

1 September 2022

Enquiries: Daniel Lamond
Our Ref: MCUC 2022_4867/1 (1106956)
Your Ref: KRDPS:MURPHY

Administration Office
64 - 66 Front St Mossman
P 07 4099 9444
F 07 4098 2902

K P Cullen & N G Biddle
C/- Kelly Reaston Development & Property
44 McLeod St
CAIRNS QLD 4870

Dear Sir/Madam

**Development Application for Material Change of Use (Dwelling house)
At 12 Murphy Street PORT DOUGLAS
On Land Described as LOT: 113 TYP: PTD PLN: 2094**

Please find attached the Decision Notice for the above-mentioned development application.

Please quote Council's application number: MCUC 2022_4867/1 in all subsequent correspondence relating to this development application.

Should you require any clarification regarding this, please contact Daniel Lamond on telephone 07 4099 9444.

Yours faithfully



For
Paul Hoyer
Manager Environment & Planning

encl.

- Decision Notice
 - Approved Drawing(s) and/or Document(s)
 - Concurrence Agency Response
 - Reasons for Decision
- Advice For Making Representations and Appeals (Decision Notice)



Decision Notice

Approval (with conditions)

Given under s 63 of the Planning Act 2016

Applicant Details

Name: K P Cullen & N G Biddle
Postal Address: C/- Kelly Reaston Development & Property
44 McLeod St
CAIRNS QLD 4870
Email: kelly@kellyreaston.com.au

Property Details

Street Address: 12 Murphy Street PORT DOUGLAS
Real Property Description: LOT: 113 TYP: PTD PLN: 2094
Local Government Area: Douglas Shire Council

Details of Proposed Development

Development Permit - Material Change of Use (Dwelling house)

Decision

Date of Decision: 30 August 2022
Decision Details: Approved (subject to conditions)

Approved Drawing(s) and/or Document(s)

Copies of the following plans, specifications and/or drawings are enclosed.

Drawing or Document	Reference	Date
Site and Environs Plan	Hunt Design Drawing No. 02.1	2 June 2022
Access Road- Sections	Hunt Design Drawing No. 02.2	2 June 2022
Access Road- Sections	Hunt Design Drawing No. 02.3	2 June 2022
Access Road- Sections	Hunt Design Drawing No. 02.3	2 June 2022
Floor Plan- Lower ground level	Hunt Design Drawing No. 03.1	2 June 2022
Floor Plan- Ground level	Hunt Design Drawing No. 03.2	2 June 2022

Floor Plan- First Floor	Hunt Design Drawing No. 03.3	2 June 2022
Section A	Hunt Design Drawing No. 04.1	2 June 2022
Section B	Hunt Design Drawing No. 04.2	2 June 2022
Section C	Hunt Design Drawing No. 04.3	2 June 2022
Elevations	Hunt Design Drawing No. 05.1	2 June 2022
Rear Retaining Walls- Plan	Hunt Design Drawing No. 06.1	2 June 2022
Rear Retaining Walls- Sections	Hunt Design Drawing No. 06.2	2 June 2022
Rear Retaining Walls- Sections	Hunt Design Drawing No. 06.3	2 June 2022
Rear Retaining Walls- Sections	Hunt Design Drawing No. 06.4	2 June 2022
Cover Sheet	Landplan Drawing No. L0.01	3 June 2022
Landscape Plan	Landplan Drawing No. L1.01	3 June 2022
Landscape Plan	Landplan Drawing No. L1.02	3 June 2022
Landscape Standard Details	Landplan Drawing No. L2.01	3 June 2022
Landscape Specification	Landplan Drawing No. L3.01	3 June 2022

Assessment Manager Conditions & Advices

1. Carry out the approved development generally in accordance with the approved drawing(s) and/or document(s), and in accordance with:-
 - (a). The specifications, facts and circumstances as set out in the application submitted to Council;
 - (b). The following conditions of approval and the requirements of Council's Planning Scheme and the FNQROC Development Manual.

Except where modified by these conditions of approval

Timing of Effect

2. The conditions of the Development Permit must be effected prior to Commencement of use, except where specified otherwise in these conditions of approval.

Operational Works

3. An Operational Works Approval is required for the water, sewer, earthworks and driveway construction associated with the development. The application for Operational Works must include, but not be limited to, the following:
 - a. Decommissioning of the existing services within the site including demolition and removal of redundant services and site remediation;
 - b. Drainage works to deliver stormwater to Murphy Street being the lawful point of discharge;
 - c. Earthworks internal and external to the site;
 - d. Required internal and external works within the road reserve for the driveway and retaining walls;

- e. Water and sewerage works required to service the site.

Such works must be completed to the satisfaction of the Chief Executive Officer prior to Commencement of Use.

Access Driveway

- 4. The access driveway must be developed in accordance with the latest version of AS2890-2004 with the following design parameters being met:
 - a. Retaining walls supporting the access driveway on road reserve must not exceed 1000mm in height.
 - b. Vehicle access to any other allotment must not be inhibited by the section of private access driveway in the Murphy Street road reserve.

The section of private access driveway within the road reserve of Murphy Street will not become a Council asset and will never be maintained by Council. The ongoing maintenance obligation of the driveway in the Murphy Street road reserve remains with the property owner at all times.

Water Supply and Sewerage Works External

- 5. Undertake the following water supply and sewerage works external to the site to connect the site to existing water supply and sewerage infrastructure:
 - a. Augment existing water supply infrastructure to the extent necessary such that the development does not adversely affect the water supply to adjacent properties and such that a water service connection can be provided at the lot frontage;
 - b. Construct new sewer to accommodate the development. Detailed plans are to be provided showing levels and alignment and must be designed in accordance with the FNQROC Development Manual.

All works must be carried out in accordance with the approved plans, to the requirements and satisfaction of the Chief Executive Officer prior to Commencement of Use.

Water Supply and Sewerage Works Internal

- 6. Undertake the following water supply and sewerage works internal to the subject land:
 - a. Provide a single internal sewer connection which must be clear of any buildings or structures;
 - b. Provide a single internal water connection.

All the above works must be designed and constructed in accordance with the FNQROC Development Manual.

All works must be carried out in accordance with the approved plans, to the requirements and satisfaction of the Chief Executive Officer prior to Commencement of Use.

Inspection of Sewers

- 7. Where altering existing sewer mains or construction of new sewer main, provide CCTV inspections of sewers both prior to commencement of works on site and at works completion where works have been undertaken over or to sewers. Defects must be rectified to the satisfaction of the Chief Executive Officer at no cost to Council prior to

Exterior Finishes

8. The exterior finishes and colors of the house must be non-reflective and must blend with the natural colors of the surrounding environment. The exterior finishes must be generally in accordance with the Material Palette Plan by Hunt Design, Drawing No. 01.3 dated 2 June 2022.

Air-conditioning Screens

9. Air-conditioning units located above ground level and visible from external properties and the street must be screened with appropriate materials to improve the appearance of the building. Such screening must be completed prior to the Commencement of Use.

Damage to Council Infrastructure

10. In the event that any part of Council's existing sewer, water or road infrastructure is damaged as a result of construction activities occurring on the site, the applicant/owner must notify Council immediately of the affected infrastructure and have it replaced at no cost to Council.

Vehicle Parking

11. The amount of vehicle parking must be as specified in Council's Planning Scheme which is a minimum of two (2) spaces located on site. In addition, all parking, driveway and vehicular manoeuvring areas must be imperviously sealed and drained.

Storage of Machinery and Plant

12. The storage of any machinery, material and vehicles must not cause a nuisance to surrounding properties, to the satisfaction of the Chief Executive Officer.

Landscaping Plan

13. The site must be landscaped in accordance with details included on the landscaping plan prepared by Landplan Landscape Architecture, project number 2112-055 dated 3 June 2022.

Ponding and/or Concentration of Stormwater

14. The proposed development is not to create ponding nuisances and/or concentration of stormwater flows to adjoining properties.

Sediment and Erosion Control

15. All earthworks must be carried out in accordance with section CP1.13 and D5 of the FNQROC Development Manual. A copy of the contractors Erosion and Sediment Control Plan (ESCP) is to be submitted to Council prior to the issue of a Development Permit for Operational Work. Measures nominated in the ESCP must be implemented prior to commencement of any earthworks. The ESC Plan must address the Institution of Engineers' Australia Guidelines for Soil Erosion and Sediment Control and the Environment Protection (Water) Policy and Clauses CP1.06, CP1.13 and D5.10 of Council's FNQROC Development Manual.

Bushfire Hazard

12. The house must be developed in accordance with AS3959- 2009.

Further Development Permits

Please be advised that the following development permits are required to be obtained before the development can be carried out:

- Building Work
- Operational Work

All Plumbing and Drainage Work must only be carried in compliance with the Queensland *Plumbing and Drainage Act 2018*.

Currency Period for the Approval

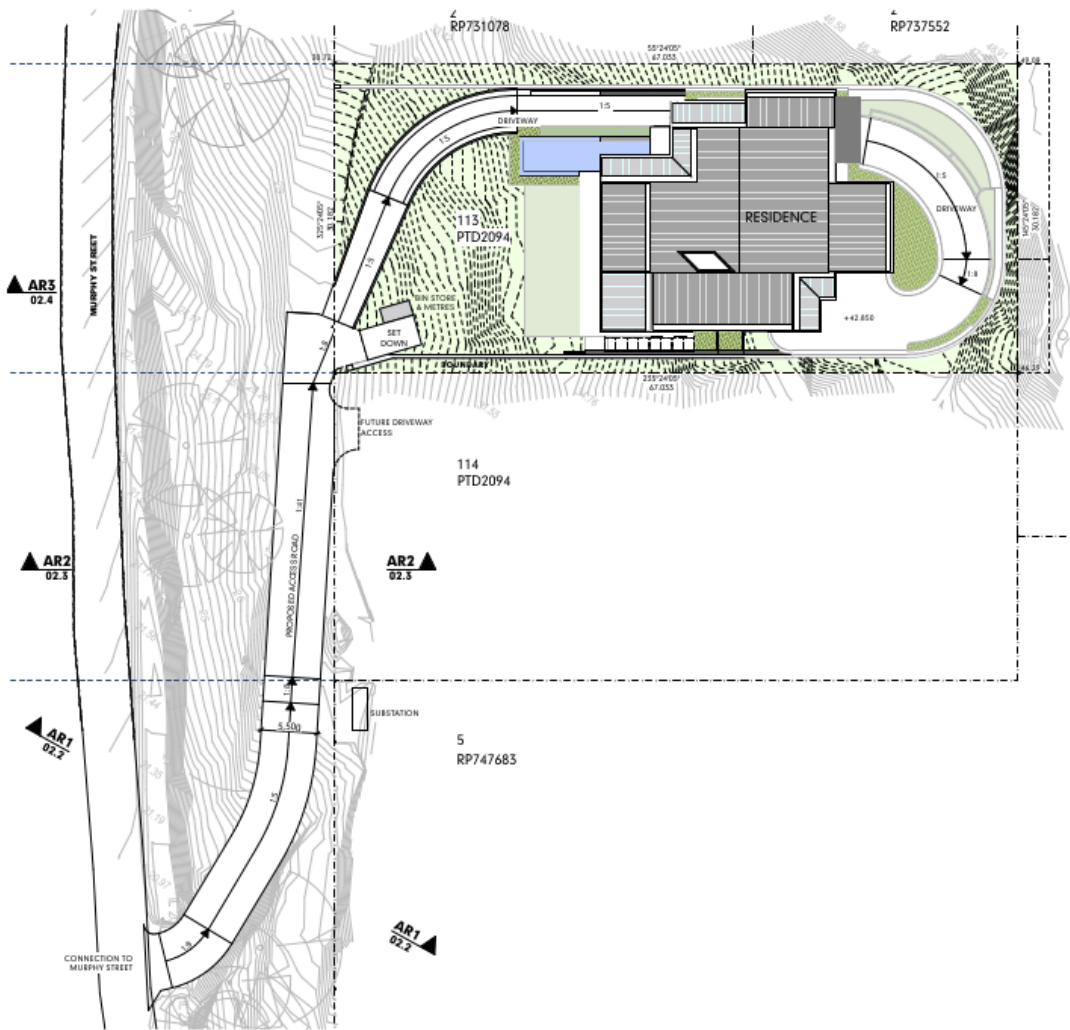
This approval, granted under the provisions of the *Planning Act 2016*, shall lapse six (6) years from the day the approval takes effect in accordance with the provisions of Section 85 of the *Planning Act 2016*.

