request response is attached to this change application	
	<input type="checkbox"/> No <input type="checkbox"/> Yes – pre-request response is attached to this change application	
	<input type="checkbox"/> No <input type="checkbox"/> Yes – pre-request response is attached to this change application	

PART 6 – OTHER CHANGE APPLICATION REQUIREMENTS

Note: To complete this part it will be necessary for you to complete parts of DA Form 1 – Development application details and in some instances parts of DA Form 2 – Building work details, as mentioned below. These forms are available at <https://planning.dsdmip.qld.gov.au>.

8) Location details - Are there any additional premises included in this change application that were not part of the original development approval?

☐ No

☐ Yes

9) Development details

9.1) Is there any change to the type of development, approval type, or level of assessment in this change application?

☐ No

☐ Yes – the completed Sections 1 and 2 of Part 3 (Development details) of DA Form 1 – Development application details as these sections relate to the new or changed aspects of development are provided with this application.

9.2) Does the change application involve building work?

☐ No

☐ Yes – the completed Part 5 (Building work details) of DA Form 2 – Building work details as it relates to the change application is provided with this application.

10) Referral details – Does the change application require referral for any referral requirements?

Note: The application must be referred to each referral agency triggered by the change application as if the change application was the original development application including the proposed change.

☐ No

☐ Yes – the completed Part 5 (Referral details) of DA Form 1 – Development application details as it relates to the change application is provided with this application. Where referral is required for matters relating to building work the [Referral checklist for building work](#) is also completed.

11) Information request under Part 3 of the DA Rules

☐ I agree to receive an information request if determined necessary for this change application

☐ I do not agree to accept an information request for this change application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this change application will be assessed and decided based on the information provided when making this change application and the assessment manager and any referral agencies relevant to the change application are not obligated under the DA Rules to accept any additional information provided by the applicant for the change application unless agreed to by the relevant parties
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide: Forms 1 and 2](#).

12) Further details

- ☐ Part 7 of *DA Form 1 – Development application details* is completed as if the change application was a development application and is provided with this application.

PART 7 – CHECKLIST AND APPLICANT DECLARATION

13) Change application checklist

I have identified the:

- responsible entity in 4); and
- for a minor change, any affected entities; and ☒ Yes
- for an other change all relevant referral requirement(s) in 10)

Note: See the *Planning Regulation 2017* for referral requirements

- For an other change application, the relevant sections of [DA Form 1 – Development application details](#) have been completed and is attached to this application ☐ Yes
☒ Not applicable

- For an other change application, where building work is associated with the change application, the relevant sections of [DA Form 2 – Building work details](#) have been completed and is attached to this application ☐ Yes
☒ Not applicable

- Supporting information addressing any applicable assessment benchmarks is attached to this application ☒ Yes
- Note:** This includes any templates provided under 23.6 and 23.7 of *DA Form 1 – Development application details* that are relevant as a result of the change application, a planning report and any technical reports required by the relevant categorising instrument(s) (e.g. the local government planning scheme, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning report template](#).

- Relevant plans of the development are attached to this development application ☒ Yes
- Note:** Relevant plans are required to be submitted for all relevant aspects of this change application. For further information, see [DA Forms Guide: Relevant plans](#).

14) Applicant declaration

- ☒ By making this change application, I declare that all information in this change application is true and correct.
- ☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the responsible entity and any relevant affected entity or referral agency for the change application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*.

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the responsible entity and/or chosen assessment manager, any relevant affected entity or referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the change application.

All information relating to this change application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, *Planning Regulation 2017* and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 8 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			

