

13/04/2022

Douglas Shire Council
PO Box 723
MOSSMAN QLD 4873

Dear Sir/Madam,

MCU application for a Dwelling and Garage located at 137-147 Somerset Drive, Miallo QLD 4873 (33 P849655)

Please find our referral agency application and report which demonstrates compliance with the relevant performance requirements of Douglas Planning Scheme 2018 for a proposed Dwelling and Garage located at 137-147 Somerset Drive, Miallo QLD 4873 (Lot33 P849655)

The subject property is located within the Environmental Management Zone under the Douglas Planning Scheme 2018. Within this zone, a dwelling house use is deemed code assessable development. As such, the proposed development triggers a code assessable development application to demonstrate compliance with the relevant planning codes and overlays.

Please find below our code assessment of the building work which demonstrates compliance with the applicable performance criteria.

If you have any queries or require any additional information, please do not hesitate to contact Ryan Wagemaker on 07 4222 9888

Yours faithfully,



The Building Approval Company

6.2.4 Environmental management zone code

6.2.4.1 Criteria for assessment

Table 6.2.4.3.a – Environmental management zone – assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable and assessable development		
PO1 The height of all buildings and structures is in keeping with the natural characteristics of the site. Buildings and structures are low-rise and not unduly visible from external sites.	AO1.1 Buildings and structures are not more than 8.5 metres and two storeys in height. Note – Height is inclusive of the roof height. AO1.2 Buildings have a roof height not less than 2 metres.	Complies with AO1.1 and AO1.2 Refer to plans
AO1.1 Buildings and structures are not more than 8.5 metres and two storeys in height. Note – Height is inclusive of the roof height. AO1.2 Buildings have a roof height not less than 2 metres.	AO2 Buildings and structures are set back not less than: (a) 40 metres from the frontage of a state controlled road; (b) 25 metres from the frontage to Cape Tribulation Road; (c) 6 metres from any other road; (d) 6 metres from the side and rear boundaries of the site.	Complies with AO2 6.4m Approx. front setback
For assessable development		
PO3 Development is consistent with the purpose of the Environmental management zone and protects the zone from the intrusion of inconsistent uses	AO3 Inconsistent uses as identified in Table 6.2.4.3.b are not established in the Environmental management zone.	Complies with AO3 Dwelling house is a consistent use
PO4 The site coverage of all buildings and structures and associated services do not have an adverse	PO4 No acceptable outcomes are prescribed.	Complies with PO4 The total site coverage is less than 1% and is not considered to impact on the environmental and

Performance outcomes	Acceptable outcomes	Applicant response
effect on the environmental or scenic values of the site.		scenic values. Dwelling will be located on a cleared section of land.
<p>PO5 Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.</p> <p>Note - Planning scheme policy – Site assessments provides guidance on identifying the characteristics, features and constraints of a site and its surrounds.</p>	<p>AO5.1 Buildings, structures and associated access, infrastructure and private open space are sited:</p> <ul style="list-style-type: none"> (a) within areas of the site which are already cleared; or (b) within areas of the site which are environmentally degraded; (c) to minimise additional vegetation clearing. <p>AO5.2 Buildings and structures and associated infrastructure are not located on slopes greater than 1 in 6 (16.6%) or on a ridgeline.</p>	<p>Complies with AO5.1 Building work will be located on a cleared portion of land</p> <p>Complies with AO5.2 Dwelling will be steeped to the existing land contours and is not located within the potential landslip area.</p>
<p>PO6 Buildings and structures are responsive to steep slope through innovative construction techniques so as to:</p> <ul style="list-style-type: none"> (a) maintain the geotechnical stability of slopes; (b) minimise cut and/or fill; <p>minimise the overall height of development.</p>	<p>AO6.1 Where development on land steeper than 1 in 6 (16.6%) cannot be avoided, development follows the natural contours of the land and single plane concrete slab on-ground methods of construction are not utilised.</p> <p>AO6.2 Access and vehicle manoeuvring and parking areas are constructed and maintained to:</p> <ul style="list-style-type: none"> (a) minimise erosion; (b) minimise cut and fill; (c) follow the natural contours of the site. 	<p>Not applicable to development application</p> <p>Complies with AO6.2 Driveway access and onsite manoeuvring is considered to appropriately comply.</p>
<p>PO7 The exterior finishes of buildings and structures are consistent with the surrounding natural environment.</p>	<p>PO7 The exterior finishes and colours of buildings and structures are non-reflective and are moderately dark to darker shades of grey, green, blue and brown or the development is not visible external to the site.</p>	<p>Complies with PO7 Building colours are considered to appropriately comply – see attached</p>

Performance outcomes	Acceptable outcomes	Applicant response
PO8 Development does not adversely affect the amenity of the zone and adjoining land uses in terms of traffic, noise, dust, odour, lighting or other physical or environmental impacts.	AO8 No acceptable outcomes are prescribed.	Complies with PO8 Proposed use of land is for a single dwelling and is consistent with the surrounding properties.
PO9 The density of development ensures that the environmental and scenic amenity values of the site and surrounding area are not adversely affected.	AO9 The maximum residential density is one dwelling house per lot.	Complies with AO9 Single dwelling use proposed
PO10 Lot reconfiguration results in no additional lots. Note - Boundary realignments to resolve encroachments and lot amalgamation are considered appropriate.	AO10 No acceptable outcomes are prescribed.	Not applicable to development application

9.3.8 Dwelling house code

9.3.8.1 Criteria for assessment

Table 9.3.8.3.a – Dwelling house code –assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable and assessable development		
PO1 Secondary dwellings: (a) are subordinate, small-scaled dwellings; (b) contribute to a safe and pleasant living environment; (c) are established on appropriate sized lots; (d) do not cause adverse impacts on adjoining properties.	AO1 The secondary dwelling: (a) has a total gross floor area of not more than 80m ² , excluding a single carport or garage; (b) is occupied by 1 or more members of the same household as the dwelling house.	Not applicable to development application
PO2 Resident's vehicles are accommodated on- site	AO2 Development provides a minimum number of on-site car parking spaces comprising: (a) 2 car parking spaces which may be in tandem for the dwelling house; (b) 1 car parking space for any secondary dwelling on the same site.	Complies with AO2
PO3 Development is of a bulk and scale that: (a) is consistent with and complements the built form and front boundary setbacks prevailing in the street and local area; (b) does not create an overbearing development for adjoining dwelling houses and their private open space; (c) does not impact on the amenity and privacy of residents in adjoining dwelling houses; (d) ensures that garages do not dominate the appearance of the street.	AO3 Development meets the acceptable outcome for building height in the applicable Zone code associated with the site.	Complies with AO3 Environmental management Zone AO1.1 – 8.5m high 7.4m height proposed

9.4.1 Access, parking and servicing code

9.4.1.1 Criteria for assessment

Table 9.4.1.3.a – Access, parking and servicing code – assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable and assessable development		
<p>PO1 Sufficient on-site car parking is provided to cater for the amount and type of vehicle traffic expected to be generated by the use or uses of the site, having particular regard to:</p> <ul style="list-style-type: none"> (a) the desired character of the area; (b) the nature of the particular use and its specific characteristics and scale; (c) the number of employees and the likely number of visitors to the site; (d) the level of local accessibility; (e) the nature and frequency of any public transport serving the area; (f) of an existing building and the previous requirements for car parking for the building (g) whether or not the use involves a heritage building or place of local significance; (h) whether or not the proposed use involves the retention of significant vegetation. 	<p>AO1.1 The minimum number of on-site vehicle parking spaces is not less than the number prescribed in Table 9.4.1.3.b for that particular use or uses.</p> <p>Note - Where the number of spaces calculated from the table is not a whole number, the number of spaces provided is the next highest whole number.</p> <p>AO1.2 Car parking spaces are freely available for the parking of vehicles at all times and are not used for external storage purposes, the display of products or rented/sub-leased.</p> <p>AO1.3 Parking for motorcycles is substituted for ordinary vehicle parking to a maximum level of 2% of total ordinary vehicle parking.</p> <p>AO1.4 For parking areas exceeding 50 spaces parking, is provided for recreational vehicles as a substitute for ordinary vehicle parking to a maximum of 5% of total ordinary vehicle parking rate.</p>	<p>Complies with AO1.1 Development complies</p> <p>Complies with AO1.2 Development complies</p>

Performance outcomes	Acceptable outcomes	Applicant response
PO2 Vehicle parking areas are designed and constructed in accordance with relevant standards.	AO2 Vehicle parking areas are designed and constructed in accordance with Australian Standard: (a) AS2890.1; (b) AS2890.3; (c) AS2890.6.	Complies with AO2 Development complies

9.4.5 Infrastructure works code

9.4.5.1 Criteria for assessment

Table 9.4.5.3.a – Infrastructure works code – assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable and assessable development		
Works on a local government road		
PO1 Works on a local government road do not adversely impact on footpaths or existing infrastructure within the road verge and maintain the flow, safety and efficiency of pedestrians, cyclists and vehicles.	AO1.1 Footpaths/pathways are located in the road verge and are provided for the hierarchy of the road and located and designed and constructed in accordance with Planning scheme policy SC5 – FNQROC Regional Development Manual.	Not applicable to development application
	AO1.2 Kerb ramp crossovers are constructed in accordance with Planning scheme policy SC 5 – FNQROC Regional Development Manual.	Not applicable to development application
	AO1.3 New pipes, cables, conduits or other similar infrastructure required to cross existing footpaths: <ul style="list-style-type: none"> (a) are installed via trenchless methods; or (b) where footpath infrastructure is removed to install infrastructure, the new section of footpath is installed to the standard detailed in the Planning scheme policy SC5 – FNQROC Regional Development Manual, and is not less than a 1.2 metre section. 	Not applicable to development application
	AO1.4 Where existing footpaths are damaged as a result of development, footpaths are reinstated ensuring:	Not applicable to development application

Performance outcomes	Acceptable outcomes	Applicant response
	<p>(a) similar surface finishes are used; (b) there is no change in level at joins of new and existing sections; (c) new sections are matched to existing in terms of dimension and reinforcement.</p> <p>Note – Figure 9.4.5.3.a provides guidance on meeting the outcomes.</p> <p>AO1.5 Decks, verandahs, stairs, posts and other structures located in the road reserve do not restrict or impede pedestrian movement on footpaths or change the level of the road verges.</p>	<p>Not applicable to development application</p>
Accessibility structures		
<p>PO2 Development is designed to ensure it is accessible for people of all abilities and accessibility features do not impact on the efficient and safe use of footpaths.</p> <p>Note – Accessibility features are those features required to ensure access to premises is provided for people of all abilities and include ramps and lifts.</p>	<p>AO2.1 Accessibility structures are not located within the road reserve.</p> <p>AO2.2 Accessibility structures are designed in accordance with AS1428.3.</p> <p>AO2.3 When retrofitting accessibility features in existing buildings, all structures and changes in grade are contained within the boundaries of the lot and not within the road reserve.</p>	<p>Not applicable to development application</p> <p>Not applicable to development application</p> <p>Not applicable to development application</p>
Water supply		
<p>PO3 An adequate, safe and reliable supply of potable, fire fighting and general use water is provided</p>	<p>AO3.1 The premises is connected to Council's reticulated water supply system in accordance with the Design Guidelines set out in Section D6 of the Planning scheme policy SC5 – FNQROC</p>	<p>Complies with AO3.1 Water meter installed onsite</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>Regional Development Manual;</p> <p>or</p> <p>AO3.2 Where a reticulated water supply system is not available to the premises, on site water storage tank/s with a minimum capacity of 10,000 litres of stored water, with a minimum 7,500 litre tank, with the balance from other sources (e.g. accessible swimming pool, dam etc.) and access to the tank/s for fire trucks is provided for each new house or other development. Tank/s are to be fitted with a 50mm ball valve with a camlock fitting and installed and connected prior to occupation of the house and sited to be visually unobtrusive.</p>	
Treatment and disposal of effluent		
<p>PO4 Provision is made for the treatment and disposal of effluent to ensure that there are no adverse impacts on water quality and no adverse ecological impacts as a result of the system or as a result of increasing the cumulative effect of systems in the locality.</p>	<p>AO4.1 The site is connected to Council's sewerage system and the extension of or connection to the sewerage system is designed and constructed in accordance with the Design Guidelines set out in Section D7 of the Planning scheme policy SC5 – FNQROC Regional Development Manual;</p> <p>or</p> <p>AO4.2 Where not in a sewerage scheme area, the proposed disposal system meets the requirements of Section 33 of the <i>Environmental Protection Policy (Water) 1997</i> and the proposed on site effluent disposal system is designed in accordance with the</p>	<p>Complies with A04.2 Onsite waste water management system will be approved by the local authority prior to issuing of building permit.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<i>Plumbing and Drainage Act (2002)</i>	
Stormwater quality		
<p>PO5 Development is planned, designed, constructed and operated to avoid or minimise adverse impacts on stormwater quality in natural and developed catchments by:</p> <ul style="list-style-type: none"> (a) achieving stormwater quality objectives; (b) protecting water environmental values; <p>maintaining waterway hydrology.</p>	<p>AO5.1 A connection is provided from the premises to Council's drainage system;</p> <p>or</p> <p>AO5.2 An underground drainage system is constructed to convey stormwater from the premises to Council's drainage system in accordance with the Design Guidelines set out in Sections D4 and D5 of the Planning scheme policy SC5 – FNQROC Regional Development Manual.</p> <p>AO5.3 A stormwater quality management plan is prepared, and provides for achievable stormwater quality treatment measures meeting design objectives listed in Table 9.4.5.3.b and Table 9.4.5.3.c, reflecting land use constraints, such as:</p> <ul style="list-style-type: none"> (a) erosive, dispersive and/or saline soil types; (b) landscape features (including landform); (c) acid sulfate soil and management of nutrients of concern; (d) rainfall erosivity. <p>AO5.4 Erosion and sediment control practices are designed, installed, constructed, monitored, maintained, and carried out in accordance with an erosion and sediment control plan.</p>	<p>Complies with AO5 Stormwater discharge will be assessed and approved to comply with the National Construction Code. Compliance will be inspected prior to issuing of final certificates.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>AO5.5</p> <p>Development incorporates stormwater flow control measures to achieve the design objectives set out in Table 9.4.5.3.b and Table 9.4.5.3.c, including management of frequent flows, peak flows, and construction phase hydrological impacts.</p> <p>Note – Planning scheme policy SC5 – FNQROC Regional Development Manual provides guidance on soil and water control measures to meet the requirements of the <i>Environmental Protection Act 1994</i>.</p> <p>Note – During construction phases of development, contractors and builders are to have consideration in their work methods and site preparation for their environmental duty to protect stormwater quality.</p>	
Non-tidal artificial waterways		
<p>PO6</p> <p>Development involving non-tidal artificial waterways is planned, designed, constructed and operated to:</p> <ul style="list-style-type: none"> (a) protect water environmental values; (b) be compatible with the land use constraints for the site for protecting water environmental values; (c) be compatible with existing tidal and non-tidal waterways; (d) perform a function in addition to stormwater management; (e) achieve water quality objectives. 	<p>AO6.1</p> <p>Development involving non-tidal artificial waterways ensures:</p> <ul style="list-style-type: none"> (a) environmental values in downstream waterways are protected; (b) any ground water recharge areas are not affected; (c) the location of the waterway incorporates low lying areas of the catchment connected to an existing waterway; (d) existing areas of ponded water are included. <p>AO6.2</p> <p>Non-tidal artificial waterways are located:</p> <ul style="list-style-type: none"> (a) outside natural wetlands and any associated buffer areas; (b) to minimise disturbing soils or sediments; (c) to avoid altering the natural hydrologic 	<p>Not applicable to development application</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>regime in acid sulfate soil and nutrient hazardous areas.</p> <p>AO6.3 Non-tidal artificial waterways located adjacent to, or connected to a tidal waterway by means of a weir, lock, pumping system or similar ensures:</p> <ul style="list-style-type: none"> (a) there is sufficient flushing or a tidal range of >0.3 m; or (b) any tidal flow alteration does not adversely impact on the tidal waterway; or (c) there is no introduction of salt water into freshwater environments. <p>AO6.4 Non-tidal artificial waterways are designed and managed for any of the following end-use purposes:</p> <ul style="list-style-type: none"> (a) amenity (including aesthetics), landscaping or recreation; or (b) flood management, in accordance with a drainage catchment management plan; or (c) stormwater harvesting plan as part of an integrated water cycle management plan; or (d) aquatic habitat. <p>AO6.5 The end-use purpose of the non-tidal artificial waterway is designed and operated in a way that protects water environmental values.</p> <p>AO6.6 Monitoring and maintenance programs adaptively manage water quality to achieve relevant water</p>	

Performance outcomes	Acceptable outcomes	Applicant response
	<p>quality objectives downstream of the waterway.</p> <p>AO6.7 Aquatic weeds are managed to achieve a low percentage of coverage of the water surface area, and pests and vectors are managed through design and maintenance.</p>	
Wastewater discharge		
<p>PO7 Discharge of wastewater to waterways, or off site:</p> <ul style="list-style-type: none"> (a) meets best practice environmental management; (b) is treated to: <ul style="list-style-type: none"> (i) meet water quality objectives for its receiving waters; (ii) avoid adverse impact on ecosystem health or waterway health; (iii) maintain ecological processes, riparian vegetation and waterway integrity; (iv) offset impacts on high ecological value waters. 	<p>AO7.1 A wastewater management plan is prepared and addresses:</p> <ul style="list-style-type: none"> (a) wastewater type; (b) climatic conditions; (c) water quality objectives; (d) best practice environmental management. <p>AO7.2 The waste water management plan is managed in accordance with a waste management hierarchy that:</p> <ul style="list-style-type: none"> (a) avoids wastewater discharge to waterways; or (b) if wastewater discharge cannot practicably be avoided, minimises wastewater discharge to waterways by re-use, recycling, recovery and treatment for disposal to sewer, surface water and ground water. <p>AO7.3 Wastewater discharge is managed to avoid or minimise the release of nutrients of concern so as to minimise the occurrence, frequency and intensity of algal blooms.</p> <p>AO7.4 Development in coastal catchments avoids or</p>	<p>Not applicable to development application</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>minimises and appropriately manages soil disturbance or altering natural hydrology and:</p> <ul style="list-style-type: none"> (a) avoids lowering ground water levels where potential or actual acid sulfate soils are present; (b) manages wastewater so that: <ul style="list-style-type: none"> (i) the pH of any wastewater discharges is maintained between 6.5 and 8.5 to avoid mobilisation of acid, iron, aluminium and other metals; (ii) holding times of neutralised wastewater ensures the flocculation and removal of any dissolved iron prior to release; visible iron floc is not present in any discharge; (iv) precipitated iron floc is contained and disposed of; (iii) wastewater and precipitates that cannot be contained and treated for discharge on site are removed and disposed of through trade waste or another lawful method. 	
Electricity supply		
<p>PO8 Development is provided with a source of power that will meet its energy needs.</p>	<p>AO8.1 A connection is provided from the premises to the electricity distribution network;</p> <p>or</p> <p>AO8.2 The premises is connected to the electricity distribution network in accordance with the Design Guidelines set out in Section D8 of the Planning scheme policy SC5 – FNQROC Regional Development Manual.</p>	<p>Complies with AO8.1 Development is able to comply</p>