Rights to make Representations & Rights of Appeal

The rights of applicants to make representations and rights to appeal to a Tribunal or the Planning and Environment Court against decisions about a development application are set out in Chapter 6, Part 1 of the *Planning Act 2016*.

A copy of the relevant appeal provisions are attached.

Approved Drawing(s) and/or Document(s)



SITE ANALYSIS

SITE AREA	2.023m ²
COVERED AREA	581m ²
SITE COVERAGE:	29%
GROSS FLOOR AREA	701m ²
PLOT RATIO:	0.35:1

SEE DRAWING NO. 08.1
FOR AREA CALCULATIONS

READ IN CONJUNCTION WITH:
- LANDSCAPE PLANS
- CIVIL PLANS

SITE ENVIRONS PLAN
SCALE: 1:200

MURPHY STREET RESIDENCE
PROPOSED NEW RESIDENCE AT No 12 MURPHY STREET
ON LOT 113 (PTD2094)
FOR : KIM CULLEN & NEIL BIDDLE

DEVELOPMENT APPLICATION
SITE & ENVIRONS PLAN
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DEVELOPMENT APPLICATION
PROJECT NO. MURPHY001
DRAWING NO. 02.1
REVISION NO. 01
DATE 2/6/22





SECTION AR1

MURPHY STREET RESIDENCE
PROPOSED NEW RESIDENCE AT No 12 MURPHY STREET
ON LOT 115 (PTD2094)
FOR : KIM CULLEN & NEIL BIDDLE

DEVELOPMENT APPLICATION
ACCESS ROAD - SECTIONS
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DEVELOPMENT APPLICATION
PROJECT NO. MURPHY001
DRAWING NO. 02.2
REVISION NO. 01
DATE 2/4/22

LANDPLAN
LANDSCAPE ARCHITECTURE

GEO
INTEGRATION | DESIGN | CONSULT

EDGE HUNT
DESIGN



SECTION AR2

MURPHY STREET RESIDENCE
PROPOSED NEW RESIDENCE AT No 12 MURPHY STREET
ON LOT 113 (PTD2094)
FOR : KIM CULLEN & NEIL BIDDLE

DEVELOPMENT APPLICATION
ACCESS ROAD - SECTIONS

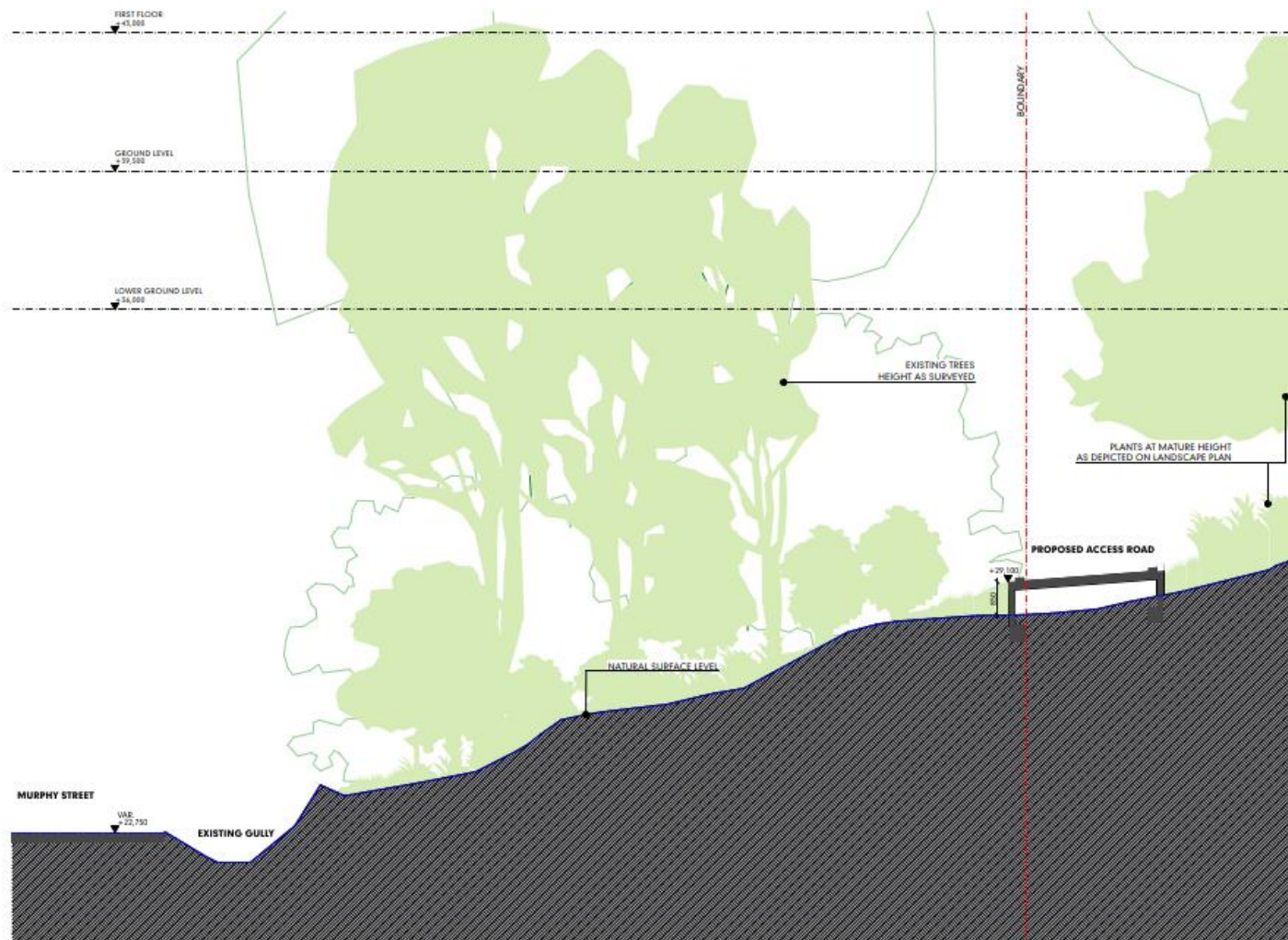
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DEVELOPMENT APPLICATION
 PROJECT NO. MURPHY001
 DRAWING NO. 02.1
 REVISION NO. 01
 DATE 2/6/22

LANDPLAN
 LANDSCAPE ARCHITECTURE

GEO
 ENGINEERING

EDGE HUNT
 DESIGN



SECTION AR3

MURPHY STREET RESIDENCE
PROPOSED NEW RESIDENCE AT No 12 MURPHY STREET
ON LOT 113 (PTD2094)
FOR : KIM CULLEN & NEIL BIDDLE

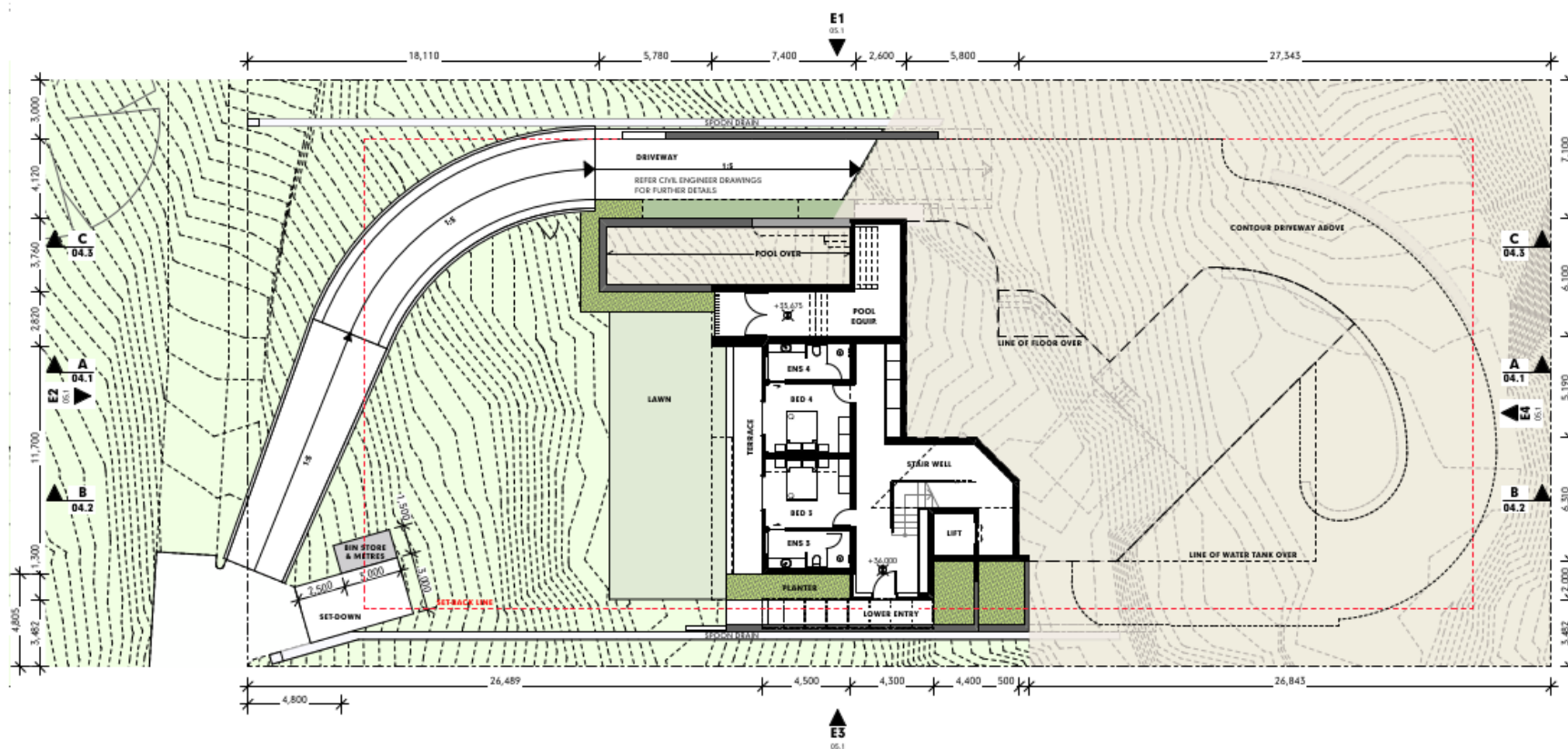
DEVELOPMENT APPLICATION
ACCESS ROAD - SECTIONS
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DEVELOPMENT APPLICATION
PROJECT NO. MURPHY001
DRAWING NO. 02.4
REVISION NO. 01
DATE 2/4/22

