

MURPHY STREET RESIDENCE

22/11/22

MURPHY STREET RESIDENCE

LOT113 PTD2094 MURPHY STREET PORT DOUGLAS

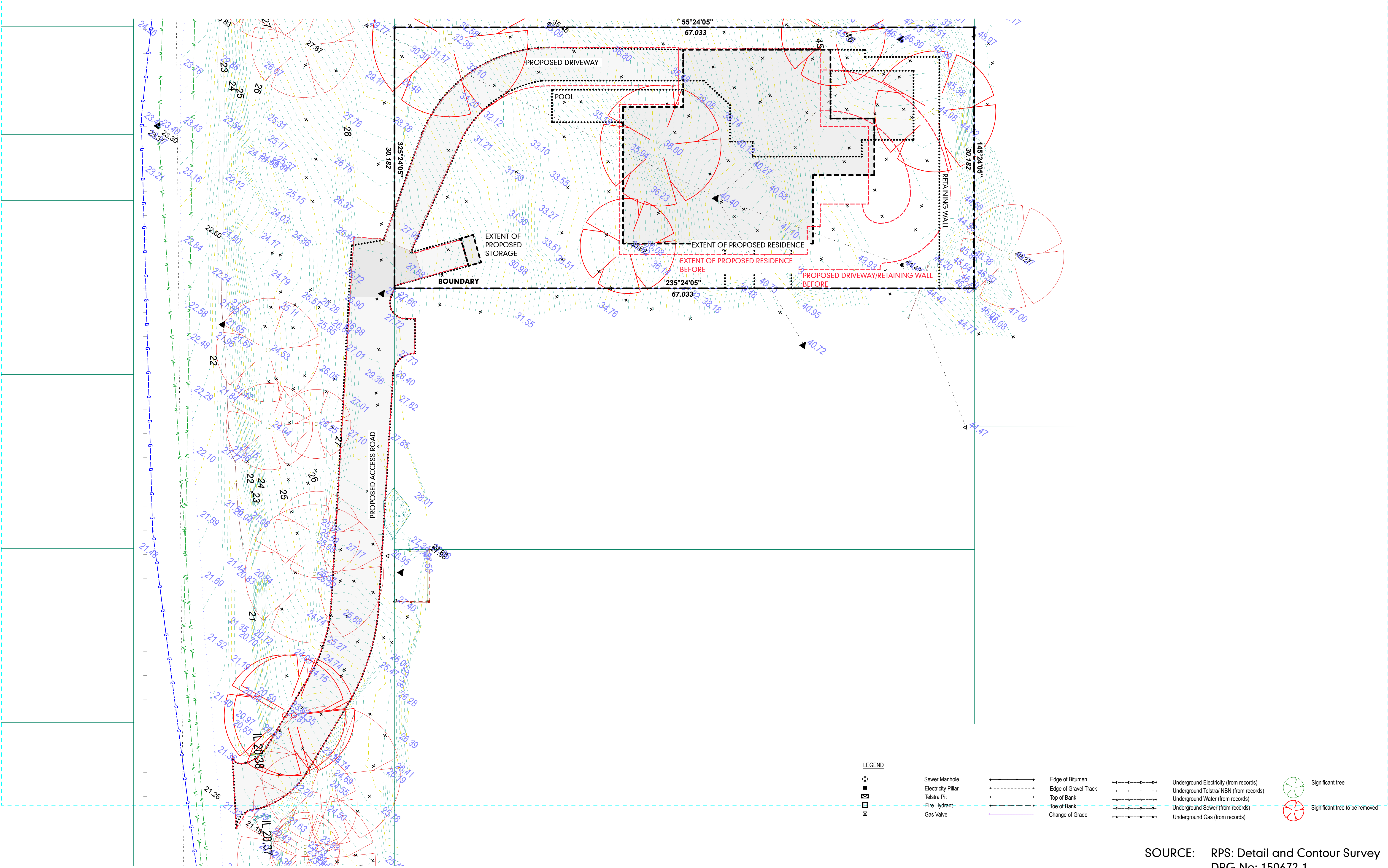
KIM CULLEN & NEIL BIDDLE

MURPHY001

PRELIMINARY



Architecture Master Planning Interiors
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SITE PLAN - EXISTING (SURVEY)
SCALE 1:200

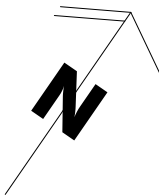
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DRG No: 150672-1
date: 27.09.2021

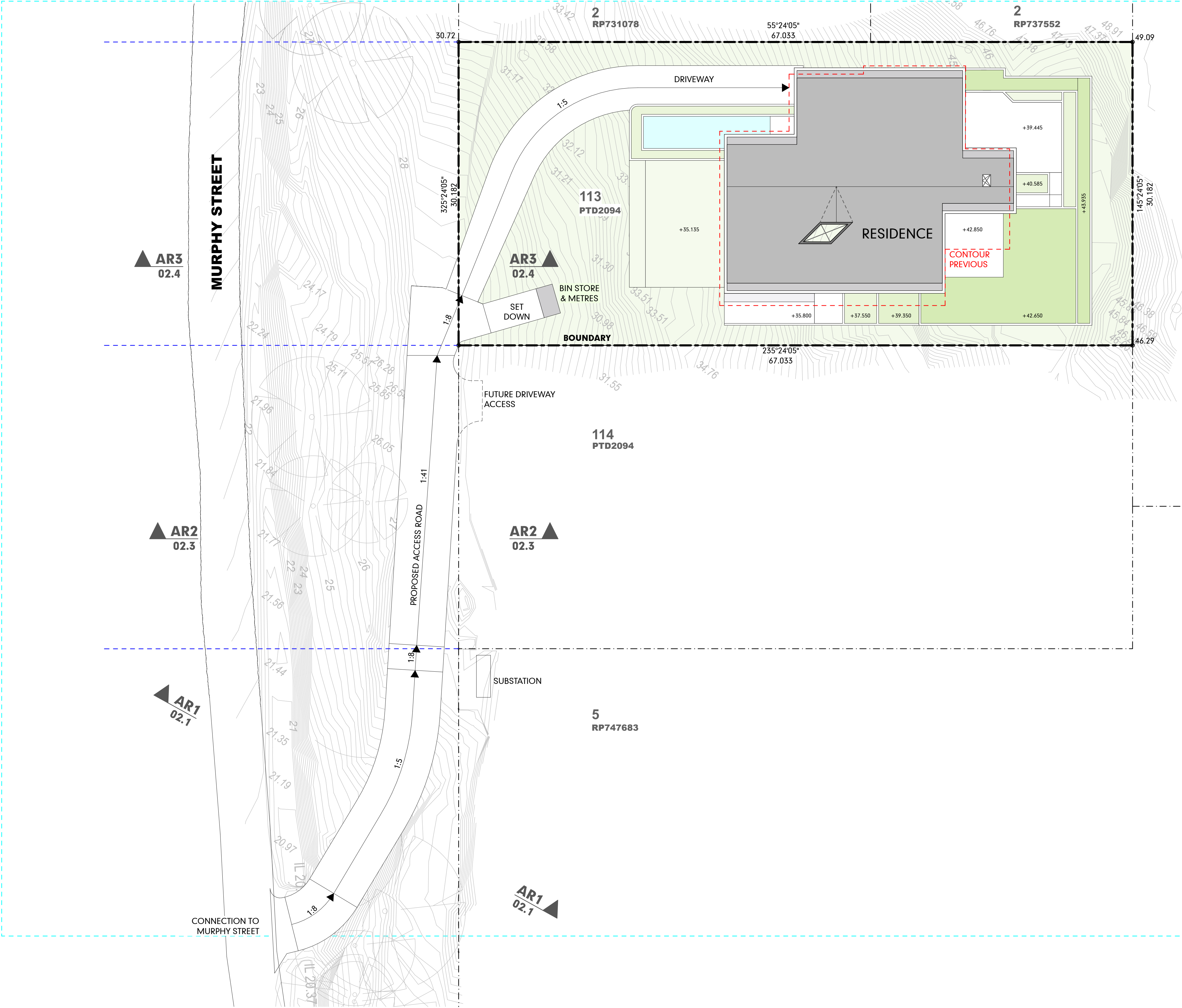
MURPHY STREET RESIDENCE
PROPOSED NEW RESIDENCE AT No 12 MURPHY STREET
ON LOT 113 (PTD2094)
FOR : KIM CULLEN & NEIL BIDDLE

DEVELOPMENT APPLICATION
SITE PLAN - EXISTING (SURVEY)

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DEVELOPMENT APPLICATION
PROJECT NO. MURPHY001
DRAWING NO. 02.0
REVISION NO. 01
DATE 22/11/22