Performance outcomes	Acceptable outcomes	Applicant response
	Note - Areas north of the Daintree River have a different standard.	
PO9 Development incorporating pad-mount electricity infrastructure does not cause an adverse impact on amenity.	AO9.1 Pad-mount electricity infrastructure is: (a) not located in land for open space or sport and recreation purposes; (b) screened from view by landscaping or fencing; (c) accessible for maintenance. AO9.2 Pad-mount electricity infrastructure within a building, in a Town Centre is designed and located to enable an active street frontage. Note – Pad-mounts in buildings in activity centres should not be located on the street frontage.	Not applicable to development application
Telecommunications		
PO10 Development is connected to a telecommunications service approved by the relevant telecommunication regulatory authority.	AO10 The development is connected to telecommunications infrastructure in accordance with the standards of the relevant regulatory authority.	Complies with AO10 Development is able to comply
PO11 Provision is made for future telecommunications services (e.g. fibre optic cable).	AO11 Conduits are provided in accordance with Planning scheme policy SC5 – FNQROC Regional Development Manual.	Complies with AO11 Development is able to comply
Road construction		
PO12 The road to the frontage of the premises is constructed to provide for the safe and efficient	AO12.1 The road to the frontage of the site is	Not applicable to development application Existing road frontage to site

Performance outcomes	Acceptable outcomes	Applicant response
<p>movement of:</p> <ul style="list-style-type: none"> (a) pedestrians and cyclists to and from the site; (b) pedestrians and cyclists adjacent to the site; (c) vehicles on the road adjacent to the site; (d) vehicles to and from the site; <p>emergency vehicles.</p>	<p>constructed in accordance with the Design Guidelines set out in Sections D1 and D3 of the Planning scheme policy SC5 – FNQROC Regional Development Manual, for the particular class of road, as identified in the road hierarchy.</p> <p>AO12.2 There is existing road, kerb and channel for the full road frontage of the site.</p> <p>AO12.3 Road access minimum clearances of 3.5 metres wide and 4.8 metres high are provided for the safe passage of emergency vehicles.</p>	<p>Complies with AO12.2 Existing road frontage is considered to appropriately comply</p> <p>Complies with AO12.3 Development is assumed to comply</p>
Alterations and repairs to public utility services		
<p>PO13 Infrastructure is integrated with, and efficiently extends, existing networks.</p>	<p>AO13 Development is designed to allow for efficient connection to existing infrastructure networks.</p>	<p>Complies with AO13 Development is able to comply</p>
<p>PO14 Development and works do not affect the efficient functioning of public utility mains, services or installations.</p>	<p>AO14.1 Public utility mains, services and installations are not required to be altered or repaired as a result of the development;</p> <p>or</p> <p>AO14.2 Public utility mains, services and installations are altered or repaired in association with the works so that they continue to function and satisfy the relevant Design Guidelines set out in Section D8 of the Planning scheme policy SC5 – FNQROC Regional Development Manual.</p>	<p>Complies with AO14.1</p>

Performance outcomes	Acceptable outcomes	Applicant response
Construction management		
PO15 Work is undertaken in a manner which minimises adverse impacts on vegetation that is to be retained.	AO15 Works include, at a minimum: (a) installation of protective fencing around retained vegetation during construction; (b) erection of advisory signage; (c) no disturbance, due to earthworks or storage of plant, materials and equipment, of ground level and soils below the canopy of any retained vegetation; (d) removal from the site of all declared noxious weeds.	Complies with AO15 Development is able to comply
PO16 Existing infrastructure is not damaged by construction activities.	AO16 Construction, alterations and any repairs to infrastructure is undertaken in accordance with the Planning scheme policy SC5 – FNQROC Regional Development Manual. Note - Construction, alterations and any repairs to State-controlled roads and rail corridors are undertaken in accordance with the Transport Infrastructure Act 1994.	Complies with AO16 Development is able to comply
For assessable development		
High speed telecommunication infrastructure		
PO17 Development provides infrastructure to facilitate the roll out of high speed telecommunications infrastructure.	AO17 No acceptable outcomes are prescribed.	Complies with PO17 Development is able to comply
Trade waste		
PO18 Where relevant, the development is capable of	AO18 No acceptable outcomes are prescribed.	Not applicable to development application

Performance outcomes	Acceptable outcomes	Applicant response
<p>providing for the storage, collection treatment and disposal of trade waste such that:</p> <ul style="list-style-type: none"> (a) off-site releases of contaminants do not occur; (b) the health and safety of people and the environment are protected; (c) the performance of the wastewater system is not put at risk. 		
Fire services in developments accessed by common private title		
<p>PO19</p> <p>Hydrants are located in positions that will enable fire services to access water safely, effectively and efficiently.</p>	<p>AO19.1</p> <p>Residential streets and common access ways within a common private title places hydrants at intervals of no more than 120 metres and at each intersection. Hydrants may have a single outlet and be situated above or below ground.</p> <p>AO19.2</p> <p>Commercial and industrial streets and access ways within a common private title serving commercial properties such as factories and warehouses and offices are provided with above or below ground fire hydrants located at not more than 90 metre intervals and at each intersection. Above ground fire hydrants have dual-valved outlets.</p>	<p>Not applicable to development application</p>
<p>PO20</p> <p>Hydrants are suitable identified so that fire services can locate them at all hours.</p> <p>Note – Hydrants are identified as specified in the Department of Transport and Main Roads Technical Note: 'Identification of street hydrants for fire fighting purposes' available under 'Publications'.</p>	<p>AO20</p> <p>No acceptable outcomes are prescribed.</p>	<p>Not applicable to development application</p>

9.4.9 Vegetation management code

9.4.9.1 Criteria for assessment

Table 9.4.9.3.a – Vegetation management –assessable development

Performance outcomes		Acceptable outcomes
For self-assessable and assessable development		
PO1 Vegetation is protected to ensure that: <ul style="list-style-type: none"> (a) the character and amenity of the local area is maintained; (b) vegetation damage does not result in fragmentation of habitats; (c) vegetation damage is undertaken in a sustainable manner; (d) the Shire's biodiversity and ecological values are maintained and protected; (e) vegetation of historical, cultural and / or visual significance is retained; (f) vegetation is retained for erosion prevention and slope stabilisation. 	AO1.1 Vegetation damage is undertaken by a statutory authority on land other than freehold land that the statutory authority has control over; or AO1.2 Vegetation damage is undertaken by or on behalf of the local government on land controlled, owned or operated by the local government; or AO1.3 Vegetation damage, other than referenced in AO1.1 or AO1.2 is the damage of: <ul style="list-style-type: none"> (a) vegetation declared as a pest pursuant to the <i>Land Protection (Pest and Stock Route Management) Act 2002</i>; or (b) vegetation identified within the local government's register of declared plants pursuant to the local government's local laws; or (c) vegetation is located within a Rural zone and the trunk is located within ten metres of an existing building; or (d) vegetation is located within the Conservation zone or Environmental management zone 	Not applicable to development application Building work will be located on a cleared portion of land

	<p>and the trunk is located within three metres of an existing or approved structure, not including a boundary fence;.</p> <p>or</p> <p>AO1.4 Vegetation damage that is reasonably necessary for carrying out work that is:</p> <ul style="list-style-type: none"> (a) authorised or required under legislation or a local law; (b) specified in a notice served by the local government or another regulatory authority; <p>or</p> <p>AO1.5 Vegetation damage for development where the damage is on land the subject of a valid development approval and is necessary to give effect to the development approval;</p> <p>or</p> <p>AO1.6 Vegetation damage is in accordance with an approved Property Map of Assessable Vegetation issued under the <i>Vegetation Management Act 1999</i>;</p> <p>or</p> <p>AO1.7 Vegetation damage is essential to the maintenance of an existing fire break;</p> <p>or</p> <p>AO1.8 Vegetation damage is essential to prevent interference to overhead service cabling;</p>	
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	<p>remove one tree in order to protect an adjacent more significant tree (where they are growing close to one another). or</p> <p>AO1.9 Vegetation damage is for an approved Forest practice, where the lot is subject to a scheme approved under the <i>Vegetation Management Act 1999</i>; or</p> <p>AO1.10 Vegetation damage is undertaken in accordance with section 584 of the <i>Sustainable Planning Act 2009</i>.</p> <p>AO1.11 Vegetation damage where it is necessary to</p> <p>AO1.12 Private property owners may only remove dead, dying, structurally unsound vegetation following receipt of written advice from, at minimum, a fully qualified Certificate V Arborist. A copy of the written advice is to be submitted to Council for its records, a minimum of seven business days prior to the vegetation damage work commencing.</p>	
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<p>PO2 Vegetation damaged on a lot does not result in a nuisance</p>	<p>A02.1 Damaged vegetation is removed and disposed of at an approved site; or A02.2 Damaged vegetation is mulched or chipped if used onsite.</p>	
<p>For assessable development</p>		
<p>PO3 Vegetation damage identified on the Places of significance overlay lot does not result in a negative impact on the site's heritage values.</p>	<p>A03 No acceptable outcomes are prescribed.</p>	<p>Not applicable to development application Building work will be located on a cleared portion of land</p>

8.2.2 Bushfire hazard overlay code

8.2.2.1 Criteria for assessment

Table 8.2.2.3.a – Bushfire hazard overlay code –assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable and assessable development		
Compatible development		
PO1 A vulnerable use is not established or materially intensified within a bushfire hazard area (bushfire prone area) unless there is an overriding need or other exceptional circumstances. Note - See the end of this code for examples of vulnerable uses.	AO1 Vulnerable uses are not established or expanded. Note – Where, following site inspection and consultation with Council, it is clear that the mapping is in error in identifying a premises as being subject to a medium, high, very high bushfire hazard or potential impact buffer sub-category, Council may supply a letter exempting the need for a Bushfire Management Plan. Note – Where the assessment manager has not previously approved a Bushfire Management Plan (either by condition of a previous development approval), the development proponent will be expected to prepare such a plan. Note – Planning scheme policy SC6.9 - Natural hazards, provides a guide to the preparation of a Bushfire Management Plan.	Complies with AO1 Dwelling house use is not considered vulnerable
PO2 Emergency services and uses providing community support services are able to function effectively during and immediately after a bushfire hazard event.	AO2 Emergency Services and uses providing community support services are not located in a bushfire hazard sub-category and have direct access to low hazard evacuation routes.	Not applicable to development application
PO3 Development involving hazardous materials manufactured or stored in bulk is not located in bushfire hazard sub-category.	AO3 The manufacture or storage of hazardous material in bulk does not occur within bushfire hazard sub-category.	Not applicable to development application Dwelling house use
Development design and separation from bushfire hazard – reconfiguration of lots		

Performance outcomes	Acceptable outcomes	Applicant response
<p>PO4.1 Where reconfiguration is undertaken in an urban area or is for urban purposes or smaller scale rural residential purposes, a separation distance from hazardous vegetation is provided to achieve a radiant heat flux level of 29kW/m² at the edge of the proposed lot(s).</p> <p>Note - "Urban purposes" and "urban area" are defined in the <i>Sustainable Planning Regulations 2009</i>. Reconfiguration will be taken to be for rural residential purposes where proposed lots are between 2000m² and 2ha in area. "Smaller scale" rural residential purposes will be taken to be where the average proposed lot size is 6000m² or less.</p> <p>Note - The radiant heat levels and separation distances are to be established in accordance with method 2 set out in AS3959-2009.</p> <p>PO4.2 Where reconfiguration is undertaken for other purposes, a building envelope of reasonable dimensions is provided on each lot which achieves radiant heat flux level of 29kW/m² at any point.</p>	<p>AO4.1 No new lots are created within a bushfire hazard sub-category.</p> <p>or</p> <p>AO4.2 Lots are separated from hazardous vegetation by a distance that:</p> <ul style="list-style-type: none"> (a) achieves radiant heat flux level of 29kW/m² at all boundaries; and (b) is contained wholly within the development site. <p>Note - Where a separation distance is proposed to be achieved by utilising existing cleared developed areas external to the site, certainty must be established (through tenure or other means) that the land will remain cleared of hazardous vegetation. For staged developments, temporary separation distances, perimeter roads or fire trails may be absorbed as part of subsequent stages.</p> <p>Note - The achievement of a cleared separation distance may not be achievable where other provisions within the planning scheme require protection of certain ecological, slope, visual or character features or functions.</p>	<p>Not applicable to development application</p>
<p>PO5 Where reconfiguration is undertaken in an urban area or is for urban purposes, a constructed perimeter road with reticulated water supply is established between the lots and the hazardous vegetation and is readily accessible at all times for urban fire fighting vehicles.</p> <p>The access is available for both fire fighting and maintenance/defensive works.</p>	<p>AO5.1 Lot boundaries are separated from hazardous vegetation by a public road which:</p> <ul style="list-style-type: none"> (a) has a two lane sealed carriageway; (b) contains a reticulated water supply; (c) is connected to other public roads at both ends and at intervals of no more than 500m; (d) accommodates geometry and turning radii in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines; 	<p>Not applicable to development application</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<ul style="list-style-type: none"> (e) has a minimum of 4.8m vertical clearance above the road; (f) is designed to ensure hydrants and water access points are not located within parking bay allocations; and (g) incorporates roll-over kerbing. <p>AO5.2 Fire hydrants are designed and installed in accordance with AS2419.1 2005, unless otherwise specified by the relevant water entity.</p> <p>Note - Applicants should have regard to the relevant standards set out in the reconfiguration of a lot code and works codes in this planning scheme.</p>	
<p>PO6 Where reconfiguration is undertaken for smaller scale rural residential purposes, either a constructed perimeter road or a formed, all weather fire trail is established between the lots and the hazardous vegetation and is readily accessible at all times for the type of fire fighting vehicles servicing the area.</p> <p>The access is available for both fire fighting and maintenance/hazard reduction works.</p>	<p>AO6 Lot boundaries are separated from hazardous vegetation by a public road or fire trail which has:</p> <ul style="list-style-type: none"> (a) a reserve or easement width of at least 20m; (b) a minimum trafficable (cleared and formed) width of 4m capable of accommodating a 15 tonne vehicle and which is at least 6m clear of vegetation; (c) no cut or fill embankments or retaining walls adjacent to the 4m wide trafficable path; (d) a minimum of 4.8m vertical clearance; (e) turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines; (f) a maximum gradient of 12.5%; (g) a cross fall of no greater than 10 degrees; (h) drainage and erosion control devices in accordance with the standards prescribed 	<p>Not applicable to development application</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>in a planning scheme policy;</p> <ul style="list-style-type: none"> (i) vehicular access at each end which is connected to the public road network at intervals of no more than 500m; (j) designated fire trail signage; (k) if used, has gates locked with a system authorised by Queensland Fire and Emergency Services; and (l) if a fire trail, has an access easement that is granted in favour of Council and Queensland Fire and Emergency Services. 	
<p>PO7 Where reconfiguration is undertaken for other purposes, a formed, all weather fire trail is provided between the hazardous vegetation and either the lot boundary or building envelope, and is readily accessible at all times for the type of fire fighting vehicles servicing the area.</p> <p>However, a fire trail will not be required where it would not serve a practical fire management purpose.</p>	<p>A07 Lot boundaries are separated from hazardous vegetation by a public road or fire trail which has:</p> <ul style="list-style-type: none"> (a) a reserve or easement width of at least 20m; (b) a minimum trafficable (cleared and formed) width of 4m capable of accommodating a 15 tonne vehicle and which is at least 6m clear of vegetation; (c) no cut or fill embankments or retaining walls adjacent to the 4m wide trafficable path; (d) a minimum of 4.8m vertical clearance; (e) turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines; (f) a maximum gradient of 12.5%; (g) a cross fall of no greater than 10 degrees; (h) drainage and erosion control devices in accordance with the standards prescribed in a planning scheme policy; (i) vehicular access at each end which is connected to the public road network; 	<p>Not applicable to development application</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>(j) designated fire trail signage;</p> <p>(k) if used, has gates locked with a system authorised by Queensland Fire and Emergency Services; and</p> <p>if a fire trail, has an access easement that is granted in favour of Council and Queensland Fire and Emergency Services.</p>	
<p>PO8</p> <p>The development design responds to the potential threat of bushfire and establishes clear evacuation routes which demonstrate an acceptable or tolerable risk to people.</p>	<p>AO8</p> <p>The lot layout:</p> <ul style="list-style-type: none"> (a) minimises the length of the development perimeter exposed to, or adjoining hazardous vegetation; (b) avoids the creation of potential bottle-neck points in the movement network; (c) establishes direct access to a safe assembly /evacuation area in the event of an approaching bushfire; and (d) ensures roads likely to be used in the event of a fire are designed to minimise traffic congestion. <p>Note - For example, developments should avoid finger-like or hour-glass subdivision patterns or substantive vegetated corridors between lots.</p> <p>In order to demonstrate compliance with the performance outcome, a bushfire management plan prepared by a suitably qualified person may be required. The bushfire management plan should be developed in accordance with the Public Safety Business Agency (PSBA) guideline entitled "Undertaking a Bushfire Protection Plan.</p> <p>Advice from the Queensland Fire and Emergency Services (QFES) should be sought as appropriate</p>	<p>Not applicable to development application</p>
<p>PO9</p> <p>Critical infrastructure does not increase the potential bushfire hazard.</p>	<p>AO9</p> <p>Critical or potentially hazardous infrastructure such as water supply, electricity, gas and telecommunications are placed underground.</p>	<p>Not applicable to development application</p>

Performance outcomes	Acceptable outcomes	Applicant response
Development design and separation from bushfire hazard – material change of use		
<p>PO10 Development is located and designed to ensure proposed buildings or building envelopes achieve a radiant heat flux level at any point on the building or envelope respectively, of: (a) 10kW/m² where involving a vulnerable use; or (b) 29kW/m² otherwise.</p> <p>The radiant heat flux level is achieved by separation unless this is not practically achievable.</p> <p>Note - The radiant heat levels and separation distances are to be established in accordance with method 2 set out in AS3959-2009.</p>	<p>AO10 Buildings or building envelopes are separated from hazardous vegetation by a distance that: (a) achieves a radiant heat flux level of at any point on the building or envelope respectively, of 10kW/m² for a vulnerable use or 29kW/m² otherwise; and (b) is contained wholly within the development site.</p> <p>Note - Where a separation distance is proposed to be achieved by utilising existing cleared developed areas external to the site, certainty must be established (through tenure or other means) that the land will remain cleared of hazardous vegetation.</p> <p>For staged developments, temporary separation distances, perimeter roads or fire trails may be absorbed as part of subsequent stages.</p> <p>Note - The achievement of a cleared separation distance may not be achievable where other provisions within the planning scheme require protection of certain ecological, slope, visual or character features or functions.</p>	<p>Complies with AO10 Property is surrounded by rainforest vegetation which is considered non-hazardous.</p>
<p>PO11 A formed, all weather fire trail is provided between the hazardous vegetation and the site boundary or building envelope, and is readily accessible at all times for the type of fire fighting vehicles servicing the area.</p> <p>However, a fire trail will not be required where it would not serve a practical fire management purpose.</p> <p>Note - Fire trails are unlikely to be required where a</p>	<p>AO11 Development sites are separated from hazardous vegetation by a public road or fire trail which has: (a) a reserve or easement width of at least 20m; (b) a minimum trafficable (cleared and formed) width of 4m capable of accommodating a 15 tonne vehicle and which is at least 6m clear of vegetation; (c) no cut or fill embankments or retaining walls adjacent to the 4m wide trafficable path; (d) a minimum of 4.8m vertical clearance;</p>	<p>Complies with AO10 Property is surrounded by rainforest vegetation which is considered non-hazardous. Building work is separated from the mapped hazard area by a open road space</p>

Performance outcomes	Acceptable outcomes	Applicant response
development site involves less than 2.5ha	<ul style="list-style-type: none"> (e) turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines; (f) a maximum gradient of 12.5%; (g) a cross fall of no greater than 10 degrees; (h) drainage and erosion control devices in accordance with the standards prescribed in a planning scheme policy; (i) vehicular access at each end which is connected to the public road network which is connected to the public road network at intervals of no more than 500m; (j) designated fire trail signage; (k) if used, has gates locked with a system authorised by Queensland Fire and Emergency Services; and (l) if a fire trail, has an access easement that is granted in favour of Council and Queensland Fire and Emergency Services. 	
All development		
PO12 All premises are provided with vehicular access that enables safe evacuation for occupants and easy access by fire fighting appliances.	AO12 Private driveways: <ul style="list-style-type: none"> (a) do not exceed a length of 60m from the street to the building; (b) do not exceed a gradient of 12.5%; (c) have a minimum width of 3.5m; (d) have a minimum of 4.8m vertical clearance; (e) accommodate turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines; and (f) serve no more than 3 dwellings or buildings. 	Complies with AO12 Development is able to comply

Performance outcomes	Acceptable outcomes	Applicant response
PO13 Development outside reticulated water supply areas includes a dedicated static supply that is available solely for fire fighting purposes and can be accessed by fire fighting appliances.	AO13 A water tank is provided within 10m of each building (other than a class 10 building) which: <ul style="list-style-type: none"> (a) is either below ground level or of non- flammable construction; (b) has a take off connection at a level that allows the following dedicated, static water supply to be left available for access by fire fighters: <ul style="list-style-type: none"> (i) 10,000l for residential buildings Note – A minimum of 7,500l is required in a tank and the extra 2,500l may be in the form of accessible swimming pools or dams. <ul style="list-style-type: none"> (ii) 45,000l for industrial buildings; and (iii) 20,000l for other buildings; (c) includes shielding of tanks and pumps in accordance with the relevant standards; (d) includes a hardstand area allowing medium rigid vehicle (15 tonne fire appliance) access within 6m of the tank; (e) is provided with fire brigade tank fittings – 50mm ball valve and male camlock coupling and, if underground, an access hole of 200mm (minimum) to accommodate suction lines; and (f) is clearly identified by directional signage provided at the street frontage. 	Complies with AO13 Development is located within the reticulated water supply area.
PO14 Landscaping does not increase the potential bushfire risk.	AO14 Landscaping uses species that are less likely to exacerbate a bushfire event, and does not increase fuel loads within separation areas.	Complies with AO14 Landscaping is able to comply – if required
PO15 The risk of bushfire and the need to mitigate that risk is balanced against other factors (such as but	AO15 Bushfire risk mitigation treatments do not have a significant impact on the natural environment or	Complies with AO1.5 No changes to mitigation treatments are proposed

Performance outcomes	Acceptable outcomes	Applicant response
not limited to, biodiversity or scenic amenity).	landscape character of the locality where this has value.	