LANDPLAN
LANDSCAPE ARCHITECTURE

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DESIGN

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READ IN CONJUNCTION WITH:
- LANDSCAPE PLANS
- CIVIL PLANS

MURPHY STREET RESIDENCE
PROPOSED NEW RESIDENCE AT No 12 MURPHY STREET
ON LOT 113 (PTD2094)
FOR : KIM CULLEN & NEIL BIDDLE

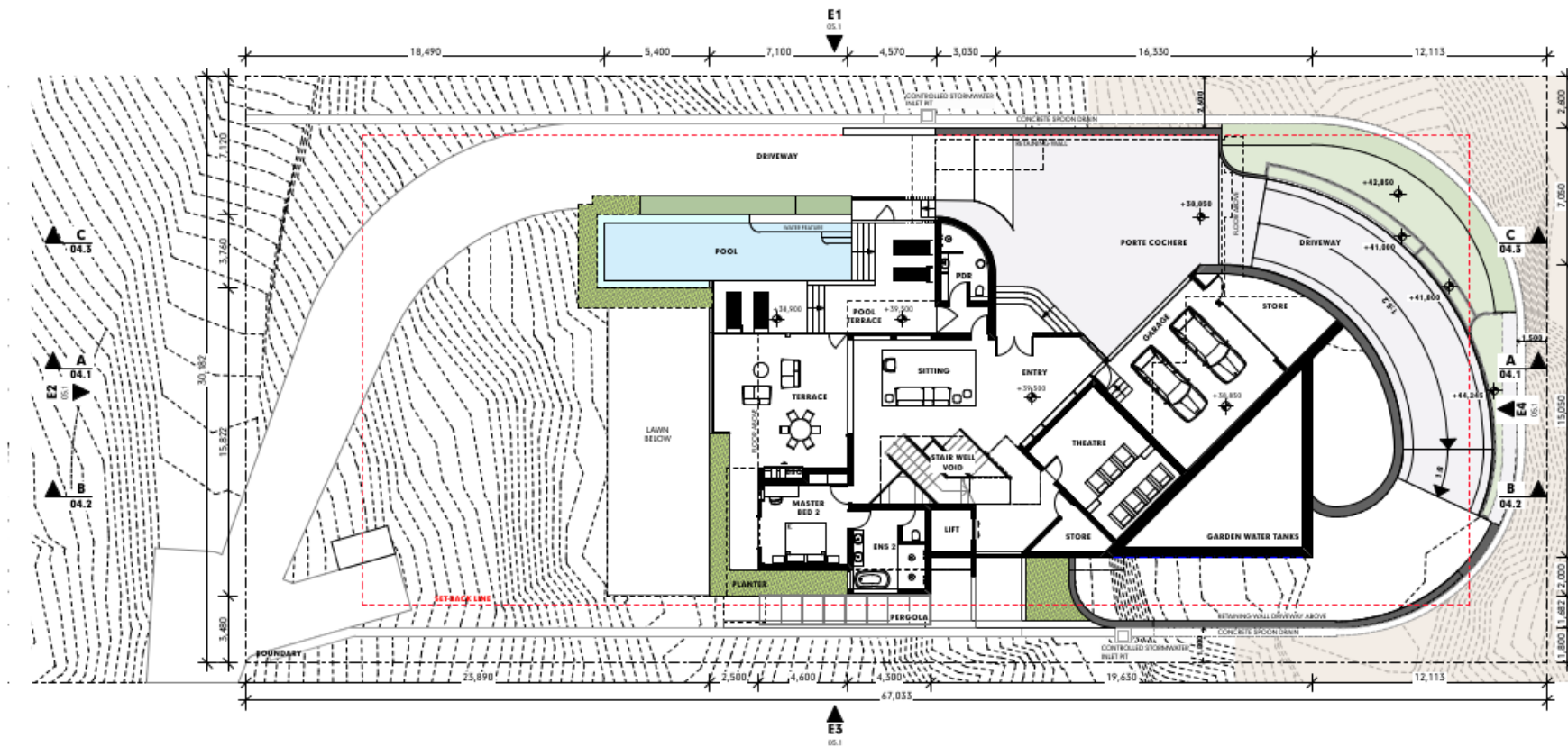
DEVELOPMENT APPLICATION
FLOOR PLAN - LOWER GROUND LEVEL

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DEVELOPMENT APPLICATION
PROJECT NO. MURPHY901
DRAWING NO. 05.1
REVISION NO. 01
DATE 2/6/22

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DESIGN



READ IN CONJUNCTION WITH:
- LANDSCAPE PLANS
- CIVIL PLANS

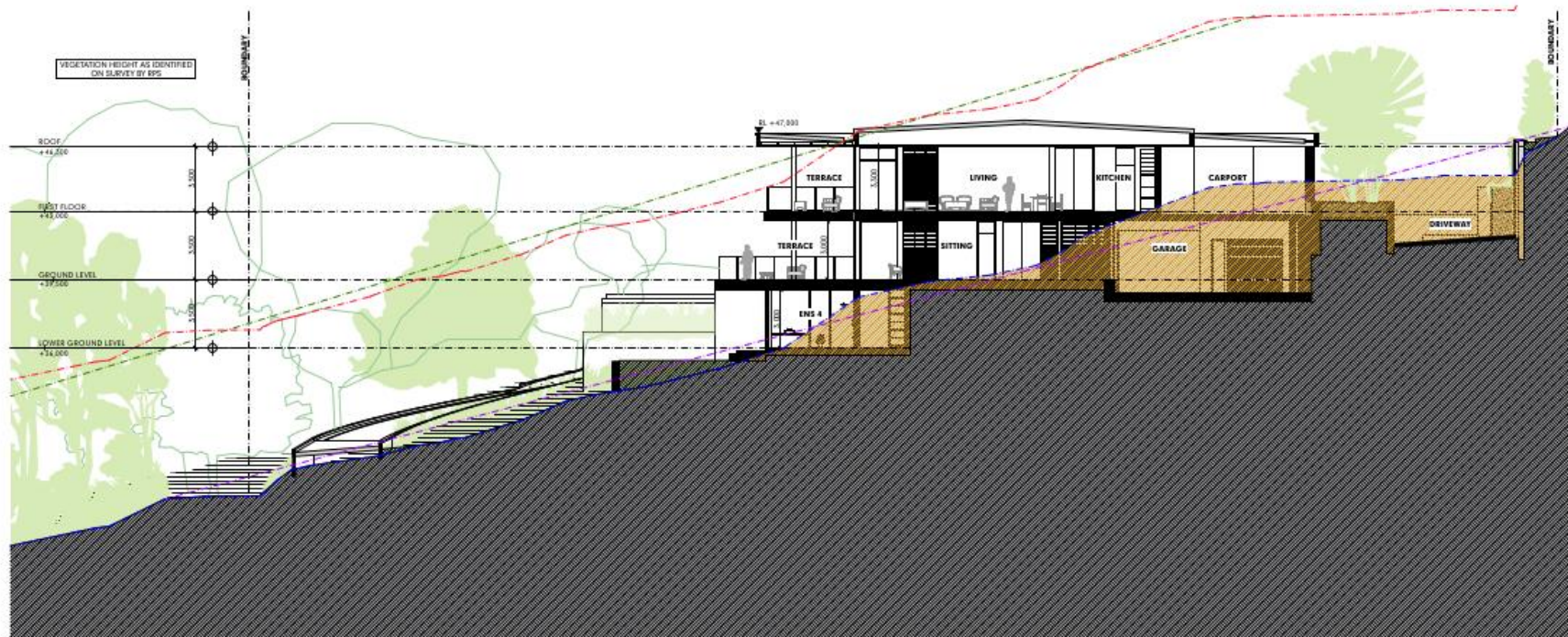
MURPHY STREET RESIDENCE
PROPOSED NEW RESIDENCE AT No 12 MURPHY STREET
ON LOT 113 (PTD2094)
FOR : KIM CULLEN & NEIL BIDDLE

DEVELOPMENT APPLICATION
FLOOR PLAN - GROUND LEVEL
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DEVELOPMENT APPLICATION
PROJECT NO. MURPHY001
DRAWING NO. 05.2
REVISION NO. 01
DATE 2/6/22

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DESIGN



SECTION A
SCALE 1:100

LEGEND

- EXCAVATION
- FILL
- NATURAL SURFACE LEVEL (N.S.L.)
- AVERAGE N.S.L.
- 8.5M ABOVE N.S.L.
- AVERAGE 8.5M ABOVE N.S.L.

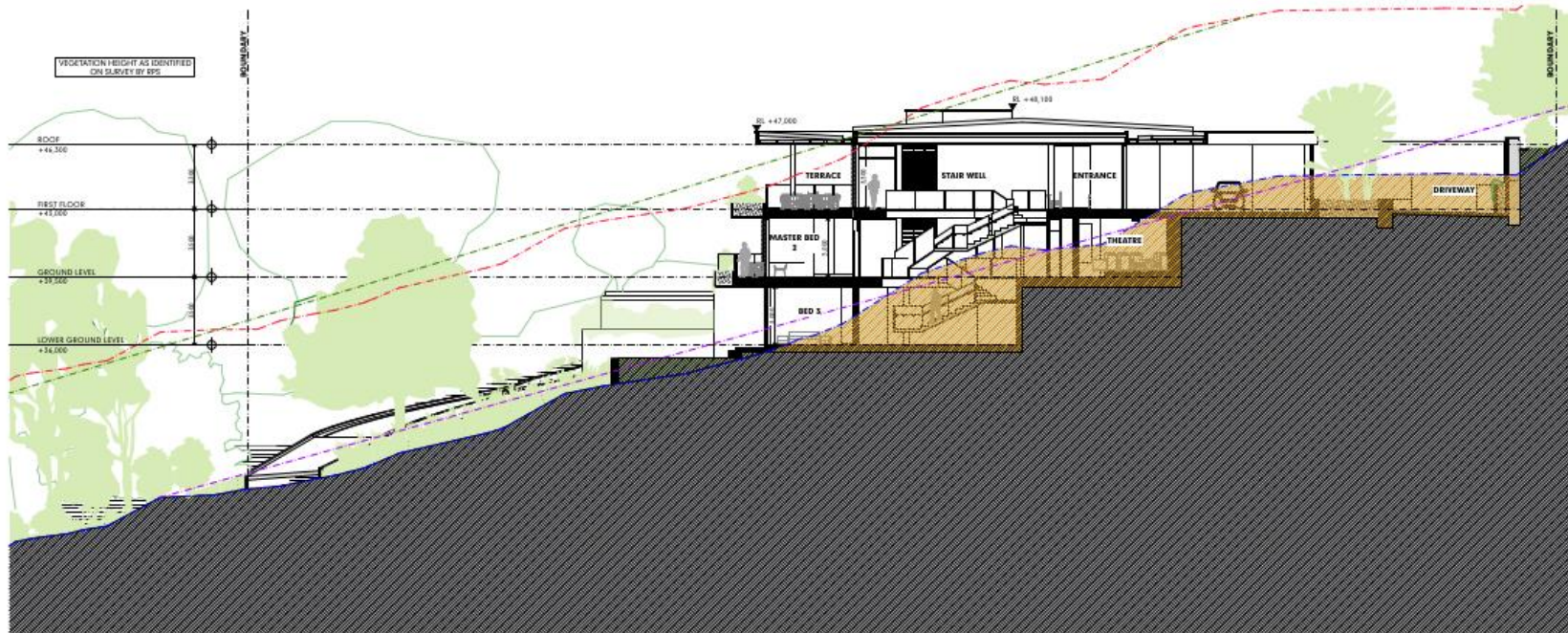
READ IN CONJUNCTION WITH:
- LANDSCAPE PLANS
- CIVIL PLANS

MURPHY STREET RESIDENCE
PROPOSED NEW RESIDENCE AT No 12 MURPHY STREET
ON LOT 113 (PTD2094)
FOR : KIM CULLEN & NEIL BIDDLE

