

26 April 2022

Enquiries: Rebecca Taranto
Our Ref: MCUC 2022_4776/1 (Doc ID:1082306)

Administration Office
64 - 66 Front St Mossman
P 07 4099 9444
F 07 4098 2902

Affinity Designer Homes Pty Ltd
C/- The Building Approval Company
PO Box 74
Redlynch QLD 4870

Email: ryan@tbac.com.au

Dear Sir/Madam

**Development Application for Material Change of Use (Dwelling House)
At 137-147 Somerset Drive Miallo
On Land Described as Lot 33 on RP849655**

Please find attached the Decision Notice for the above-mentioned development application.

Please quote Council's application number: MCUC 2022_4776/1 in all subsequent correspondence relating to this development application.

Should you require any clarification regarding this, please contact Rebecca Taranto on telephone 07 4099 9444.

Yours faithfully



For
Paul Hoyer
Manager Environment & Planning

- Decision Notice
 - Approved Drawing(s) and/or Document(s)
 - Concurrence Agency Response
 - Reasons for Decision - response to properly made submissions.



Decision Notice

Approval (with conditions)

Given under section 63 of the Planning Act 2016

Applicant Details

Name: Affinity Designer Homes Pty Ltd
Postal Address: C/- The Building Approval Company
PO Box 74
Redlynch QLD 4870
Email: info@tbac.com.au or

Property Details

Street Address: 137-147 Somerset Drive Miallo
Real Property Description: Lot 33 on RP849655
Local Government Area: Douglas Shire Council

Details of Proposed Development

Development Permit for MCU - Material Change of Use - Dwelling Home

Decision

Date of Decision: 26 April 2022
Decision Details: Approved (subject to conditions)

Approved Drawing(s) and/or Document(s)

Copies of the following plans, specifications and/or drawings are enclosed.

The term 'approved drawing(s) and/or document(s) or other similar expressions means:

Drawing or Document	Reference	Date
Site Plan /Earthworks Plan	Affinity Designer Homes Project No. 319 Sheet 1-14	February 2022
Drainage Plan	Affinity Designer Homes Project No. 319	February 2022

	Sheet 2-14	
First Floor Plan	Affinity Designer Homes Project No. 319 Sheet 3-14	February 2022
Ground Floor Plan	Affinity Designer Homes Project No. 319 Sheet 4-14	February 2022
Elevations	Affinity Designer Homes Project No. 319 Sheet 5-14	February 2022
Ground Floor Footings/Slab Plan	Affinity Designer Homes Project No. 319 Sheet 6-14	February 2022
Suspended Slab Plan	Affinity Designer Homes Project No. 319 Sheet 7-14	February 2022
Retaining Wall Details	Affinity Designer Homes Project No. 319 Sheet 9-14	February 2022
Suspended Slab Details	Affinity Designer Homes Project No. 319 Sheet 10-14	February 2022
Cross Section	Affinity Designer Homes Project No. 319 Sheet 11-14	February 2022
Truss Tie-down Details	Affinity Designer Homes Project No. 319 Sheet 12-14	February 2022
FNQROC Regional Development Manual Standard Drawing/s for Vehicle Access		
Rural Allotment Access	Standard Drawing S1105 Issue E	27 August 2020
Concrete driveway for allotment access	Standard Drawing S1110 Issue F	27 August 2020

Assessment Manager Conditions & Advices

1. Carry out the approved development generally in accordance with the approved drawing(s) and/or document(s), and in accordance with:-

- a. The specifications, facts and circumstances as set out in the application submitted to Council; and
- b. The following conditions of approval and the requirements of Council's Planning Scheme and the FNQROC Development Manual.

Except where modified by these conditions of approval.

Timing of Effect

2. The conditions of the Development Permit must be effected prior to Commencement of use, except where specified otherwise in these conditions of approval.

Building Colours

3. The exterior finishes and colours of Buildings must be non-reflective and must blend with the natural colours of the surrounding environment. Shale Grey, Ironstone and Windspray or similar is approved for use.

Setback Requirements

4. The setback of the Dwelling House shall not be closer than 6 metres from the front, side and rear boundaries of the site.

Erosion and Sediment Control Strategy

5. All earthworks must be carried out in accordance with section CP1.13 and D5 of the FNQROC Development Manual and must comply with the following:
 - a. Measures nominated in the ESCP must be implemented prior to commencement of any earthworks.
 - b. The ESC Plan must address the Institution of Engineers' Australia Guidelines for Soil Erosion and Sediment Control and the Environment Protection (Water) Policy and Clauses CP1.06, CP1.13 and D5.10 of Council's FNQROC Development Manual.

Earthworks

- 6.. Earthwork is permitted between the hours of 6:30am and 6:30pm Monday to Saturday. Earthwork is not to occur on Sundays or Public Holidays.

Vehicle Access & Driveway

7. Undertake the following works at no cost to Council:
 - a. Construct a rural allotment access in accordance with the FNQROC Development Manual Standard Drawing S1105 Rev F prior to the commencement of the use.
 - b. Construct a driveway access in accordance with the FNQROC Development Manual Standard Drawing S1110 Rev F prior to the commencement of use.

Water Supply

8. Water storage tank(s) with a minimum capacity not less than 10,000 litres must be installed prior to occupation of the premises. Such water tanks must be provided with:
 - a. Mosquito-proof screens of brass, copper, aluminium or stainless-steel gauze not coarser than one (1) mm aperture mesh of substantial construction and installed in such manner as not to cause or accelerate corrosion; or
 - b. Flap valve at every opening of the tank or other receptacle; or

- c. Other approved means for preventing the ingress or egress of mosquitoes; and
- d. The water tank(s) shall be fitted with a 50 mm ball valve with a camlock fitting.

Bushfire Hazard

9. The house construction must be in accordance with AS3959-2009 and AS3959-2018.

Treatment of Onsite Waste

10. The method of on-site effluent disposal must be in accordance with the Queensland Plumbing and Drainage Act 2002 and Section 33 of the Environmental Protection Policy (Water) 1997.

Advices

1. All building site managers must take all action necessary to ensure building materials and / or machinery on construction sites are secured immediately following the first cyclone watch and that relevant emergency telephone contacts are provided to Council officers, prior to commencement of works.
2. This approval does not negate the requirement for compliance with all other relevant Council Local Laws and other statutory requirements.
3. For information relating to the *Planning Act 2016* log on to <https://planning.dsdmip.qld.gov.au/>. To access the *FNQROC Regional Development Manual*, Local Laws, the Douglas Shire Planning Scheme and other applicable Policies log on to www.douglas.qld.gov.au.

Further Development Permits

Please be advised that the following development permits are required to be obtained before the development can be carried out:

- All Building Work
- All Operational Work

Currency Period for the Approval

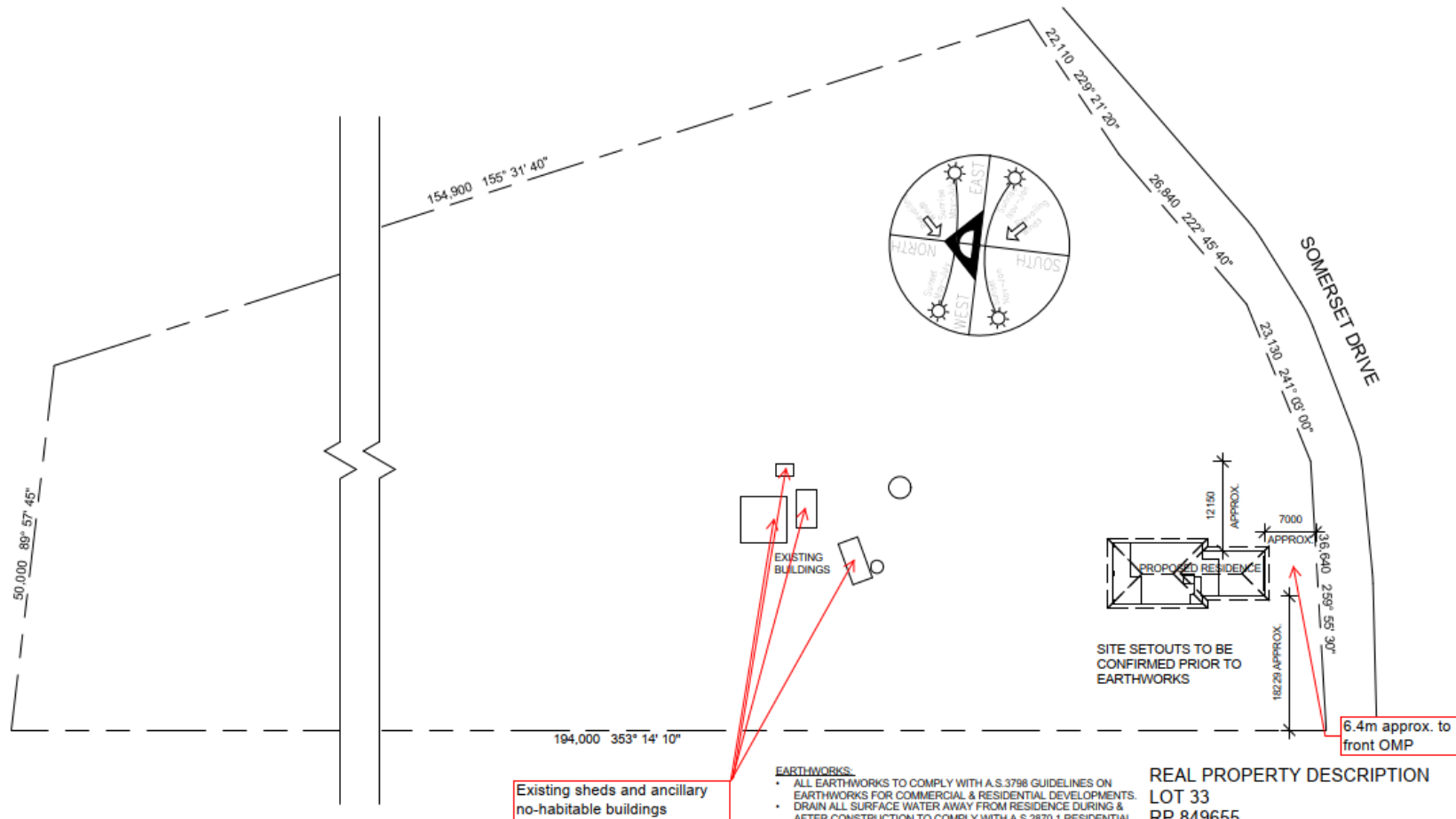
This approval, granted under the provisions of the *Planning Act 2016*, shall lapse six (6) years from the day the approval takes effect in accordance with the provisions of Section 85 of the *Planning Act 2016*.