8.2.5 Hillslopes overlay code

8.2.5.1 Criteria for assessment

Table 8.2.5.3.a – Hillslopes overlay code –assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable and assessable development		
PO1 The landscape character and visual amenity quality of hillslopes areas is retained to protect the scenic backdrop to the region.	AO1.1 Development is located on parts of the site that are not within the Hillslopes constraint sub- category as shown on the Hillslopes overlay Maps contained in schedule 2.	<p>Does not comply with AO1.1 Development within the Hillslopes overlay</p> <p>Complies with PO1 Development will be positioned on the downward slope from the road and when viewed from public places, the dwelling will have the presence of a single storey building. Proposed external colours have been selected to blend with the natural backdrop – see attached for proposed colour scheme</p>
For assessable development		
PO2 The landscape character and visual amenity quality of hillslopes areas is retained to protect the scenic backdrop to the region.	AO2.1 Development does not occur on land with a gradient in excess of 1 in 6 (16.6%) or AO2.2 Where development on land steeper than 1 in 6 (16.6%) cannot be avoided, development follows the natural contours of the site. AO2.3 Access ways and driveways are: (a) constructed with surface materials that blend with the surrounding environment; (b) landscaped with dense planting to	<p>Complies with AO2.1 Dwelling will be steeped to the existing land contours and is not located within the potential landslip area. Development will utilize the existing building pad</p> <p>Complies with AO2.3 Access driveway is able to comply</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>minimise the visual impact of the construction;</p> <p>(c) provided with erosion control measures immediately after construction.</p> <p>AO2.4 The clearing or disturbance of vegetation is limited to clearing and disturbance that:</p> <p>(a) is necessary for the construction of driveways;</p> <p>(b) is necessary to contain the proposed development;</p> <p>(c) minimises canopy clearing or disturbance;</p> <p>(d) minimises riparian clearing or disturbance.</p> <p>AO2.5 On land with slopes greater than 1 in 6 (16.6%) or greater, alternative construction methods to concrete slab on ground are utilised (i.e. split level or post and beam constructed buildings that minimise modification to the natural terrain of the land).</p> <p>AO2.6 Development does not alter the sky line.</p> <p>AO2.7 Buildings and structures:</p> <p>(a) are finished predominantly in the following exterior colours or surfaces:</p> <p>(i) moderately dark to darker shades of olive green, brown, green, blue, or charcoal; or</p> <p>(ii) moderately dark to darker wood stains that blend with the colour and hues of the surrounding vegetation and</p>	<p>AO2.4 – Not applicable to development application</p> <p>Complies with AO2.5 Development will utilize a split level design to minimize earthworks. Development will utilize the existing building pad and has been designed to step with the natural land contours</p> <p>Complies with AO2.6 Development complies</p> <p>Complies with AO2.7 Proposed external colour scheme has been selected to blend with the natural backdrop.</p> <p>Colourbond Windspray – Roofs, gutters and fascias Dulux Shale Grey – External Walls Dulux Ironstone – Garage door (see attached)</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>landscape;</p> <p>(b) are not finished in the following exterior colours or surfaces:</p> <p>(i) pastel or terracotta colours, reds, yellows, shades of white or beige, or other bright colours that do not blend with the surrounding vegetation and landscape;</p> <p>(ii) reflective surfaces.</p> <p>AO2.8 Exterior colour schemes limit the use of white or other light colours to exterior trim and highlighting of architectural features</p> <p>AO2.9 Areas between the first floor (including outdoor deck areas) and ground level are screened from view.</p> <p>AO2.10 Recreational or ornamental features (including tennis courts, ponds or swimming pools) do not occur on land:</p> <p>(a) with a gradient of 1 in 6 (16.6%) or more;</p> <p>(b) are designed to be sited and respond to the natural constraints of the land and require minimal earthworks.</p>	<p>Complies with AO2.8 Exterior colours are considered to comply</p> <p>Complies with AO2.9 Development complies</p> <p>AO2.10 – Not applicable to development application</p>
<p>PO3 Excavation or filling does not have an adverse impact on the amenity, safety, stability or function</p>	<p>AO3 Excavation or fill:</p> <p>(a) is not more than 1.2 metres in height for</p>	<p>Complies with AO3 Development does no involve retaining or excavation, outside the building footprint</p>

[illegible]

Performance outcomes	Acceptable outcomes	Applicant response
	<p>Development does not alter ridgelines.</p> <p>AO4.4 Lots are designed to ensure rooflines of future buildings and structures do not protrude above a ridgeline.</p>	<p>Not applicable to development application</p>

8.2.10 Transport network overlay code

8.2.10.1 Criteria for assessment

Table 8.2.10.3.a – Transport network overlay code – assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For assessable development		
PO1 Development supports the road hierarchy for the region. Note -A Traffic impact assessment report prepared in accordance with Planning scheme policy SC6.10 - Parking and access is one way to demonstrate achievement of the Performance Outcomes.	AO1.1 Development is compatible with the intended role and function of the transport network as identified on the Transport network overlay maps contained in Schedule 2. AO1.2 Development does not compromise the safety and efficiency of the transport network. AO1.3 Development is designed to provide access via the lowest order road, where legal and practicable access can be provided to that road.	Complies with AO1.1 Development complies Complies with AO1.2 Development complies Complies with AO1.3 Development complies
PO2 Transport infrastructure is provided in an integrated and timely manner. Note - A Traffic impact assessment report prepared in accordance with Planning scheme policy SC6.10 - Parking and access is one way to demonstrate achievement of the Performance Outcomes.	AO2 Development provides infrastructure (including improvements to existing infrastructure) in accordance with: (e) the Transport network overlay maps contained in Schedule 2; (a) any relevant Local Plan. Note – The Translink Public Transport Infrastructure Manual provides guidance on the design of public transport facilities.	Not applicable to development
PO3 Development involving sensitive land uses within a major transport corridor buffer area is located, designed and maintained to avoid or mitigate	AO3 No acceptable outcomes are prescribed. Note – Part 4.4 of the Queensland Development Code	Not applicable to development

Performance outcomes	Acceptable outcomes	Applicant response
adverse impacts on amenity for the sensitive land use.	provides requirements for residential building design in a designated transport noise corridor.	
<p>PO4 Development does not compromise the intended role and function or safety and efficiency of major transport corridors.</p> <p>Note - A Traffic impact assessment report prepared in accordance with Planning scheme policy SC6.10 - Parking and access is one way to demonstrate achievement of the Performance Outcomes.</p>	<p>AO4.1 Development is compatible with the role and function (including the future role and function) of major transport corridors.</p> <p>AO4.2 Direct access is not provided to a major transport corridor where legal and practical access from another road is available.</p> <p>AO4.3 Intersection and access points associated with major transport corridors are located in accordance with: (a) the Transport network overlay maps contained in Schedule 2; and (b) any relevant Local Plan.</p> <p>AO4.4 The layout of development and the design of the associated access is compatible with existing and future boundaries of the major transport corridor or major transport facility.</p>	<p>Complies with AO4.1 Development is able to comply</p> <p>AO4.2 - Not applicable to development</p> <p>AO4.3 - Not applicable to development</p> <p>AO4.4 - Not applicable to development</p>
<p>PO5 Development retains and enhances existing vegetation between a development and a major transport corridor, so as to provide screening to potential noise, dust, odour and visual impacts emanating from the corridor.</p>	<p>AO5 No acceptable outcomes are prescribed</p>	<p>AO4.4 - Not applicable to development</p>

Performance outcomes	Acceptable outcomes	Applicant response
Pedestrian and cycle network		
PO6 Lot reconfiguration assists in the implementation of the pedestrian and cycle movement network to achieve safe, attractive and efficient pedestrian and cycle networks.	AO6.1 Where a lot is subject to, or adjacent to an element of the pedestrian and cycle Movement network (identified on the Transport network overlay maps contained in Schedule 2) the specific location of this element of the pedestrian and cycle network is incorporated in the design of the lot layout. AO6.2 The element of the pedestrian and cycle network is constructed in accordance with the Design Guidelines set out in Sections D4 and D5 of the Planning scheme policy SC6.5 – FNQROC Regional Development Manual.	Complies with AO6.1 Development is able to comply – if required Complies with AO6.2 Development is able to comply – if required

137-147 (Lot 33) Somerset Drive, Miallo

External Colour scheme

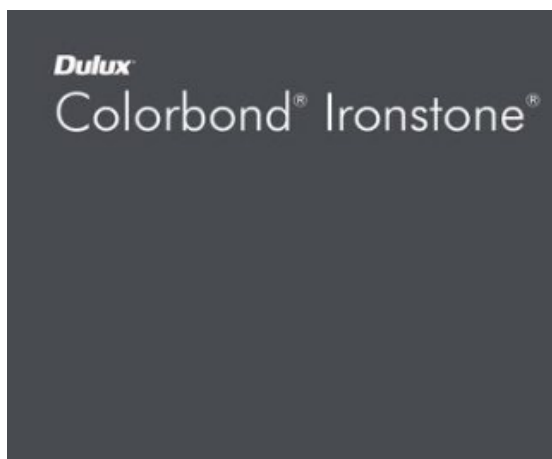
Colourbond Windspray – Roofs, gutters and fascias



Dulux Shale Grey – External Walls



Dulux Ironstone – Garage door



PROPOSED RESIDENCE

for:

TAYLOR

at:

LOT 33 SOMERSET DRIVE, MIALLO

FAR NORTH QUEENSLAND

DRAWING SCHEDULE

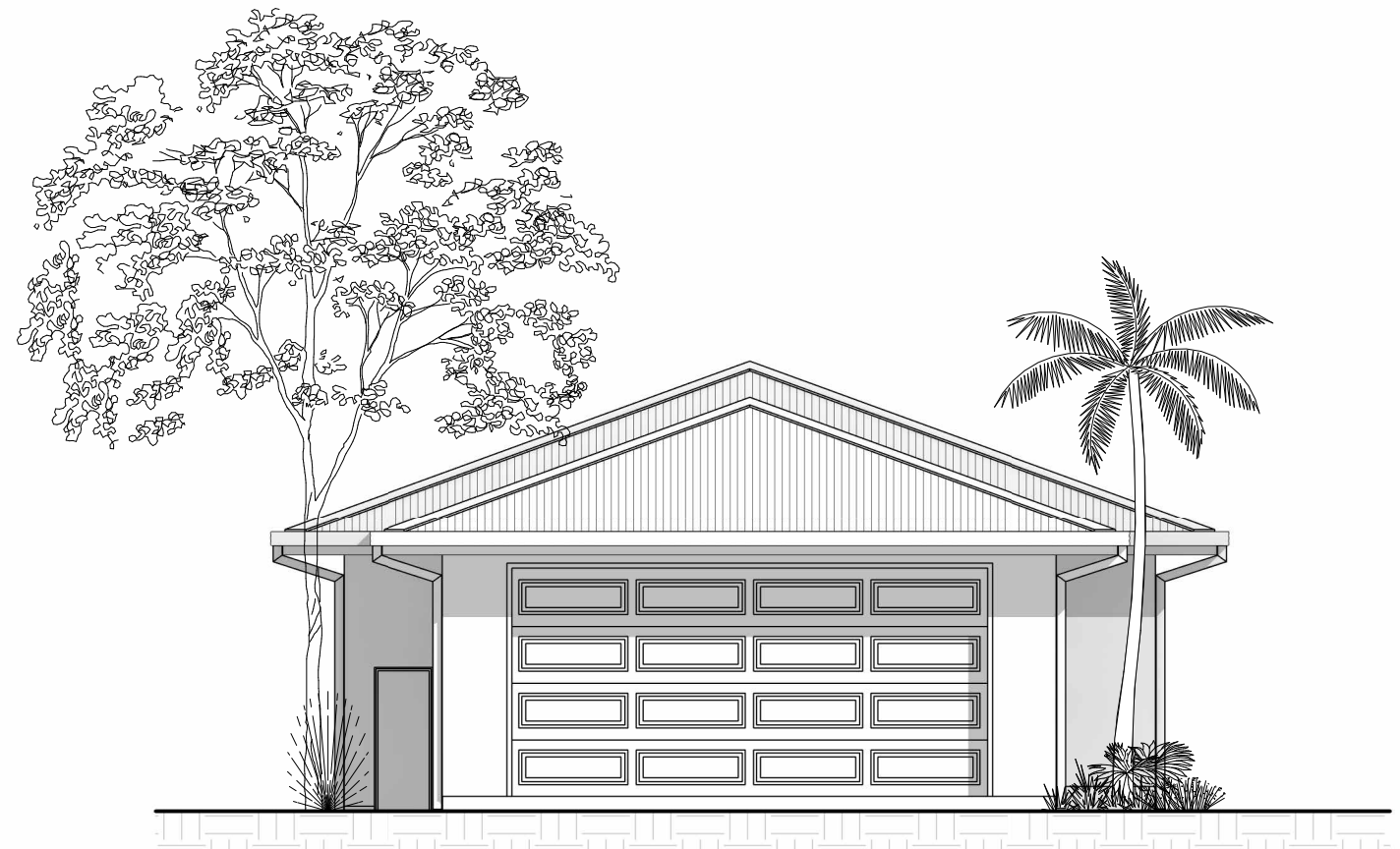
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- 2 DRAINAGE PLAN
- 3 FIRST FLOOR PLAN
- 4 GROUND FLOOR PLAN
- 5 ELEVATIONS
- 6 GROUND FLOOR
FOOTINGS/SLAB PLAN
- 7 SUSPENDED SLAB PLAN
- 8 FOOTINGS & LINTEL DETAILS
- 9 RETAINING WALL DETAILS
- 10 SUSPENDED SLAB DETAILS
- 11 CROSS SECTION
- 12 TIE-DOWN DETAILS
- 13 LIGHTING & FANS PLAN
- 14 MISC. & POWER PLAN

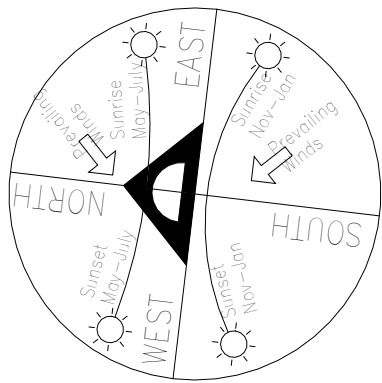
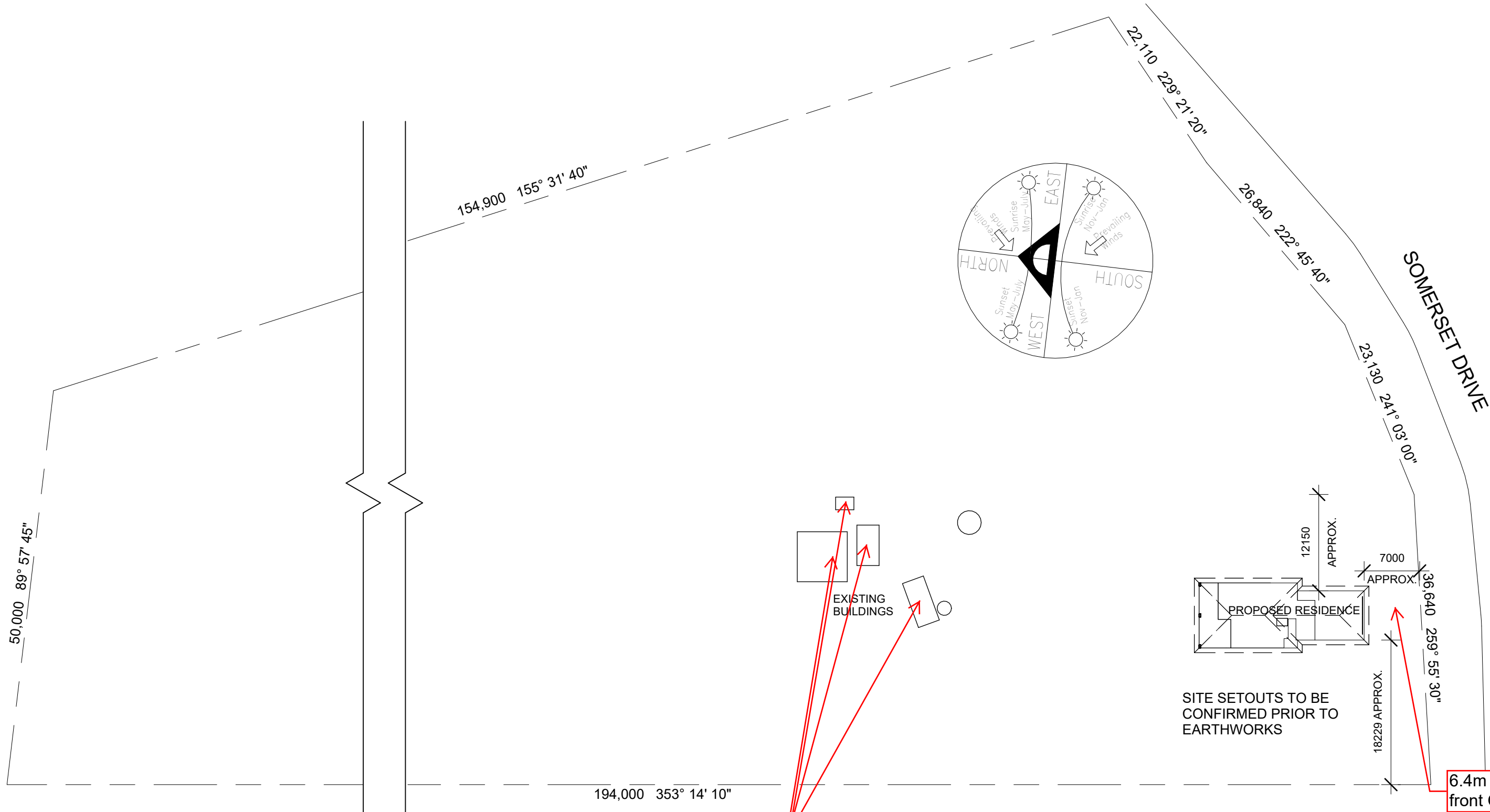


Affinity Designer Homes Pty Ltd
PO Box 205
Bungalow Q 4870
QBCC 71474
ABN 96 066 299 198

C.M.G. CONSULTING
ENGINEERS PTY. LTD.

