

12/12/2022

Chief Executive Officer  
Douglas Shire Council  
PO Box 773  
MOSSMAN QLD 4873

Dear Sir/Madam,

**MCU application for a Dwelling and Garage located at Lot 3 Bamboo Creek Road, Bamboo QLD 4873 (3 RP808141)**

Please find our referral agency application and report which demonstrates compliance with the relevant performance requirements of Douglas Shire Planning Scheme 2018 for a proposed Dwelling and Garage located at Lot 3 Bamboo Creek Road, Bamboo QLD 4873 (Lot 3 RP808141)

The subject property is located within the Rural Zone under the Douglas Shire Planning Scheme 2018. Within this zone, building work is self-assessable development, provided the development meets all the acceptable outcomes of the self-assessable criteria of the relevant Codes. As such, an assessment against the relevant acceptable outcomes has revealed three departures from the acceptable outcomes. Given the departures, the building work is deemed code assessable development requiring compliance with the applicable performance requirements.

Please find below our code assessment of the building work which demonstrates compliance with the applicable performance criteria and includes the following documentation:

- DA Forms 1 & 2
- Assessment against relevant codes
- Proposed dwelling plans
- Landowners consent

If you have any queries or require any additional information, please do not hesitate to contact Scott Dillon on 07 4222 9888

Yours faithfully,



**Scott Dillon**  
**The Building Approval Company**

# DA Form 1 – Development application details

Approved form (version 1.3 effective 28 September 2020) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

## PART 1 – APPLICANT DETAILS

| 1) Applicant details                                |   |
|---|---|
| Applicant name(s) (individual or company full name) | Austart Homes C/- The Building Approval Company |
| Contact name (only applicable for companies)        | Scott Dillon                                    |
| Postal address (P.O. Box or street address)         | PO Box 74                                       |
| Suburb  | Redlynch  |
| State   | QLD   |
| Postcode  | 4870  |
| Country   | Australia                                       |
| Contact number                                      | 07 4222 9833                                    |
| Email address (non-mandatory)                       | sdillon@tbac.com.au                             |
| Mobile number (non-mandatory)                       | 0499 620 082                                    |
| Fax number (non-mandatory)                          |   |
| Applicant's reference number(s) (if applicable)     | 222306/01                                       |

### 2) Owner's consent

#### 2.1) Is written consent of the owner required for this development application?

- ☒ Yes – the written consent of the owner(s) is attached to this development application
- ☐ No – proceed to 3)

## PART 2 – LOCATION DETAILS

### 3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

**Note:** Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

#### 3.1) Street address and lot on plan

☒ Street address **AND** lot on plan (all lots must be listed), **or**

☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

|    |          |            |                                    |                          |
|----|----------|------------|------------------------------------|--------------------------|
| a) | Unit No. | Street No. | Street Name and Type               | Suburb                   |
|    |          | Lot 3      | Bamboo Creek Road                  | Bamboo                   |
|    | Postcode | Lot No.    | Plan Type and Number (e.g. RP, SP) | Local Government Area(s) |
|    | 4873     | 3          | RP808141                           | Douglas Shire Council    |
| b) | Unit No. | Street No. | Street Name and Type               | Suburb                   |
|    |          |            |                                    |                          |
|    | Postcode | Lot No.    | Plan Type and Number (e.g. RP, SP) | Local Government Area(s) |
|    |          |            |                                    |                          |

#### 3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

**Note:** Place each set of coordinates in a separate row.

☐ Coordinates of premises by longitude and latitude

|              |             |  |  |
|--------------|-------------|--|--|
| Longitude(s) | Latitude(s) | Datum  | Local Government Area(s) (if applicable) |
|              |             | <input type="checkbox"/> WGS84<br><input type="checkbox"/> GDA94<br><input type="checkbox"/> Other: <input type="text"/> |  |

☐ Coordinates of premises by easting and northing

|            |             |   |  |  |
|------------|-------------|---|--|--|
| Easting(s) | Northing(s) | Zone Ref.   | Datum  | Local Government Area(s) (if applicable) |
|            |             | <input type="checkbox"/> 54<br><input type="checkbox"/> 55<br><input type="checkbox"/> 56 | <input type="checkbox"/> WGS84<br><input type="checkbox"/> GDA94<br><input type="checkbox"/> Other: <input type="text"/> |  |

#### 3.3) Additional premises

☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application

☒ Not required

#### 4) Identify any of the following that apply to the premises and provide any relevant details

☐ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

|   |  |
|---|--|
| Name of airport:  |  |
| <input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i> |  |
| EMR site identification:  |  |
| <input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>        |  |
| CLR site identification:  |  |