DEVELOPMENT APPLICATION
SECTION A
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DEVELOPMENT APPLICATION
PROJECT NO. MURPHY001
DRAWING NO. 04.1
REVISION NO. 01
DATE 2/6/22

HUNT
DESIGN



SECTION B
SCALE: 1:100

LEGEND

- EXCAVATION
- FILL
- NATURAL SURFACE LEVEL (N.S.L.)
- AVERAGE N.S.L.
- 8.5M ABOVE N.S.L.
- AVERAGE 8.5M ABOVE N.S.L.

READ IN CONJUNCTION WITH:
- LANDSCAPE PLANS
- CIVIL PLANS

MURPHY STREET RESIDENCE
PROPOSED NEW RESIDENCE AT No 12 MURPHY STREET
ON LOT 113 (PTD2094)
FOR : KIM CULLEN & NEIL BIDDLE

DEVELOPMENT APPLICATION
SECTION B
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DEVELOPMENT APPLICATION
PROJECT NO. MURPHY001
DRAWING NO. 04.2
REVISION NO. 01
DATE 2/6/22

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DESIGN



SECTION C
SCALE 1:100

LEGEND

- EXCAVATION
- FILL
- NATURAL SURFACE LEVEL (N.S.L.)
- AVERAGE N.S.L.
- 8.5M ABOVE N.S.L.
- AVERAGE 8.5M ABOVE N.S.L.

READ IN CONJUNCTION WITH:
- LANDSCAPE PLANS
- CIVIL PLANS

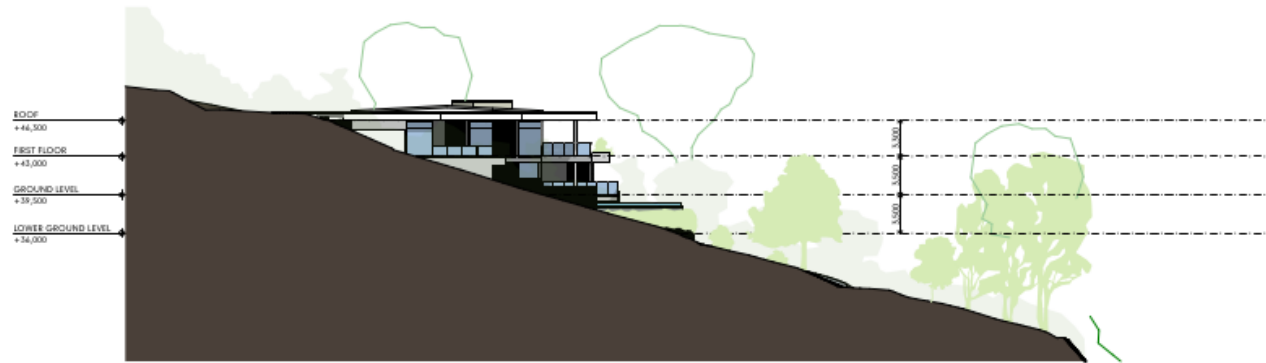
MURPHY STREET RESIDENCE
PROPOSED NEW RESIDENCE AT No 12 MURPHY STREET
ON LOT 113 (PTD2094)
FOR : KIM CULLEN & NEIL BIDDLE

DEVELOPMENT APPLICATION
SECTION C
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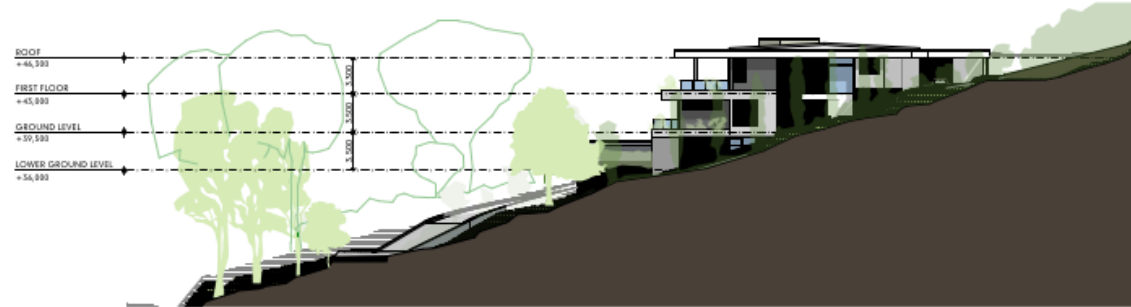


DEVELOPMENT APPLICATION
PROJECT NO. MURPHY001
DRAWING NO. 04.3
REVISION NO. 01
DATE 2/6/22

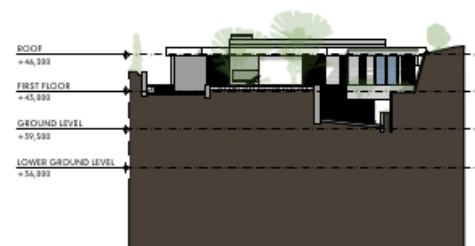
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DESIGN



NORTH-WEST ELEVATION
SCALE:1:200



SOUTH-EAST ELEVATION
SCALE:1:200



NORTH-EAST ELEVATION
SCALE:1:200



NORTH-EAST ELEVATION
SCALE:1:200

READ IN CONJUNCTION WITH:
- LANDSCAPE PLANS
- CIVIL PLANS

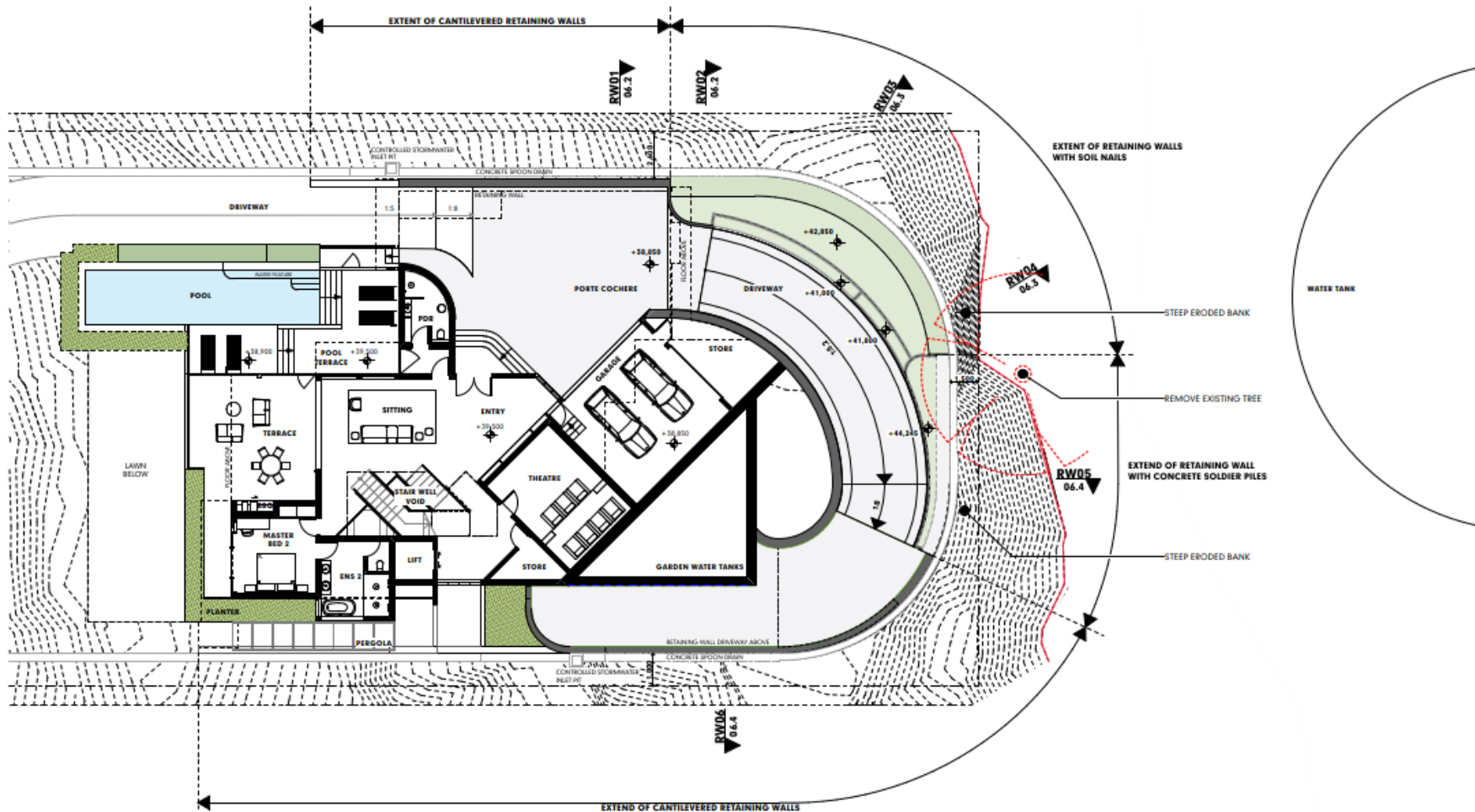
MURPHY STREET RESIDENCE
PROPOSED NEW RESIDENCE AT No 12 MURPHY STREET
ON LOT 113 (PTD2094)
FOR : KIM CULLEN & NEIL BIDDLE

**DEVELOPMENT APPLICATION
ELEVATIONS**
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DEVELOPMENT APPLICATION
PROJECT NO. MURPHY001
DRAWING NO. 05.1
REVISION NO. 01
DATE 2/6/22

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DESIGN



SITE PLAN - REAR RETAINING WALLS

T1102

READ IN CONJUNCTION WITH:
- LANDSCAPE PLANS
- CIVIL PLANS

MURPHY STREET RESIDENCE
PROPOSED NEW RESIDENCE AT No 12 MURPHY STREET
ON LOT 113 (PTD2094)
FOR : KIM CULLEN & NEIL BIDDLE