SITE ANALYSIS

SITE AREA	2.023m2
COVERED AREA	549m2
SITE COVERAGE:	27%
GROSS FLOOR AREA	622m2
PLOT RATIO:	0.31:1

SEE DRAWING NO. 08.1
FOR AREA CALCULATIONS

SITE PLAN
SCALE 1:200

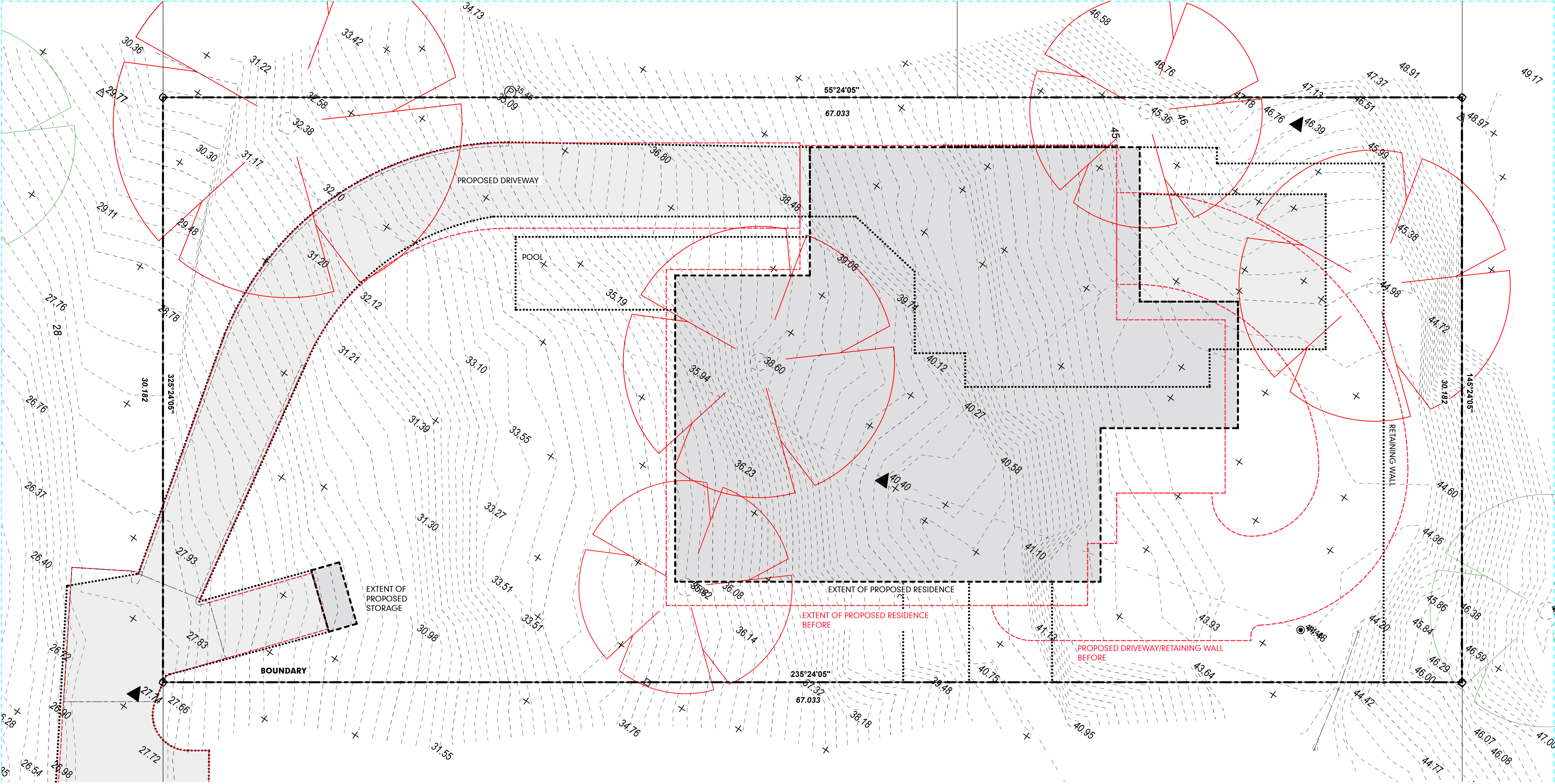
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DEVELOPMENT APPLICATION
SITE & ENVIRONS PLAN

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DEVELOPMENT APPLICATION
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DRAWING NO. 02.1
REVISION NO. 01
DATE 22/11/22





SITE PLAN - EXISTING (SURVEY)
SCALE 1:100

LEGEND

	Sewer Manhole		Edge of Bitumen		Underground Electricity (from records)		Significant tree
	Electricity Pillar		Edge of Gravel Track		Underground Telstra/ NBN (from records)		Significant tree to be removed
	Telstra Pit		Top of Bank		Underground Water (from records)		
	Fire Hydrant		Toe of Bank		Underground Sewer (from records)		
	Gas Valve		Change of Grade		Underground Gas (from records)		

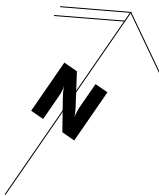
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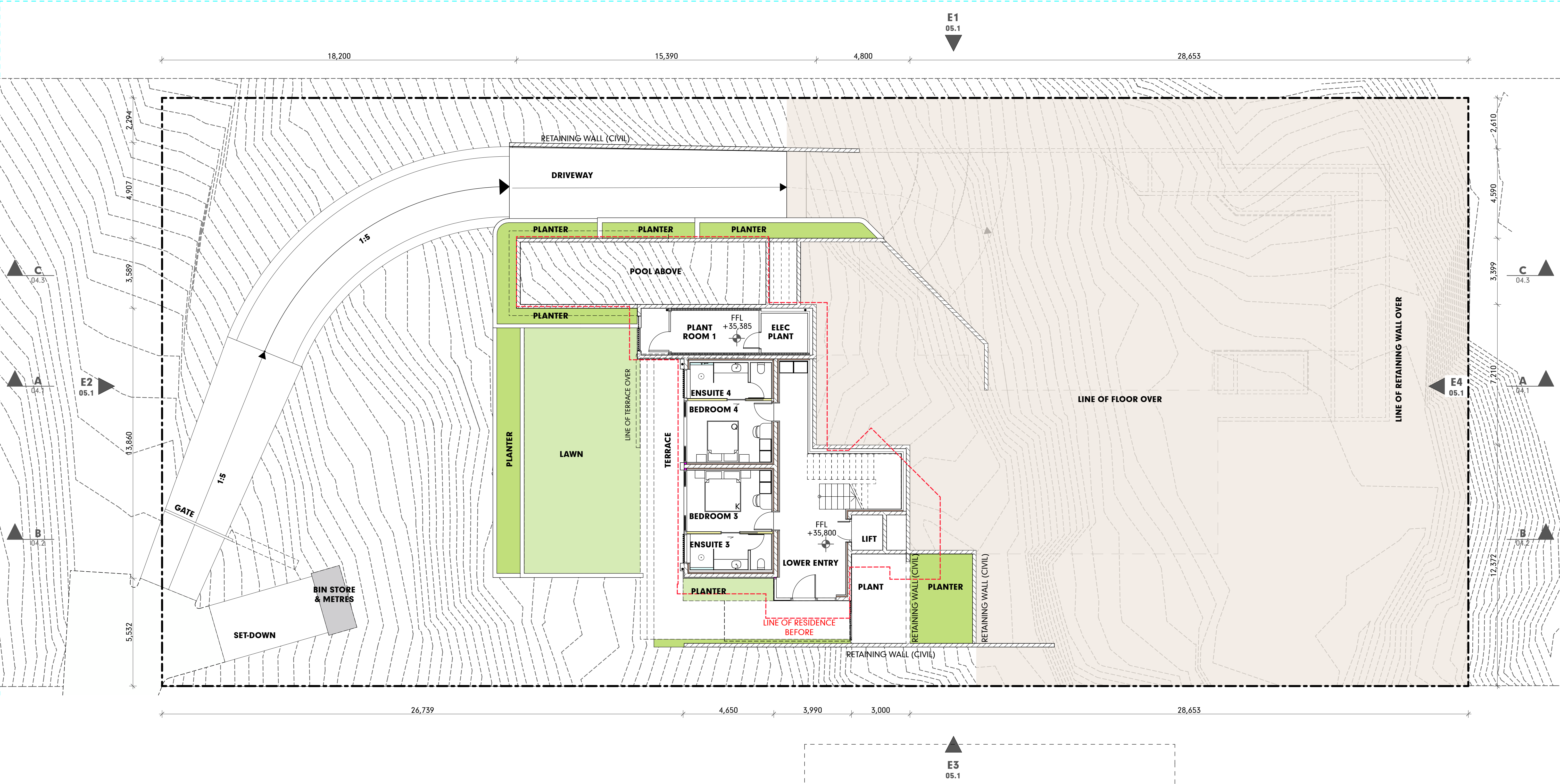
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DEVELOPMENT APPLICATION
FLOOR PLAN- EXISTING (SURVEY)

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DEVELOPMENT APPLICATION
PROJECT NO. MURPHY001
DRAWING NO. 03.0
REVISION NO. 01
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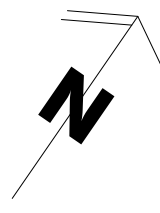