208 BUCHAN ST.
CAIRNS QLD. 4870
PH. (07) 4031 2775
FAX. (07) 4051 9013





Existing sheds and ancillary no-habitable buildings

- EARTHWORKS:**
- ALL EARTHWORKS TO COMPLY WITH A.S.3798 GUIDELINES ON EARTHWORKS FOR COMMERCIAL & RESIDENTIAL DEVELOPMENTS.
 - DRAIN ALL SURFACE WATER AWAY FROM RESIDENCE DURING & AFTER CONSTRUCTION TO COMPLY WITH A.S.2870.1 RESIDENTIAL SLABS & FOOTINGS.
 - DIRECT ALL SURFACE WATER AWAY FROM ADJOINING BOUNDARIES & NEW BUILDING.
 - REVEGETATE ALL BATTERS BY OWNERS AGENT ON COMPLETION OF SITE WORKS. CUT BATTER AT 1:1 MAX. FILL BATTER AT 1:2.

REAL PROPERTY DESCRIPTION
LOT 33
RP.849655
PARISH OF WHYANBEE
COUNTY OF SOLANDER
1.367ham2



Affinity Designer Homes
 PO Box 205
 Bungalow Q 4870
 QBCC 71474
 ABN 96 066 299 198

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION: C2

L. J. J. J. DATE: 23/03/2022

C.M.G. CONSULTING ENGINEERS PTY. LTD.

208 BUCHAN ST.
 CAIRNS QLD. 4870
 PH. (07) 4031 2775
 FAX. (07) 4051 9013

CLIENT:-
TAYLOR

PROJECT:-
PROPOSED RESIDENCE:
LOT 33 SOMERSET DRIVE, MIALLO

DATE:- FEB. 2022

PROJECT No:319

SITE/ EARTHWORKS PLAN

SCALE: 1 : 500 AT A3

SHEET No: 1 - 14

18/03/2022 2:12:03 PM

WALL NOTES

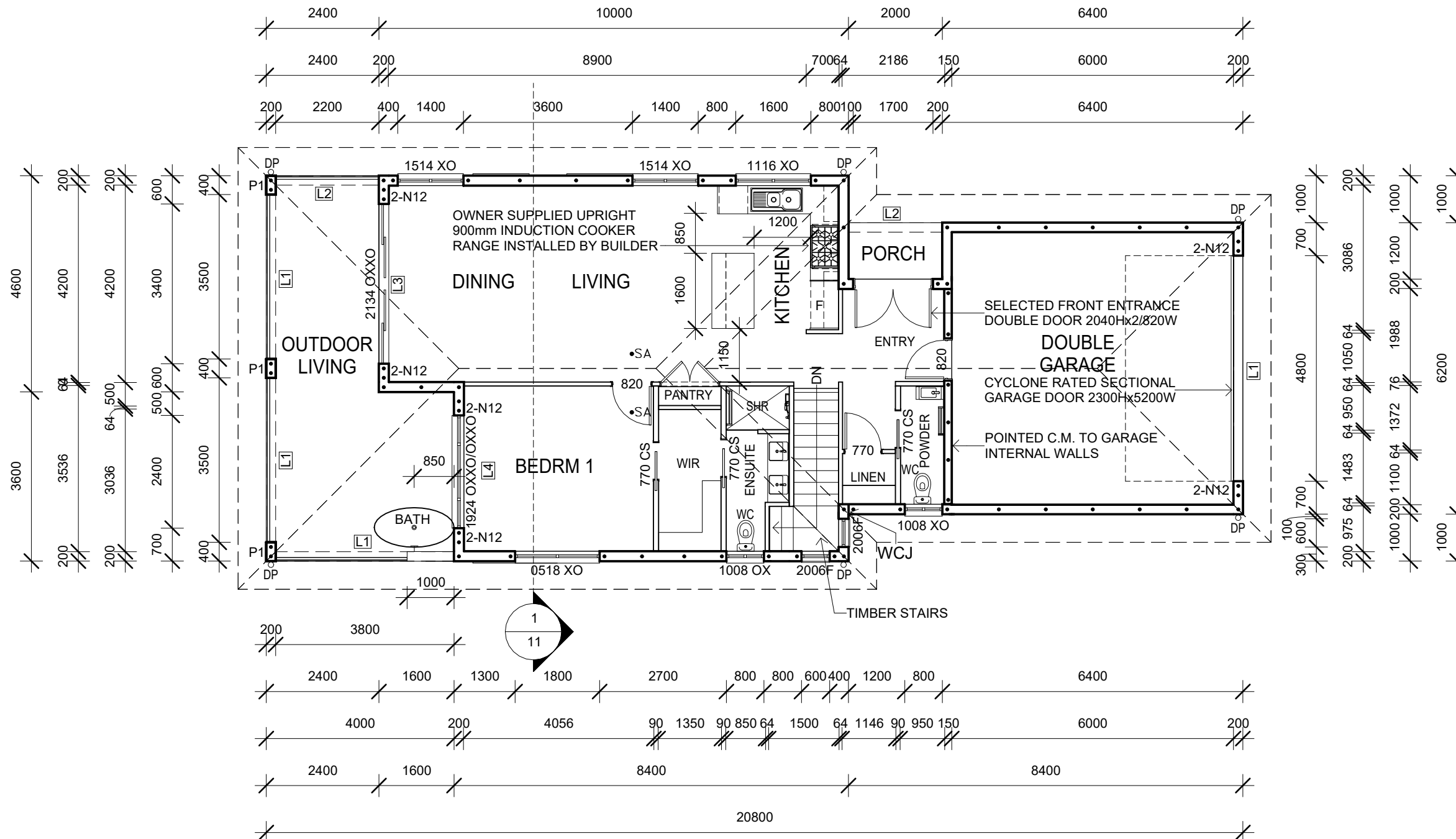
EXTERNAL

- SERIES 200 CONCRETE MASONRY BLOCKWORK
- 'MODIFIED CEMENT' RENDER - PAINT FINISH

INTERNAL

- PROPRIETARY BRAND 64mm STEEL FRAMING GENERALLY
- STUDS AT 450mm CRS
- PLASTERBOARD SHEETING TO BOTH SIDES GENERALLY U.N.O.
- 6mm THICK VILLABOARD TO SHOWER WALLS & WATER RESISTANT PLASTERBOARD TO OTHER WET AREAS
- FINISH AS SPECIFIED IN BUILDING CONTRACT

P1 - 400x200 C.M. COLUMN REINF. BY 2-N16 BARS & CONC. FILLED.

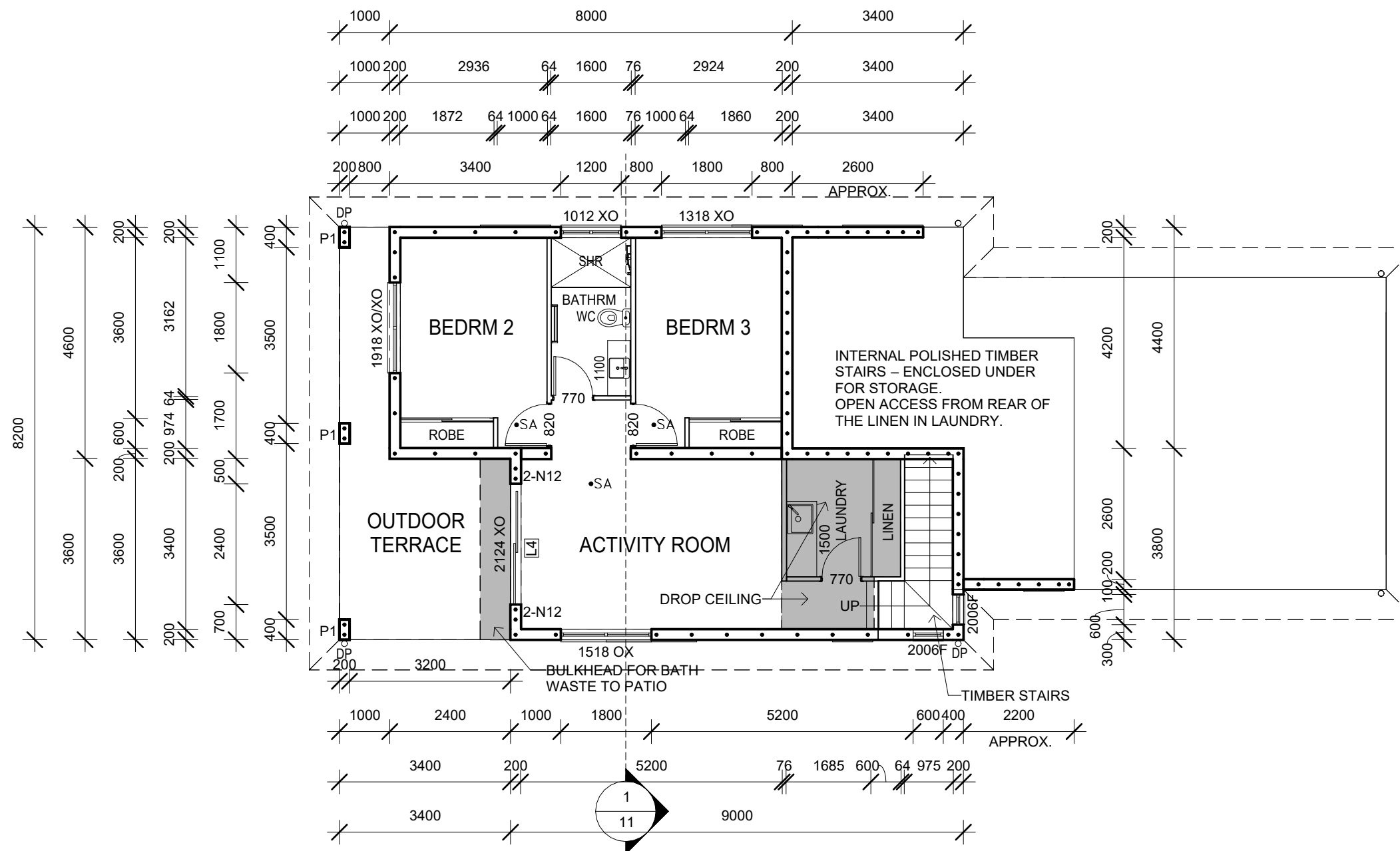


- S.A. (SMOKE ALARM)

ALL SMOKE ALARMS ARE TO BE PHOTOELECTRIC, INTERCONNECTED & HARD WIRED.

LOCATION OF ALARMS ARE INDICATIVE ONLY AND ARE TO COMPLY WITH RELEVANT AUSTRALIAN STANDARDS (AS 3786-2014)

- VERIFY ALL DIMENSIONS & LEVELS BEFORE COMMENCING ANY WORK.
- FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED MEASUREMENTS.
- ALL WORK TO COMPLY WITH LOCAL AUTHORITY REQUIREMENTS, STANDARD BUILDING BY-LAWS, THE BUILDING CODE OF AUSTRALIA & RELEVANT AUSTRALIAN STANDARDS



WALL NOTES

EXTERNAL

- SERIES 200 CONCRETE MASONRY BLOCKWORK
- 'MODIFIED CEMENT' RENDER - PAINT FINISH

INTERNAL

- PROPRIETARY BRAND 64mm STEEL FRAMING GENERALLY
- STUDS AT 450mm CRS
- PLASTERBOARD SHEETING TO BOTH SIDES GENERALLY U.N.O.
- 6mm THICK VILLABOARD TO SHOWER WALLS & WATER RESISTANT PLASTERBOARD TO OTHER WET AREAS
- FINISH AS SPECIFIED IN BUILDING CONTRACT

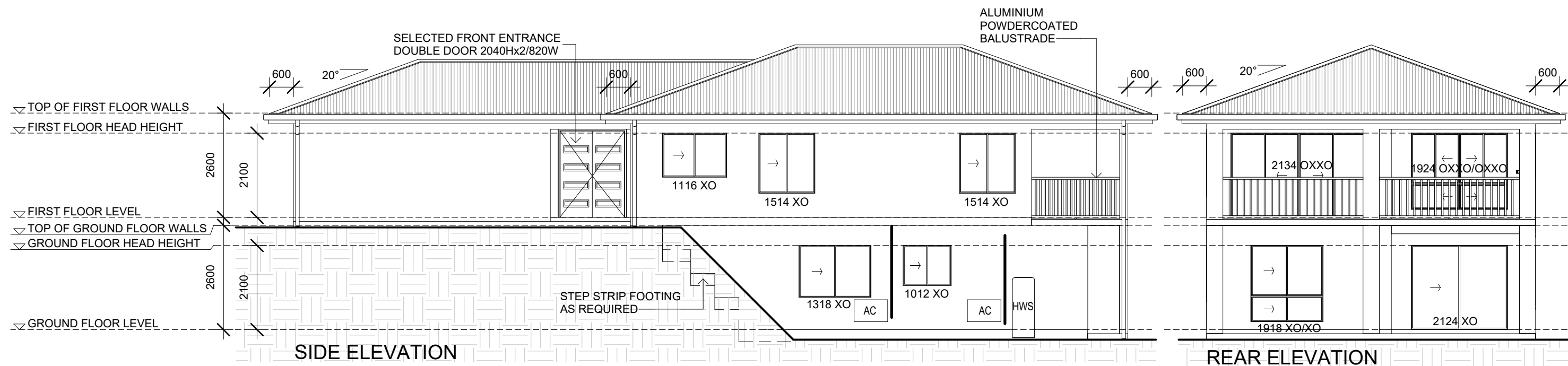
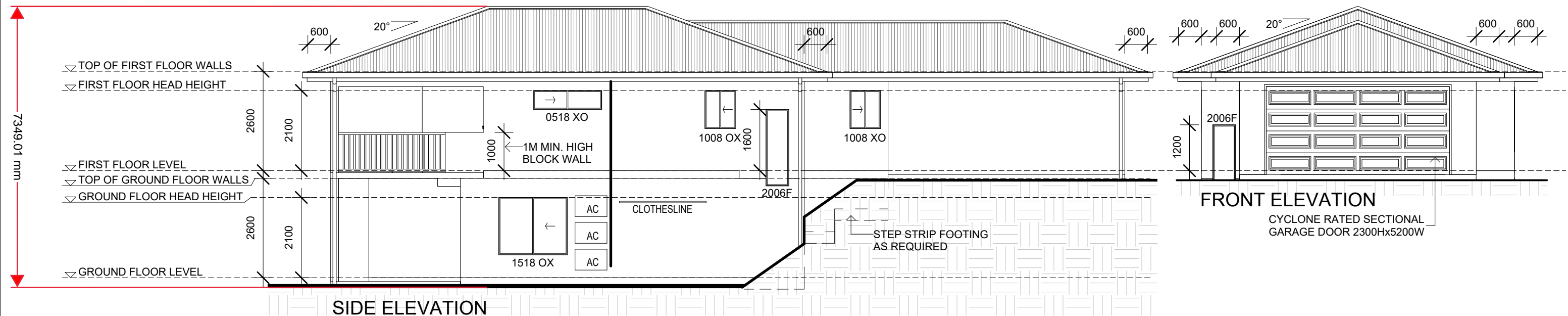
P1 - 400x200 C.M. COLUMN REINF. BY 2-N16 BARS & CONC. FILLED.

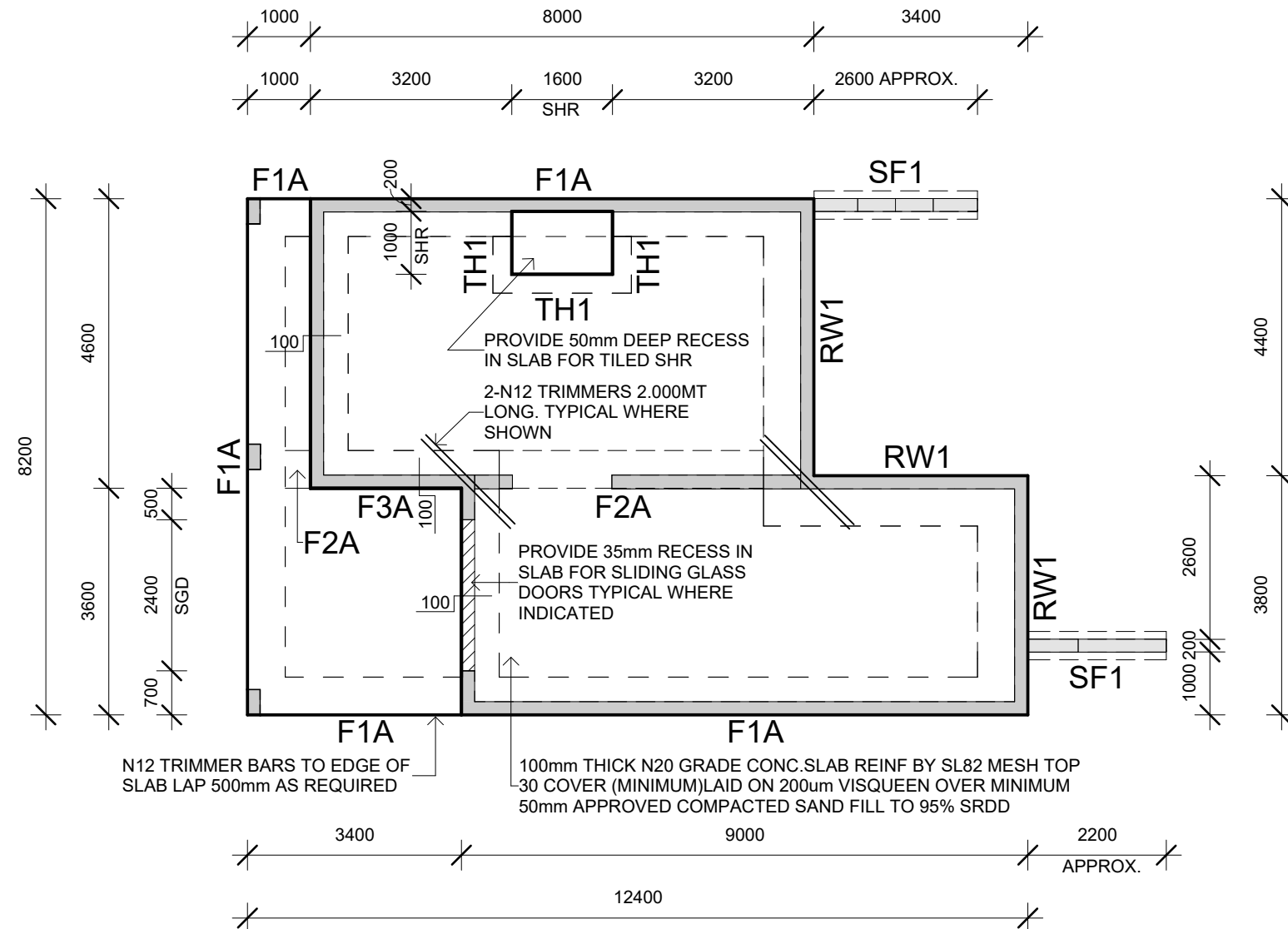
- S.A. (SMOKE ALARM)

ALL SMOKE ALARMS ARE TO BE PHOTOELECTRIC, INTERCONNECTED & HARD WIRED.