DEVELOPMENT APPLICATION
REAR RETAINING WALLS - PLAN

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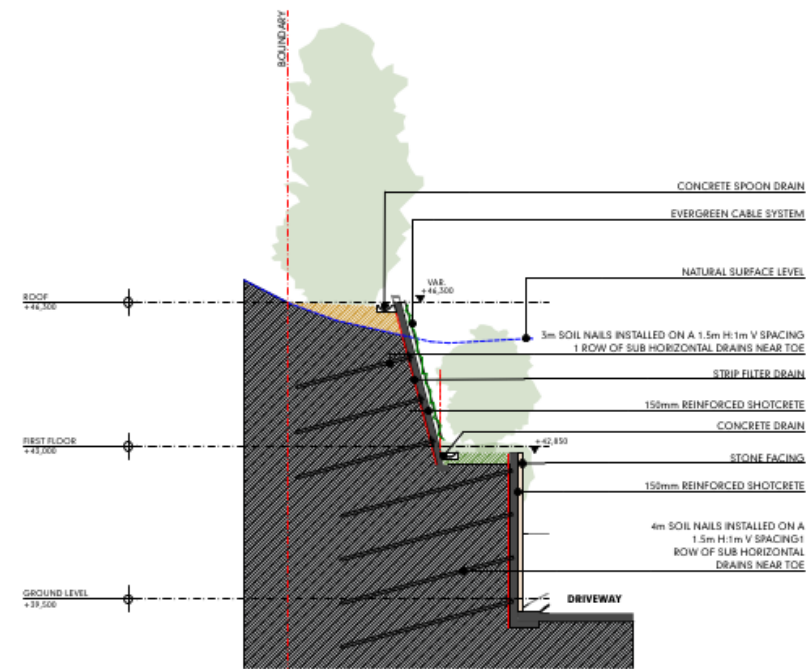
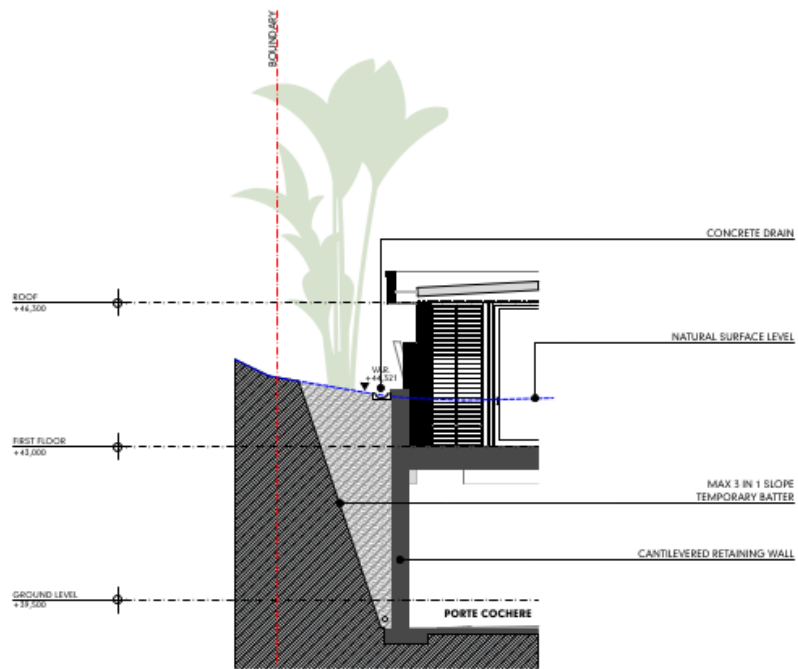


DEVELOPMENT APPLICATION
PROJECT NO. MURPHY001
DRAWING NO. 06.1
REVISION NO. 01
DATE 2/6/22

LANDPLAN
LANDSCAPE ARCHITECTURE

GEO
INTEGRATIVE DESIGN CONSULTANT

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PLANTS AT MATURE HEIGHT AS DEPICTED ON LANDSCAPE PLAN

MURPHY STREET RESIDENCE
 PROPOSED NEW RESIDENCE AT No 12 MURPHY STREET
 ON LOT 115 (PTD2094)
 FOR : KIM CULLEN & NEIL BIDDLE

DEVELOPMENT APPLICATION
 REAR RETAINING WALLS - SECTIONS
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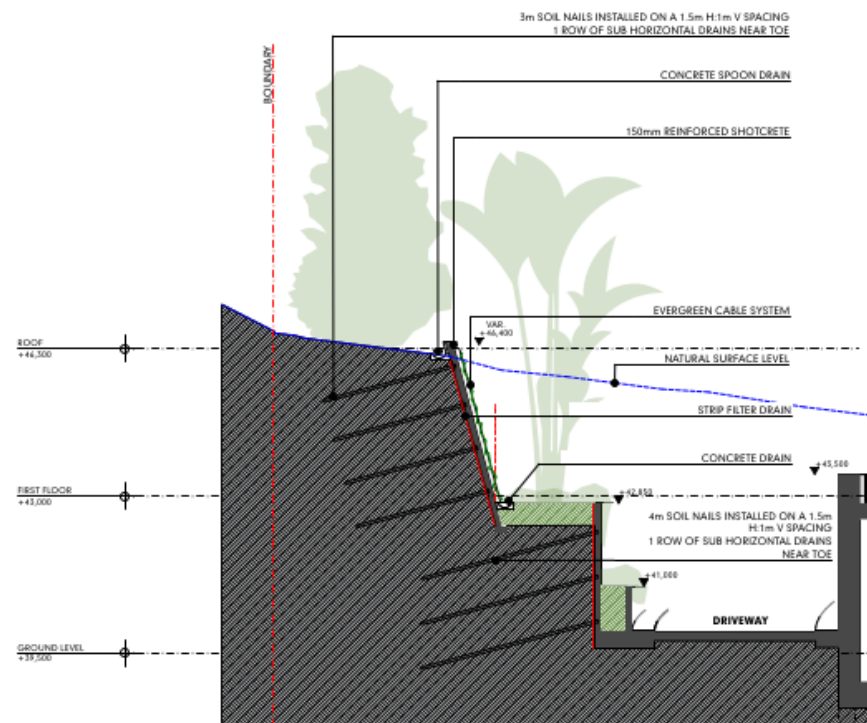
DEVELOPMENT APPLICATION
 PROJECT NO. MURPHY001
 DRAWING NO. 04.2
 REVISION NO. 01
 DATE 2/4/22

LANDPLAN
 LANDSCAPE ARCHITECTURE

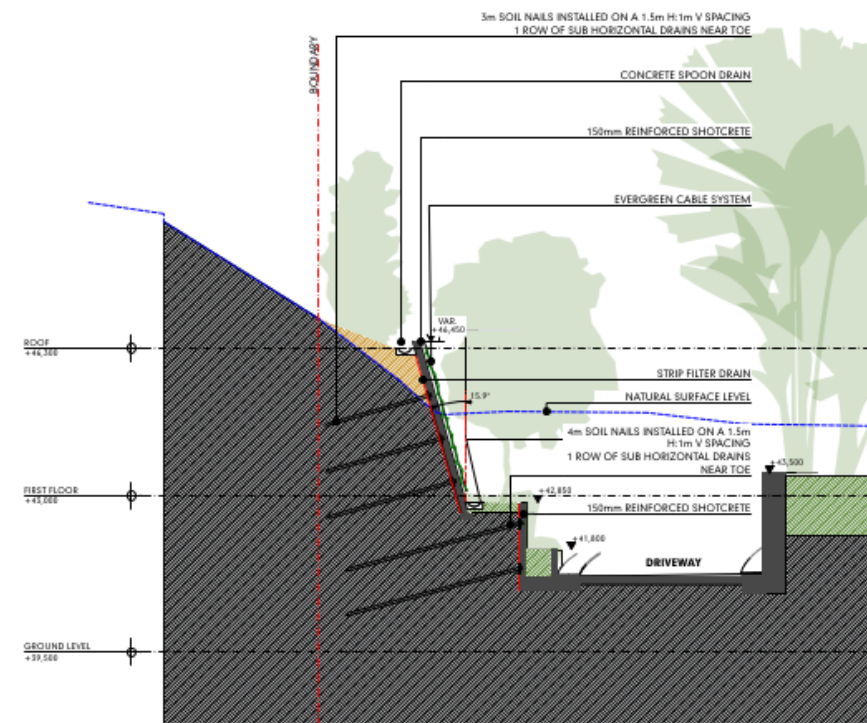
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SECTION RW03



SECTION RW04

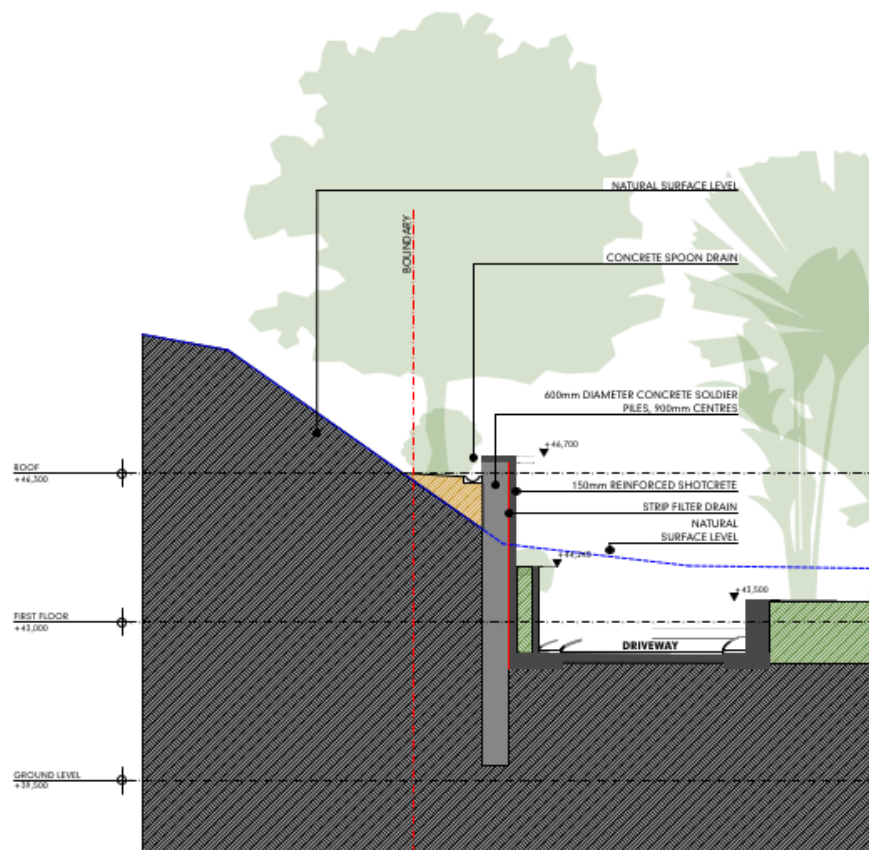
PLANTS AT MATURE HEIGHT AS DEPICTED ON LANDSCAPE PLAN

MURPHY STREET RESIDENCE
PROPOSED NEW RESIDENCE AT No 12 MURPHY STREET
ON LOT 113 (PTD2094)
FOR : KIM CULLEN & NEIL BIDDLE