LOWER GROUND FLOOR
SCALE 1:100

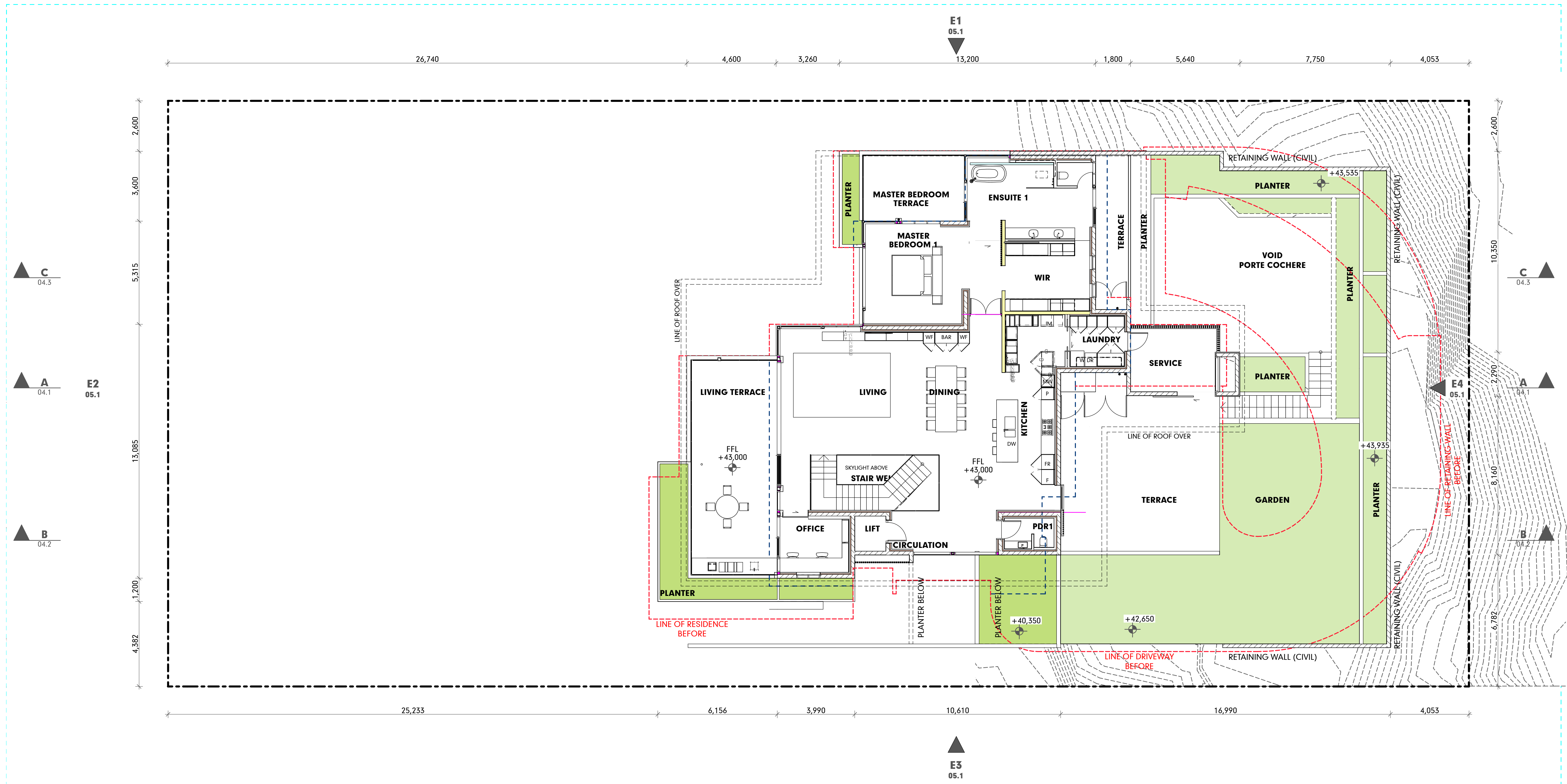
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DEVELOPMENT APPLICATION
FLOOR PLAN- OWER GROUND LEVEL
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DRAWING NO. 03.1
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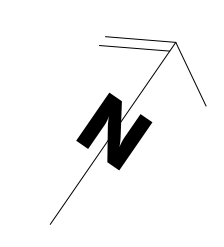
FIRST FLOOR
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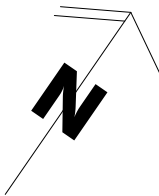
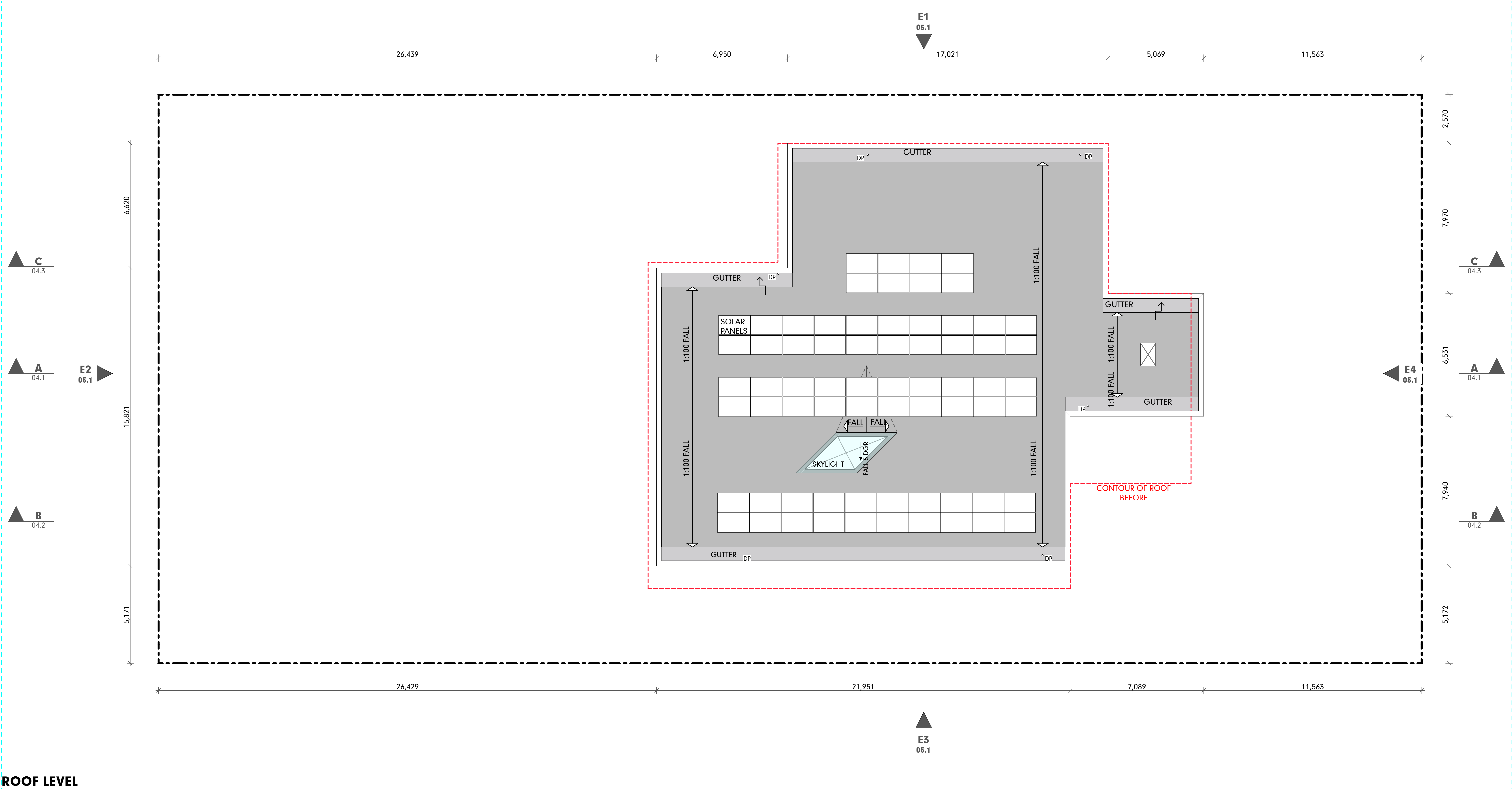
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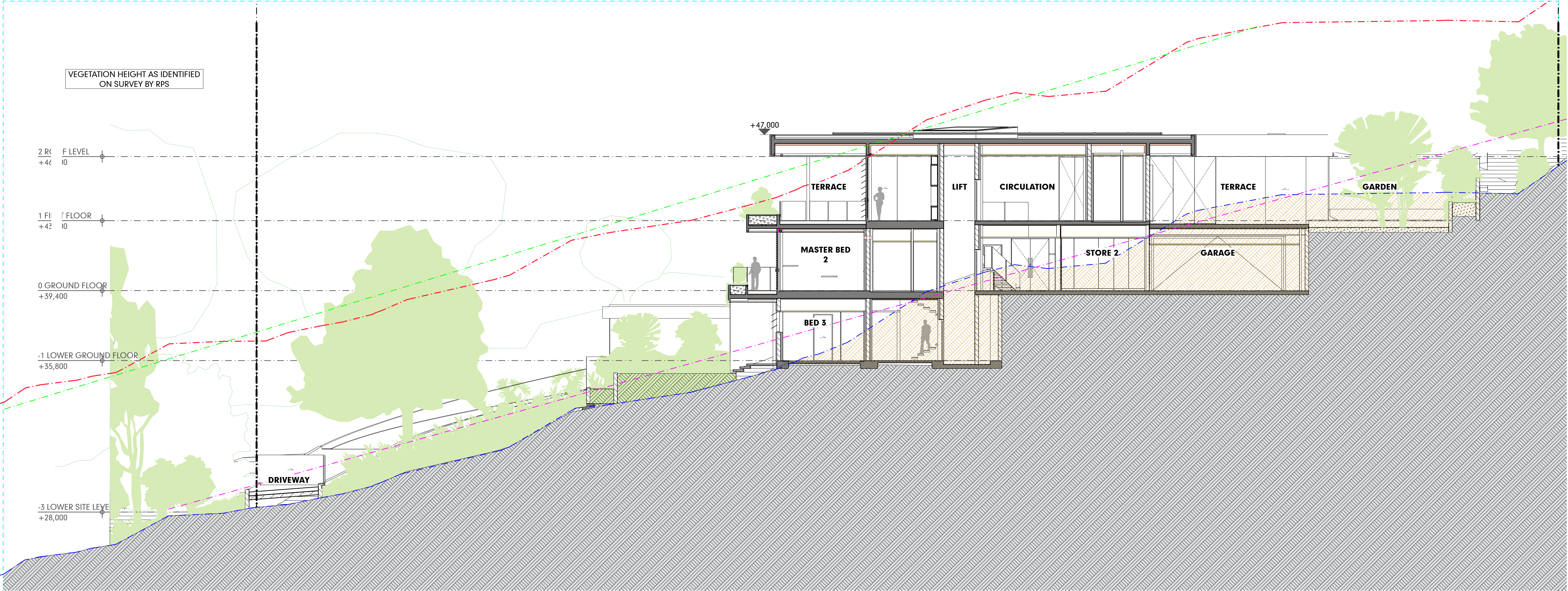
DEVELOPMENT APPLICATION
FLOOR PLAN - FIRST FLOOR

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DEVELOPMENT APPLICATION
PROJECT NO. MURPHY001
DRAWING NO. 03.3
REVISION NO. 01
DATE 22/11/22