LOCATION OF ALARMS ARE INDICATIVE ONLY AND ARE TO COMPLY WITH RELEVANT AUSTRALIAN STANDARDS (AS 3786-2014)

- VERIFY ALL DIMENSIONS & LEVELS BEFORE COMMENCING ANY WORK.
- FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED MEASUREMENTS.
- ALL WORK TO COMPLY WITH LOCAL AUTHORITY REQUIREMENTS, STANDARD BUILDING BY-LAWS, THE BUILDING CODE OF AUSTRALIA & RELEVANT AUSTRALIAN STANDARDS





CLASS 'P' SITE CLASSIFICATION IN ACCORDANCE WITH:
'EARTH TEST' JOB NO: SI 667-21Report

FOOTING & SLAB NOTES

- FOOTINGS HAVE BEEN DESIGNED FOR A MINIMUM ALLOWABLE BEARING PRESSURE OF 100kPA & CLASS 'P' SITE CLASSIFICATION ACCORDING TO A.S. 2870
- BUILDER TO VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION
- NATURAL FOUNDATIONS TO BE GRUBBED OUT & FREE FROM ORGANIC MATTER & DEBRIS & COMPACTED TO A MIN. 95% SRDD AT -5% TO +2% OF OPTIMUM MOISTURE CONTENT OR NOT LESS THAN 70% DENSITY INDEX FOR COHESIONLESS SOILS. FILL TO SLAB & FOUNDATIONS SHALL BE APPROVED NON-PLASTIC MATERIAL COMPACTED IN MAX 150mm LAYERS TO 95% SRDD AT -5% TO +2% OF OPTIMUM MOISTURE CONTENT OR NOT LESS THAN 70% INDEX FOR COHESIONLESS SOILS.
- FOOTING TRENCHES SHALL BE CLEAN & DRY AT THE TIME OF CASTING WITH ANY SOFTENED MATERIAL REMOVED. BASE OF FOOTING TO BE FOUNDED ON FIRM NATURAL GROUND WITH MINIMUM SAFE BEARING CAPACITY OF 100kPA.
- REMOVE GRASS & TOPSOIL CONTAINING ROOTS FROM SLAB SITE PROVIDE COMPACTED SAND BEDDING UNDER SLAB
- PROVIDE 0.2mm POLYTHENE MOISTURE BARRIER UNDER SLAB & FOOTINGS
- CONCRETE TO SLAB & FOOTINGS TO BE N20, 80mm SLUMP, 20mm AGGREGATE.
- VIBRATE ALL CONCRETE, CURE SLAB 7 DAYS MINIMUM.
- CONCRETE COVER TO BE MAINTAINED BY THE USE OF APPROVED CHAIRS SPACED AT APPROX 750mm CRS. CONDUITS & PIPES SHALL NOT BE PLACED WITHIN COVER CONCRETE.
- LAPS SHALL BE-N12-450mm, N16-600mm, FABRIC-1 COMPLETE MESH OVERLAP BETWEEN SHEETS.
- CAST-IN ITEMS SHALL BE HOT DIPPED GALVANISED.
- FOOTINGS SHALL NOT BE LOCATED CLOSER TO THE NEAREST EDGE OF A STORMWATER/SEWER TRENCH THAN THE DEPTH OF THE TRENCH.
- SITE AREA TO BE GRADED TO READILY REMOVE SURFACE WATER & PREVENT PONDING ADJACENT TO FOUNDATIONS & DRIVEWAY
- EXECUTION & CONTROL TESTING OF EARTHWORKS & ASSOCIATED SITE PREPARATION WORKS SHALL COMPLY WITH A.S. 3798



Affinity Designer Homes
PO Box 205
Bungalow Q 4870
QBCC 71474
ABN 96 066 299 198

WE HEREBY CERTIFY THE STRUCTURAL DETAILS
AS SHOWN ON THESE DRAWINGS FOR
CONSTRUCTION IN WIND CLASSIFICATION: C2

L. J. J. J.

DATE: 23/03/2022

C.M.G. CONSULTING
ENGINEERS PTY. LTD.

208 BUCHAN ST.
CAIRNS QLD. 4870
PH. (07) 4031 2775
FAX. (07) 4051 9013

CLIENT:-
TAYLOR

PROJECT:-
PROPOSED RESIDENCE:
LOT 33 SOMERSET DRIVE, MIALLO

DATE:- FEB. 2022

PROJECT No:319

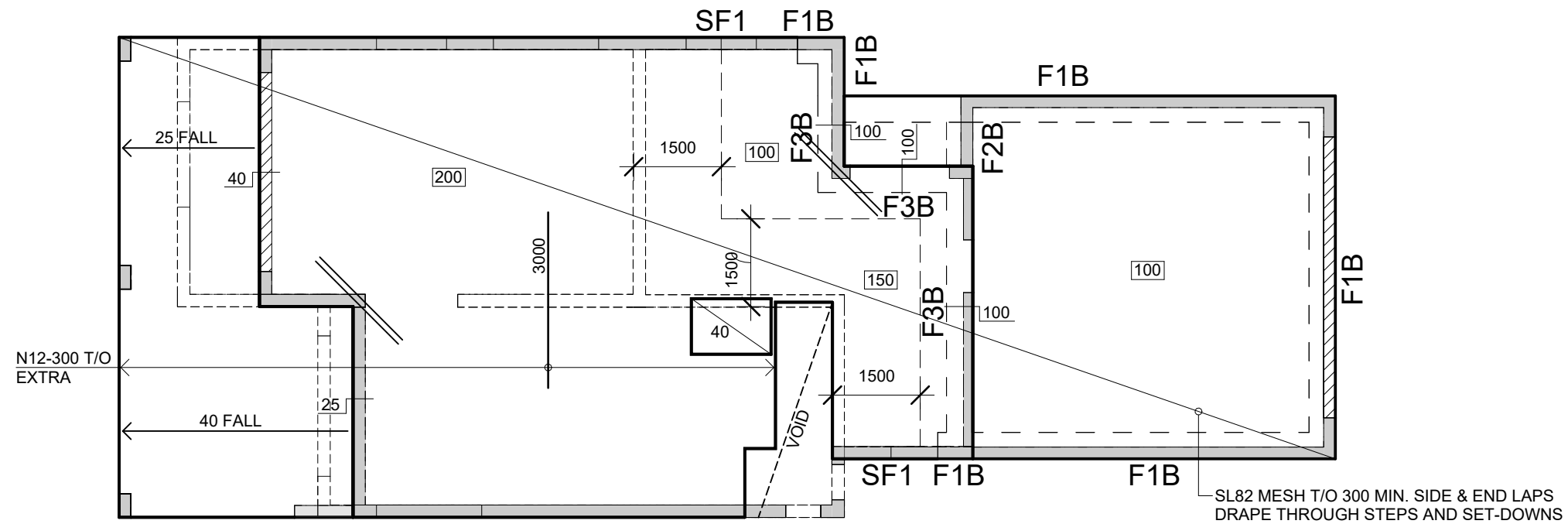
GROUND FLOOR
FOOTINGS/SLAB PLAN

SCALE: 1 : 100 AT A3

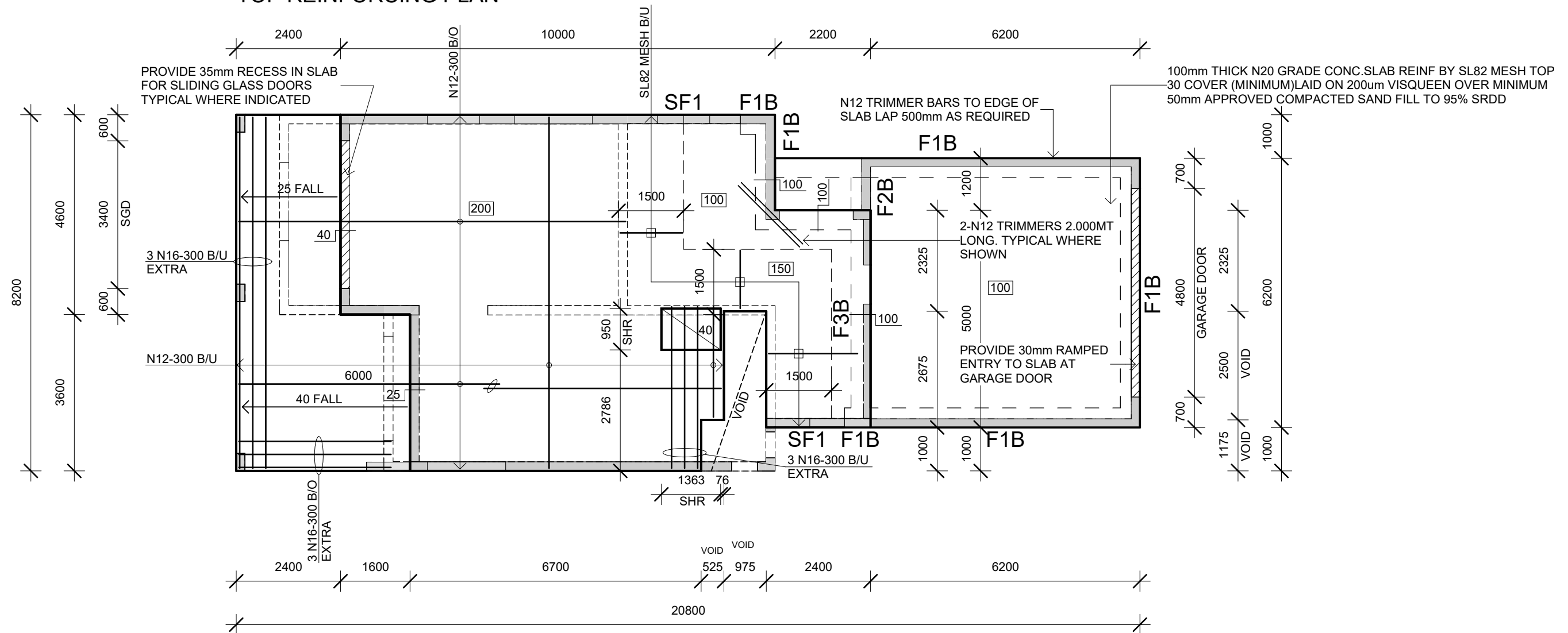
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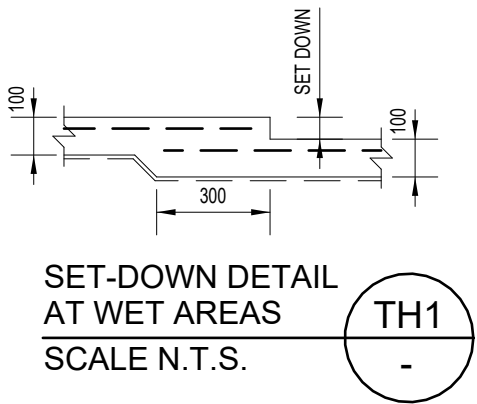
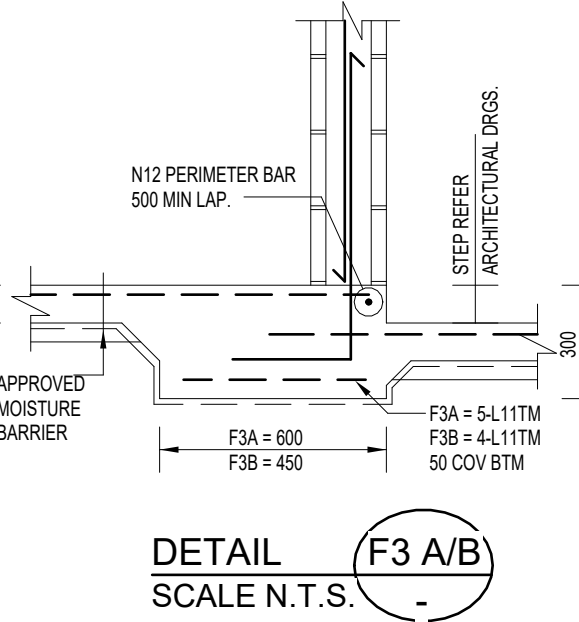
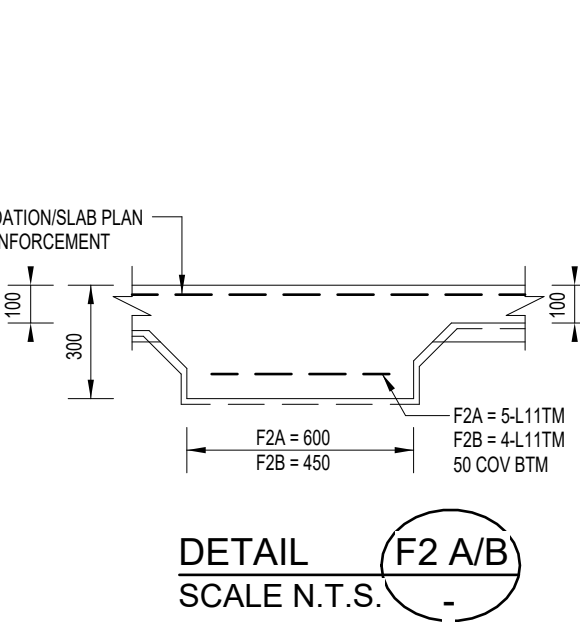
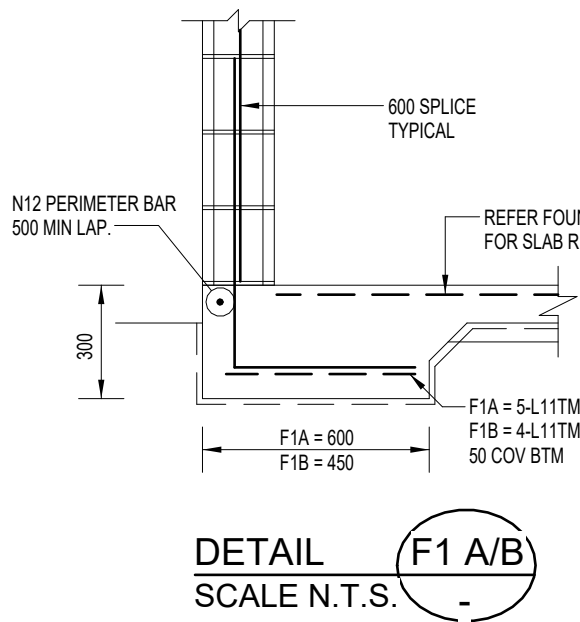
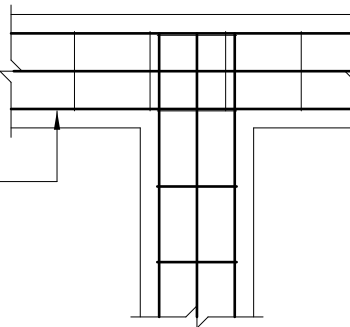
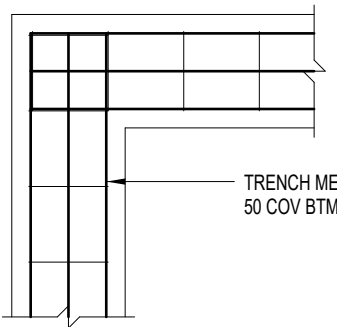
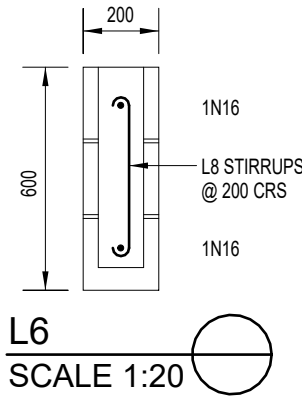
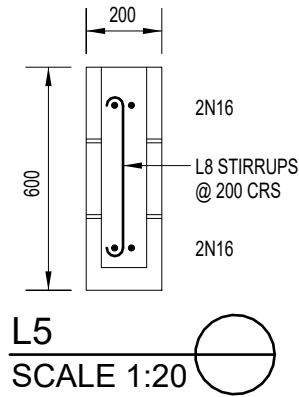
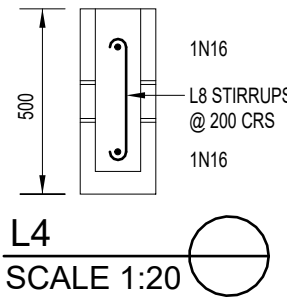
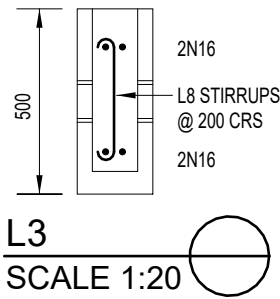
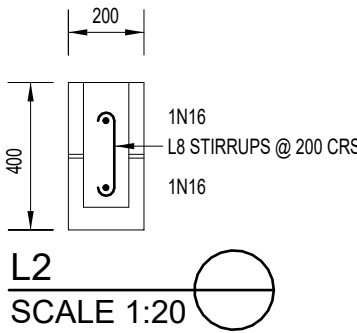
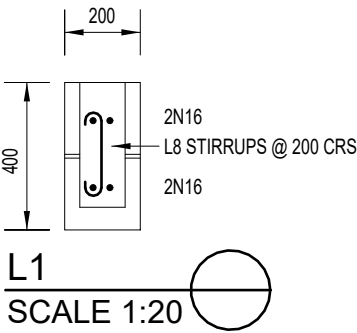
TOP REINFORCING PLAN