**5) Are there any existing easements over the premises?**

*Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).*

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☐ No

## PART 3 – DEVELOPMENT DETAILS

### Section 1 – Aspects of development

|   |
|---|
| <b>6.1) Provide details about the first development aspect</b>  |
| a) What is the type of development? <i>(tick only one box)</i>  |
| <input checked="" type="checkbox"/> Material change of use <input type="checkbox"/> Reconfiguring a lot <input type="checkbox"/> Operational work <input checked="" type="checkbox"/> Building work |
| b) What is the approval type? <i>(tick only one box)</i>  |
| <input checked="" type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval <input type="checkbox"/> Preliminary approval that includes a variation approval               |
| c) What is the level of assessment?   |
| <input checked="" type="checkbox"/> Code assessment <input type="checkbox"/> Impact assessment <i>(requires public notification)</i>  |
| d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i>  |
| Dwelling and Garage   |
| e) Relevant plans   |
| <b>Note:</b> <i>Relevant plans are required to be submitted for all aspects of this development application. For further information, see <a href="#">DA Forms guide: Relevant plans</a>.</i>       |
| <input checked="" type="checkbox"/> Relevant plans of the proposed development are attached to the development application  |
| <b>6.2) Provide details about the second development aspect</b>   |
| a) What is the type of development? <i>(tick only one box)</i>  |
| <input type="checkbox"/> Material change of use <input type="checkbox"/> Reconfiguring a lot <input type="checkbox"/> Operational work <input type="checkbox"/> Building work                       |
| b) What is the approval type? <i>(tick only one box)</i>  |
| <input type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval <input type="checkbox"/> Preliminary approval that includes a variation approval                          |
| c) What is the level of assessment?   |
| <input type="checkbox"/> Code assessment <input type="checkbox"/> Impact assessment <i>(requires public notification)</i>   |
| d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i>  |
|   |
| e) Relevant plans   |
| <b>Note:</b> <i>Relevant plans are required to be submitted for all aspects of this development application. For further information, see <a href="#">DA Forms Guide: Relevant plans</a>.</i>       |
| <input type="checkbox"/> Relevant plans of the proposed development are attached to the development application   |
| <b>6.3) Additional aspects of development</b>   |

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☐ Not required

## Section 2 – Further development details

### 7) Does the proposed development application involve any of the following?

|                        |   |
|------------------------|---|
| Material change of use | <input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument |
| Reconfiguring a lot    | <input type="checkbox"/> Yes – complete division 2  |
| Operational work       | <input type="checkbox"/> Yes – complete division 3  |
| Building work          | <input checked="" type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>                     |

### Division 1 – Material change of use

**Note:** This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

#### 8.1) Describe the proposed material change of use

| Provide a general description of the proposed use | Provide the planning scheme definition<br>(include each definition in a new row) | Number of dwelling units (if applicable) | Gross floor area (m <sup>2</sup> )<br>(if applicable) |
|---|--|--|---|
| Dwelling and Garage                               | Dwelling House   |  | 249   |
|   |  |  |   |
|   |  |  |   |

#### 8.2) Does the proposed use involve the use of existing buildings on the premises?

- ☐ Yes
- ☒ No

### Division 2 – Reconfiguring a lot

**Note:** This division is only required to be completed if any part of the development application involves reconfiguring a lot.

#### 9.1) What is the total number of existing lots making up the premises?

#### 9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

|  |   |
|--|---|
| <input type="checkbox"/> Subdivision (complete 10))          | <input type="checkbox"/> Dividing land into parts by agreement (complete 11))   |
| <input type="checkbox"/> Boundary realignment (complete 12)) | <input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13)) |

### 10) Subdivision

#### 10.1) For this development, how many lots are being created and what is the intended use of those lots:

| Intended use of lots created | Residential | Commercial | Industrial | Other, please specify: |
|------------------------------|-------------|------------|------------|------------------------|
|                              |             |            |            |                        |
| Number of lots created       |             |            |            |                        |

#### 10.2) Will the subdivision be staged?

- ☐ Yes – provide additional details below
- ☐ No

|   |  |
|---|--|
| How many stages will the works include?                   |  |
| What stage(s) will this development application apply to? |  |

| 11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts? |             |            |            |                        |
|---|-------------|------------|------------|------------------------|
| Intended use of parts created   | Residential | Commercial | Industrial | Other, please specify: |
| Number of parts created   |             |            |            |                        |

| 12) Boundary realignment  |                        |                         |                        |
|---|------------------------|-------------------------|------------------------|
| 12.1) What are the current and proposed areas for each lot comprising the premises? |                        |                         |                        |
| Current lot   |                        | Proposed lot            |                        |
| Lot on plan description   | Area (m <sup>2</sup> ) | Lot on plan description | Area (m <sup>2</sup> ) |
|   |                        |                         |                        |
|   |                        |                         |                        |
| 12.2) What is the reason for the boundary realignment?                              |                        |                         |                        |
|   |                        |                         |                        |

| 13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement?<br>(attach schedule if there are more than two easements) |           |            |   |   |
|--|-----------|------------|---|---|
| Existing or proposed?  | Width (m) | Length (m) | Purpose of the easement? (e.g. pedestrian access) | Identify the land/lot(s) benefitted by the easement |
|  |           |            |   |   |
|  |           |            |   |   |