SECTION B
SCALE 1:100

LEGEND

EXCAVATION

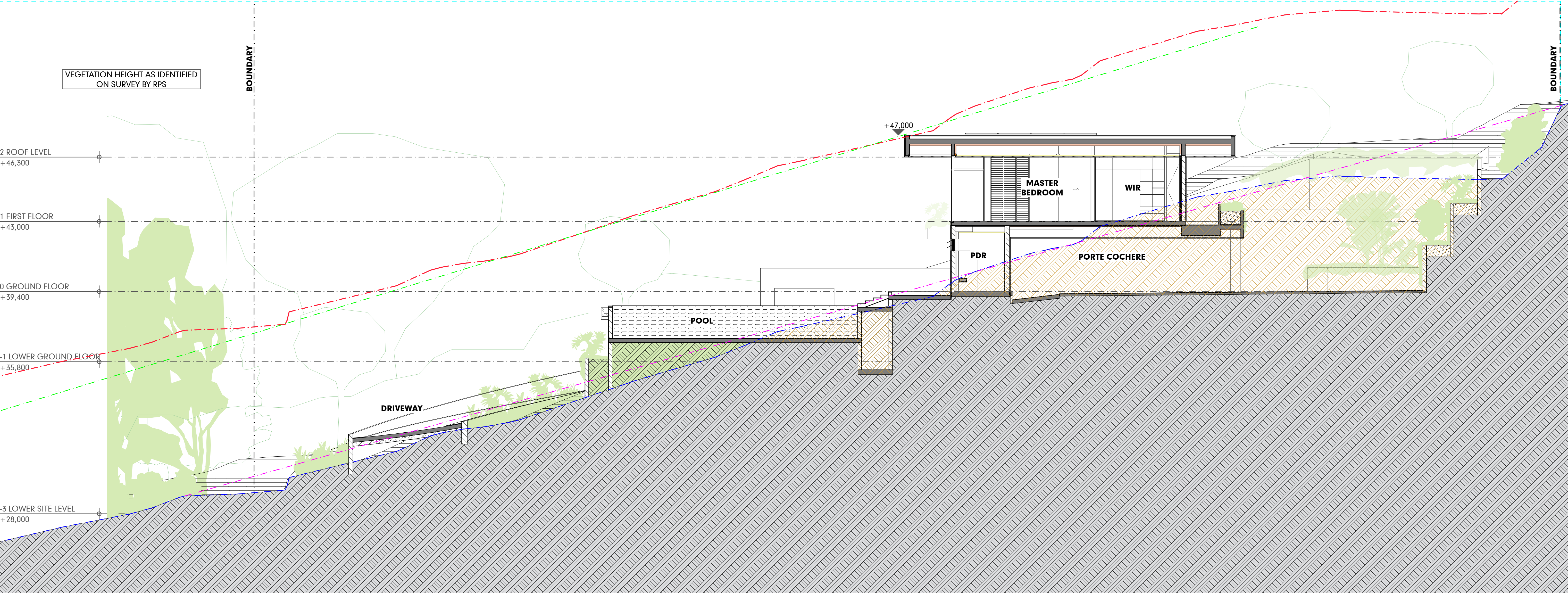
FILL

NATURAL SURFACE LEVEL (N.S.L.)

AVERAGE N.S.L.

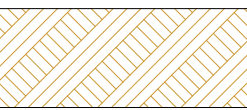
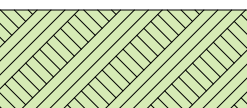




8.5M ABOVE N.S.L.

AVERAGE 8.5M ABOVE N.S.L.



SECTION C
SCALE 1:100

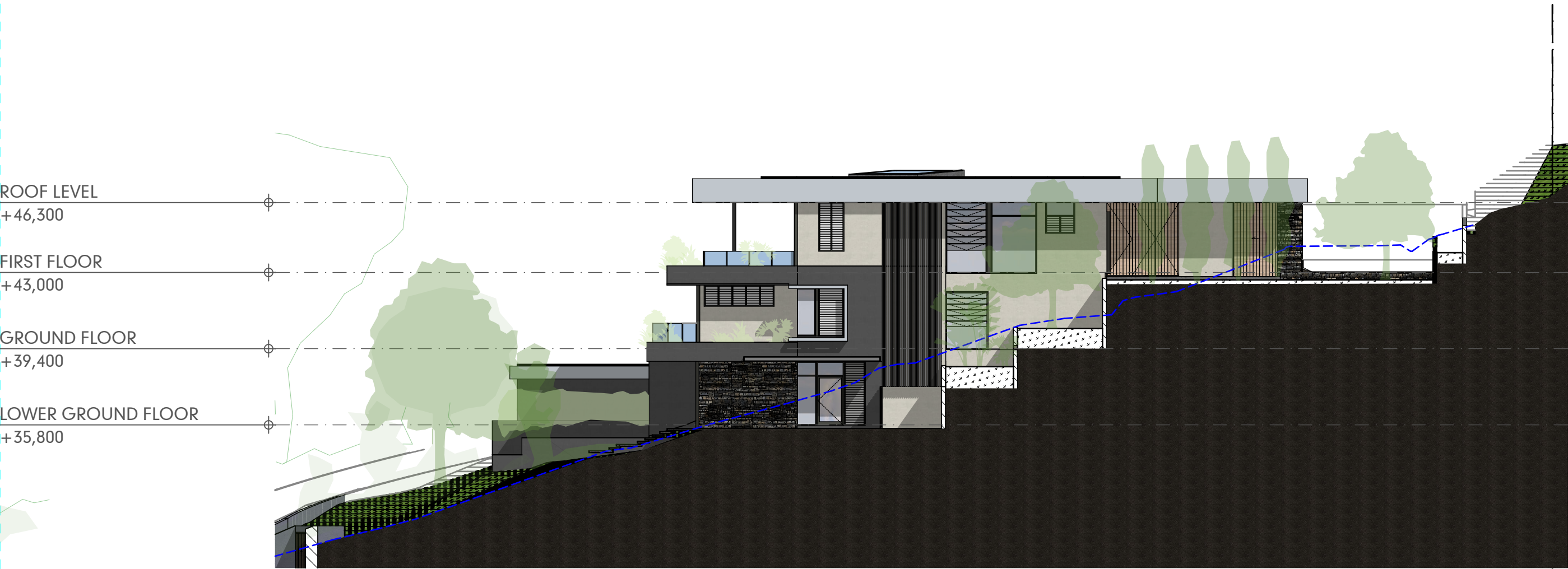
LEGEND

-  EXCAVATION
-  FILL
-  NATURAL SURFACE LEVEL (N.S.L.)
-  AVERAGE N.S.L.
-  8.5M ABOVE N.S.L.
-  AVERAGE 8.5M ABOVE N.S.L.