Appendix B

Amended proposal plans, prepared by Balay Van Dyke, Ref 201835 Rev. R



1
20

LOCALITY MAP

SCALE 1 : 350 ON A3

bálay Vandyke

BUILDING DESIGN

FOR
ZURAWSKI

AT
MARINE PARADE NEWELL BEACH

Job No :
201835

DRAWING No.
01

OF
18

REV.
R

designed by
matt piromalli

DESIGN DEVELOPMENT

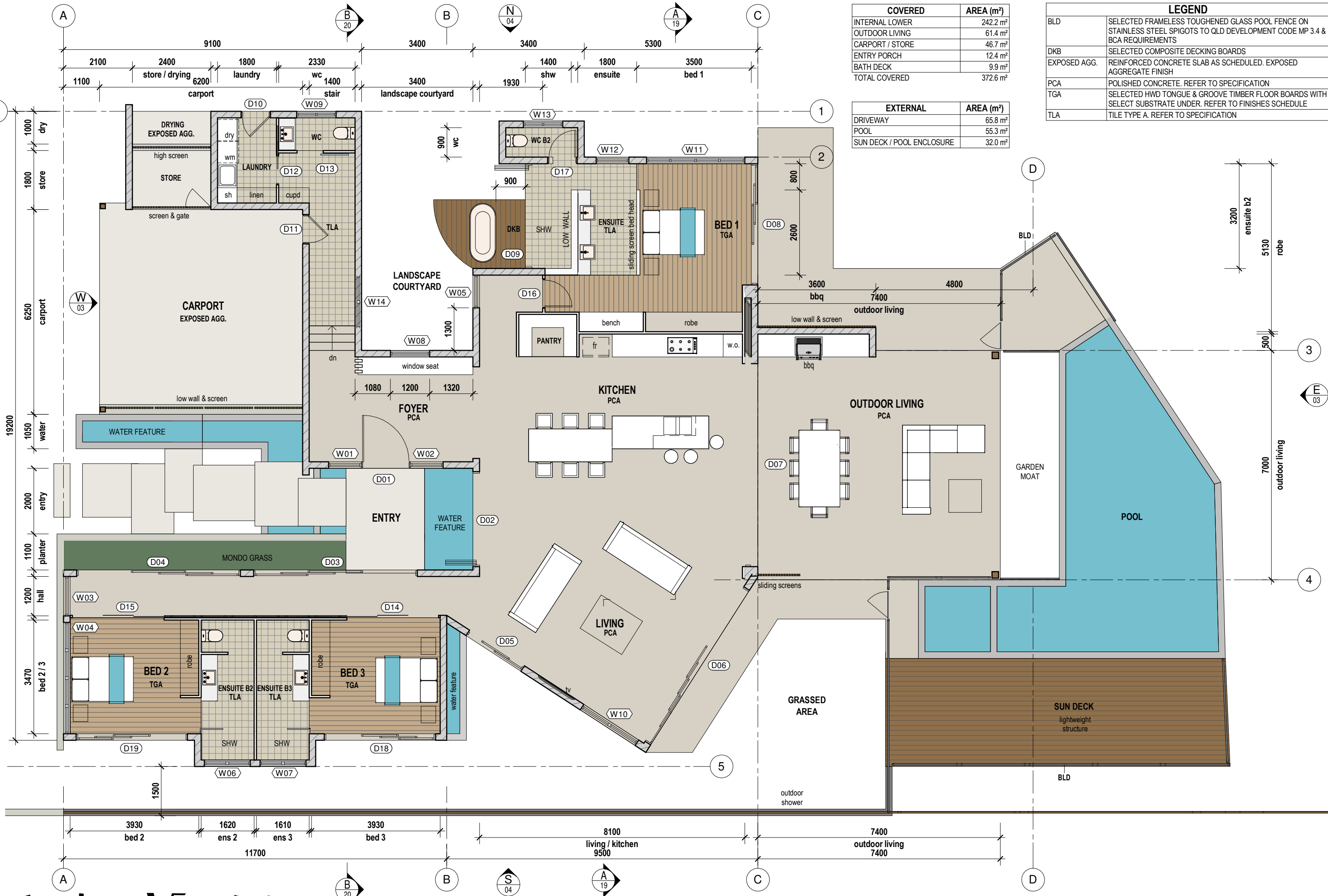
bálay Vandyke building designers ©

No.	DATE	DESCRIPTION
O	28/09/21	ROOF OPTIONS
P	08/10/21	REVISED DD WITH DUTCH GABLE ROOF
Q	13/12/21	DA ISSUE
R	23/06/21	DA CHANGES