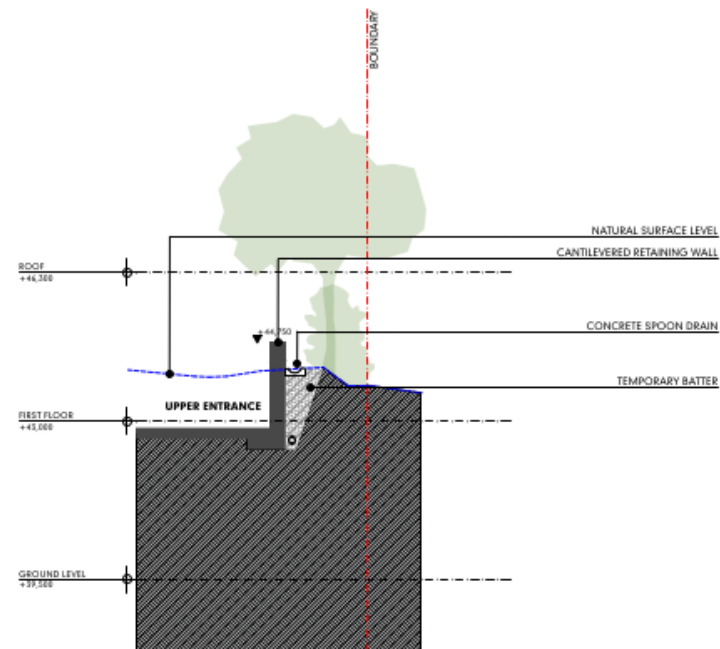
DEVELOPMENT APPLICATION
REAR RETAINING WALLS - SECTIONS
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DEVELOPMENT APPLICATION
PROJECT NO. MURPHY001
DRAWING NO. 06.3
REVISION NO. 01
DATE 2/6/22

LANDPLAN **GEO** **EDGE** **HUNT**
LANDSCAPE ARCHITECTURE investigate design connect 11111111 DESIGN



SECTION RW05



SECTION RW06

PLANTS AT MATURE HEIGHT AS DEPICTED ON LANDSCAPE PLAN

MURPHY STREET RESIDENCE
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DEVELOPMENT APPLICATION
REAR RETAINING WALLS - SECTIONS
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DEVELOPMENT APPLICATION
PROJECT NO. MURPHY001
DRAWING NO. 06.4
REVISION NO. 01
DATE 2/6/22

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LANDSCAPE ARCHITECTURE DESIGN DESIGN

MURPHY STREET RESIDENCE

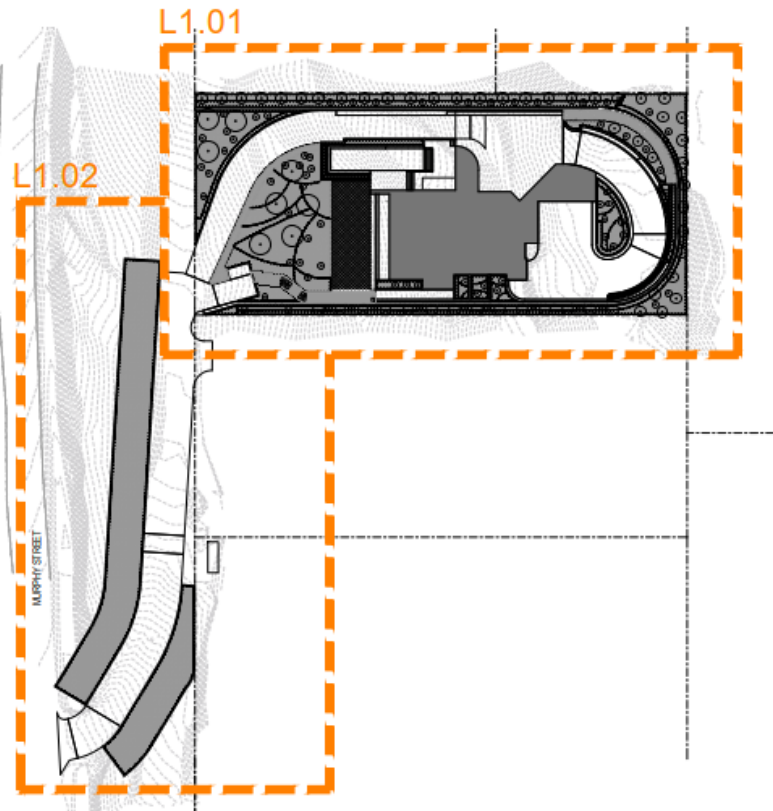
12 MURPHY STREET ON LOT 113 (PTD2094)

LANDSCAPE DOCUMENTATION

Issue: OPERATIONAL WORKS

Date: 03-06-2022

SHEET PLAN 1:300@A1



DRAWING SCHEDULE

DRAWING NUMBER	TITLE	REVISION
L0.01	COVER SHEET	02
L1.01	LANDSCAPE PLAN	02
L1.02	LANDSCAPE PLAN	02
L2.01	LANDSCAPE STANDARD DETAILS	02
PROJ. NO. 512613.01	LANDSCAPE SPECIFICATION	02

PLANT SCHEDULE

CODE	SPECIES	COMMON NAME	POT SIZE	QUANTITY
ACM HEM	ACMENA HEMELAPRA	LILLY PELY	200mm	8
BAR ACU	BARRINGTONIA ACUTANGULAR	INDIAN CAM	200mm	5
DYZ FIB	DYZYGUM FIBROSUM	PIROUS SATINASH	25 Litre	8
DYZ AUS	DYZYGUM AUSTRALIS	BRUSH CHERRY	25 Litre	20
KAN CHR	KANTHOSOMON CHRYSANTHUS	GOLDEN PENDA	25 Litre	5
PHY CUS	PHYLLANTHUS CUSCUTIFLORUS	PINK PHYLLANTHUS	200mm	32
CLE HYL	CLEISTANTHUS HYLANDII	BERNIE'S CLEISTANTHUS	140mm	14
LOM LON	LOMANDRA LONGIFOLIA	MAT RUSH	140mm	168
DYZ CAS	DYZYGUM CASCADE	CASCADE LILLY PELY	140mm	17
SAR PSI	SARDENIA PSIDIODES	GLENNIE RIVER	140mm	32
CYR REN	CYTOSTACHYUS RENDAI	LIPSTICK PALM	100 Litre	38
LIC RAM	LICUALA RAMSAYI	AUSTRALIAN FAN PALM	100 Litre	15
TEC HEL	TECCOMANTHE HELLE	FRASER ISLAND CREEPER	140mm	15
GRA EXO	GRAPTOPHYLLUM EXCELSUM	SCARLET FUCHSIA	140mm	10
ALP CER	ALPINA CAERULEA	NATIVE GINGER	140mm	32
ATR FIT	ATRACTOCARPUS FITZALANE	BROWN GARDENIA	100 Litre	3
HOY AUS	HOYA AUSTRALIS	WAXYNE	140mm	10
DEP TET	DEPLANCHIA TETRAHYLLA	GOLDEN BOUQUET TREE	100 Litre	5
CUR CAP	CURCULIGO CAPITULATA	PALM GRASS	140mm	188
BRG ACE	BRACHYCHITON ACERIS OLUS	LLANWARNA FLAME TREE	100 Litre	5
ALP PUR	ALPINA PURPUREATA	RED GINGER	140mm	48
PHI BEL	PHILODENDRON BELLOID	PHILODENDRON	140mm	5
VIO HED	VIOLA HEDERACEA	NATIVE VIOLET	140mm	12
BLE SIL	BLECHNUM SILVER LADY	SWARTZ TREE FERN	140mm	16
PHI KAN	PHILODENDRON KANADI	WINTERBOURN	140mm	17
CAL ZEB	CALATHEA ZEBERNA	ZEBRA PLANT	140mm	8
CAL MAD	CALATHEA MADAGASCARICA	CALATHEA	140mm	12
HEL CHA	HELICONIA CHARTACEA	SEXY PINK HELICONIA	140mm	6
GRE SPD	GREVILLEA SPECIES	GREVILLEA	140mm	5
BRD SPD	BRONDELIA SPECIES	RADICANS	140mm	8
GAR RAD	GARDENIA RADICANS	PROSTRATE GARDENIA	140mm	12
SIL SIL	SILVER SILVER FALLS	SILVER PONYFOOT	140mm	20
DEP CAN	DEPHYDRANTHERA CANDIDA	PARTY LILLY	140mm	20
SIA SIL	SIAENELLA SILVER STREAK	NATIVE FLAX	140mm	20
ETL SLA	ETLINGERA SLATOR	TORCH GINGER	140mm	20
COR CAN	CORYDOLINE CANIFOLIA	THE PALM LILLY	140mm	24
CRI PED	CRINUM PEDUNCULATUM	SWAMP LILLY	140mm	12
SIA CAE	SIAENELLA CAERULEA	FLAX LILLY	140mm	12

REVEGETATION SCHEDULE

CODE	SPECIES	COMMON NAME	POT SIZE	QUANTITY
A	LOMANDRA HYSTRIX	CREEK MAT RUSH	TUBE	42
A	LOMANDRA LONGIFOLIA	MAT RUSH	TUBE	42
A	SARDENIA ASPERA	ROUGH SAW EDGE	TUBE	42
A	GARDENIA PSIDIODES	GLENNIE RIVER	TUBE	42
A	HEBERTIA BANKSII	GUINEA FLOWER	TUBE	42
A	ASPENIUM NIDUS	BIRD'S NEST FERN	TUBE	42
TOTAL - (21MODULE)				252
B	ACACIA FLAVESCENS	RED WATTLE	TUBE	18
B	ANTIDESSA BUNUS	CHINESE - LAUREL	TUBE	18
B	PAVETTA AUSTRALIENSIS	BUTTERFLY BUSH	TUBE	18
B	LEEA INDICA	BANDICOOT BERRY	TUBE	18
B	GRAPTOPHYLLUM EXCELSUM	SCARLET FUCHSIA	TUBE	18
B	GREVILLEA LONGISTYLIA	LONG JOHN	TUBE	18
B	CLEISTANTHUS HYLANDII	BERNIE'S CLEISTANTHUS	TUBE	18
B	ALPINA MODESTA	NARROW-LEAF GINGER	TUBE	18
TOTAL - (12MODULE)				144
C	ACACIA AULACOCARPA	HICKORY WATTLE	TUBE	3
C	ACACIA GRASSICARPA	NORTHERN WATTLE	TUBE	3
C	DYZYGUM AUSTRALIS	BRUSH CHERRY	TUBE	3
C	PHYLLANTHUS CUSCUTIFLORUS	PINK PHYLLANTHUS	TUBE	3
TOTAL - (1MODULE)				12

Based on 12 56m modules.
The Contractor shall review the plant schedule to ensure that drawings and schedule concur. Where insufficient detail or discrepancies may exist on either the plans or the schedule, it is the Contractor's responsibility to resolve immediately with the Landscape Architect and prior to providing Tender pricing, signing work contracts or commencement of works.