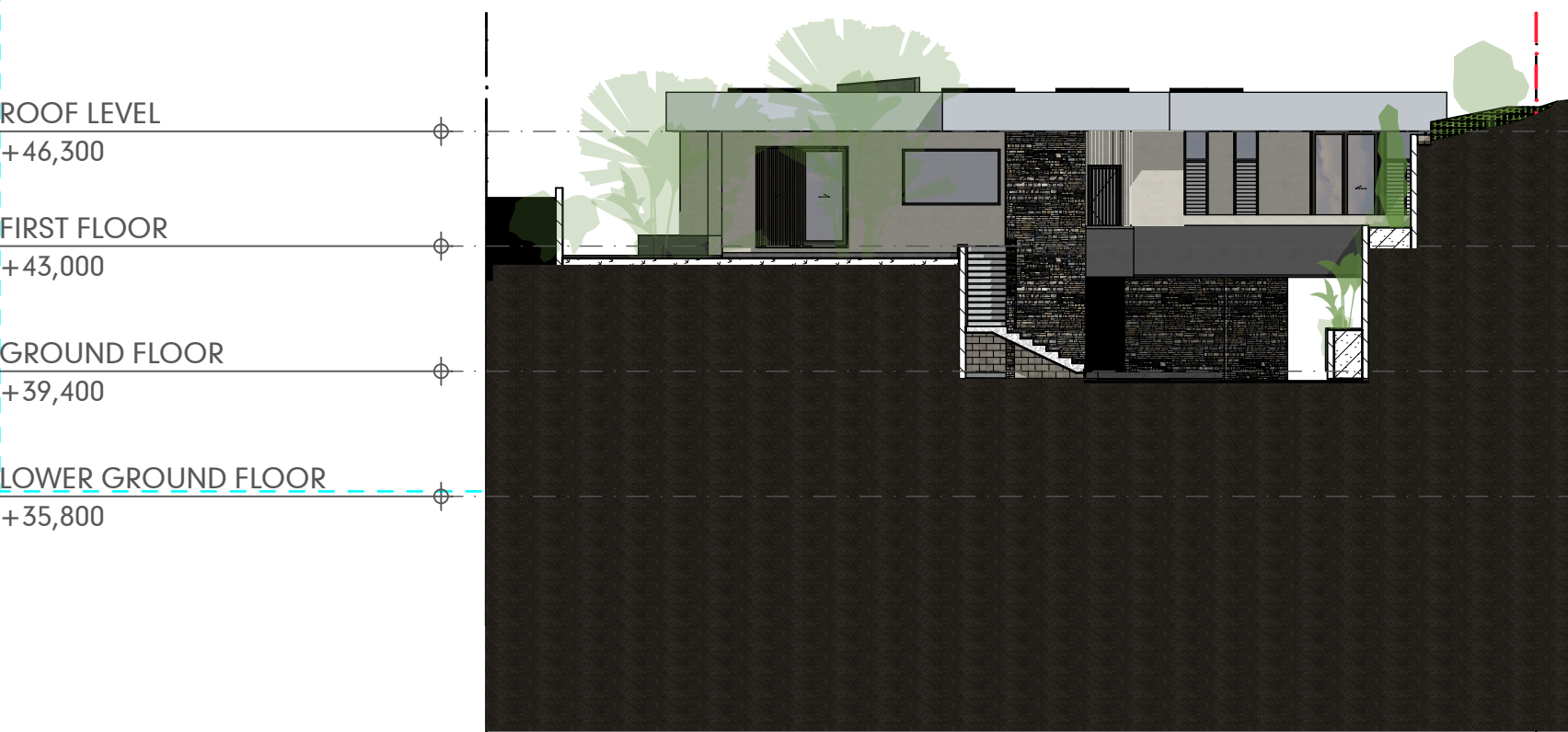
NORTH-WEST ELEVATION

SCALE1:200



SOUTH-EAST ELEVATION

SCALE1:200



NORTH-EAST ELEVATION

SCALE1:200



SOUTH-WEST ELEVATION

SCALE1:200

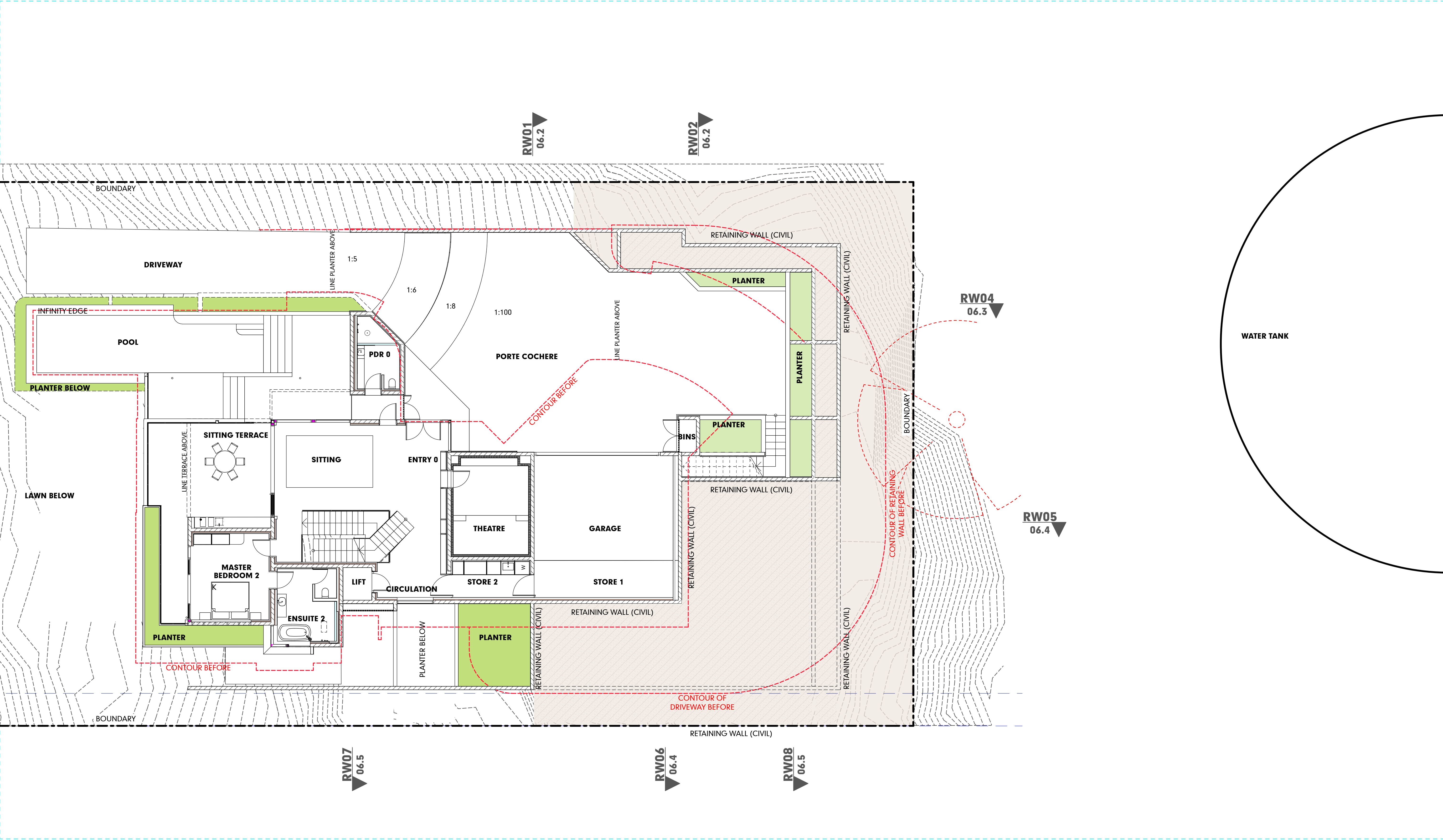
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DEVELOPMENT APPLICATION
ELEVATIONS