Rights to make Representations & Rights of Appeal

The rights of applicants to make representations and rights to appeal to a Tribunal or the Planning and Environment Court against decisions about a development application are set out in Chapter 6, Part 1 of the *Planning Act 2016*.

A copy of the relevant appeal provisions are attached.

Approved Drawing(s) and/or Document(s)



- EARTHWORKS:**
- ALL EARTHWORKS TO COMPLY WITH A.S.3798 GUIDELINES ON EARTHWORKS FOR COMMERCIAL & RESIDENTIAL DEVELOPMENTS.
 - DRAIN ALL SURFACE WATER AWAY FROM RESIDENCE DURING & AFTER CONSTRUCTION TO COMPLY WITH A.S.2870.1 RESIDENTIAL SLABS & FOOTINGS.
 - DIRECT ALL SURFACE WATER AWAY FROM ADJOINING BOUNDARIES & NEW BUILDING.
 - REVEGETATE ALL BATTERS BY OWNERS AGENT ON COMPLETION OF SITE WORKS. CUT BATTER AT 1:1 MAX. FILL BATTER AT 1:2.

REAL PROPERTY DESCRIPTION
 LOT 33
 RP.849655
 PARISH OF WHYANBEEL
 COUNTY OF SOLANDER
 1.367ham2

Affinity
 DESIGNER HOMES

Affinity Designer Homes
 PO Box 205
 Bungalow Q 4870
 QBCC 71474
 ABN 96 066 299 198

WE HEREBY CERTIFY THE STRUCTURAL DETAILS
 AS SHOWN ON THESE DRAWINGS FOR
 CONSTRUCTION IN WIND CLASSIFICATION: C2

Signature
C.M.G. CONSULTING
 ENGINEERS PTY LTD

DATE: 23/03/2022

258 BUCHANAN ST.
 CARINGB. QLD 4870
 PH: (07) 4031 2775
 FAX: (07) 4031 9612

CLIENT:-
 TAYLOR

PROJECT:-
 PROPOSED RESIDENCE:
 LOT 33 SOMERSET DRIVE, MIALLO

DATE:- FEB. 2022

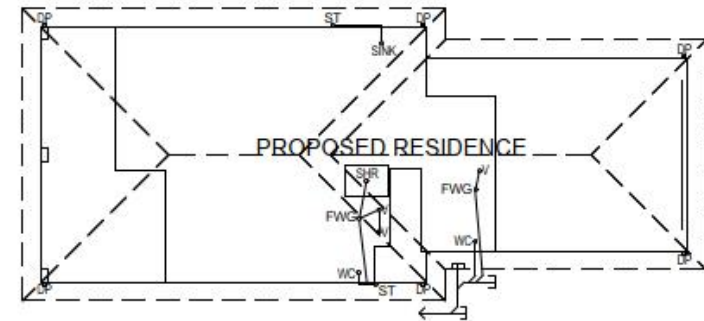
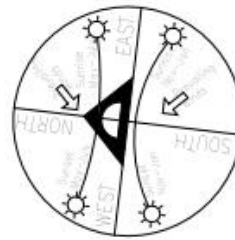
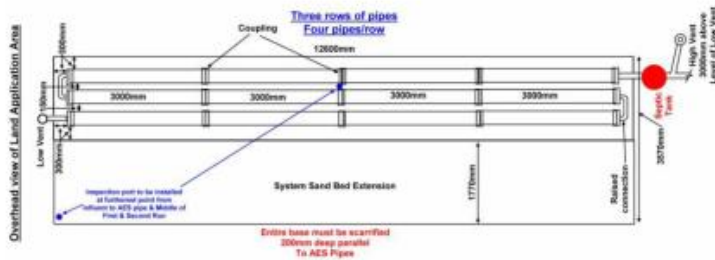
PROJECT No:319

SITE/ EARTHWORKS PLAN

SCALE: 1 : 500 AT A3

SHEET No:
 1 - 14

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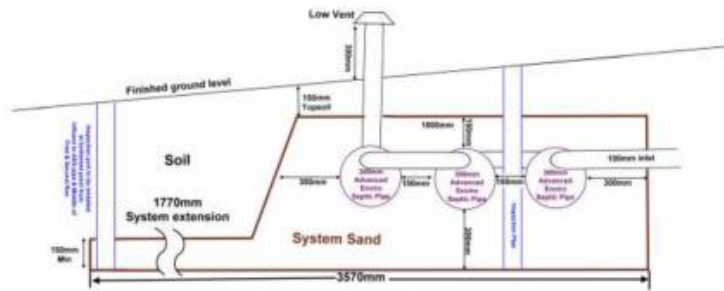


FIRST FLOOR DRAINAGE PLAN



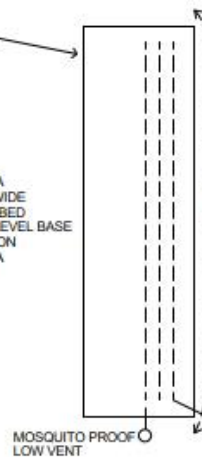
AES inspection point detail

LAND APPLICATION AREA
ONE 12.6M LONG BY 3.57M WIDE
ADVANCED ENVIRO SEPTIC BED
ADJUST ALIGNMENT TO MAINTAIN LEVEL BASE
SEE DETAIL CROSS-SECTION
DO NOT DRIVE OVER LAAL

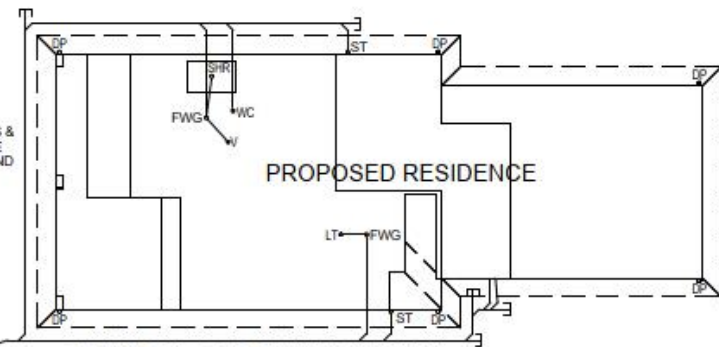


3570mm Wide Three Pipe Advanced Enviro-Septic Cross-Section

Base must be scarified 200mm deep. Parallel to AES Pipes



DIVERT ALL DOWNPIPES &
SURFACE/SUB SURFACE
WATER AWAY FROM LAND
APPLICATION AREA



GROUND FLOOR DRAINAGE PLAN

SITE NOTES:

- PLUMBING SHOWN IS DIAGRAMMATIC ONLY. LICENSED PLUMBER TO CONFIRM FINAL POSITIONING OF ALL DRAINAGE INCLUDING STORMWATER DISPERSION, DOWNPIPE QUANTITIES & POSITIONS.
- ALL PLUMBING & DRAINAGE WORKS TO BE IN ACCORDANCE WITH THE SEWERAGE & WATER SUPPLY ACT 1949-1982 & RELEVANT AUSTRALIAN STANDARDS, INCLUDING ANY RELEVANT AMENDMENTS.
- CLIENT TO PROVIDE NOTICE OF ANY FUTURE SITE WORKS TO PLUMBER TO ENSURE STORMWATER & DRAINAGE WILL ACCOMMODATE ANY FUTURE SITE WORK.
- DISCHARGE STORMWATER TO KERB & CHANNEL IN 90° U.P.V.C. LINES. IF NO KERB & CHANNEL EXISTS DISCHARGE TO LEGAL DISCHARGE POINT

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LOT 33
RP.849655
PARISH OF WHYANBEEL
COUNTY OF SOLANDER
1.367ham2

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PO Box 205
Bungalow Q 4870
QBCC 71474
ABN 96 066 299 198

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C.M.G. CONSULTING ENGINEERS PTY. LTD.
DATE: 23/03/2022
208 BUCHAN ST.
CARIND QLD 4870
PH. (07) 4631 2775
FAX. (07) 4651 9013

CLIENT:
TAYLOR

PROJECT:
PROPOSED RESIDENCE:
LOT 33 SOMERSET DRIVE, MIALLO

DATE: FEB. 2022

PROJECT No:319

DRAINAGE PLAN

SCALE: 1 : 150 AT A3

SHEET No:

2-14

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- WALL NOTES**
- EXTERNAL**
- SERIES 200 CONCRETE MASONRY BLOCKWORK
 - MODIFIED CEMENT RENDER - PAINT FINISH
- INTERNAL**
- PROPRIETARY BRAND 64mm STEEL FRAMING GENERALLY
 - STUDS AT 450mm CRS
 - PLASTERBOARD SHEETING TO BOTH SIDES GENERALLY U.N.O.
 - 6mm THICK VILLABOARD TO SHOWER WALLS & WATER RESISTANT PLASTERBOARD TO OTHER WET AREAS
 - FINISH AS SPECIFIED IN BUILDING CONTRACT