IMPORTANT NOTE

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Refer to: Civil Engineer's drawings for service locations. All services are to be verified on site prior to any excavation / construction. Trees to be located minimum 1m from services. All services are indicative only.

Final set out for all landscape treatments to be confirmed on site by the Landscape Architect. Unless shown on the landscape drawings, refer to Structural Engineer's drawings for piling, reinforcement, structural change etc. for all walls and pavements. All trees marked within 1m adjacent to vehicle signposts are to be set out on site prior to installation and approved by the Landscape Architect and Traffic Engineer.

For Lighting requirements refer Electrical Engineers drawings. The Contractor shall review the plant schedule to ensure that drawings and schedule concur. Where insufficient detail or discrepancies may exist on either the plans or the schedule, it is the Contractor's responsibility to resolve immediately with the Landscape Architect and prior to providing tender pricing, signing work contracts or commencement of works.

Rev	Description	Date	Drawn
01	PRELIMINARY	03/06/2022	001
02	REVISED FOR APPROVAL	03/06/2022	002

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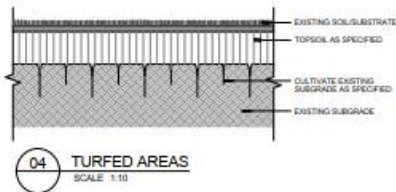
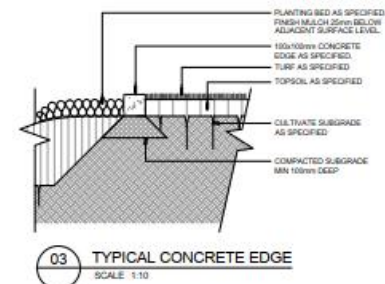
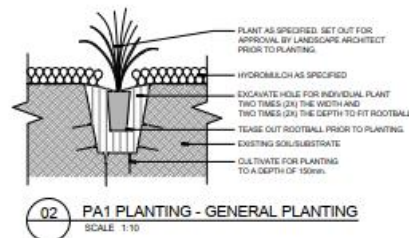
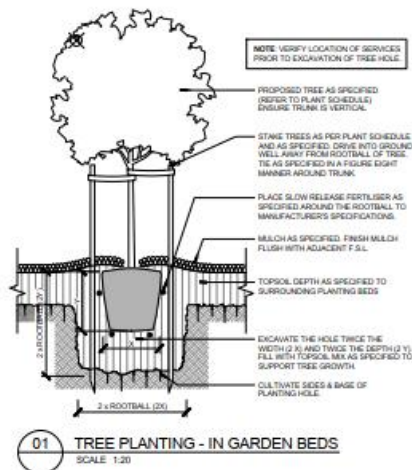
Drawn	Approved	Date
D.C.	S.M.	03/06/2022

Scale
1:300



Client
KIM CULLEN & NEIL BIDDLE
Project
MURPHY STREET RESIDENCE
Sheet
COVER SHEET

Project Number	Sheet Number
2112-055	L0.01
Revision	Date
02	03/06/2022



Rev	Description	Date	Drawn	Checked	Project	Project Number	Sheet
01	PRELIMINARY	03/06/2022	DL		KIM CULLEN & NEIL BIDDLE	2112-055	
02	REVISED FOR APPROVAL	03/06/2022	DL		MURPHY STREET RESIDENCE	Working Number	02
					LANDSCAPE STANDARD DETAILS	L2.01	

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Drawn	Checked	Date	Project
D.C.	S.M.	03/06/2022	KIM CULLEN & NEIL BIDDLE
Scale	AS SHOWN		
	1:10		

Project	Project Number	Sheet
KIM CULLEN & NEIL BIDDLE	2112-055	
MURPHY STREET RESIDENCE	Working Number	02
LANDSCAPE STANDARD DETAILS	L2.01	

SPECIFICATIONS

SCOPE OF WORK

The work includes the organisation for and supply of all relevant labour, materials, plant and equipment as required to execute the works.

The scope of work includes but is not limited to the following:

- Trimming of areas to be landscaped;
- Removal of deleterious material;
- Cultivation;
- Supply and spreading of additives;
- Supply and installation of imported topsoil;
- Supply and installation of mulch;
- Planting; and
- Maintenance.

WORKS BY OTHERS

- All hard pavement
- Retaining walls
- All fencing types
- Subsoil drainage

EARTHWORKS

Earthworks shall involve the removal of existing compacted material, the cultivation of subsoil, the supply and mixing in of additives, the supply and spreading of topsoil and the fine grading of such soil and existing soil profiles to all landscaped areas to form the finished levels and profiles.

Finished surfaces shall finish flush with adjacent surfaces.

Preparation

Eradicate all weeds using environmentally acceptable methods, such as non-residual glyphosate herbicide in any of its registered formulae, at the recommended maximum rate.

Maintain all areas in a weed free state for the duration of the contract and Plant Establishment periods.

Cultivation

Excavate and remove from site compacted fill resulting from the building works. Cultivate all planting and turf areas to a depth of 150mm and place 100g/m² of Blood and Bone and 100g/m² of Gypsum.

IMPORTED TOPSOIL (FOR PLANTING)

Import and spread premium topsoil mix. Soil shall be free of weeds, sticks, rocks and other deleterious matter. Imported topsoil is to comply with AS4419.

MULCH

Mulch to be spread evenly across all planting areas. Mulch to planting areas shall be approved rainforest mulch free of soil, stones, weeds, rubbish or any other deleterious materials. Spread mulch to garden bed areas to a depth of 75mm, to finish 20mm below adjacent surfaces. Keep mulch clear of plant stems. Spread mulch following planting and watering in. Avoid mixing of soil and mulch materials. Do not use recycled garden mulch. Mulch to comply with AS4454.

PLANTING AREAS

Finished soil depth to all garden areas shall be 300mm crowned towards centre of beds ensuring positive falls to drainage structures. Use 'Agriform' 10g fertilizer tablets (or approved equivalent) to base of all plant root balls at manufacturer's recommended rate.

PLANTS

Provide plants with the following characteristics:

- Large healthy root systems, with no evidence of root cut, restriction or damage;
- Vigorous well-established stock free from pests and diseases, of good form consistent with the pot size, species or variety;
- Hardened off, not soft or forced, and suitable for planting in the natural climatic conditions prevailing at the site.

Label at least one plant from each species in a batch with a durable, readable tag. Plant stock immediately after it is delivered to site. For all plant stock excavate a hole twice the diameter of the rootball and at least 200mm deeper than the rootball. Loosen compacted sides and base of holes to prevent confinement of root growth. Fill all holes to half deep with water in advance of planting, allowing time for water to soak away. After planting, fill hole with amended/imported soils.

STAKES AND TIES

All 45L stock and larger are to be staked and tied.

GRASS AREAS

Refer Civil Engineers Specifications.

TIMBER EDGE

To be located in ALL areas between turfed areas and planting beds. Supply and install in accordance with the details and the drawings.

Installation:

Set edging's flush with adjoining surfaces to define planting to turf or turf/reinforced turf junctions. Fix to pegs with galvanized nails, two per fixing. Drive pegs into the ground at 1500mm max centres on both sides of joints between boards, with peg tops 15mm below the top of the edging. Refer to details.

CONDUITS

The contractor is responsible for co-ordination with the building contractor to ensure that conduits under proposed paved or concreted areas have been installed. Conduits for irrigation purposes shall be 90mm PVC pipe - top min. 250mm below finished surface levels.

TURF AREAS

Spread 50mm layer of imported topsoil to all nominated turf areas.

Install an A-grade green couch that is weed free.

PLANTING ESTABLISHMENT

Establish and maintain the works for a period of thirteen (13) weeks from the Date of Practical Completion.

Establishment shall include the care of the contract areas by accepted horticultural practices, as well as rectifying any defects that become apparent in the works under normal 'use'. This shall include, but not be limited to, the following works:

- Repair and/or replace any defects due to failure and/or inferior quality materials and/or workmanship;
- Replace plants that have failed and/or have been damaged or died;
- Weed and pest control;
- Maintain all landscape areas in a neat and tidy condition at all times;
- Maintain fertilising and pruning as required;
- Check and adjust levels to attain those specified by addition or removal of mulch and/or topsoil.

All planted beds are to be weeded to maintain same in a grass and weed free environment. Carry out any other work that is specified or is necessary to establish the landscape works in a first class condition.

GARDEN EDGING

Location:

To be located in areas between grass/garden areas and PT1 as indicated on the drawings. Supply and install in accordance with the details and the drawings

Installation:

Set top of edge strip to be flush with the surface level of surrounding turf. Install 100mm x 100mm depth concrete edging strip as detailed.

IRRIGATION

The design, supply, and installation of a fully automatic irrigation system to provide coverage to all turf and planting areas specified. The system shall be capable of delivering an application rate of 32mm per week.

To avoid water wastage, ensure that the correct sprinkler nozzle is used for the particular application required, and also adjust sprinklers and solenoid valves as required to avoid overspray onto paths and roadways.

SYSTEM DESIGN SPECIFICATIONS

This is a general design specification and does not relate specifically to any particular site. The purpose of these specifications is to provide general guidelines and operating parameters by which an irrigation system can be installed which complies to relevant government, authorities, and industry standards.

Any irrigation layout drawings containing pipe work, valves, sprinkler outlets, wiring and controllers are diagrammatic and contractor is required to obtain all necessary information, including but not limited to: correct measurements, on site flow/pressure test of water supply, and other necessary information to carry out complete installation of system.

Exact alignment of irrigation lines to be determined onsite and approved by landscape architect prior to commencement of works.

Any impact on existing trees to be minimized and avoided where possible.

All materials to be supplied and installed are to be of professional standard and compliant to any relevant Government standards.

Any fees, licenses or associated installation costs are the responsibility of the irrigation contractor.

Fully automatic irrigation system appropriate for specific site requirements;

Appropriately sized commercial controller in weatherproof enclosure if mounted externally;

Turf areas to be watered utilizing pop-up sprinklers:

- Hunter Model 120 or similar for commercial installations;
- Garden areas to be watered utilizing pop-up sprinklers, garden shrub sprays on 15mm poly risers or drip irrigation dependent on customer's specifications;
- Solenoid valves to be appropriately sized for individual station flow rate requirements;
- Hunter ICV solenoid valve or similar;
- Mainline and lateral pipework to be PVC Class 12 or poly pipe PN12.5;
- Drip line pipework to be low density poly pipe and associated fittings with stainless steel hose clamps;
- Solenoid valve wiring to be appropriately sized, according to distance between valve and controller, power losses through cable, and inrush amperage of valve;
- Solenoid valve control wire joints are to be waterproof connections
- DEY or similar;
- Backflow prevention device with associated valves and filter assembly to comply with relevant government authorities and sized according to maximum flow rate of system

COMMISSIONING AND MAINTENANCE

Prior to commissioning of system the following works will have been carried out:

Operation of each individual solenoid valve from controller;

- Minimum 7 days of continuous automatic operation of entire system from controller;
- Programming of controller to allow for 32mm of precipitation during a 7 day period;
- Testing of rain sensor to ensure proper operation of same to over-ride controller during rain periods;
- Attach all contact details of contractor to door of controller for future reference;
- Provide a detailed irrigation schedule for controller programme, showing all relevant details;
- Provide personal and written operating instructions to nominated personnel on site;
- Provide a detailed as constructed drawing showing:
 1. Solenoid and gatevalve locations (including station number and irrigated area)
 2. Mainline location
 3. Backflow and other isolation valve locations
 4. Controller and rain sensor locations.