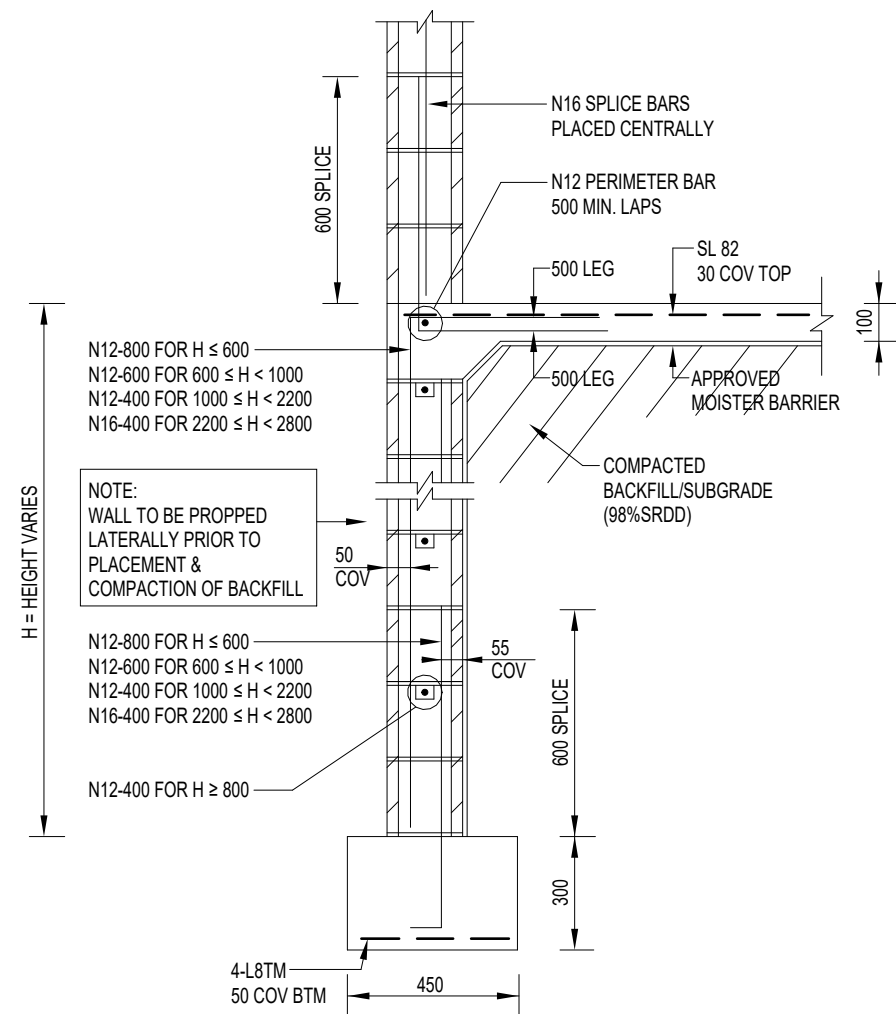
BOTTOM REINFORCING PLAN

C.M.B. WALL REINFORCEMENT NOTES

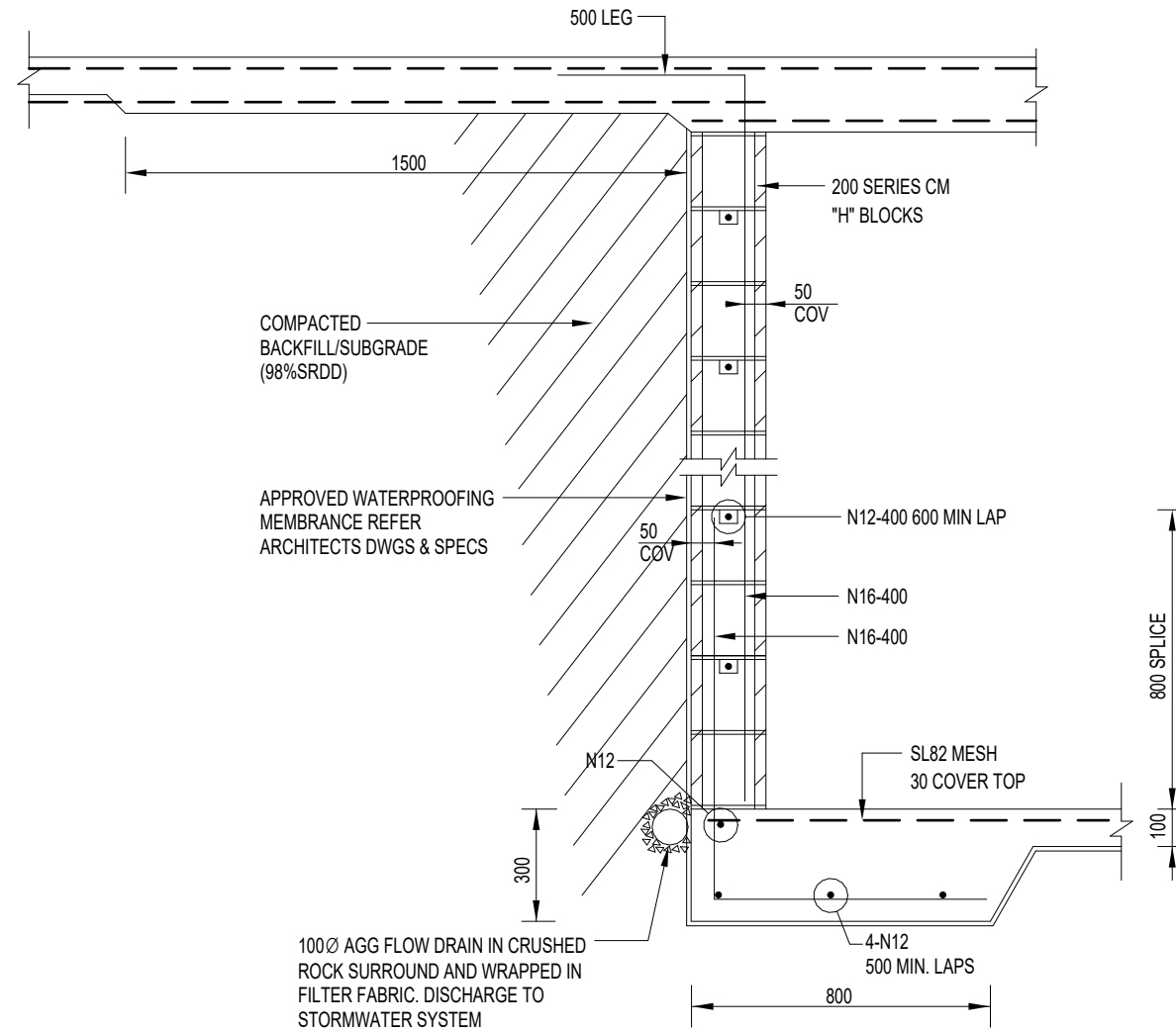
- 1.PROVIDE DOUBLE COURSE BOND BEAM AT UNDER SIDE OF ROOF. REINF. WITH 2N12 OR 1N16 BAR EACH COURSE 500 MIN. LAPS.
- 2.PROVIDE SINGLE COURSE BOND BEAM IMMEDIATELY BELOW ALL WINDOW OPENINGS. REINF. WITH 1N12. EXTEND BOND BEAM 200 PAST EACH SIDE OF OPENING.
- 3.U.N.O. ON PLAN ALL LINTELS TO BE REINF WITH 2N12 OR 1N16 BAR WITH L8 TIE BARS AT 1000 CRS. MAX.
- 4.U.N.O. ON PLAN ALL 200 C.M.B. & 150 C.M.B. WALLS TO BE REINF. WITH N12 VERTICAL BARS AT ENDS, CORNERS, INTERSECTIONS, AT EACH SIDE OF OPENINGS AND AT 1200 MAX. CENTRES BETWEEN.
- 5.PROVIDE ADDITIONAL N12 VERTICAL BARS TO CORES ADJACENT TO OPENINGS GREATER THAN 1800 WIDE.
- 6.UNLESS NOTED OTHERWISE CONCRETE FILL ALL CORES CONTAINING REINFORCEMENT, HOLDING DOWN BOLTS AND MASONRY ANCHORS.
- 7.100 SERIES BLOCKWORK WALLS TIED TO EXTERNAL WALLS WITH APPROVED MASONRY MESH EVERY 2nd COURSE
- 8.W.C.J. DENOTES WALL CONTROL JOINT U.N.O. TO BE REINFORCED WITH 1N12 VERTICAL EACH SIDE OF JOINT. EXTEND BOND BEAM REINFORCEMENT THROUGH JOINT FILL JOINT WITH COMPRESSIBLE BACKING ROD AND APPROVED SEALANT BOTH SIDES TO ARCHITECTS SPECIFICATION.



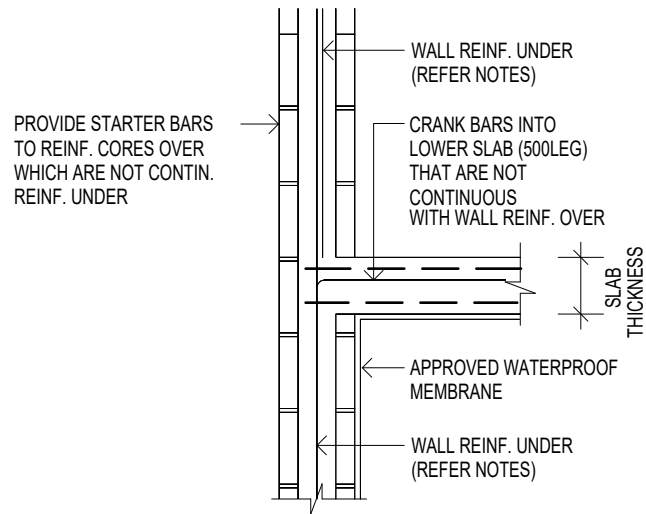
SEE SHEET 9 FOR STRIP FOOTING DETAILS



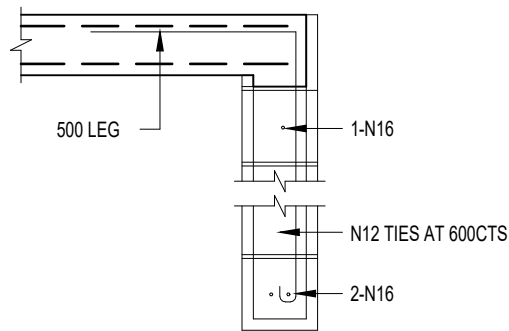
RETAINING SF1
SCALE N.T.S.



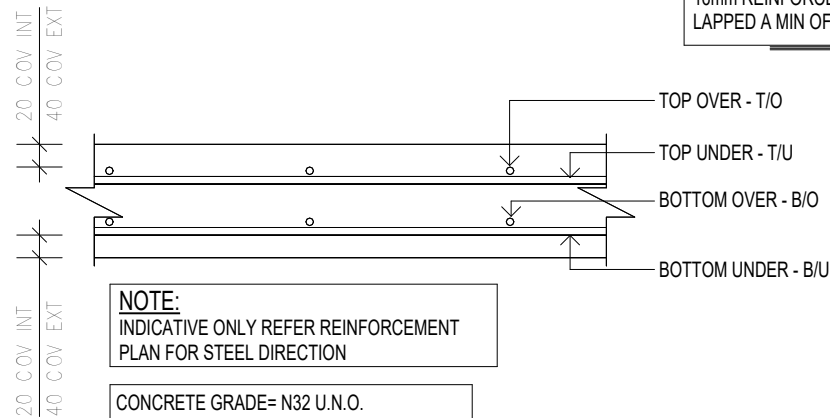
RETAINING RW1
SCALE N.T.S.



SECTION
SCALE 1:20
2 STOREY SLAB DETAIL



TYPICAL LINTEL
DETAIL AT SUSPENDED SLAB
SCALE 1:20



GENERAL PLACEMENT DIAGRAM
NOT TO SCALE

SUSPENDED SLAB NOTES

N32 CONCRETE UNO
D 500 N REINFORCING BARS

- REFER TO SUSPENDED SLAB PLAN FOR SLAB THICKNESS
- N32 CONCRETE, 80mm SLUMP 20mm MAX AGGREGATE 20mm COVER
- VIBRATE ALL CONCRETE. CURE SLAB 14 DAYS MIN.
- REINFORCEMENT IS REPRESENTED DIAGRAMMATIC & NOT NECESSARILY IN TRUE PROJECTION
- STACKING OF MATERIALS IS PERMISSIBLE AFTER 14 DAYS. MAGNITUDE OF STACKED MATERIAL IS LIMITED TO 1.5kPa WTH BACK PROPS UNDER
- REMOVAL OF PROPS IS PERMISSIBLE AFTER 28 DAYS

NOTE:
TOP OF ALL LOADBEARING
CONCRETE MASONRY WALLS,
PIERS AND COLUMNS NOT TO
ENCROACH INTO SOFFIT OF SLAB

NOTE:
ALL 12mm REINFORCEMENT BAR TO
BE LAPPED A MIN OF 600mm. ALL
16mm REINFORCEMENT BAR TO BE
LAPPED A MIN OF 750mm.

NOTE:
INDICATIVE ONLY REFER REINFORCEMENT
PLAN FOR STEEL DIRECTION

CONCRETE GRADE= N32 U.N.O.

C.M.B. WALL REINFORCEMENT NOTES

GROUND TO FIRST FLOOR - LOAD BEARING C.M.B.

1. PROVIDE SINGLE COURSE BOND BEAM IMMEDIATELY BELOW FIRST FLOOR LEVEL SLAB. REINF. WITH 2N12 OR 1N16 BAR 500 MIN. LAP.
2. PROVIDE SINGLE COURSE BOND BEAM IMMEDIATELY BELOW ALL WINDOW OPENINGS. REINF. WITH 1N12. EXTEND BOND BEAM 200 PAST EACH SIDE OF OPENING.
3. U.N.O. ON PLAN ALL LINTELS TO BE REINF WITH 2N16 ALL LINTELS TO BE TIED TO SLAB OVER WITH N12-600 BARS COGGED 500 INTO TOP OF SLAB.
4. U.N.O. ON PLAN ALL 200 C.M.B. WALLS TO BE REINF. WITH N16 VERTICAL BARS AT ENDS, CORNERS, INTERSECTIONS, AT EACH SIDE OF OPENINGS AND AT 800 MAX. CENTRES BETWEEN.
5. U.N.O. ON PLAN ALL 150 C.M.B. WALLS TO BE REINF. WITH N16 VERTICAL BARS AT ENDS, CORNERS, INTERSECTIONS, AT EACH SIDE OF OPENINGS AND AT 800 MAX. CENTRES BETWEEN.
6. W.C.J. DENOTES WALL CONTROL JOINT U.N.O. TO BE REINFORCED WITH 1N16 VERTICAL EACH SIDE OF JOINT. EXTEND BOND BEAM REINFORCEMENT THROUGH JOINT FILL JOINT WITH COMPRESSIBLE BACKING ROD AND APPROVED SEALANT BOTH SIDES TO ARCHITECTS SPECIFICATION.
7. 300x300 C.M.B PIERS TO BE REINF. WITH 4-N16 VERT. REINF. AND R6 LIGS AT 300CTS
8. WALL PANELS LESS THAN OR EQUAL TO 800LG TO BE REINF. WITH N16 VERT. BARS IN EACH CORE

C.M.B. WALL REINFORCEMENT NOTES

FIRST FLOOR LEVEL - ROOF

1. PROVIDE DOUBLE COURSE BOND BEAM AT UNDER SIDE OF ROOF. REINF. WITH 2N12 OR 1N16 BAR 500 MIN. LAP. EACH COURSE.
2. PROVIDE SINGLE COURSE BOND BEAM IMMEDIATELY BELOW ALL WINDOW OPENINGS. REINF. WITH 1N12. EXTEND BOND BEAM 200 PAST EACH SIDE OF OPENING.
3. U.N.O. ON PLAN ALL LINTELS TO BE REINF WITH 2N12 OR 1N16 BAR WITH L8 LIGS AT 1000 CRS. MAX.
4. U.N.O. ON PLAN ALL 200 C.M.B. WALLS TO BE REINF. WITH N16 VERTICAL BARS AT ENDS, CORNERS, INTERSECTIONS, AT EACH SIDE OF OPENINGS AND AT 1200 MAX. CENTRES BETWEEN.
5. U.N.O. ON PLAN ALL 150 C.M.B. WALLS TO BE REINF. WITH N16 VERTICAL BARS AT ENDS, CORNERS, INTERSECTIONS, AT EACH SIDE OF OPENINGS AND AT 1200 MAX. CENTRES BETWEEN.
6. PROVIDE ADDITIONAL N16 VERTICAL BARS TO CORES ADJACENT TO OPENINGS GREATER THAN 1800 WIDE.
7. W.C.J. DENOTES WALL CONTROL JOINT U.N.O. TO BE REINFORCED WITH 1N12 VERTICAL EACH SIDE OF JOINT. EXTEND BOND BEAM REINFORCEMENT THROUGH JOINT FILL JOINT WITH COMPRESSIBLE BACKING ROD AND APPROVED SEALANT BOTH SIDES TO ARCHITECTS SPECIFICATION.

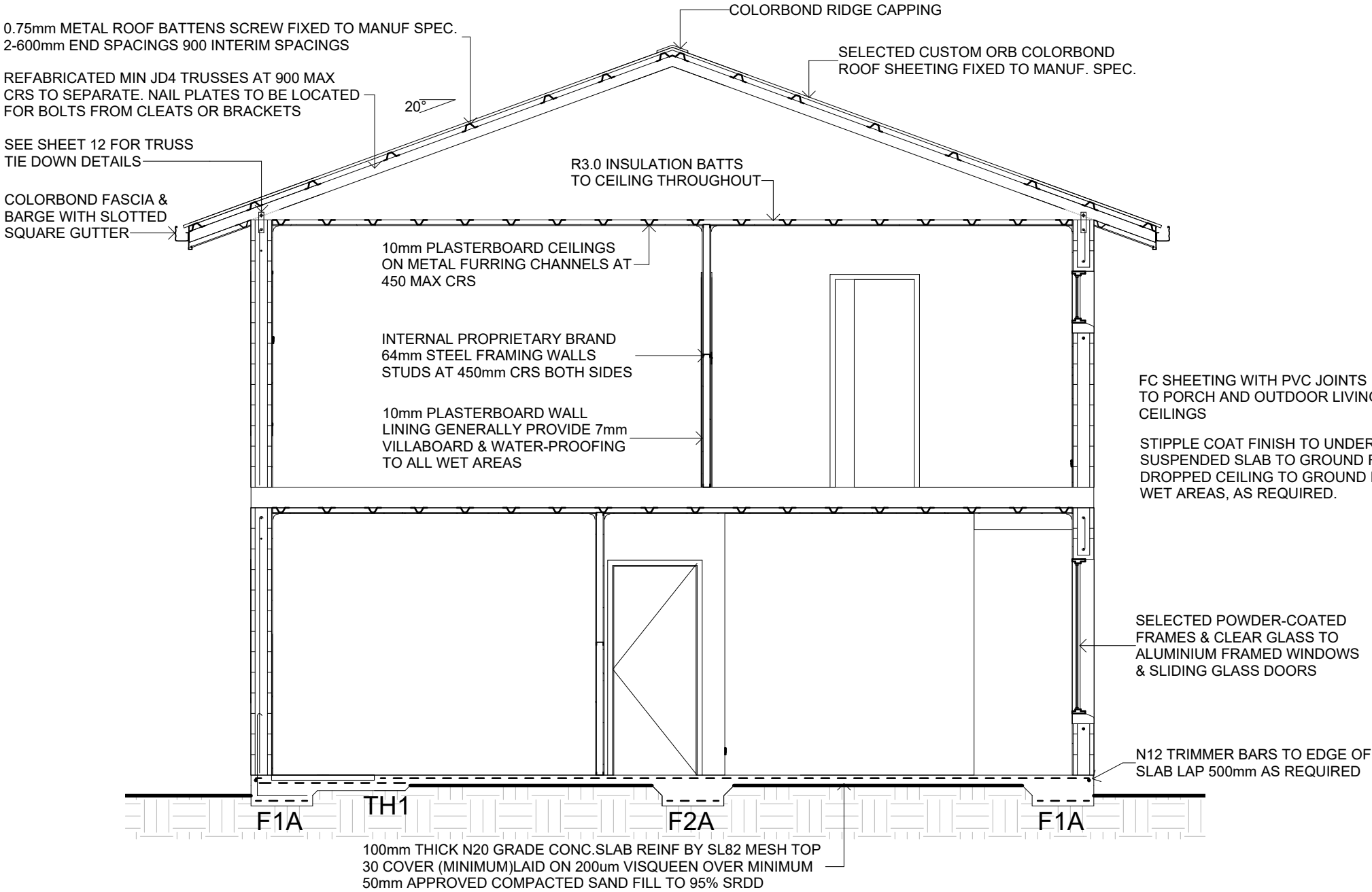
SHOWER ROSES TO HAVE A MINIMUM OF 3 STAR WATER EFFICIENCY LABELING AND STANDARDS RATING.

TAPWARE WITH A MINIMUM 3 STAR WATER EFFICIENCY LABELING AND STANDARDS RATING SERVES:
(a) LAUNDRY TUBS &
(b) KITCHEN SINKS &
(c) BASINS

ALL TOILET CISTERNS TO HAVE A DUAL FLUSH FUNCTION AND HAVE A MINIMUM 4 STAR WATER EFFICIENCY LABELING AND STANDARDS RATING AND ARE COMPATIBLE WITH THE SIZE OF THE TOILET BOWL TO ALLOW FOR THE PROPER FUNCTIONING OF THE TOILET.

ENERGY EFFICIENT LIGHTING FOR A MINIMUM OF 80% OF FIXED ARTIFICIAL LIGHTING.

HOT WATER SYSTEMS COMPLY WITH THE QUEENSLAND PLUMBING & WASTEWATER CODE.