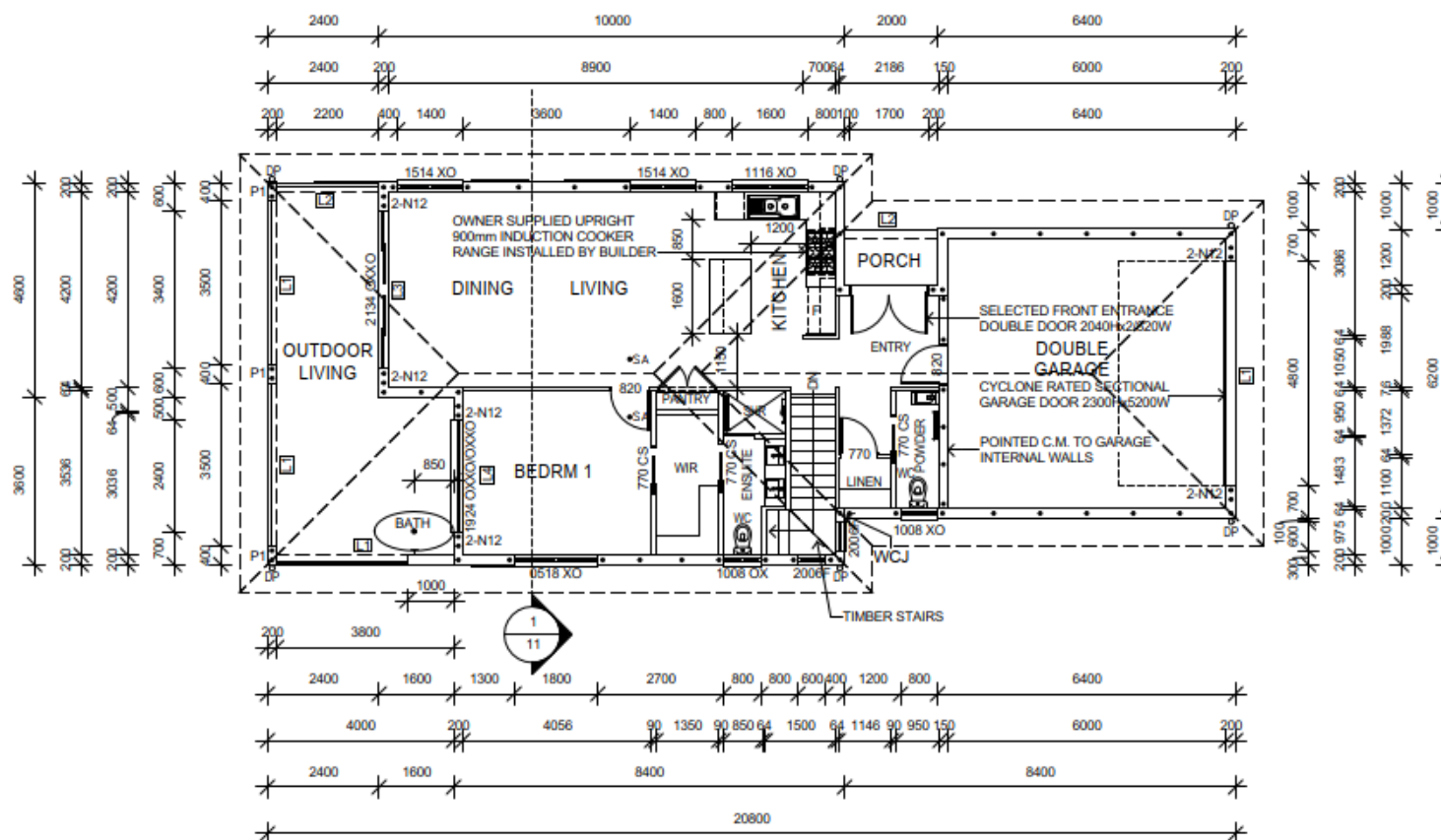
P1 - 400x200 C.M. COLUMN REINF. BY 2-N16 BARS & CONC. FILLED.

• S.A. (SMOKE ALARM)

ALL SMOKE ALARMS ARE TO BE PHOTOELECTRIC, INTERCONNECTED & HARD WIRED.

LOCATION OF ALARMS ARE INDICATIVE ONLY AND ARE TO COMPLY WITH RELEVANT AUSTRALIAN STANDARDS (AS 3786-2014)

- VERIFY ALL DIMENSIONS & LEVELS BEFORE COMMENCING ANY WORK.
- FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED MEASUREMENTS.
- ALL WORK TO COMPLY WITH LOCAL AUTHORITY REQUIREMENTS, STANDARD BUILDING BY-LAWS, THE BUILDING CODE OF AUSTRALIA & RELEVANT AUSTRALIAN STANDARDS



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[Signature] DATE: 23/03/2022
C.M.G. CONSULTING ENGINEERS PTY. LTD.
208 BUCHAN ST.
CARNS QLD 4870
PH: (07) 4051 2775
FAX: (07) 4051 5613

CLIENT:-
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PROPOSED RESIDENCE:
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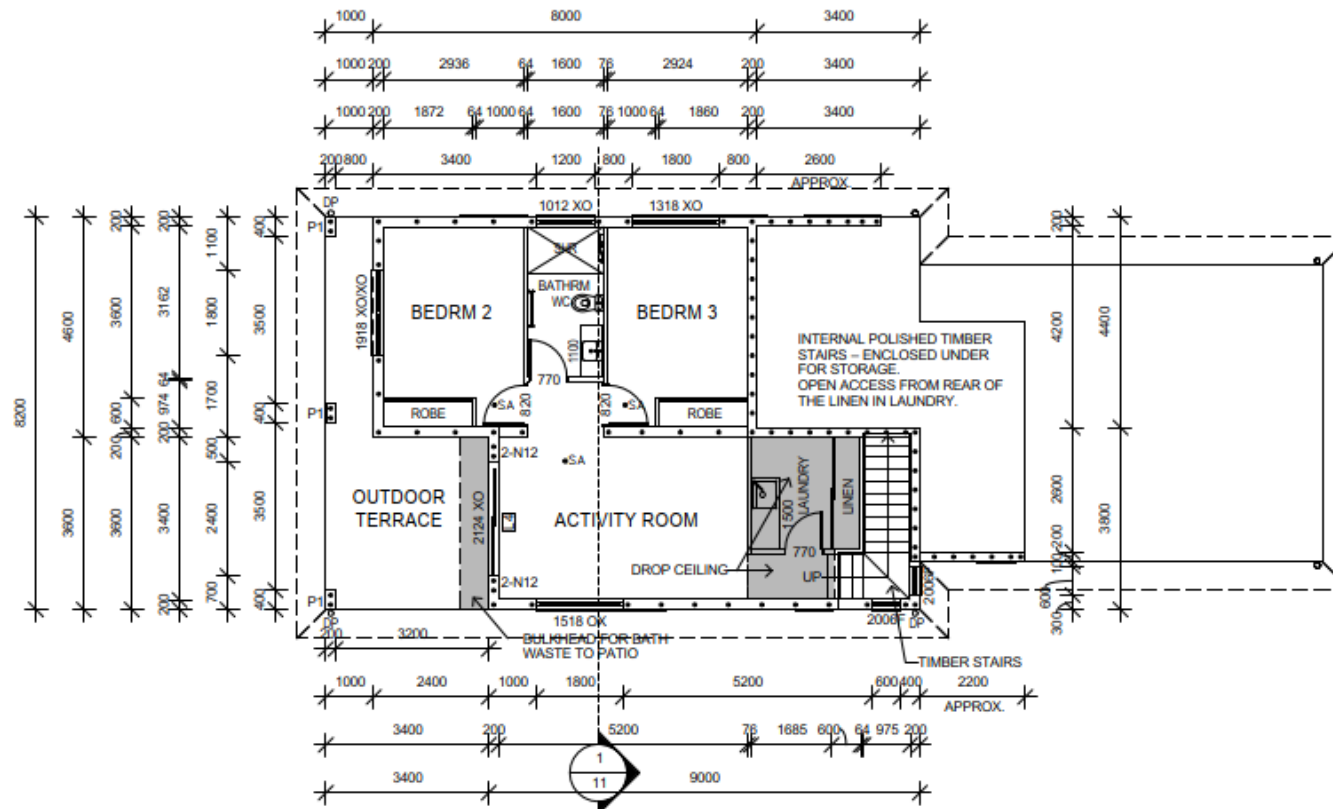
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PROJECT No:319

FIRST FLOOR PLAN

SCALE: 1: 100 AT A3

SHEET No:
3-14



WALL NOTES

EXTERNAL

- SERIES 200 CONCRETE MASONRY BLOCKWORK
- 'MODIFIED CEMENT' RENDER - PAINT FINISH

INTERNAL

- PROPRIETARY BRAND 64mm STEEL FRAMING GENERALLY
- STUDS AT 450mm CRS
- PLASTERBOARD SHEETING TO BOTH SIDES GENERALLY U.N.O.
- 8mm THICK VILLABOARD TO SHOWER WALLS & WATER RESISTANT PLASTERBOARD TO OTHER WET AREAS
- FINISH AS SPECIFIED IN BUILDING CONTRACT

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QBCC 71474
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258 BUCHANAN ST.
CARINGB. QLD. 4870
PH: (07) 4031 2775
FAX: (07) 4051 9013

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PROPOSED RESIDENCE:
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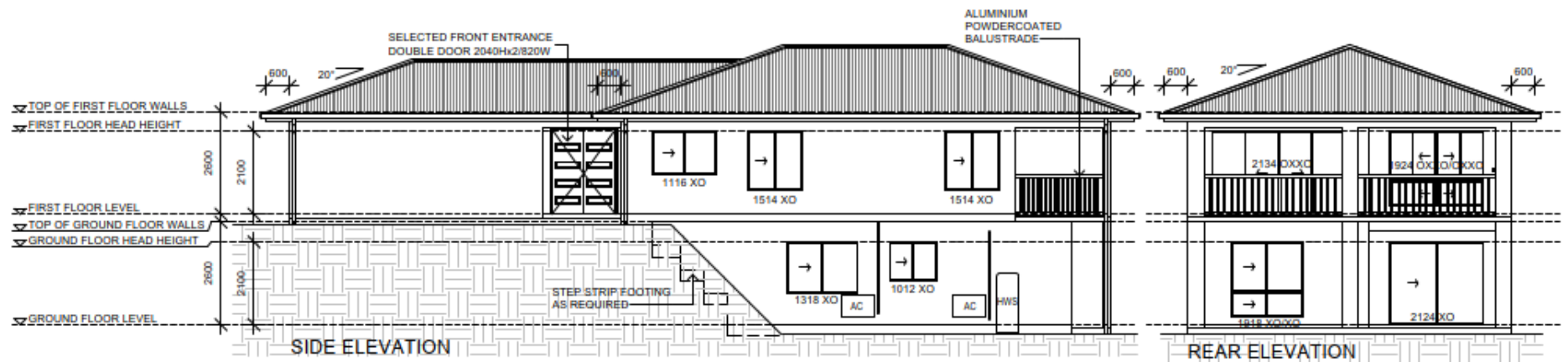
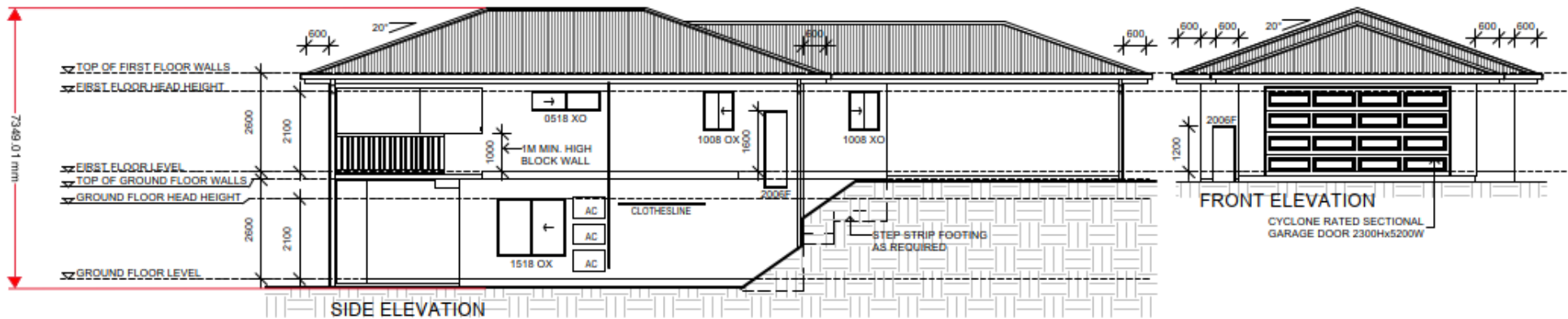
DATE:- FEB. 2022
PROJECT No:319

GROUND FLOOR PLAN

SCALE: 1 : 100 AT A3

SHEET No:
4-14

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Affinity
DESIGNER HOMES

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C.M.G. CONSULTING
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ENGINEERS PTY. LTD.