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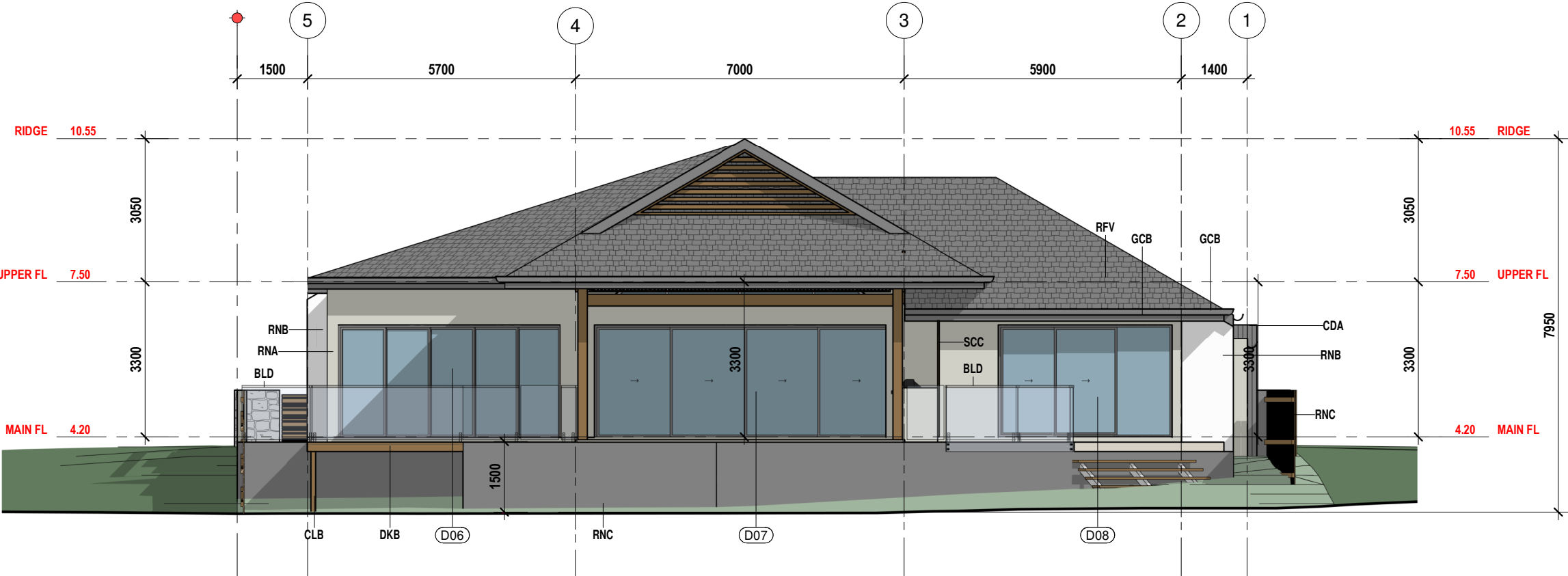
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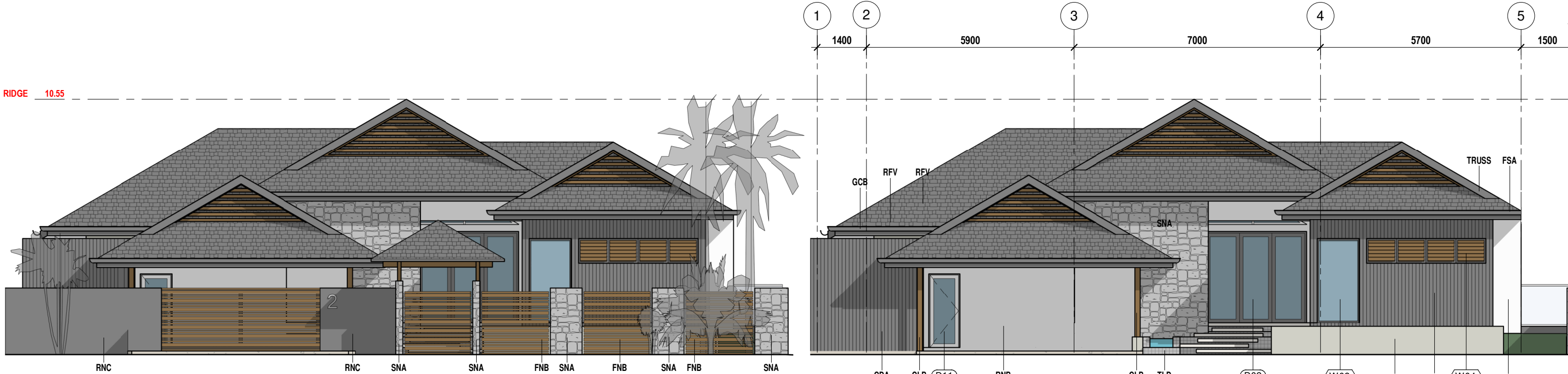