Maintenance Period

This period shall be 13 weeks in duration, during which period the contractor shall undertake the following:

Additional flushing of system as necessary to ensure correct sprinkler operation;

Repair of any pipework or fitting leaks and/or blockages;

Ensure correct overall operation of system, including valves, sprinklers and nozzles;

Ensure correct programming and operation of controller;

Adjust controller program as required for individual station watering to ensure over-watering and run-off does not occur.

On completion of the maintenance period, the final programming of the controller shall be recorded in the control box and in the instruction manual, and the appropriate personnel advised of the irrigation scheduling. These personnel shall at this time relate any queries or questions they have regarding the installation or operation of the system to the irrigation contractor.

Defects Liability Period

The defects liability period for the irrigation system shall be 52 weeks from the date of practical completion.

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Reasons for Decision

The reasons for this decision are:

1. Sections 60, 62 and 63 of the *Planning Act 2016*:
 - a) to ensure the development satisfies the benchmarks of the 2018 Douglas Shire Planning Scheme Version 1.0; and
 - b) to ensure compliance with the *Planning Act 2016*.
2. Findings on material questions of fact:
 - a) the development application was properly lodged to the Douglas Shire Council on 14 June 2022 under section 51 of the *Planning Act 2016* and Part 1 of the *Development Assessment Rules*;
 - b) the development application contained information from the applicant which Council reviewed together with Council's own assessment against the 2017 State Planning Policy and the 2018 Douglas Shire Planning Scheme Version 1.0 in making its assessment manager decision.
3. Evidence or other material on which findings were based:
 - c) the development triggered assessable development under the Assessment Table associated with the Environmental Management Zone Code;
 - d) Council undertook an assessment in accordance with the provisions of sections 60, 62 and 63 of the *Planning Act 2016*; and
 - e) the applicant's reasons have been considered and the following findings are made:
 - i) Subject to conditions, the development satisfactorily meets the Planning Scheme benchmarks.

Planning Act 2016
Chapter 3 Development assessment

[s 74]

Division 2 Changing development approvals

Subdivision 1 Changes during appeal period

74 What this subdivision is about

- (1) This subdivision is about changing a development approval before the applicant's appeal period for the approval ends.
- (2) This subdivision also applies to an approval of a change application, other than a change application for a minor change to a development approval.
- (3) For subsection (2), sections 75 and 76 apply—
 - (a) as if a reference in section 75 to a development approval were a reference to an approval of a change application; and
 - (b) as if a reference in the sections to the assessment manager were a reference to the responsible entity; and
 - (c) as if a reference in section 76 to a development application were a reference to a change application; and
 - (d) as if the reference in section 76(3)(b) to section 63(2) and (3) were a reference to section 83(4); and
 - (e) with any other necessary changes.

75 Making change representations

- (1) The applicant may make representations (*change representations*) to the assessment manager, during the applicant's appeal period for the development approval, about changing—
 - (a) a matter in the development approval, other than—
 - (i) a matter stated because of a referral agency's response; or

- (ii) a development condition imposed under a direction made by the Minister under chapter 3, part 6, division 2; or
- (b) if the development approval is a deemed approval—the standard conditions taken to be included in the deemed approval under section 64(8)(c).
- (2) If the applicant needs more time to make the change representations, the applicant may, during the applicant's appeal period for the approval, suspend the appeal period by a notice given to the assessment manager.
- (3) Only 1 notice may be given.
- (4) If a notice is given, the appeal period is suspended—
 - (a) if the change representations are not made within a period of 20 business days after the notice is given to the assessment manager—until the end of that period; or
 - (b) if the change representations are made within 20 business days after the notice is given to the assessment manager, until—
 - (i) the applicant withdraws the notice, by giving another notice to the assessment manager; or
 - (ii) the applicant receives notice that the assessment manager does not agree with the change representations; or
 - (iii) the end of 20 business days after the change representations are made, or a longer period agreed in writing between the applicant and the assessment manager.
- (5) However, if the assessment manager gives the applicant a negotiated decision notice, the appeal period starts again on the day after the negotiated decision notice is given.

76 Deciding change representations

- (1) The assessment manager must assess the change representations against and having regard to the matters that

- must be considered when assessing a development application, to the extent those matters are relevant.
- (2) The assessment manager must, within 5 business days after deciding the change representations, give a decision notice to—
- (a) the applicant; and
 - (b) if the assessment manager agrees with any of the change representations—
 - (i) each principal submitter; and
 - (ii) each referral agency; and
 - (iii) if the assessment manager is not a local government and the development is in a local government area—the relevant local government; and
 - (iv) if the assessment manager is a chosen assessment manager—the prescribed assessment manager; and
 - (v) another person prescribed by regulation.
- (3) A decision notice (a ***negotiated decision notice***) that states the assessment manager agrees with a change representation must—
- (a) state the nature of the change agreed to; and
 - (b) comply with section 63(2) and (3).
- (4) A negotiated decision notice replaces the decision notice for the development application.
- (5) Only 1 negotiated decision notice may be given.
- (6) If a negotiated decision notice is given to an applicant, a local government may give a replacement infrastructure charges notice to the applicant.

Chapter 6 Dispute resolution

Part 1 Appeal rights

229 Appeals to tribunal or P&E Court

- (1) Schedule 1 states—
 - (a) matters that may be appealed to—
 - (i) either a tribunal or the P&E Court; or
 - (ii) only a tribunal; or
 - (iii) only the P&E Court; and
 - (b) the person—
 - (i) who may appeal a matter (the *appellant*); and
 - (ii) who is a respondent in an appeal of the matter; and
 - (iii) who is a co-respondent in an appeal of the matter; and
 - (iv) who may elect to be a co-respondent in an appeal of the matter.
- (2) An appellant may start an appeal within the appeal period.
- (3) The *appeal period* is—
 - (a) for an appeal by a building advisory agency—10 business days after a decision notice for the decision is given to the agency; or
 - (b) for an appeal against a deemed refusal—at any time after the deemed refusal happens; or
 - (c) for an appeal against a decision of the Minister, under chapter 7, part 4, to register premises or to renew the registration of premises—20 business days after a notice is published under section 269(3)(a) or (4); or

- (d) for an appeal against an infrastructure charges notice—20 business days after the infrastructure charges notice is given to the person; or
- (e) for an appeal about a deemed approval of a development application for which a decision notice has not been given—30 business days after the applicant gives the deemed approval notice to the assessment manager; or
- (f) for an appeal relating to the *Plumbing and Drainage Act 2018*—
 - (i) for an appeal against an enforcement notice given because of a belief mentioned in the *Plumbing and Drainage Act 2018*, section 143(2)(a)(i), (b) or (c)—5 business days after the day the notice is given; or
 - (ii) for an appeal against a decision of a local government or an inspector to give an action notice under the *Plumbing and Drainage Act 2018*—5 business days after the notice is given; or
 - (iii) for an appeal against a failure to make a decision about an application or other matter under the *Plumbing and Drainage Act 2018*—at anytime after the period within which the application or matter was required to be decided ends; or
 - (iv) otherwise—20 business days after the day the notice is given; or
- (g) for any other appeal—20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.

Note—

See the P&E Court Act for the court's power to extend the appeal period.

- (4) Each respondent and co-respondent for an appeal may be heard in the appeal.

- (5) If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.
- (6) To remove any doubt, it is declared that an appeal against an infrastructure charges notice must not be about—
 - (a) the adopted charge itself; or
 - (b) for a decision about an offset or refund—
 - (i) the establishment cost of trunk infrastructure identified in a LGIP; or
 - (ii) the cost of infrastructure decided using the method included in the local government's charges resolution.

230 Notice of appeal

- (1) An appellant starts an appeal by lodging, with the registrar of the tribunal or P&E Court, a notice of appeal that—
 - (a) is in the approved form; and
 - (b) succinctly states the grounds of the appeal.
- (2) The notice of appeal must be accompanied by the required fee.
- (3) The appellant or, for an appeal to a tribunal, the registrar, must, within the service period, give a copy of the notice of appeal to—
 - (a) the respondent for the appeal; and
 - (b) each co-respondent for the appeal; and
 - (c) for an appeal about a development application under schedule 1, section 1, table 1, item 1—each principal submitter for the application whose submission has not been withdrawn; and
 - (d) for an appeal about a change application under schedule 1, section 1, table 1, item 2—each principal submitter for the application whose submission has not been withdrawn; and

- (e) each person who may elect to be a co-respondent for the appeal other than an eligible submitter for a development application or change application the subject of the appeal; and
 - (f) for an appeal to the P&E Court—the chief executive; and
 - (g) for an appeal to a tribunal under another Act—any other person who the registrar considers appropriate.
- (4) The *service period* is—
 - (a) if a submitter or advice agency started the appeal in the P&E Court—2 business days after the appeal is started; or
 - (b) otherwise—10 business days after the appeal is started.
- (5) A notice of appeal given to a person who may elect to be a co-respondent must state the effect of subsection (6).
- (6) A person elects to be a co-respondent to an appeal by filing a notice of election in the approved form—
 - (a) if a copy of the notice of appeal is given to the person—within 10 business days after the copy is given to the person; or
 - (b) otherwise—within 15 business days after the notice of appeal is lodged with the registrar of the tribunal or the P&E Court.
- (7) Despite any other Act or rules of court to the contrary, a copy of a notice of appeal may be given to the chief executive by emailing the copy to the chief executive at the email address stated on the department's website for this purpose.

231 Non-appealable decisions and matters

- (1) Subject to this chapter, section 316(2), schedule 1 and the P&E Court Act, unless the Supreme Court decides a decision or other matter under this Act is affected by jurisdictional error, the decision or matter is non-appealable.

- (2) The *Judicial Review Act 1991*, part 5 applies to the decision or matter to the extent it is affected by jurisdictional error.
- (3) A person who, but for subsection (1) could have made an application under the *Judicial Review Act 1991* in relation to the decision or matter, may apply under part 4 of that Act for a statement of reasons in relation to the decision or matter.
- (4) In this section—
decision includes—
 - (a) conduct engaged in for the purpose of making a decision; and
 - (b) other conduct that relates to the making of a decision; and
 - (c) the making of a decision or the failure to make a decision; and
 - (d) a purported decision; and
 - (e) a deemed refusal.**non-appealable**, for a decision or matter, means the decision or matter—
 - (a) is final and conclusive; and
 - (b) may not be challenged, appealed against, reviewed, quashed, set aside or called into question in any other way under the *Judicial Review Act 1991* or otherwise, whether by the Supreme Court, another court, any tribunal or another entity; and
 - (c) is not subject to any declaratory, injunctive or other order of the Supreme Court, another court, any tribunal or another entity on any ground.

232 Rules of the P&E Court

- (1) A person who is appealing to the P&E Court must comply with the rules of the court that apply to the appeal.
- (2) However, the P&E Court may hear and decide an appeal even if the person has not complied with rules of the P&E Court.