DATE: 23/03/2022

208 BUCHAN ST.
CARINGOLD 4870
PH: (07) 4021 2776
FAX: (07) 4051 9013

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DATE:- FEB. 2022

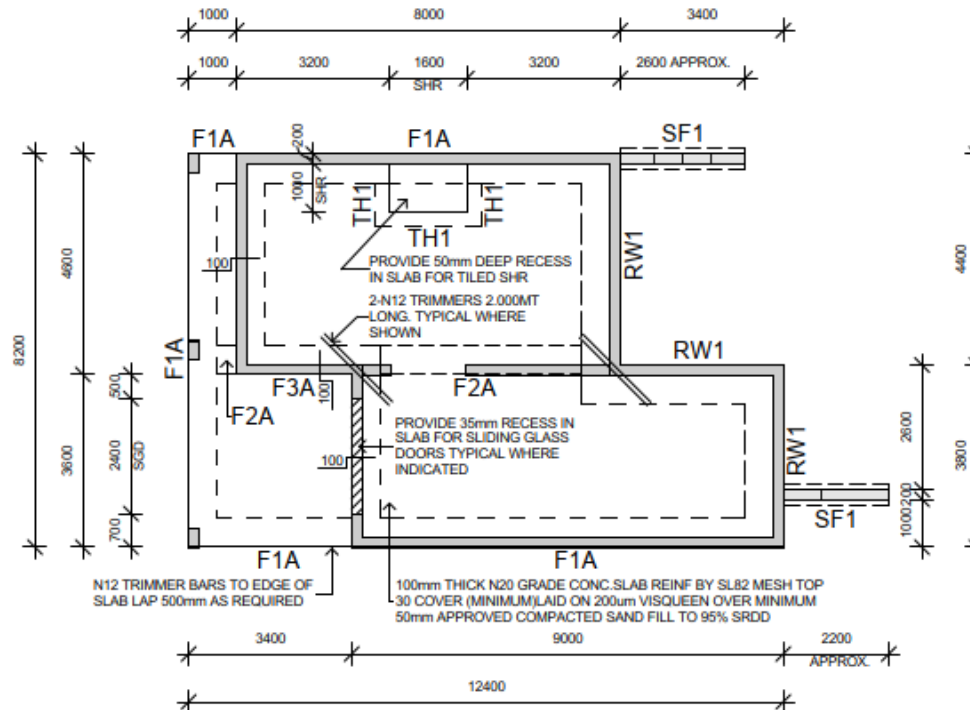
PROJECT No:319

ELEVATIONS

SCALE: 1 : 100 AT A3

SHEET No: 5-14

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CLASS 'P' SITE CLASSIFICATION IN ACCORDANCE WITH:
'EARTH TEST' JOB NO: SI 667-21 Report

FOOTING & SLAB NOTES

- FOOTINGS HAVE BEEN DESIGNED FOR A MINIMUM ALLOWABLE BEARING PRESSURE OF 100kPa & CLASS 'P' SITE CLASSIFICATION ACCORDING TO A.S. 2870
- BUILDER TO VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION
- NATURAL FOUNDATIONS TO BE GRUBBED OUT & FREE FROM ORGANIC MATTER & DEBRIS & COMPACTED TO A MIN. 95% SRDD AT -5% TO +2% OF OPTIMUM MOISTURE CONTENT OR NOT LESS THAN 70% DENSITY INDEX FOR COHESIONLESS SOILS. FILL TO SLAB & FOUNDATIONS SHALL BE APPROVED NON-PLASTIC MATERIAL COMPACTED IN MAX 150mm LAYERS TO 95% SRDD AT -5% TO +2% OF OPTIMUM MOISTURE CONTENT OR NOT LESS THAN 70% INDEX FOR COHESIONLESS SOILS.
- FOOTING TRENCHES SHALL BE CLEAN & DRY AT THE TIME OF CASTING WITH ANY SOFTENED MATERIAL REMOVED. BASE OF FOOTING TO BE FOUND ON FIRM NATURAL GROUND WITH MINIMUM SAFE BEARING CAPACITY OF 100kPa.
- REMOVE GRASS & TOPSOIL CONTAINING ROOTS FROM SLAB SITE PROVIDE COMPACTED SAND BEDDING UNDER SLAB
- PROVIDE 0.2mm POLYTHENE MOISTURE BARRIER UNDER SLAB & FOOTINGS
- CONCRETE TO SLAB & FOOTINGS TO BE N20, 80mm SLUMP, 20mm AGGREGATE.
- VIBRATE ALL CONCRETE. CURE SLAB 7 DAYS MINIMUM.
- CONCRETE COVER TO BE MAINTAINED BY THE USE OF APPROVED CHAIRS SPACED AT APPROX 750mm CRS. CONDUITS & PIPES SHALL NOT BE PLACED WITHIN COVER CONCRETE.
- LAPS SHALL BE N12-450mm, N16-600mm, FABRIC-1 COMPLETE MESH OVERLAP BETWEEN SHEETS.
- CAST-IN ITEMS SHALL BE HOT DIPPED GALVANISED.
- FOOTINGS SHALL NOT BE LOCATED CLOSER TO THE NEAREST EDGE OF A STORMWATER/SEWER TRENCH THAN THE DEPTH OF THE TRENCH.
- SITE AREA TO BE GRADED TO READILY REMOVE SURFACE WATER & PREVENT PONDING ADJACENT TO FOUNDATIONS & DRIVEWAY
- EXECUTION & CONTROL TESTING OF EARTHWORKS & ASSOCIATED SITE PREPARATION WORKS SHALL COMPLY WITH A.S. 3798

Affinity
DESIGNER HOMES

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QBCC 71474
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C.M.G. CONSULTING ENGINEERS PTY. LTD.
258 BUCHANAN ST.
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PH. (07) 4031 2775
FAX. (07) 4051 9613

CLIENT:-
TAYLOR

PROJECT:-
PROPOSED RESIDENCE:
LOT 33 SOMERSET DRIVE, MIALLO

DATE:- FEB. 2022

PROJECT No: 319

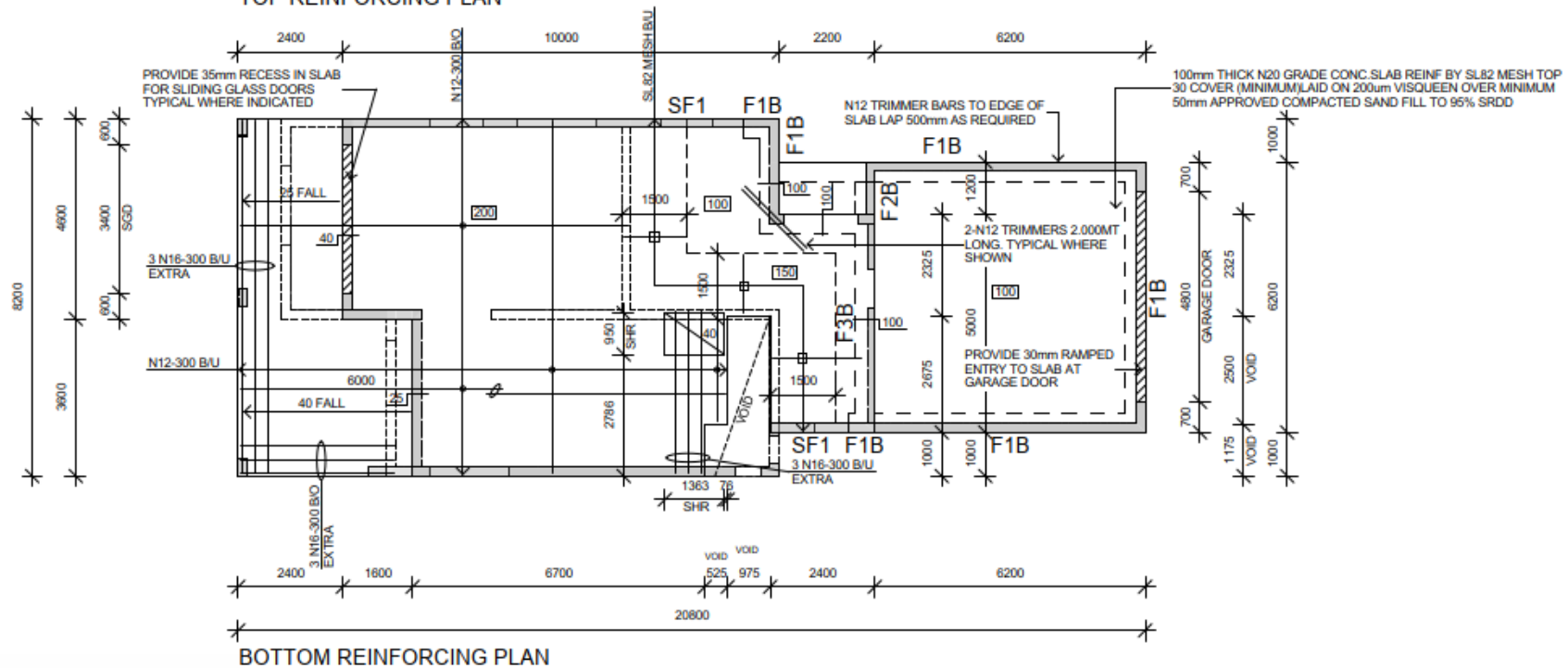
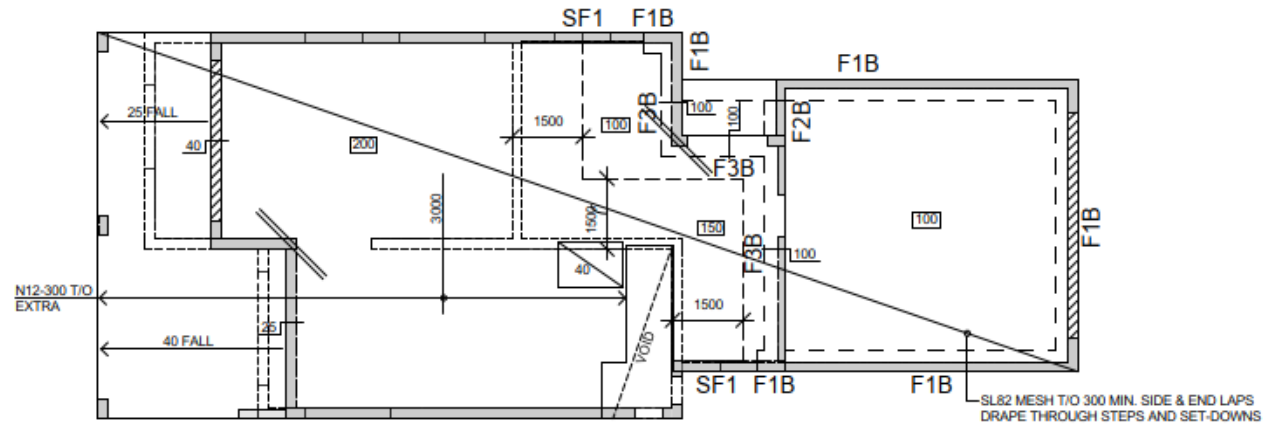
GROUND FLOOR
FOOTINGS/SLAB PLAN