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LEGEND	
BLD	SELECTED FRAMELESS TOUGHENED GLASS POOL FENCE ON STAINLESS STEEL SPIGOTS TO QLD DEVELOPMENT CODE MP 3.4 & BCA REQUIREMENTS
CDA	SELECTED FIBRE CEMENT CLADDING. REFER TO SPECIFICATION
CLB	TIMBER COLUMN. REFER TO STRUCTURAL LEGEND FOR SIZE
DKB	SELECTED COMPOSITE DECKING BOARDS
FNB	TIMBER FENCE &/OR GATE. DESIGN & INSTALLATION BY OWNER'S PREFERRED SUPPLIER
FSA	PROPRIETARY COLORBOND FASCIA
GCB	175 COLORBOND HALF ROUND GUTTER WITH MINIMUM CROSS SECTIONAL AREA OF 11000 sq.mm
RFV	PRESSED METAL ROOF TILES INSTALLED AS PER MANUFACTURERS INSTRUCTIONS
RNA	SELECT RENDER FINISH. REFER TO SPECIFICATION
RNB	SELECT RENDER FINISH. REFER TO SPECIFICATION
RNC	SELECT RENDER FINISH. REFER TO SPECIFICATION
SCC	TIMBER SCREEN. REFER TO SPECIFICATION
SNA	SELECT STONE CLADDING. REFER TO SPECIFICATION
TLD	TILE TYPE D. REFER TO SPECIFICATION
TRUSS	PRE-FABRICATED ROOF TRUSSES. REFER TO TRUSS NOTES FOR CTS



E
02 EAST ELEVATION
SCALE 1 : 110 ON A3



W
02 WEST ELEVATION
SCALE 1 : 110 ON A3

W. STREET ELEVATION
SCALE 1 : 110 ON A3

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balay Vandyke
BUILDING DESIGN

FOR
ZURAWSKI

AT
MARINE PARADE NEWELL BEACH

Job No :
201835

DRAWING No.
03

OF
18

REV.
R

designed by
matt piromalli

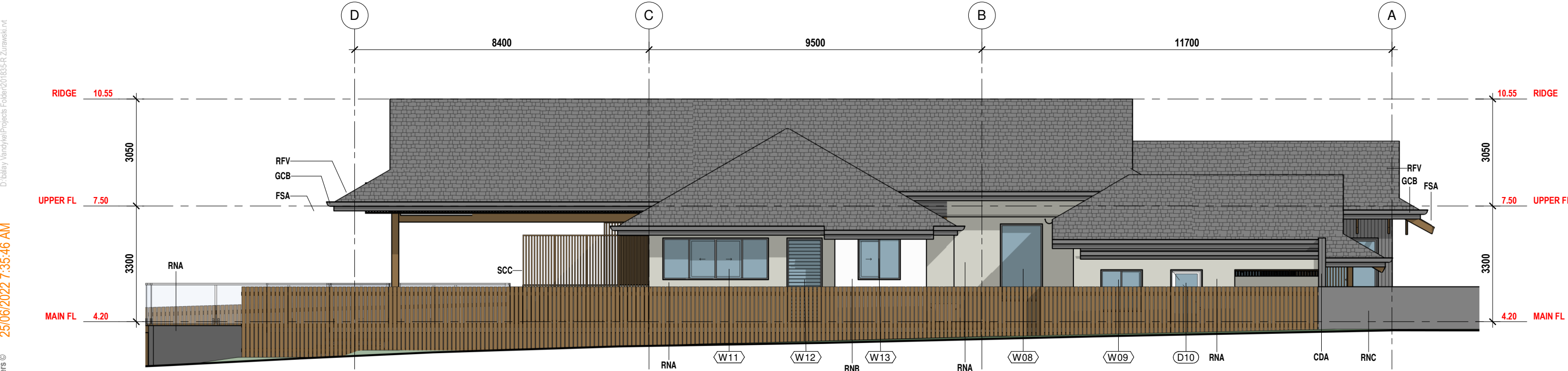
DESIGN DEVELOPMENT
balay Vandyke building designers ©