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DEVELOPMENT APPLICATION
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DRAWING NO. 05.1
REVISION NO. 01
DATE 22/11/22

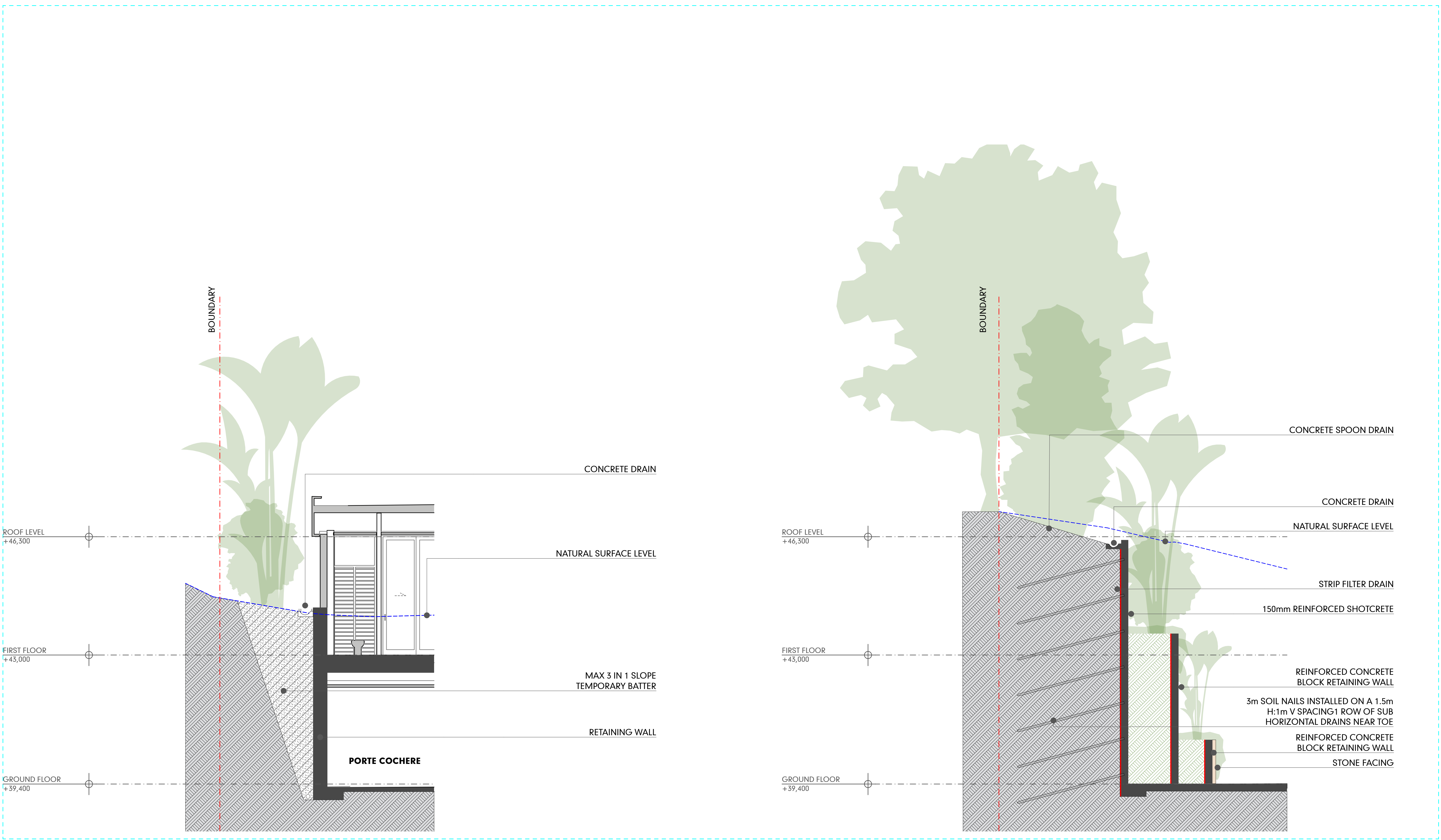
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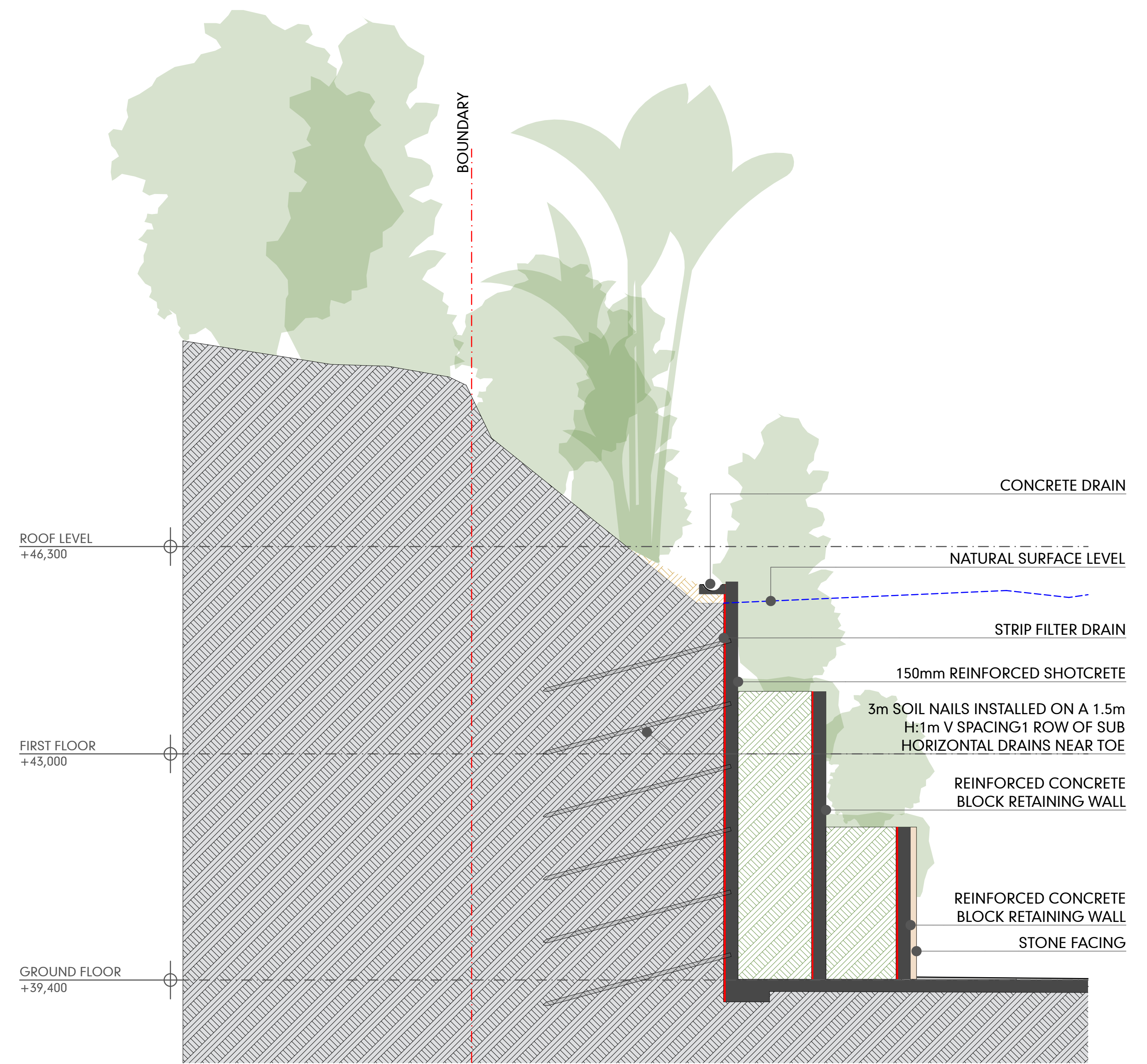
REAR RETAINING WALLS - SITE PLAN