SCALE: 1 : 100 AT A3

SHEET No:

6-14

18/03/2022 2:12:08 PM



Affinity
DESIGNER HOMES

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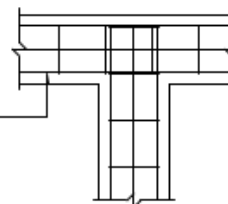
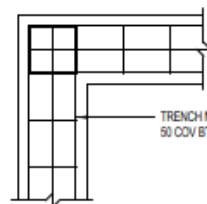
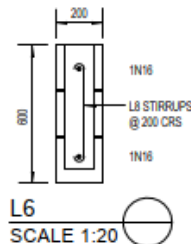
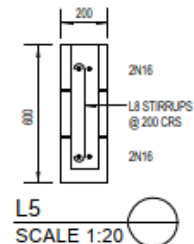
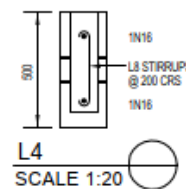
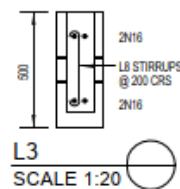
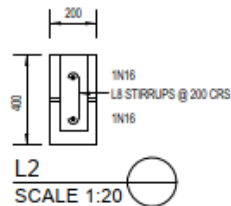
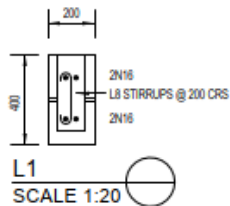
PROJECT No.319

SUSPENDED SLAB PLAN

SCALE: 1 : 100 AT A3

SHEET No:
7 - 14

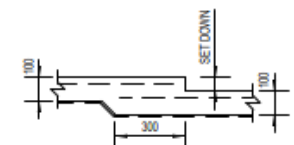
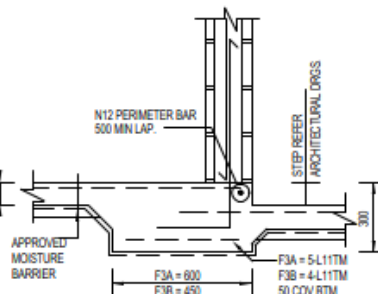
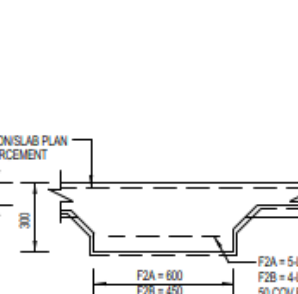
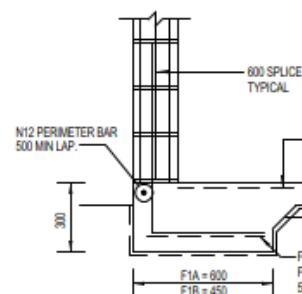
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WIND CLASSIFICATION - C2

C.M.B. WALL REINFORCEMENT NOTES

1. PROVIDE DOUBLE COURSE BOND BEAM AT UNDER SIDE OF ROOF. REINF. WITH 2N12 OR 1N16 BAR EACH COURSE 500 MIN. LAPS.
2. PROVIDE SINGLE COURSE BOND BEAM IMMEDIATELY BELOW ALL WINDOW OPENINGS. REINF. WITH 1N12. EXTEND BOND BEAM 200 PAST EACH SIDE OF OPENING.
3. U.N.O. ON PLAN ALL LINTELS TO BE REINF. WITH 2N12 OR 1N16 BAR WITH L8 TIE BARS AT 1000 CRS. MAX.
4. U.N.O. ON PLAN ALL 200 C.M.B. & 150 C.M.B. WALLS TO BE REINF. WITH N12 VERTICAL BARS AT ENDS, CORNERS, INTERSECTIONS, AT EACH SIDE OF OPENINGS AND AT 1200 MAX. CENTRES BETWEEN.
5. PROVIDE ADDITIONAL N12 VERTICAL BARS TO CORES ADJACENT TO OPENINGS GREATER THAN 1800 WIDE.
6. UNLESS NOTED OTHERWISE CONCRETE FILL ALL CORES CONTAINING REINFORCEMENT, HOLDING DOWN BOLTS AND MASONRY ANCHORS.
7. 100 SERIES BLOCKWORK WALLS TIED TO EXTERNAL WALLS WITH APPROVED MASONRY MESH EVERY 2nd COURSE.
8. W.C.J. DENOTES WALL CONTROL JOINT U.N.O. TO BE REINFORCED WITH 1N12 VERTICAL EACH SIDE OF JOINT. EXTEND BOND BEAM REINFORCEMENT THROUGH JOINT FILL JOINT WITH COMPRESSIBLE BACKING ROD AND APPROVED SEALANT BOTH SIDES TO ARCHITECTS SPECIFICATION.



SEE SHEET 9 FOR STRIP
FOOTING DETAILS

Affinity
DESIGNER HOMES

Affinity Designer Homes
PO Box 205
Bungalow Q 4870
QBCC 71474
ABN 96 066 299 198

WE HEREBY CERTIFY THE STRUCTURAL DETAILS
AS SHOWN ON THESE DRAWINGS FOR
CONSTRUCTION IN WIND CLASSIFICATION: C2

[Signature] DATE: 23/03/2022
C.M.G. CONSULTING ENGINEERS PTY. LTD.
208 BUCHANAN ST.
CAIRNS QLD. 4870
PH. (07) 4631 2775
FAX. (07) 4651 5613

CLIENT:-
TAYLOR

PROJECT:-
PROPOSED RESIDENCE:
LOT 33 SOMERSET DRIVE, MIALLO

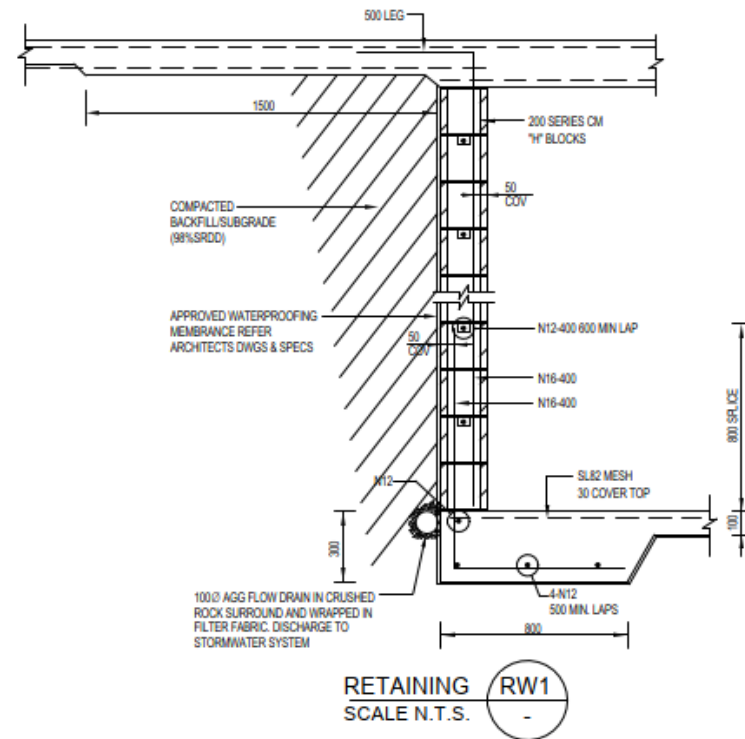
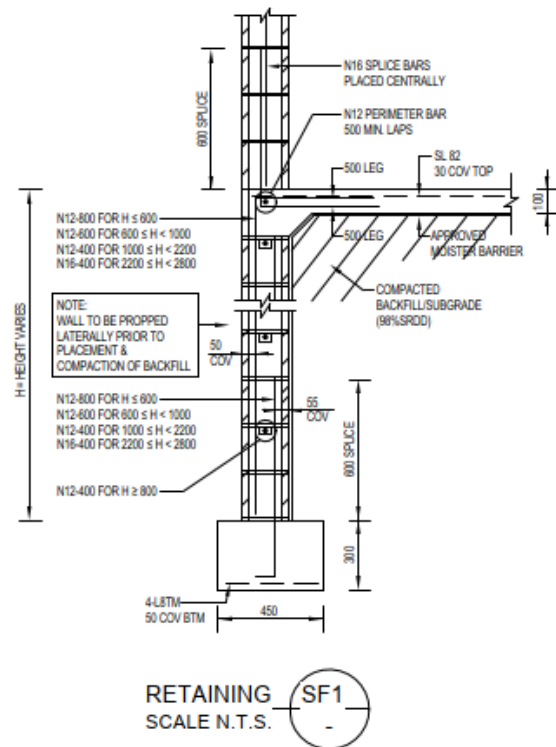
DATE:- FEB. 2022