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GCB	175 COLORBOND HALF ROUND GUTTER WITH MINIMUM CROSS SECTIONAL AREA OF 11000 sq.mm
RFV	PRESSED METAL ROOF TILES INSTALLED AS PER MANUFACTURERS INSTRUCTIONS
RNA	SELECT RENDER FINISH. REFER TO SPECIFICATION
RNB	SELECT RENDER FINISH. REFER TO SPECIFICATION
RNC	SELECT RENDER FINISH. REFER TO SPECIFICATION
SCC	TIMBER SCREEN. REFER TO SPECIFICATION



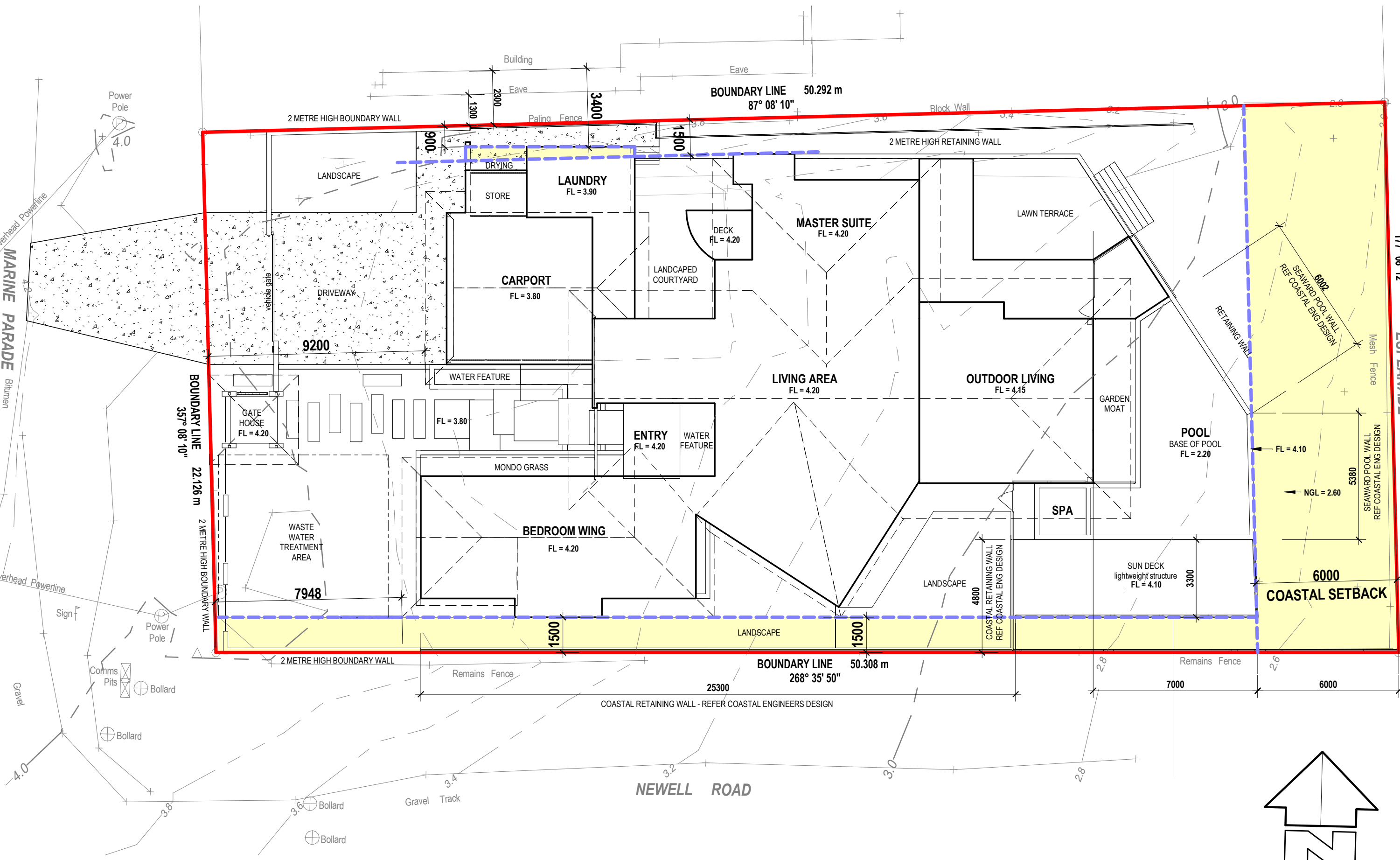
S
02
SOUTH ELEVATION
SCALE 1 : 110 ON A3