SCALE 1:100



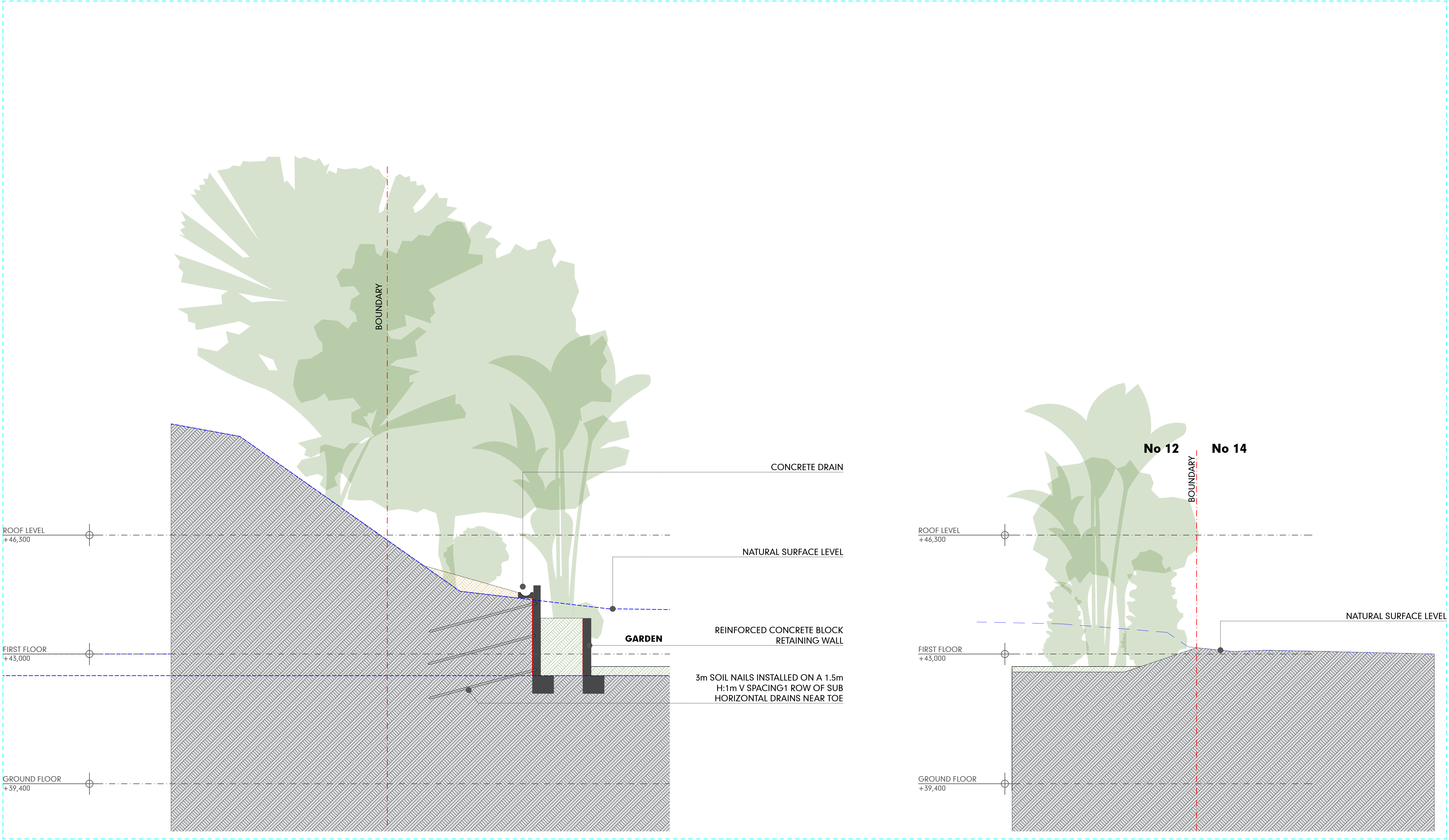


PLANTS AT MATURE HEIGHT



SECTION RW04
SCALE 1:50

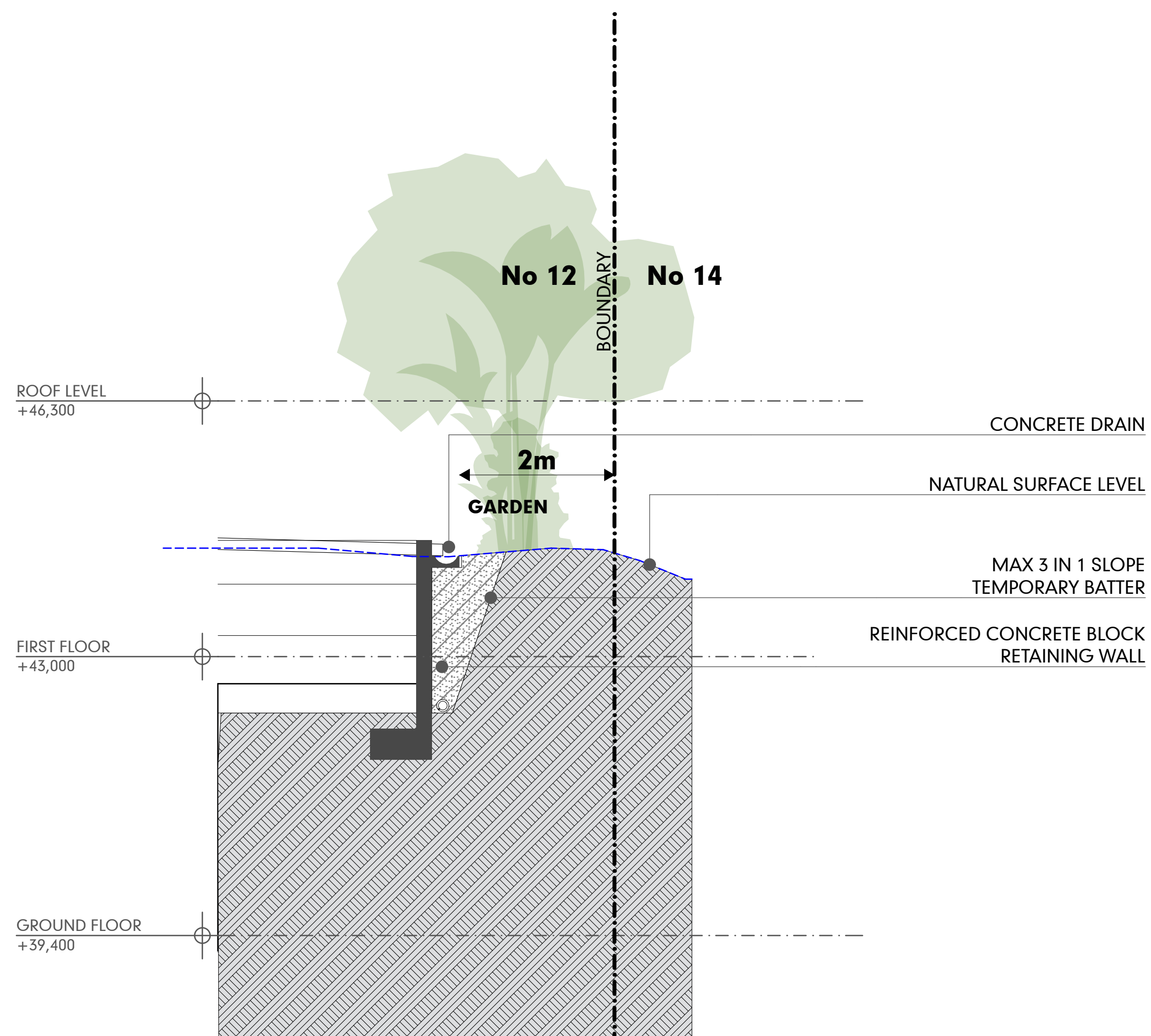
PLANTS AT MATURE HEIGHT



SECTION RW05
SCALE 1:50

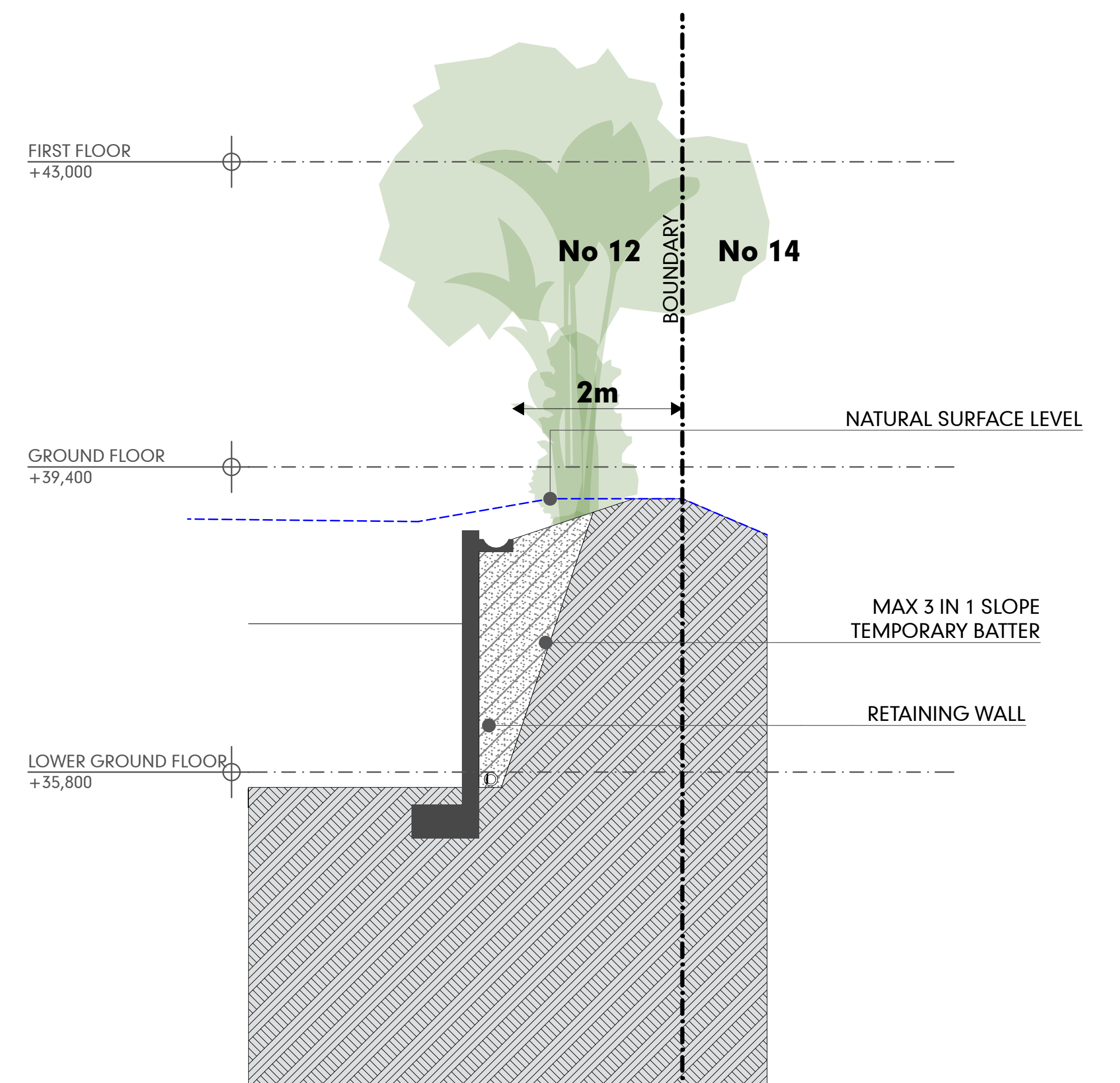
SECTION RW06
SCALE 1:50

PLANTS AT MATURE HEIGHT



SECTION RW07

SCALE 1:50



SECTION RW08

SCALE 1:50

PLANTS AT MATURE HEIGHT

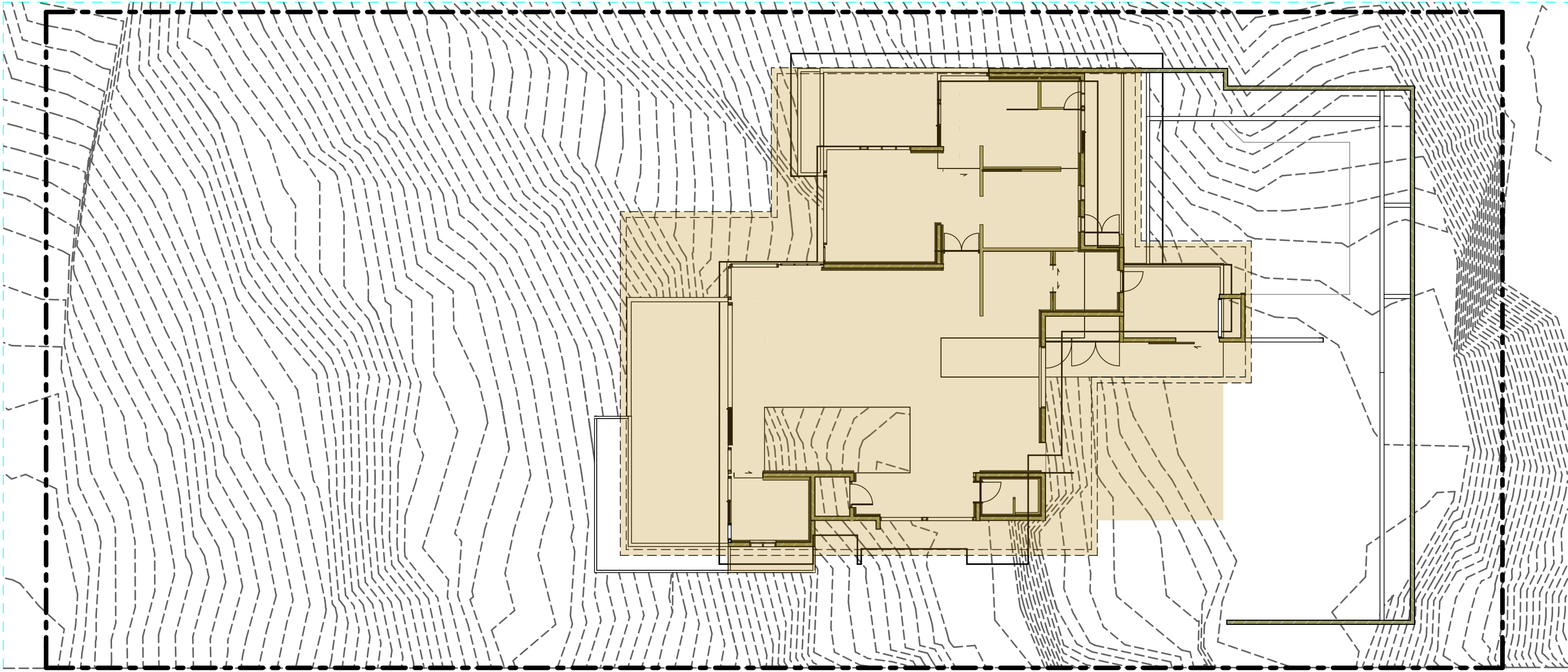
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DEVELOPMENT APPLICATION
REAR RETAINING WALLS - SECTIONS

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DEVELOPMENT APPLICATION
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DRAWING NO. 06.5
REVISION NO. 01
DATE 22/11/22