GENERAL NOTES

- TIMBER MEMBER SIZES & CONNECTIONS NOT SHOWN ON PLANS SHALL COMPLY WITH AS 1684.3
- ALL MATERIALS & WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT S.A.A. CODES & THE BY-LAWS & ORDINANCES OF THE RELEVANT BUILDING AUTHORITY EXCEPT WHERE VARIED BY THE PROJECT SPECIFICATION
- ALL DIMENSIONS SHOWN SHALL BE VERIFIED ON SITE
- IF AN DISCREPANCY OCCURS ON THE ENGINEERS DRAWINGS THE CONTRACTOR SHALL ASSUME THE LARGER/GREATER. ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH ANY WORK. SUBSTITUTIONS MUST BE APPROVED BY THE ENGINEER

MAXIMUM DESIGN GUST WIND SPEED		
WIND CLASSIFICATION	MAXIMUM DESIGN GUST WIND SPEED (M/S)	
	PERMISSIBLE STRESS	LIMIT STATE
C1	41 (W41C)	50
C2	50 (W50C)	61
C3	60 (W60C)	74

ULTIMATE & SERVICEABILITY LIMIT STATE DESIGN
WIND PRESSURES FOR GLAZING & WINDOWS

WIND CLASSIFICATION	DESIGN GUST WIND SPEED (M/S)		DESIGN PRESSURES (kPa)			
	V _{h,u}	V _{h,s}	GREATER THAN 1.2M FROM CORNERS		UP TO 1.2M FROM THE CORNER	
			ULS	SLS	ULS	SLS
C1	50	32	±1.80	±0.55	-2.70	-0.83
C2	61	39	±2.68	±0.82	-4.02	-1.23
C3	74	47	±3.94	±1.19	-5.91	-1.79

66x12 SELECTED PINE SKIRTING TO WALLS
42x12 SELECTED PINE ARCHITRAVES TO ALL DOORS
55mm PLASTERBOARD CORNICE

PROVIDE TERMITE CONTROL SYSTEM IN ACCORDANCE WITH A.S. 3600.1 & 3660.1.

CONC SLAB TO HAVE TERMITE COLLARS TO ALL PENETRATIONS OR ALL STRUCTURAL TIMBER TO BE OF A TERMITE RESISTANT GRADE OR BE TREATED FOR TERMITE RESISTANCE

Affinity

DESIGNER HOMES

Affinity Designer Homes

PO Box 205

Bungalow Q 4870

QBCC 71474

ABN 96 066 299 198

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION: C2

DATE: 23/03/2022

C.M.G. CONSULTING

ENGINEERS PTY. LTD.

208 BUCHAN ST.

CAIRNS QLD. 4870

PH. (07) 4031 2775

FAX. (07) 4051 9013

CLIENT:-
TAYLOR

PROJECT:-
PROPOSED RESIDENCE:
LOT 33 SOMERSET DRIVE, MIALLO

DATE:- FEB. 2022

PROJECT No:319

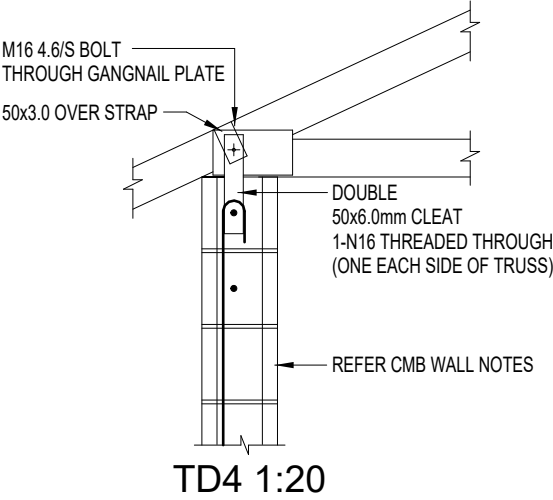
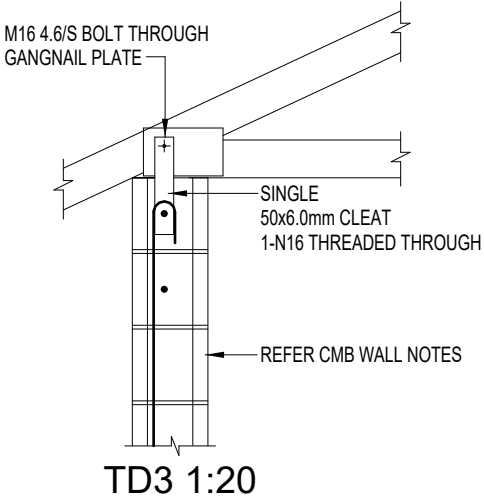
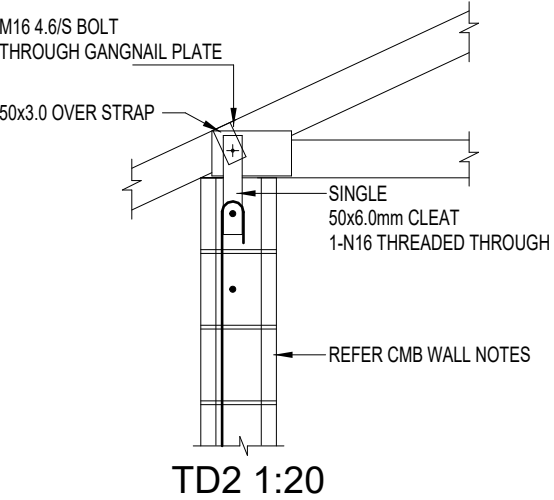
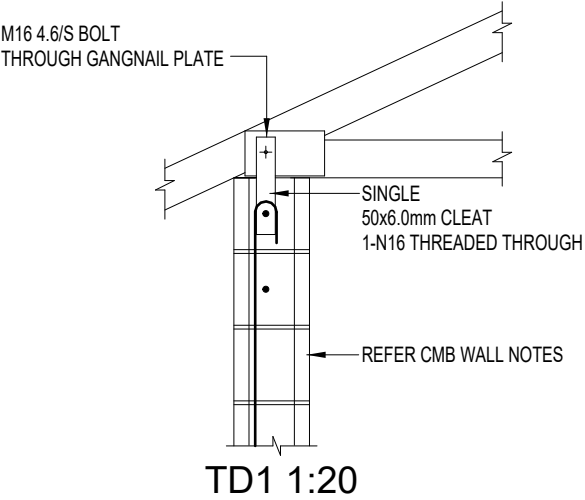
CROSS SECTION

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SHEET No: 11 – 14

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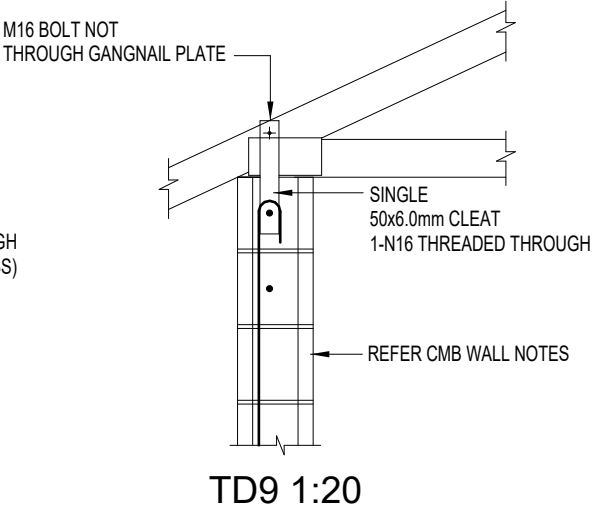
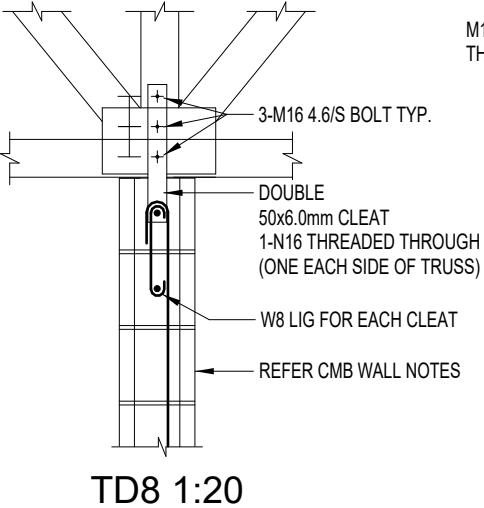
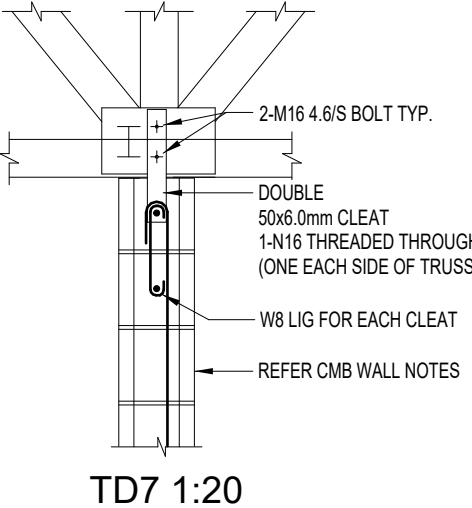
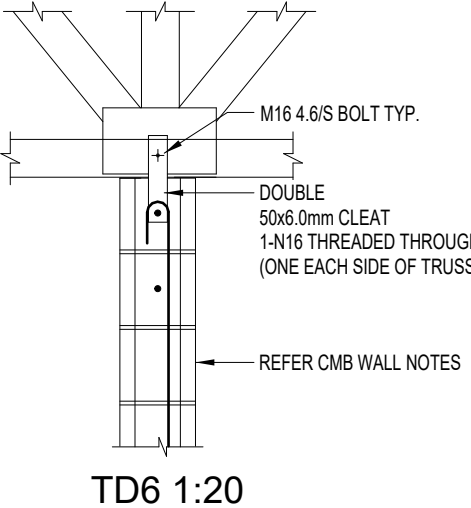
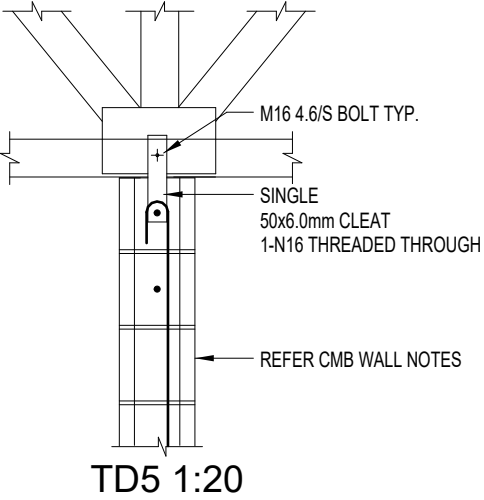
WIND CLASSIFICATION - C2



UPLIFT RESISTANCE kN
(Ultimate Limit State)

TRUSS JOINT GROUP						
TYPE	J2	J3	J3	JD4	JD5	JD6
TD1	20	15	10	16	11	8
TD2	35	25	16	23	18	15
TD3	49	44	28	44	36	28
TD4	76	54	34	54	43	34
TD5	20	15	10	16	11	8
TD6	49	44	28	44	36	28
TD7	93	84	53	84	68	53
TD8	128	115	73	115	94	73
TD9				9.5		

NOTE: PROVIDE 2-N12 (MIN.) VERTICAL REINF. BARS ADJACENT TO CLEATS WITH TIE-DOWN LOADS GREATER THAN 80kN




TRUSS TIE DOWN-DETAILS

(REFER TRUSS MANUF. LAYOUT AND UPLIFT LOADING)

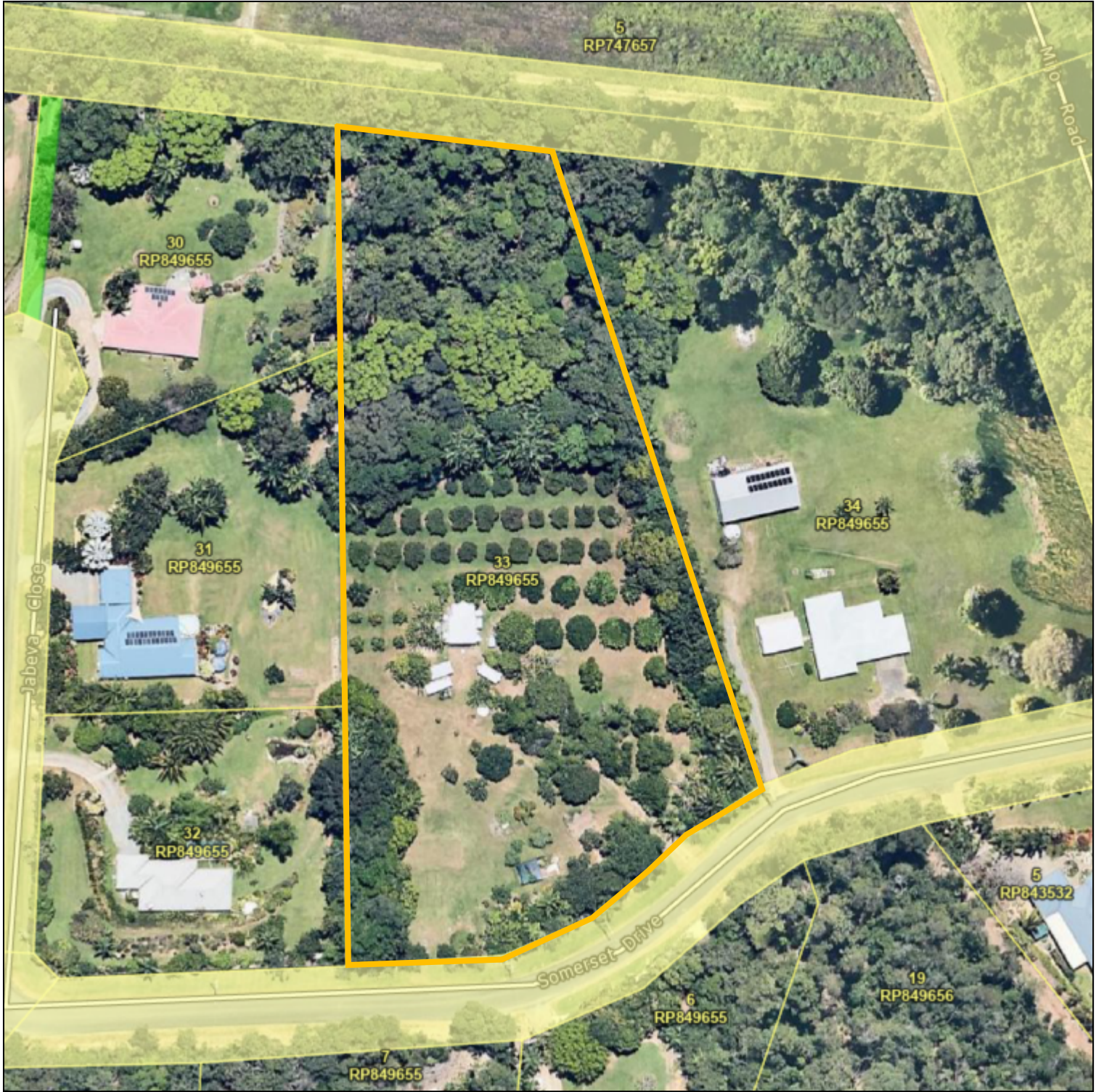
NOTE:
CLEAT SIZES AND
CONNECTIONS SIMILAR
FOR RHS BEAMS

This form is to be used by an appointed competent person for the purposes of section 10 of the *Building Act 1975* and sections 73 and 77 of the *Building Regulation 2021* (Design-specification certificate) stating that an aspect of building work or specification will, if installed or carried out as stated in this form, comply with the building assessment provisions.

1. Property description <p>This section need only be completed if details of street address and property description are applicable.</p> <p>E.g. in the case of (standard/generic) pool design/shell manufacture and/ or patio and carport systems this section may not be applicable.</p> <p>The description must identify all land the subject of the application.</p> <p>The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice.</p> <p>If the plan is not registered by title, provide previous lot and plan details.</p>	Street address (include number, street, suburb/locality and postcode) <div>Somerset Drive (44646L1)</div> <div>Miallo State: Qld Postcode: 4873</div> Lot and plan details (attach list if necessary) <div>Lot 33 RP849655</div> Local government area the land is situated in <div>Mareeba Shire Council</div>														
2. Description of aspect/s certified <p>Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.</p>	<div>Footings/Ground Slab</div> <div>Bracing</div> <div>Tie-Down</div> <div>Wall & Roof Framing</div> <div>Concrete Masonry</div> <div>Suspended Concrete Slab</div> <div>Retaining Wall</div>														
3. Basis of certification <p>Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications were relied upon.</p>	<div>Wind Classification: C2</div> <div>Australian Standard Codes: AS2870, AS4055, AS3600, AS3700, AS1684.3, AS/NZ 1170 Part 1</div> <div>Site Classification- Class P This site does not require articulation of the sanitary drainage for the premises</div> <div>Local Authority Regulations</div>														
4. Reference documentation <p>Clearly identify any relevant documentation, e.g. numbered structural engineering plans.</p>	<div>Affinity Homes drawings 319 Sheets 1-14</div>														
5. Building certifier reference number and building development application number	<div>Building certifier reference number: -</div> <div>Building development application number (if available)</div>														
6. Appointed competent person details <p>Under Part 6 of the Building Regulation a person must be assessed as a competent for the type of work (design-specification) by the relevant building certifier.</p>	<table border="1"> <tr> <td colspan="2">Name in full: Charles Gianarakis</td> <td>Licence or registration number (if applicable) RPEQ 1370</td> </tr> <tr> <td colspan="2">Company name (if applicable) CMG Consulting Engineers</td> <td>Contact Person Charles Gianarakis</td> </tr> <tr> <td>Business phone number (07) 40312775</td> <td>Mobile number 0409312775</td> <td>Email Address chas@cmgengineers.com.au</td> </tr> <tr> <td colspan="3">Postal address PO Box 5901, Cairns Qld 4870</td> </tr> </table>			Name in full: Charles Gianarakis		Licence or registration number (if applicable) RPEQ 1370	Company name (if applicable) CMG Consulting Engineers		Contact Person Charles Gianarakis	Business phone number (07) 40312775	Mobile number 0409312775	Email Address chas@cmgengineers.com.au	Postal address PO Box 5901, Cairns Qld 4870		
Name in full: Charles Gianarakis		Licence or registration number (if applicable) RPEQ 1370													
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Business phone number (07) 40312775	Mobile number 0409312775	Email Address chas@cmgengineers.com.au													
Postal address PO Box 5901, Cairns Qld 4870															
7. Signature of appointed competent person <p>This certificate must be signed by the individual assessed and appointed by the building certifier as competent to give design-specification help.</p>	<div>Signature </div> <div>Date 4 April 2022</div>														

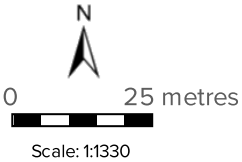
Building LOCAL GOVERNMENT USE ONLY

Date received		Reference number/s	
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Legend located on next page