N
02
NORTH ELEVATION
SCALE 1 : 110 ON A3

No.	DATE	DESCRIPTION
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3 SITE PLAN
20 SCALE 1 : 150 ON A3

bá lay Vandyke
BUILDING DESIGN

FOR
ZURAWSKI

AT
MARINE PARADE NEWELL BEACH

Job No : 201835
DRAWING No. 06
OF 18
REV. R
designed by matt piromalli

DESIGN DEVELOPMENT
bá lay Vandyke building designers ©

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WINDOW SCHEDULE												
#	DESCRIPTION	TYPE	LOCATION	REF	WIDTH	HEIGHT	SILL	HEAD	ARCHITRAVE	FRAME & FINISH	GLAZING / FINISH	SCREENING
01	SINGLE PANEL FIXED GLASS WINDOW	F	FOYER	MAIN FL	1,000 mm	2,600 mm	0 mm	2600 mm		POWDERCOAT ALUMINIUM - MONUMENT	GREEN GLASS	NONE
02	SINGLE PANEL FIXED GLASS WINDOW	F	FOYER	MAIN FL	1,000 mm	2,600 mm	0 mm	2600 mm		POWDERCOAT ALUMINIUM - MONUMENT	GREEN GLASS	NONE
03	SINGLE PANEL FIXED GLASS WINDOW	F	CORRIDOR	MAIN FL	1,200 mm	2,400 mm	0 mm	2400 mm		POWDERCOAT ALUMINIUM - MONUMENT	GREEN GLASS	NONE
04	MULTI PANEL VARIABLE TIMBER BLADE LOUVRE	TL	BED 2	MAIN FL	3,400 mm	700 mm	1,700 mm	2400 mm		POWDERCOAT ALUMINIUM - MONUMENT	TIMBER	FLYSCREEN
05	SINGLE PANEL FIXED GLASS WINDOW	F	KITCHEN	MAIN FL	1,000 mm	2,400 mm	0 mm	2400 mm		POWDERCOAT ALUMINIUM - MONUMENT	GREEN GLASS	NONE
06	MULTI PANEL VARIABLE GLASS BLADE LOUVRE	GL	ENSUITE B2	MAIN FL	1,400 mm	500 mm	1,900 mm	2400 mm		POWDERCOAT ALUMINIUM - MONUMENT	GREEN GLASS	FLYSCREEN
07	MULTI PANEL VARIABLE GLASS BLADE LOUVRE	GL	ENSUITE B3	MAIN FL	1,400 mm	500 mm	1,900 mm	2400 mm		POWDERCOAT ALUMINIUM - MONUMENT	GREEN GLASS	FLYSCREEN
08	SINGLE PANEL FIXED GLASS WINDOW	F	FOYER	MAIN FL	1,200 mm	2,200 mm	600 mm	2800 mm		POWDERCOAT ALUMINIUM - MONUMENT	GREEN GLASS	FLYSCREENS
09	DOUBLE PANEL SLIDING GLASS WINDOW	XO	WC	LOWER FL	1,200 mm	1,200 mm	1,000 mm	2200 mm		POWDERCOAT ALUMINIUM - MONUMENT	RICEPAPER GLASS	FLYSCREEN
10	MULTI PANEL FIXED GLASS WINDOW	F	LIVING	MAIN FL	2,000 mm	2,400 mm	0 mm	2400 mm		POWDERCOAT ALUMINIUM - MONUMENT	GREEN GLASS	NONE
11	FOUR PANEL SLIDING GLASS WINDOW	OXXO	BED 1	MAIN FL	3,000 mm	1,200 mm	1,200 mm	2400 mm		POWDERCOAT ALUMINIUM - MONUMENT	GREEN GLASS	FLYSCREEN
12	SINGLE PANEL VARIABLE GLASS BLADE LOUVRE	GL	ENSUITE	MAIN FL	1,000 mm	2,400 mm	0 mm	2400 mm		POWDERCOAT ALUMINIUM - MONUMENT	RICEPAPER GLASS	FLYSCREEN
13	DOUBLE PANEL SLIDING GLASS WINDOW	XO	WC B2	MAIN FL	1,200 mm	1,200 mm	1,200 mm	2400 mm		POWDERCOAT ALUMINIUM - MONUMENT	RICEPAPER GLASS	FLYSCREEN
14	MULTI PANEL VARIABLE GLASS BLADE LOUVRE	GL	CORRIDOR	LOWER FL	1,600 mm	600 mm	2,900 mm	3500 mm		POWDERCOAT ALUMINIUM - MONUMENT	GREEN GLASS	FLYSCREEN