PROJECT No:319

FOOTINGS & LINTEL
DETAILS

SCALE: AT A3

SHEET No:
8-14



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DATE:- FEB. 2022

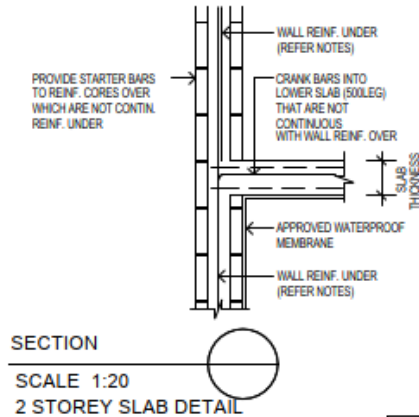
PROJECT No:319

RETAINING WALL DETAILS

SCALE: AT A3

SHEET No:
9-14

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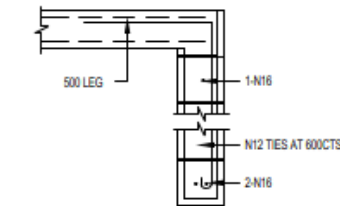


SUSPENDED SLAB NOTES

N32 CONCRETE UNO
D 500 N REINFORCING BARS

- REFER TO SUSPENDED SLAB PLAN FOR SLAB THICKNESS
- N32 CONCRETE, 80mm SLUMP 20mm MAX. AGGREGATE 20mm COVER
- VIBRATE ALL CONCRETE, CURE SLAB 14 DAYS MIN.
- REINFORCEMENT IS REPRESENTED DIAGRAMMATIC & NOT NECESSARILY IN TRUE PROJECTION
- STACKING OF MATERIALS IS PERMISSIBLE AFTER 14 DAYS. MAGNITUDE OF STACKED MATERIAL IS LIMITED TO 1.5kPa WITH BACK PROPS UNDER
- REMOVAL OF PROPS IS PERMISSIBLE AFTER 28 DAYS

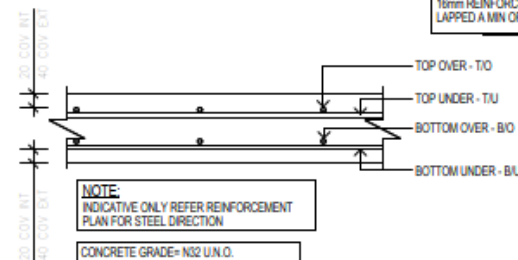
NOTE:
TOP OF ALL LOADBEARING
CONCRETE MASONRY WALLS,
PIERS AND COLUMNS NOT TO
ENCROACH INTO SOFFIT OF SLAB



TYPICAL LINTEL

DETAIL AT SUSPENDED SLAB

SCALE 1:20



CONCRETE GRADE= N32 U.N.O.

NOT TO SCALE

C.M.B. WALL REINFORCEMENT NOTES

GROUND TO FIRST FLOOR - LOAD BEARING C.M.B.

- PROVIDE SINGLE COURSE BOND BEAM IMMEDIATELY BELOW FIRST FLOOR LEVEL SLAB. REINF. WITH 2N12 OR 1N16 BAR 500 MIN. LAP.
- PROVIDE SINGLE COURSE BOND BEAM IMMEDIATELY BELOW ALL WINDOW OPENINGS. REINF. WITH 1N12. EXTEND BOND BEAM 200 PAST EACH SIDE OF OPENING.
- U.N.O. ON PLAN ALL LINTELS TO BE REINF. WITH 2N16 ALL LINTELS TO BE TIED TO SLAB OVER WITH N12-600 BARS COGGED 500 INTO TOP OF SLAB.
- U.N.O. ON PLAN ALL 200 C.M.B. WALLS TO BE REINF. WITH N16 VERTICAL BARS AT ENDS, CORNERS, INTERSECTIONS, AT EACH SIDE OF OPENINGS AND AT 800 MAX. CENTRES BETWEEN.
- U.N.O. ON PLAN ALL 150 C.M.B. WALLS TO BE REINF. WITH N16 VERTICAL BARS AT ENDS, CORNERS, INTERSECTIONS, AT EACH SIDE OF OPENINGS AND AT 800 MAX. CENTRES BETWEEN.
- W.C.J. DENOTES WALL CONTROL JOINT U.N.O. TO BE REINFORCED WITH 1N16 VERTICAL EACH SIDE OF JOINT. EXTEND BOND BEAM REINFORCEMENT THROUGH JOINT FILL JOINT WITH COMPRESSIBLE BACKING ROD AND APPROVED SEALANT BOTH SIDES TO ARCHITECTS SPECIFICATION.
- 300x300 C.M.B. PIERS TO BE REINF. WITH 4-N16 VERT. REINF. AND R6 LIGS AT 300CTS
- WALL PANELS LESS THAN OR EQUAL TO 800LG TO BE REINF. WITH N16 VERT. BARS IN EACH CORE

C.M.B. WALL REINFORCEMENT NOTES

FIRST FLOOR LEVEL - ROOF

- PROVIDE DOUBLE COURSE BOND BEAM AT UNDER SIDE OF ROOF. REINF. WITH 2N12 OR 1N16 BAR 500 MIN. LAP. EACH COURSE.
- PROVIDE SINGLE COURSE BOND BEAM IMMEDIATELY BELOW ALL WINDOW OPENINGS. REINF. WITH 1N12. EXTEND BOND BEAM 200 PAST EACH SIDE OF OPENING.
- U.N.O. ON PLAN ALL LINTELS TO BE REINF. WITH 2N12 OR 1N16 BAR WITH L8 LIGS AT 1000 CRS. MAX.
- U.N.O. ON PLAN ALL 200 C.M.B. WALLS TO BE REINF. WITH N16 VERTICAL BARS AT ENDS, CORNERS, INTERSECTIONS, AT EACH SIDE OF OPENINGS AND AT 1200 MAX. CENTRES BETWEEN.
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PO Box 205
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WE HEREBY CERTIFY THE STRUCTURAL DETAILS
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[Signature] DATE: 23/03/2022
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CAIRNS QLD 4870
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TAYLOR

PROJECT:-
PROPOSED RESIDENCE:
LOT 33 SOMERSET DRIVE, MIALLO

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PROJECT No:319

SUSPENDED SLAB
DETAILS

SCALE: AT A3

SHEET No:

10-14

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SUSTAINABLE HOUSING NOTE

SHOWER ROSES TO HAVE A MINIMUM OF 3 STAR WATER EFFICIENCY LABELING AND STANDARDS RATING.

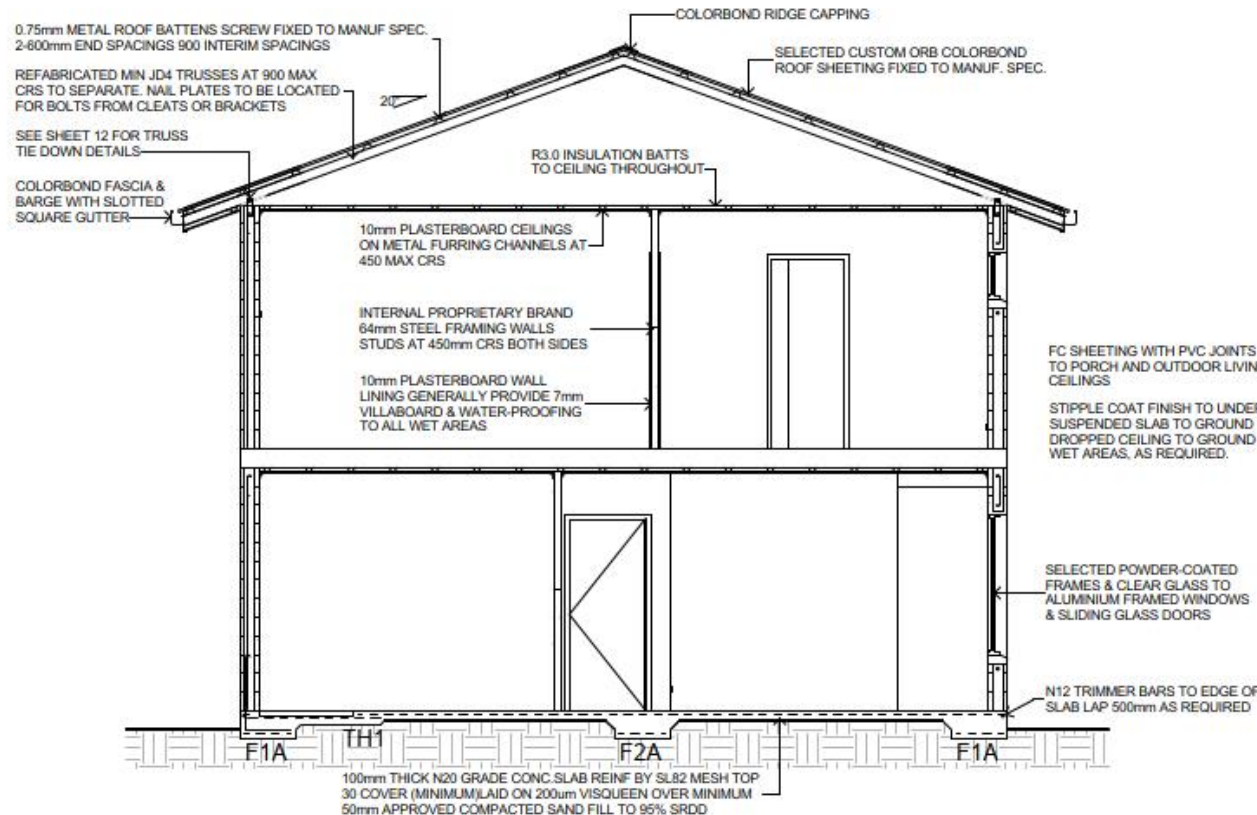
TAPWARE WITH A MINIMUM 3 STAR WATER EFFICIENCY LABELING AND STANDARDS RATING SERVES:

- (a) LAUNDRY TUBS &
- (b) KITCHEN SINKS &
- (c) BASINS

ALL TOILET CISTERNS TO HAVE A DUAL FLUSH FUNCTION AND HAVE A MINIMUM 4 STAR WATER EFFICIENCY LABELING AND STANDARDS RATING AND ARE COMPATIBLE WITH THE SIZE OF THE TOILET BOWL TO ALLOW FOR THE PROPER FUNCTIONING OF THE TOILET.