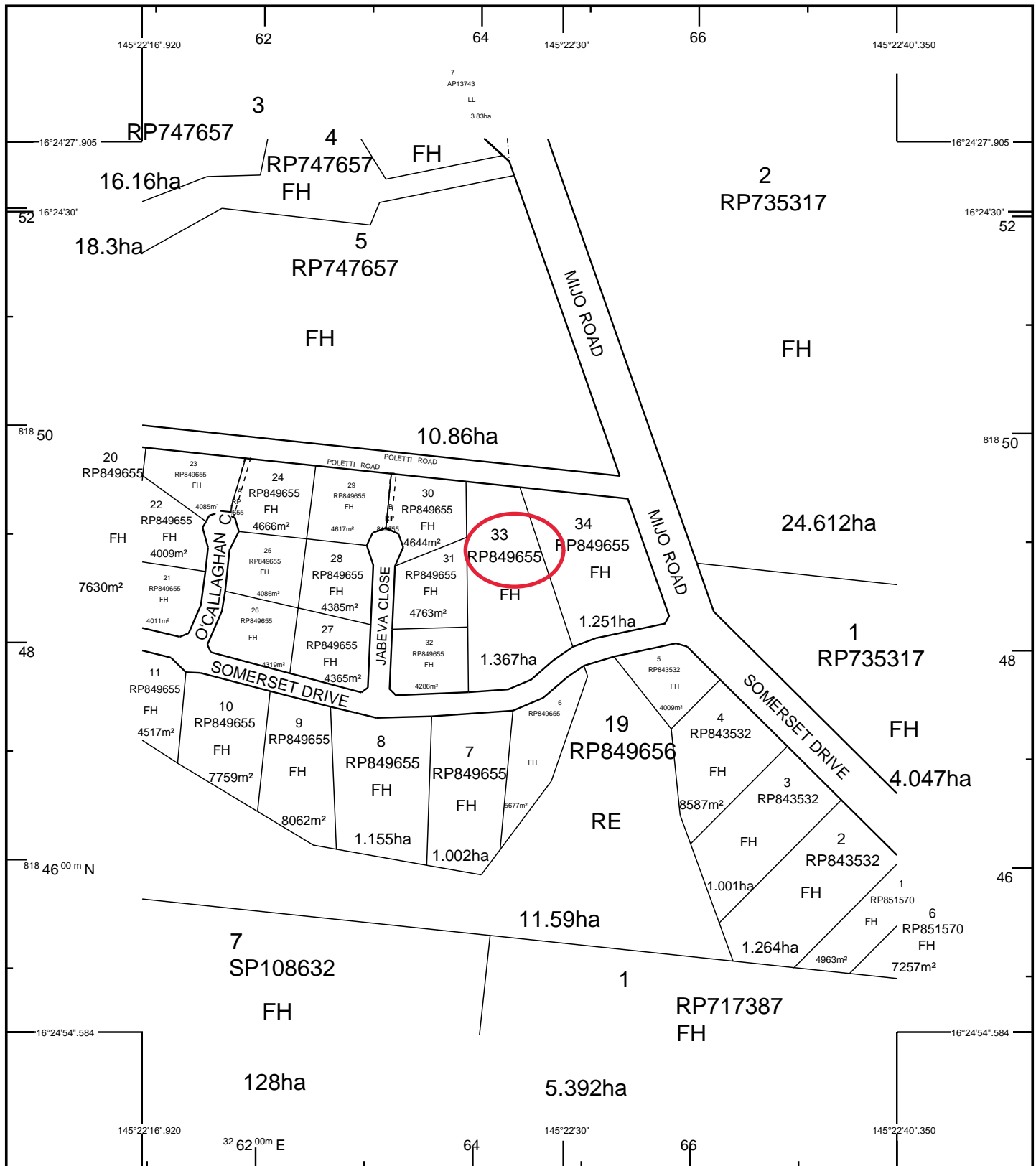
Printed at: A4
Print date: 12/4/2022
Projection: Web Mercator EPSG 102100 (3857)

For more information, visit
<https://qldglobe.information.qld.gov.au/help-info/Contact-us.html>



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STANDARD MAP NUMBER
7965-23121

0 100 200 300 400 500 m
HORIZONTAL DATUM: GDA94 ZONE: 55 SCALE 1 : 5000

MAP WINDOW POSITION &
NEAREST LOCATION



SUBJECT PARCEL DESCRIPTION

DCDB
Lot/Plan 33/RP849655
Area/Volume 1.367ha
Tenure FREEHOLD
Local Government DOUGLAS SHIRE
Locality MIALLO
Segment/Parcel 8663/117

CLIENT SERVICE STANDARDS

PRINTED 12/04/2022

DCDB 11/04/2022

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**Queensland
Government**

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DA Form 1 – Development application details

Approved form (version 1.3 effective 28 September 2020) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Affinity Designer Homes Pty Ltd C/- The Building Approval Company
Contact name (only applicable for companies)	Troy Richardson
Postal address (P.O. Box or street address)	PO Box 74
Suburb	Redlynch
State	QLD
Postcode	4870
Country	Australia
Contact number	07 4222 9822
Email address (non-mandatory)	troy@tbac.com.au
Mobile number (non-mandatory)	0438 546 088
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	220576/01

2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input checked="" type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input type="checkbox"/> No – proceed to 3)	

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.1) Street address and lot on plan

☒ Street address **AND** lot on plan (all lots must be listed), **or**

☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		137-147	Somerset Drive	Miallo
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	33	P849655	Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
- ☐ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

☐ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

Name of airport:	
<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>	
EMR site identification:	
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>	
CLR site identification:	

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☐ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect
a) What is the type of development? <i>(tick only one box)</i>
<input checked="" type="checkbox"/> Material change of use <input type="checkbox"/> Reconfiguring a lot <input type="checkbox"/> Operational work <input type="checkbox"/> Building work
b) What is the approval type? <i>(tick only one box)</i>
<input checked="" type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval <input type="checkbox"/> Preliminary approval that includes a variation approval
c) What is the level of assessment?
<input checked="" type="checkbox"/> Code assessment <input type="checkbox"/> Impact assessment <i>(requires public notification)</i>
d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i>
Dwelling house
e) Relevant plans
Note: <i>Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms guide: Relevant plans.</i>
<input checked="" type="checkbox"/> Relevant plans of the proposed development are attached to the development application
6.2) Provide details about the second development aspect
a) What is the type of development? <i>(tick only one box)</i>
<input type="checkbox"/> Material change of use <input type="checkbox"/> Reconfiguring a lot <input type="checkbox"/> Operational work <input checked="" type="checkbox"/> Building work
b) What is the approval type? <i>(tick only one box)</i>
<input checked="" type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval <input type="checkbox"/> Preliminary approval that includes a variation approval
c) What is the level of assessment?
<input checked="" type="checkbox"/> Code assessment <input type="checkbox"/> Impact assessment <i>(requires public notification)</i>
d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i>
Dwelling and Garage
e) Relevant plans
Note: <i>Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>
<input checked="" type="checkbox"/> Relevant plans of the proposed development are attached to the development application
6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☐ Not required

Section 2 – Further development details

7) Does the proposed development application involve any of the following?

Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input checked="" type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)
Dwelling house			238

8.2) Does the proposed use involve the use of existing buildings on the premises?

☒ Yes

☐ No

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

<input type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13))

10) Subdivision

10.1) For this development, how many lots are being created and what is the intended use of those lots:

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?

☐ Yes – provide additional details below

☐ No

How many stages will the works include?

What stage(s) will this development application apply to?

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?				
Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment			
12.1) What are the current and proposed areas for each lot comprising the premises?			
Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)
12.2) What is the reason for the boundary realignment?			

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)				
Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?	
<input type="checkbox"/> Road work <input type="checkbox"/> Drainage work <input type="checkbox"/> Landscaping <input type="checkbox"/> Other – please specify:	<input type="checkbox"/> Stormwater <input type="checkbox"/> Earthworks <input type="checkbox"/> Signage <input type="checkbox"/> Water infrastructure <input type="checkbox"/> Sewage infrastructure <input type="checkbox"/> Clearing vegetation
14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)	
<input type="checkbox"/> Yes – specify number of new lots:	
<input type="checkbox"/> No	

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application
Douglas Shire Council
16) Has the local government agreed to apply a superseded planning scheme for this development application?
<input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application <input type="checkbox"/> The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached <input checked="" type="checkbox"/> No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

- ☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016**:

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material (*from a watercourse or lake*)
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees (*category 3 levees only*)

<input type="checkbox"/> Wetland protection area
Matters requiring referral to the local government :
<input type="checkbox"/> Airport land <input type="checkbox"/> Environmentally relevant activities (ERA) <i>(only if the ERA has been devolved to local government)</i> <input type="checkbox"/> Heritage places – Local heritage places
Matters requiring referral to the Chief Executive of the distribution entity or transmission entity :
<input type="checkbox"/> Infrastructure-related referrals – Electricity infrastructure
Matters requiring referral to:
<ul style="list-style-type: none"> • The Chief Executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual <input type="checkbox"/> Infrastructure-related referrals – Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council :
<input type="checkbox"/> Ports – Brisbane core port land
Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994 :
<input type="checkbox"/> Ports – Brisbane core port land <i>(where inconsistent with the Brisbane port LUP for transport reasons)</i> <input type="checkbox"/> Ports – Strategic port land
Matters requiring referral to the relevant port operator , if applicant is not port operator:
<input type="checkbox"/> Ports – Land within Port of Brisbane's port limits <i>(below high-water mark)</i>
Matters requiring referral to the Chief Executive of the relevant port authority :
<input type="checkbox"/> Ports – Land within limits of another port <i>(below high-water mark)</i>
Matters requiring referral to the Gold Coast Waterways Authority :
<input type="checkbox"/> Tidal works or work in a coastal management district <i>(in Gold Coast waters)</i>
Matters requiring referral to the Queensland Fire and Emergency Service :
<input type="checkbox"/> Tidal works or work in a coastal management district <i>(involving a marina (more than six vessel berths))</i>

18) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application <input checked="" type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application <i>(if applicable)</i> .		

PART 6 – INFORMATION REQUEST

19) Information request under Part 3 of the DA Rules
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application <input type="checkbox"/> I do not agree to accept an information request for this development application
Note: By not agreeing to accept an information request I, the applicant, acknowledge: <ul style="list-style-type: none"> • that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties • Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- ☐ Yes – provide details below or include details in a schedule to this development application
☒ No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- ☒ Yes – a copy of the receipted QLeave form is attached to this development application
☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
☐ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$2,790.00	12/04/22	S300896

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached
☒ No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
☒ No

Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- ☐ Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application
☒ No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.

2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

☐ Yes – the development application involves premises in the koala habitat area in the koala priority area

☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area

☒ No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.des.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000**?

☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

☐ Yes – the relevant template is completed and attached to this development application

☒ No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

☐ Yes – an associated *resource* allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

☒ No

Note: Contact the Department of Environment and Science at www.des.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application

☒ No

Note: See guidance materials at www.dnrme.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

☐ Yes – the following is included with this development application:

☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)

☐ A certificate of title

☒ No

Note: See guidance materials at www.des.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

☐ Yes – details of the heritage place are provided in the table below

☒ No

Note: See guidance materials at www.des.qld.gov.au for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
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Brothels

23.14) Does this development application involve a **material change of use for a brothel**?

☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*

☒ No

Decision under section 62 of the *Transport Infrastructure Act 1994*

23.15) Does this development application involve new or changed access to a state-controlled road?

- ☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
- ☒ No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.16) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

- ☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered
- ☒ No

Note: See guidance materials at www.planning.dsdmip.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17 ☒ Yes

Note: See the *Planning Regulation 2017* for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application ☒ Yes
☐ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application ☒ Yes

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

Relevant plans of the development are attached to this development application ☒ Yes

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21) ☒ Yes
☐ Not applicable

25) Applicant declaration

- ☒ By making this development application, I declare that all information in this development application is true and correct
- ☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, *Planning Regulation 2017* and the *DA Rules* except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received:

Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			

DA Form 2 – Building work details

Approved form (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving building work**.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use *DA Form 1 – Development application details* and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Affinity Designer Homes Pty Ltd
Contact name (only applicable for companies)	Kareen Dutton
Postal address (PO Box or street address)	PO Box 205
Suburb	Bungalow
State	QLD
Postcode	4870
Country	Australia
Contact number	07 4041 3333
Email address (non-mandatory)	kareen@constructgroup.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	

PART 2 – LOCATION DETAILS

2) Location of the premises (complete 2.1 and 2.2 if applicable)	
Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans .	
2.1) Street address and lot on plan	
<input checked="" type="checkbox"/> Street address AND lot on plan (all lots must be listed), or	
<input type="checkbox"/> Street address AND lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).	

Unit No.	Street No.	Street Name and Type	Suburb
	137-147	Somerset Drive	Miallo
Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
4873	33	P849655	Douglas Shire Council

2.2) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
- ☒ Not required

3) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the [DA Forms Guide](#)

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☒ No

PART 3 – FURTHER DETAILS

4) Is the application only for building work assessable against the building assessment provisions?

- ☒ Yes – proceed to 8)
- ☐ No

5) Identify the assessment manager(s) who will be assessing this development application

Troy Richardson – The Building Approval Company

6) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

7) Information request under Part 3 of the DA Rules

- ☒ I agree to receive an information request if determined necessary for this development application
- ☐ I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules. Further advice about information requests is contained in the [DA Forms Guide](#).

8) Are there any associated development applications or current approvals?

- ☐ Yes – provide details below or include details in a schedule to this development application
- ☒ No

List of approval/development application	Reference	Date	Assessment manager
<input type="checkbox"/> Approval			

<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

9) Has the portable long service leave levy been paid?

- ☒ Yes – a copy of the receipted QLeave form is attached to this development application
- ☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
- ☐ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$2,790.00	12/04/22	S300896

10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached
- ☒ No

11) Identify any of the following further legislative requirements that apply to any aspect of this development application

- ☒ The proposed development is on a place entered in the **Queensland Heritage Register** or in a local government's **Local Heritage Register**. See the guidance provided at www.des.qld.gov.au about the requirements in relation to the development of a Queensland heritage place

Name of the heritage place:		Place ID:	
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PART 4 – REFERRAL DETAILS

12) Does this development application include any building work aspects that have any referral requirements?

- ☐ Yes – the *Referral checklist for building work* is attached to this development application
- ☒ No – proceed to Part 5

13) Has any referral agency provided a referral response for this development application?

- ☐ Yes – referral response(s) received and listed below are attached to this development application
- ☐ No

Referral requirement	Referral agency	Date referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (if applicable)

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PART 5 – BUILDING WORK DETAILS

14) Owner's details

☐ Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.

Name(s) <i>(individual or company full name)</i>	Gary and Maria Taylor
Contact name <i>(applicable for companies)</i>	Kareen Dutton
Postal address <i>(P.O. Box or street address)</i>	137-147 Somerset Drive
Suburb	Miallo
State	QLD
Postcode	4873
Country	Australia
Contact number	0498 113 861
Email address <i>(non-mandatory)</i>	garyarthurtaylor1@gmail.com
Mobile number <i>(non-mandatory)</i>	0439 385 191
Fax number <i>(non-mandatory)</i>	

15) Builder's details

☐ Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.

Name(s) <i>(individual or company full name)</i>	Affinity Designer Homes Pty Ltd
Contact name <i>(applicable for companies)</i>	Kareen Dutton
QBCC licence or owner – builder number	
Postal address <i>(P.O. Box or street address)</i>	PO Box 205
Suburb	Bungalow
State	QLD
Postcode	4870
Contact number	07 4041 3333
Email address <i>(non-mandatory)</i>	kareen@constructgroup.com.au
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	

16) Provide details about the proposed building work

What type of approval is being sought?

- ☒ Development permit
☒ Preliminary approval

b) What is the level of assessment?

- ☒ Code assessment
☐ Impact assessment *(requires public notification)*

c) Nature of the proposed building work (tick all applicable boxes)

- | | |
|---|--|
| <input checked="" type="checkbox"/> New building or structure | <input type="checkbox"/> Repairs, alterations or additions |
| <input type="checkbox"/> Change of building classification <i>(involving building work)</i> | <input type="checkbox"/> Swimming pool and/or pool fence |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Relocation or removal |

d) Provide a description of the work below or in an attached schedule.

Dwelling and Garage

e) Proposed construction materials			
External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input checked="" type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input checked="" type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Other
f) Existing building use/classification? (if applicable)			
g) New building use/classification? (if applicable)			
Class 1a, 10a			
h) Relevant plans			
Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans .			
<input checked="" type="checkbox"/> Relevant plans of the proposed works are attached to the development application			

17) What is the monetary value of the proposed building work?
\$533,702.00

18) Has Queensland Home Warranty Scheme Insurance been paid?		
<input checked="" type="checkbox"/> Yes – provide details below		
<input type="checkbox"/> No		
Amount paid	Date paid (dd/mm/yy)	Reference number
5659.1	23/02/2022	014388735

PART 6 – CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist	
The relevant parts of <i>Form 2 – Building work details</i> have been completed	<input checked="" type="checkbox"/> Yes
This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable
Relevant plans of the development are attached to this development application Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans .	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 9)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not applicable

20) Applicant declaration
<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct <input checked="" type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i> Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 7 – FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: 12/04/2022

Reference numbers: 220576

For completion by the building certifier

Classification(s) of approved building work

Class 1a, 10a

Name	QBCC Certification Licence number	QBCC Insurance receipt number
Troy Richardson	A707525	014388735

Notification of engagement of alternative assessment manager

Prescribed assessment manager	Troy Richardson
Name of chosen assessment manager	Troy Richardson
Date chosen assessment manager engaged	13/04/2022
Contact number of chosen assessment manager	07 4222 9822
Relevant licence number(s) of chosen assessment manager	A707525

Additional information required by the local government

Confirm proposed construction materials:

External walls	<input type="checkbox"/> Double brick	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input checked="" type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input checked="" type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Other

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	Dwelling and Garage
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QLeave project number		S300896	
Amount paid (\$)	\$2,790.00	Date paid (dd/mm/yy)	12/04/22
Date receipted form sighted by assessment manager			
Name of officer who sighted the form		Troy Richardson	

Additional building details required for the Australian Bureau of Statistics			
Existing building use/classification? <i>(if applicable)</i>			
New building use/classification?		Class 1a, 10a	
Site area (m ²)	13670m ²	Floor area (m ²)	238m ²

Referral checklist for building work

This referral checklist is required where any aspect of building work for a development application requires referral as identified in *DA Form 2 – Building work details*.

All relevant referral requirements for the development application are to be identified on this checklist. This checklist is to accompany *DA Form 2 – Building work details* for all development applications for building work that require referral.

Note: All terms used within the forms have the meaning given under the *Planning Act 2016* and the *Planning Regulation 2017*.

1) Referral requirements relevant to any building work identified on *Form 2 – Building work*

Note: The *Planning Regulation 2017* will determine if referral is required for a development application.

Matters requiring referral to the **Chief Executive of the Planning Act 2016**:

- ☐ Premises seaward of coastal building line
- ☐ Declared fish-habitat area
- ☐ State transport corridor
- ☐ Future state transport corridor
- ☐ Queensland heritage place

Matters requiring referral to the **local government**:

- ☐ Particular class 1 and 10 buildings and structures involving possible amenity and aesthetic impacts
- ☐ Particular buildings for residential purposes
- ☐ Design and siting
- ☐ Fire safety in particular budget accommodation building
- ☐ Higher risk personal appearance services
- ☐ Building work for residential services
- ☐ Building work for removal or rebuilding
- ☒ Building work for particular class 1 buildings relating to material change of use
- ☐ Temporary accommodation buildings
- ☐ Building work relating to end of trip facilities for Queensland Development Code, part 4.1
- ☐ Building work for class 1 building on premises with on-site wastewater management system
- ☐ Flood-hazard area
- ☐ Local heritage place

Matters requiring referral to the **Queensland Fire and Emergency Service**:

- ☐ Fire safety system – special fire services required or alternative solution proposed
- ☐ Fire safety system – budget accommodation buildings
- ☐ Fire safety system – residential care building
- ☐ Water-based fire safety installations
- ☐ Fire safety – farm buildings

Matters requiring referral to the **Safe Food Production QLD**:

- ☐ Retail meat premises

Matters requiring referral to the **Chief Health Officer under the Hospital and Health Boards Act 2011**:

- ☐ Private health facilities

Matters requiring referral to the **chief executive of the Pastoral Workers' Accommodation Act 1980**:

- ☐ Pastoral workers' accommodation

Matters requiring referral to the **relevant service provider**:

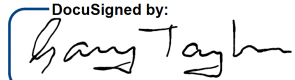
- ☐ Building work over or near relevant infrastructure relating to Queensland Development Code, part 1.4

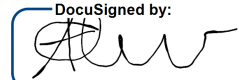
Gary Arthur Taylor & Maria Fe Taylor
Lot 33 (137-147) Somerset Drive, Miallo QLD 4873
Ph: 0498 113 861 (G) & 0439 385 191 (M)

AUTHORISATION TO SIGN DEVELOPMENT APPLICATION

OWNER'S NAME: Gary Arthur Taylor & Maria Fe Taylor
SITE ADDRESS: Lot 33 (137-147) Somerset Drive, Miallo QLD 4873

To facilitate the processing of our development application we, the undersigned, authorise Affinity Designer Homes Pty Ltd to sign all relevant application forms on our behalf.

DocuSigned by:

9CDEBDD8B5384A7...
Gary Arthur Taylor

DocuSigned by:

F038B8AC34914B9...
Maria Fe Taylor

9/2/2022

11/2/2022

Date