DOOR SCHEDULE													
#	DESCRIPTION	TYPE	LOCATION	REF	WIDTH	HEIGHT	HEAD	DOOR TYPE	HARDWARE	ARCHITRAVE	FRAME & FINISH	GLAZING / FINISH	SCREENING
01	SINGLE PIVOT TIMBER DOOR	PIVOT	ENTRY	MAIN FL	1,500 mm	2,600 mm	2,600 mm				POWDERCOAT ALUMINIUM - MONUMENT	TIMBER - PAINT FINISH	NONE
02	THREE PANEL BIFOLD DOOR	BF	LIVING	MAIN FL	2,900 mm	2,600 mm	2,600 mm	REFER GLAZIERS SCHEDULE			POWDERCOAT ALUMINIUM - MONUMENT	GREEN GLASS	RETRACTABLE FLYSCREEN
03	THREE PANEL SLIDING GLASS DOOR	OXX SGD	CORRIDOR	MAIN FL	5,000 mm	2,400 mm	2,400 mm	REFER GLAZIERS SCHEDULE			POWDERCOAT ALUMINIUM - MONUMENT	GREEN GLASS	SLIDING FLYSCREEN
04	THREE PANEL SLIDING GLASS DOOR	OXX SGD	CORRIDOR	MAIN FL	5,000 mm	2,400 mm	2,400 mm	REFER GLAZIERS SCHEDULE			POWDERCOAT ALUMINIUM - MONUMENT	GREEN GLASS	SLIDING FLYSCREEN
05	TWO PANEL SLIDING GLASS DOOR	XO SGD	LIVING	MAIN FL	2,000 mm	2,400 mm	2,400 mm	REFER GLAZIERS SCHEDULE			POWDERCOAT ALUMINIUM - MONUMENT	GREEN GLASS	SLIDING FLYSCREEN
06	THREE PANEL SLIDING GLASS DOOR	OXXXX SGD	LIVING	MAIN FL	5,600 mm	2,400 mm	2,400 mm	REFER GLAZIERS SCHEDULE			POWDERCOAT ALUMINIUM - MONUMENT	GREEN GLASS	SLIDING FLYSCREEN
07	FOUR PANEL CAVITY SLIDING GLASS DOOR	XXXX CSGD	KITCHEN	MAIN FL	6,400 mm	2,400 mm	2,400 mm	REFER GLAZIERS SCHEDULE			POWDERCOAT ALUMINIUM - MONUMENT	GREEN GLASS	RETRACTABLE FLYSCREEN
08	THREE PANEL SLIDING GLASS DOOR	OXX SGD	BED 1	MAIN FL	3,700 mm	2,400 mm	2,400 mm	REFER GLAZIERS SCHEDULE			POWDERCOAT ALUMINIUM - MONUMENT	GREEN GLASS	SLIDING FLYSCREEN
09	THREE PANEL BIFOLD DOOR	BF	ENSUITE	MAIN FL	3,200 mm	2,400 mm	2,400 mm	REFER GLAZIERS SCHEDULE			POWDERCOAT ALUMINIUM - MONUMENT	GREEN GLASS	RETRACTABLE FLYSCREEN
10	SINGLE 820 HINGED TIMBER DOOR	820	LAUNDRY	LOWER FL	900 mm	2,200 mm	2,200 mm	REFER GLAZIERS SCHEDULE			POWDERCOAT ALUMINIUM - MONUMENT	OBSURE GREEN GLASS	HINGED FLYSCREEN