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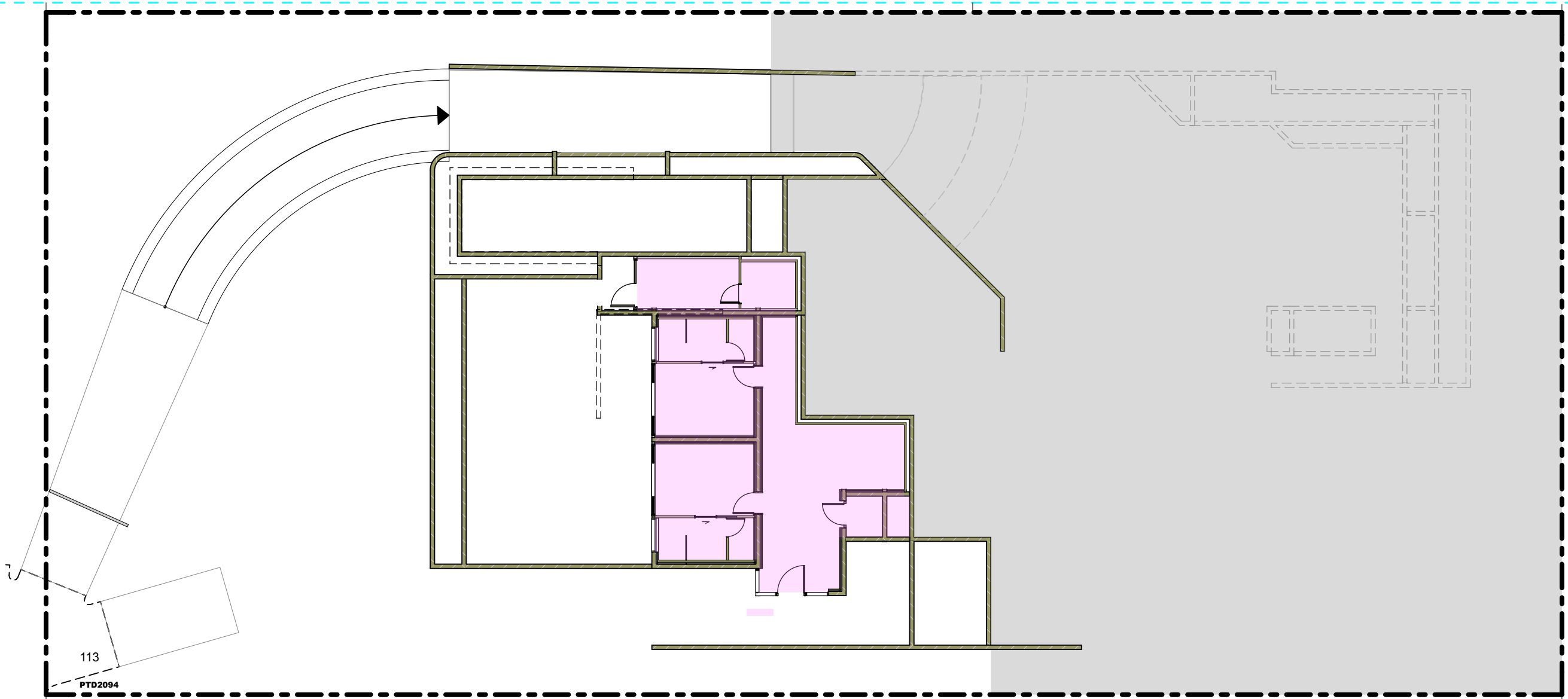


SITE COVERAGE
SCALE1:200

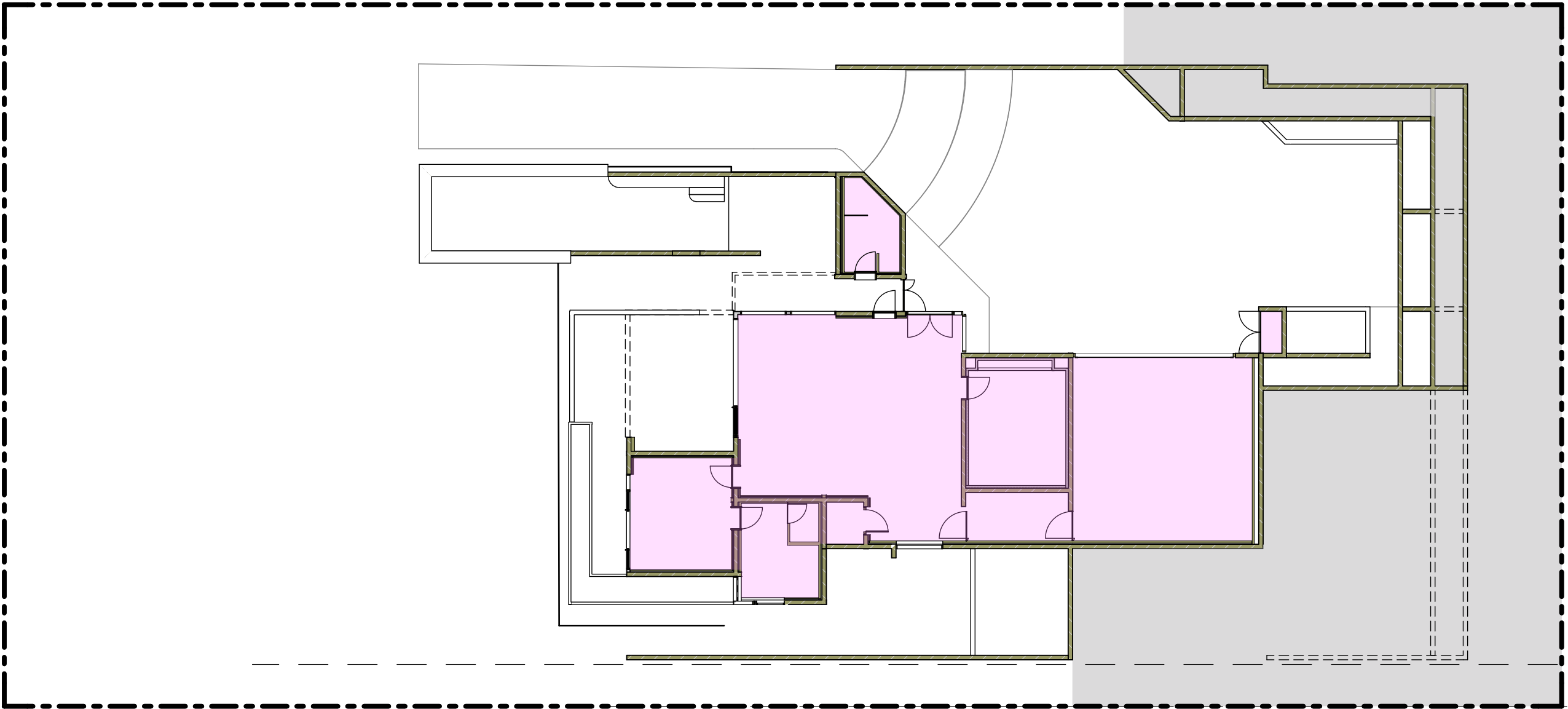
SITE AREA	
	AREA (m2)
SITE	2,023

COVERED AREA	
	AREA (m2)
COVERED	549

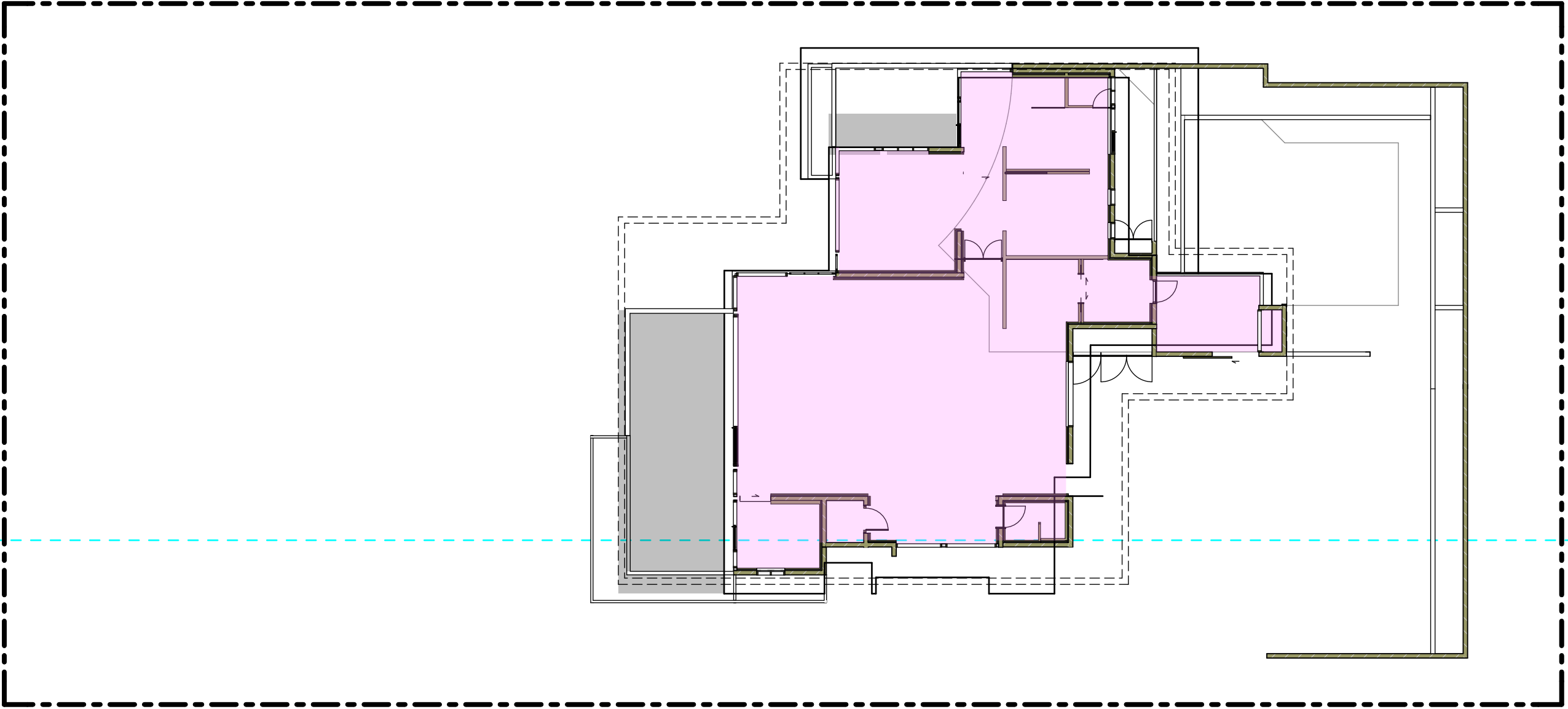
GROSS FLOOR AREA (GFA)	
STORY	AREA (m2)
LOWER GROUND FLOOR	116
GROUND FLOOR	232
FIRST FLOOR	274
	622 m²



LOWER GROUND FLOOR - GFA
SCALE1:200



GROUND FLOOR - GFA
SCALE1:200



FIRST FLOOR - GFA
SCALE1:200