ENERGY EFFICIENT LIGHTING FOR A MINIMUM OF 80% OF FIXED ARTIFICIAL LIGHTING.

HOT WATER SYSTEMS COMPLY WITH THE QUEENSLAND PLUMBING & WASTEWATER CODE.



GENERAL NOTES

- TIMBER MEMBER SIZES & CONNECTIONS NOT SHOWN ON PLANS SHALL COMPLY WITH AS 1684.3
- ALL MATERIALS & WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT S.A. CODES & THE BY-LAWS & ORDINANCES OF THE RELEVANT BUILDING AUTHORITY EXCEPT WHERE VARIED BY THE PROJECT SPECIFICATION
- ALL DIMENSIONS SHOWN SHALL BE VERIFIED ON SITE
- IF AN DISCREPANCY OCCURS ON THE ENGINEERS DRAWINGS THE CONTRACTOR SHALL ASSUME THE LARGER/GREATER. ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH ANY WORK. SUBSTITUTIONS MUST BE APPROVED BY THE ENGINEER

MAXIMUM DESIGN GUST WIND SPEED

WIND CLASSIFICATION	MAXIMUM DESIGN GUST WIND SPEED (M/S)	
	PERMISSIBLE STRESS	LIMIT STATE
C1	41 (W41C)	50
C2	50 (W50C)	61
C3	60 (W60C)	74

ULTIMATE & SERVICEABILITY LIMIT STATE DESIGN WIND PRESSURES FOR GLAZING & WINDOWS

WIND CLASSIFICATION	DESIGN GUST WIND SPEED (M/S)		DESIGN PRESSURES (N/m²)			
	V _W	V _W	GREATER THAN 1.2M FROM CORNERS	UP TO 1.2M FROM THE CORNERS	UP TO 1.2M FROM THE CORNERS	UP TO 1.2M FROM THE CORNERS
C1	50	52	41.80	40.55	-2.70	-4.83
C2	60	62	50.16	48.66	-3.24	-5.80
C3	70	72	58.52	56.76	-3.78	-6.87

66x12 SELECTED PINE SKIRTING TO WALLS
42x12 SELECTED PINE ARCHITRAVES TO ALL DOORS
55mm PLASTERBOARD CORNICE

PROVIDE TERMITE CONTROL SYSTEM IN ACCORDANCE WITH A.S. 3600.1 & 3660.1.

CONC SLAB TO HAVE TERMITE COLLARS TO ALL PENETRATIONS OR ALL STRUCTURAL TIMBER TO BE OF A TERMITE RESISTANT GRADE OR BE TREATED FOR TERMITE RESISTANCE

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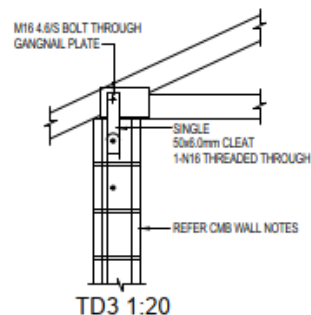
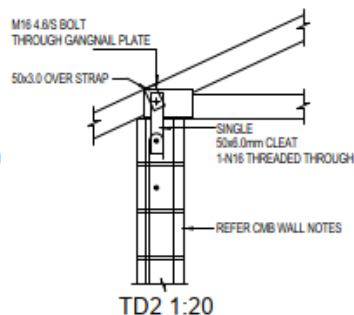
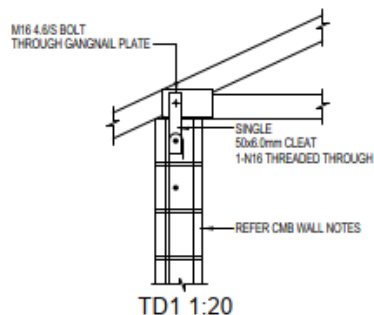
PROJECT No.319

CROSS SECTION

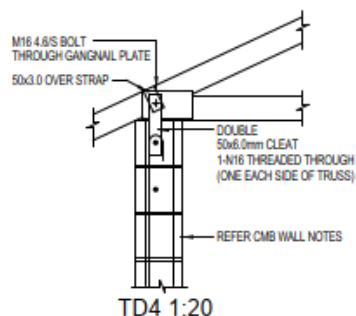
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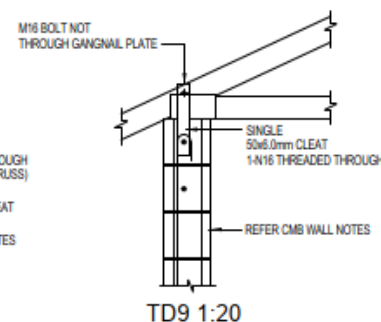
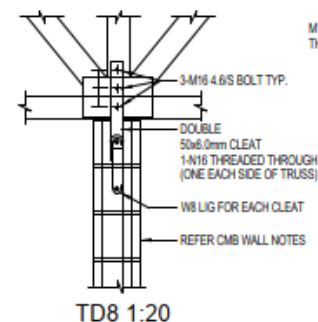
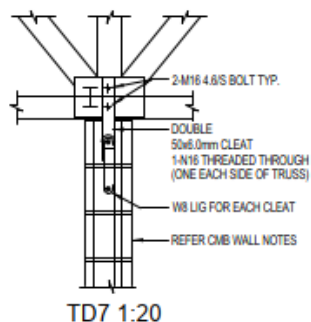
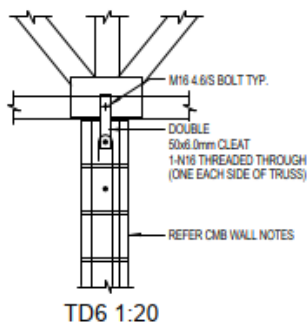
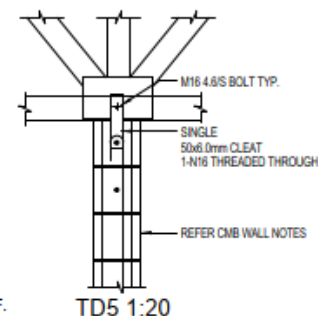
WIND CLASSIFICATION - C2



UPLIFT RESISTANCE kN
(Ultimate Limit State)

TRUSS JOINT GROUP						
TYPE	J2	J3	J3	J4	J5	J6
TD1	20	15	10	16	11	8
TD2	35	25	16	23	18	15
TD3	49	44	28	44	36	28
TD4	76	54	34	54	43	34
TD5	20	15	10	16	11	8
TD6	49	44	28	44	36	28
TD7	93	84	53	84	68	53
TD8	128	115	73	115	94	73
TD9				9.5		

NOTE: PROVIDE 2-N12 (MIN.) VERTICAL REINF. BARS ADJACENT TO CLEATS WITH TIE-DOWN LOADS GREATER THAN 80kN



NOTE:
CLEAT SIZES AND
CONNECTIONS SIMILAR
FOR RHS BEAMS

TRUSS TIE DOWN-DETAILS

(REFER TRUSS MANUF. LAYOUT AND UPLIFT LOADING)

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Affinity Designer Homes
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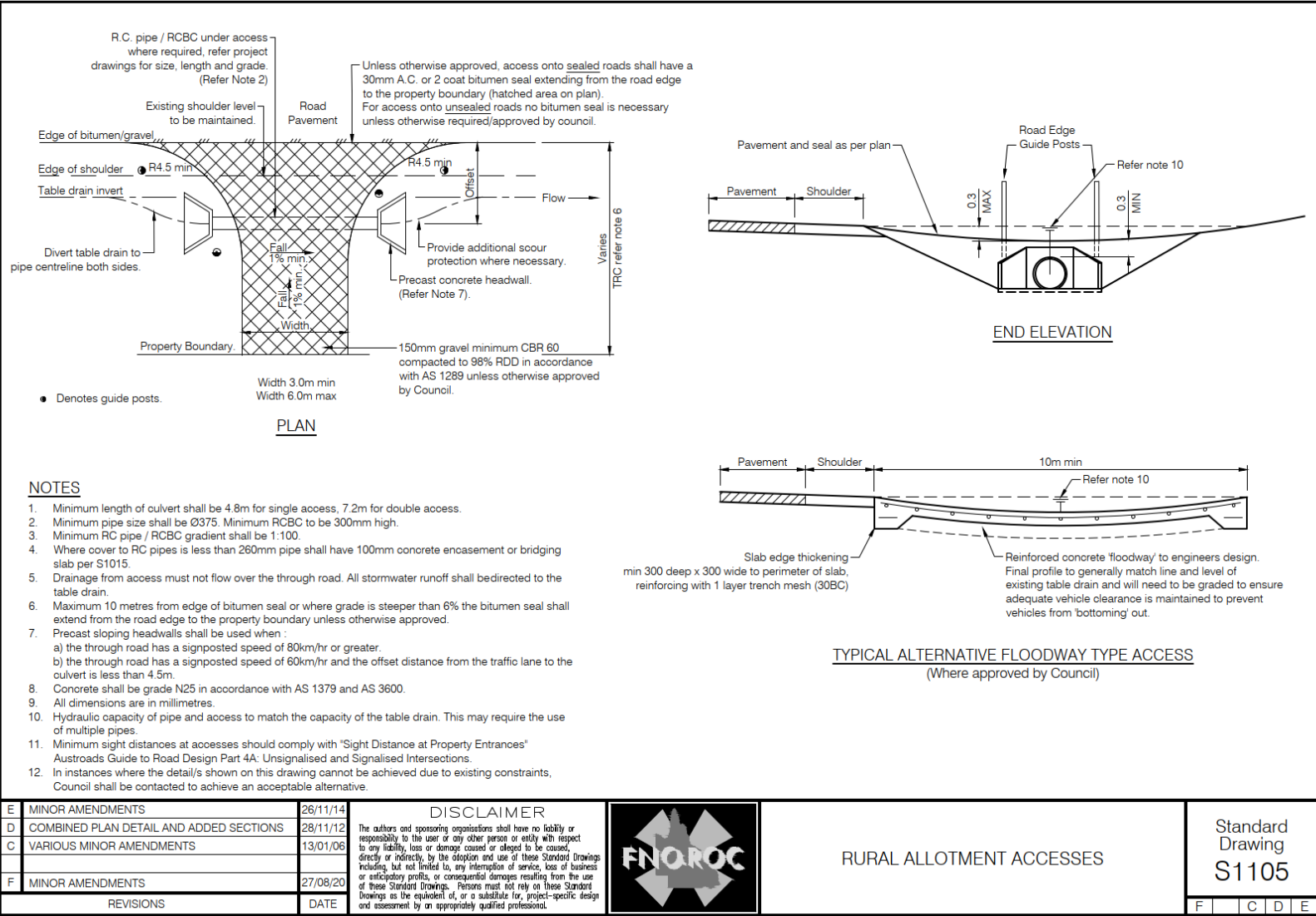
TIE-DOWN DETAILS