11	SINGLE 820 HINGED TIMBER DOOR	820	CARPORT	LOWER FL	900 mm	2,100 mm	2,100 mm	REFER GLAZIERS SCHEDULE			POWDERCOAT ALUMINIUM - MONUMENT	TIMBER	NONE
12	SINGLE 820 CAVITY SLIDER DOOR	CSD	LAUNDRY	LOWER FL	900 mm	2,100 mm	2,100 mm				TIMBER	TIMBER VENEER	NONE
13	SLIDING BARN DOOR	800 FS	WC	LOWER FL	800 mm	2,100 mm	2,100 mm				PAINTED TIMBER	MIRROR	NONE
14	THREE PANEL SLIDING SHOJI SCREEN	SS	BED 3	MAIN FL	2,800 mm	2,700 mm	2,700 mm				PAINTED TIMBER	RICEPAPER GLASS	NONE
15	THREE PANEL SLIDING SHOJI SCREEN	SS	BED 2	MAIN FL	2,800 mm	2,700 mm	2,700 mm				PAINTED TIMBER	RICEPAPER GLASS	NONE
16	SINGLE 820 HINGED TIMBER DOOR	820	BED 1	MAIN FL	900 mm	2,400 mm	2,400 mm				TIMBER VENEER	PAINTED TIMBER	NONE
17	SINGLE 820 HINGED TIMBER DOOR	820	WC B2	MAIN FL	900 mm	2,400 mm	2,400 mm				TIMBER	TIMBER VENEER	NONE
18	THREE PANEL SLIDING GLASS DOOR	OXX SGD	BED 3	MAIN FL	3,400 mm	2,400 mm	2,400 mm	REFER GLAZIERS SCHEDULE			POWDERCOAT ALUMINIUM - MONUMENT	GREEN GLASS	SLIDING FLYSCREEN
19	THREE PANEL SLIDING GLASS DOOR	OXX SGD	BED 2	MAIN FL	3,400 mm	2,400 mm	2,400 mm	REFER GLAZIERS SCHEDULE			POWDERCOAT ALUMINIUM - MONUMENT	GREEN GLASS	SLIDING FLYSCREEN

WINDOW & DOOR NOTES

WINDOW & DOOR SIZES ARE NOMINAL ONLY.
ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO FABRICATION.
ALL HEAD & SILL HEIGHTS ARE TAKEN FROM THE REFERENCE LEVEL PROVIDED.
PROVIDE DOOR SEALS TO ALL EXTERNAL DOORS & INTERNAL DOORS INTO ROOMS WITH AIR CONDITIONING.
GLAZING TO AS1288-1994. CERTIFICATE TO BE SUPPLIED.
APPLY 3 COATS TO ALL DOORS & WINDOWS WITH PAINT NOMINATED AS FINISH. FLYSCREENS TO ALL OPENING SASHES, INCLUDING LOUVERS

WIND CLASS C2

SERVICABILITY WIND PRESSURE ULTIMATE WIND PRESSURE

0.96 KPa - GENERAL NOTES	2.23 KPa - GENERAL NOTES
1.27 KPa - a	2.06 KPa - a
1.59 KPa - a / 2	3.68 KPa - a / 2
a = 2.8m	