SCALE: AT A3

SHEET No:
12-14

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FNQROC Regional Development Manual Standard Drawing/s for Vehicle Access



Reasons for Decision

1. The reasons for this decision are:
 - a. Sections 60, 62 and 63 of the *Planning Act 2016*;
 - b. to ensure the development satisfies the benchmarks of the 2018 Douglas Shire Planning Scheme Version 1.0; and
 - c. to ensure compliance with the *Planning Act 2016*.
2. Findings on material questions of fact:
 - a. the development application was properly lodged to the Douglas Shire Council 13/04/2022 under section 51 of the *Planning Act 2016* and Part 1 of the *Development Assessment Rules*;
 - b. the development application contained information from the applicant which Council reviewed together with Council's own assessment against the 2017 State Planning Policy and the 2018 Douglas Shire Planning Scheme Version 1.0 in making its assessment manager decision.
3. Evidence or other material on which findings were based:
 - a. the development triggered assessable development under the Assessment Table associated with the Environmental Management Zone Code;
 - b. Council undertook an assessment in accordance with the provisions of sections 60, 62 and 63 of the *Planning Act 2016*; and
 - c. the applicant's reasons have been considered and the following findings are made:
 - i. Subject to conditions, the development satisfactorily meets the Planning Scheme benchmarks.

Division 2 Changing development approvals

Subdivision 1 Changes during appeal period

74 What this subdivision is about

- (1) This subdivision is about changing a development approval before the applicant's appeal period for the approval ends.
- (2) This subdivision also applies to an approval of a change application, other than a change application for a minor change to a development approval.
- (3) For subsection (2), sections 75 and 76 apply—
 - (a) as if a reference in section 75 to a development approval were a reference to an approval of a change application; and
 - (b) as if a reference in the sections to the assessment manager were a reference to the responsible entity; and
 - (c) as if a reference in section 76 to a development application were a reference to a change application; and
 - (d) as if the reference in section 76(3)(b) to section 63(2) and (3) were a reference to section 83(4); and
 - (e) with any other necessary changes.

75 Making change representations

- (1) The applicant may make representations (*change representations*) to the assessment manager, during the applicant's appeal period for the development approval, about changing—
 - (a) a matter in the development approval, other than—
 - (i) a matter stated because of a referral agency's response; or

- (ii) a development condition imposed under a direction made by the Minister under chapter 3, part 6, division 2; or
- (b) if the development approval is a deemed approval—the standard conditions taken to be included in the deemed approval under section 64(8)(c).
- (2) If the applicant needs more time to make the change representations, the applicant may, during the applicant's appeal period for the approval, suspend the appeal period by a notice given to the assessment manager.
- (3) Only 1 notice may be given.
- (4) If a notice is given, the appeal period is suspended—
 - (a) if the change representations are not made within a period of 20 business days after the notice is given to the assessment manager—until the end of that period; or
 - (b) if the change representations are made within 20 business days after the notice is given to the assessment manager, until—
 - (i) the applicant withdraws the notice, by giving another notice to the assessment manager; or
 - (ii) the applicant receives notice that the assessment manager does not agree with the change representations; or
 - (iii) the end of 20 business days after the change representations are made, or a longer period agreed in writing between the applicant and the assessment manager.
- (5) However, if the assessment manager gives the applicant a negotiated decision notice, the appeal period starts again on the day after the negotiated decision notice is given.

76 Deciding change representations

- (1) The assessment manager must assess the change representations against and having regard to the matters that

- must be considered when assessing a development application, to the extent those matters are relevant.
- (2) The assessment manager must, within 5 business days after deciding the change representations, give a decision notice to—
- (a) the applicant; and
 - (b) if the assessment manager agrees with any of the change representations—
 - (i) each principal submitter; and
 - (ii) each referral agency; and
 - (iii) if the assessment manager is not a local government and the development is in a local government area—the relevant local government; and
 - (iv) if the assessment manager is a chosen assessment manager—the prescribed assessment manager; and
 - (v) another person prescribed by regulation.
- (3) A decision notice (a ***negotiated decision notice***) that states the assessment manager agrees with a change representation must—
- (a) state the nature of the change agreed to; and
 - (b) comply with section 63(2) and (3).
- (4) A negotiated decision notice replaces the decision notice for the development application.
- (5) Only 1 negotiated decision notice may be given.
- (6) If a negotiated decision notice is given to an applicant, a local government may give a replacement infrastructure charges notice to the applicant.

Chapter 6 Dispute resolution

Part 1 Appeal rights

229 Appeals to tribunal or P&E Court

- (1) Schedule 1 states—
 - (a) matters that may be appealed to—
 - (i) either a tribunal or the P&E Court; or
 - (ii) only a tribunal; or
 - (iii) only the P&E Court; and
 - (b) the person—
 - (i) who may appeal a matter (the *appellant*); and
 - (ii) who is a respondent in an appeal of the matter; and
 - (iii) who is a co-respondent in an appeal of the matter; and
 - (iv) who may elect to be a co-respondent in an appeal of the matter.
- (2) An appellant may start an appeal within the appeal period.
- (3) The *appeal period* is—
 - (a) for an appeal by a building advisory agency—10 business days after a decision notice for the decision is given to the agency; or
 - (b) for an appeal against a deemed refusal—at any time after the deemed refusal happens; or
 - (c) for an appeal against a decision of the Minister, under chapter 7, part 4, to register premises or to renew the registration of premises—20 business days after a notice is published under section 269(3)(a) or (4); or

- (d) for an appeal against an infrastructure charges notice—20 business days after the infrastructure charges notice is given to the person; or
- (e) for an appeal about a deemed approval of a development application for which a decision notice has not been given—30 business days after the applicant gives the deemed approval notice to the assessment manager; or
- (f) for an appeal relating to the *Plumbing and Drainage Act 2018*—
 - (i) for an appeal against an enforcement notice given because of a belief mentioned in the *Plumbing and Drainage Act 2018*, section 143(2)(a)(i), (b) or (c)—5 business days after the day the notice is given; or
 - (ii) for an appeal against a decision of a local government or an inspector to give an action notice under the *Plumbing and Drainage Act 2018*—5 business days after the notice is given; or
 - (iii) otherwise—20 business days after the day the notice is given; or
- (g) for any other appeal—20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.

Note—

See the P&E Court Act for the court's power to extend the appeal period.

- (4) Each respondent and co-respondent for an appeal may be heard in the appeal.
- (5) If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.
- (6) To remove any doubt, it is declared that an appeal against an infrastructure charges notice must not be about—
 - (a) the adopted charge itself; or

- (b) for a decision about an offset or refund—
 - (i) the establishment cost of trunk infrastructure identified in a LGIP; or
 - (ii) the cost of infrastructure decided using the method included in the local government's charges resolution.

230 Notice of appeal

- (1) An appellant starts an appeal by lodging, with the registrar of the tribunal or P&E Court, a notice of appeal that—
 - (a) is in the approved form; and
 - (b) succinctly states the grounds of the appeal.
- (2) The notice of appeal must be accompanied by the required fee.
- (3) The appellant or, for an appeal to a tribunal, the registrar, must, within the service period, give a copy of the notice of appeal to—
 - (a) the respondent for the appeal; and
 - (b) each co-respondent for the appeal; and
 - (c) for an appeal about a development application under schedule 1, section 1, table 1, item 1—each principal submitter for the application whose submission has not been withdrawn; and
 - (d) for an appeal about a change application under schedule 1, section 1, table 1, item 2—each principal submitter for the application whose submission has not been withdrawn; and
 - (e) each person who may elect to be a co-respondent for the appeal other than an eligible submitter for a development application or change application the subject of the appeal; and
 - (f) for an appeal to the P&E Court—the chief executive; and

- (g) for an appeal to a tribunal under another Act—any other person who the registrar considers appropriate.
- (4) The *service period* is—
 - (a) if a submitter or advice agency started the appeal in the P&E Court—2 business days after the appeal is started; or
 - (b) otherwise—10 business days after the appeal is started.
- (5) A notice of appeal given to a person who may elect to be a co-respondent must state the effect of subsection (6).
- (6) A person elects to be a co-respondent to an appeal by filing a notice of election in the approved form—
 - (a) if a copy of the notice of appeal is given to the person—within 10 business days after the copy is given to the person; or
 - (b) otherwise—within 15 business days after the notice of appeal is lodged with the registrar of the tribunal or the P&E Court.
- (7) Despite any other Act or rules of court to the contrary, a copy of a notice of appeal may be given to the chief executive by emailing the copy to the chief executive at the email address stated on the department's website for this purpose.

231 Non-appealable decisions and matters

- (1) Subject to this chapter, section 316(2), schedule 1 and the P&E Court Act, unless the Supreme Court decides a decision or other matter under this Act is affected by jurisdictional error, the decision or matter is non-appealable.
- (2) The *Judicial Review Act 1991*, part 5 applies to the decision or matter to the extent it is affected by jurisdictional error.
- (3) A person who, but for subsection (1) could have made an application under the *Judicial Review Act 1991* in relation to the decision or matter, may apply under part 4 of that Act for a statement of reasons in relation to the decision or matter.

(4) In this section—

decision includes—

- (a) conduct engaged in for the purpose of making a decision; and
- (b) other conduct that relates to the making of a decision; and
- (c) the making of a decision or the failure to make a decision; and
- (d) a purported decision; and
- (e) a deemed refusal.

non-appealable, for a decision or matter, means the decision or matter—

- (a) is final and conclusive; and
- (b) may not be challenged, appealed against, reviewed, quashed, set aside or called into question in any other way under the *Judicial Review Act 1991* or otherwise, whether by the Supreme Court, another court, any tribunal or another entity; and
- (c) is not subject to any declaratory, injunctive or other order of the Supreme Court, another court, any tribunal or another entity on any ground.

232 Rules of the P&E Court

- (1) A person who is appealing to the P&E Court must comply with the rules of the court that apply to the appeal.
- (2) However, the P&E Court may hear and decide an appeal even if the person has not complied with rules of the P&E Court.