### Division 3 – Operational work

**Note:** This division is only required to be completed if any part of the development application involves operational work.

| 14.1) What is the nature of the operational work?  |   |
|--|---|
| <input type="checkbox"/> Road work<br><input type="checkbox"/> Drainage work<br><input type="checkbox"/> Landscaping<br><input type="checkbox"/> Other – please specify: | <input type="checkbox"/> Stormwater<br><input type="checkbox"/> Earthworks<br><input type="checkbox"/> Signage<br><input type="checkbox"/> Water infrastructure<br><input type="checkbox"/> Sewage infrastructure<br><input type="checkbox"/> Clearing vegetation |
| 14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)   |   |
| <input type="checkbox"/> Yes – specify number of new lots:   |   |
| <input type="checkbox"/> No  |   |
| 14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)   |   |
| \$ 403,023.00  |   |

## PART 4 – ASSESSMENT MANAGER DETAILS

| 15) Identify the assessment manager(s) who will be assessing this development application   |
|---|
| Douglas Shire Council and The Building Approval Company   |
| 16) Has the local government agreed to apply a superseded planning scheme for this development application?   |
| <input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application<br><input type="checkbox"/> The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached<br><input checked="" type="checkbox"/> No |

## PART 5 – REFERRAL DETAILS

### 17) Does this development application include any aspects that have any referral requirements?

**Note:** A development application will require referral if prescribed by the Planning Regulation 2017.

- ☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

#### Matters requiring referral to the **Chief Executive of the Planning Act 2016**:

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material (*from a watercourse or lake*)
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees (*category 3 levees only*)

|  |
|--|
| <input type="checkbox"/> Wetland protection area   |
| Matters requiring referral to the <b>local government</b> :  |
| <input type="checkbox"/> Airport land  |
| <input type="checkbox"/> Environmentally relevant activities (ERA) <i>(only if the ERA has been devolved to local government)</i>  |
| <input type="checkbox"/> Heritage places – Local heritage places   |
| Matters requiring referral to the <b>Chief Executive of the distribution entity or transmission entity</b> :   |
| <input type="checkbox"/> Infrastructure-related referrals – Electricity infrastructure   |
| Matters requiring referral to:   |
| <ul style="list-style-type: none"> <li>• The <b>Chief Executive of the holder of the licence</b>, if not an individual</li> <li>• The <b>holder of the licence</b>, if the holder of the licence is an individual</li> </ul> |
| <input type="checkbox"/> Infrastructure-related referrals – Oil and gas infrastructure   |
| Matters requiring referral to the <b>Brisbane City Council</b> :   |
| <input type="checkbox"/> Ports – Brisbane core port land   |
| Matters requiring referral to the <b>Minister responsible for administering the Transport Infrastructure Act 1994</b> :  |
| <input type="checkbox"/> Ports – Brisbane core port land <i>(where inconsistent with the Brisbane port LUP for transport reasons)</i>  |
| <input type="checkbox"/> Ports – Strategic port land   |
| Matters requiring referral to the <b>relevant port operator</b> , if applicant is not port operator:   |
| <input type="checkbox"/> Ports – Land within Port of Brisbane's port limits <i>(below high-water mark)</i>   |
| Matters requiring referral to the <b>Chief Executive of the relevant port authority</b> :  |
| <input type="checkbox"/> Ports – Land within limits of another port <i>(below high-water mark)</i>   |
| Matters requiring referral to the <b>Gold Coast Waterways Authority</b> :  |
| <input type="checkbox"/> Tidal works or work in a coastal management district <i>(in Gold Coast waters)</i>  |
| Matters requiring referral to the <b>Queensland Fire and Emergency Service</b> :   |
| <input type="checkbox"/> Tidal works or work in a coastal management district <i>(involving a marina (more than six vessel berths))</i>  |

|  |                 |                           |
|--|-----------------|---------------------------|
| <b>18) Has any referral agency provided a referral response for this development application?</b>  |                 |                           |
| <input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application   |                 |                           |
| <input checked="" type="checkbox"/> No   |                 |                           |
| Referral requirement   | Referral agency | Date of referral response |
|  |                 |                           |
|  |                 |                           |
| Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application <i>(if applicable)</i> . |                 |                           |
|  |                 |                           |

## PART 6 – INFORMATION REQUEST

|  |
|--|
| <b>19) Information request under Part 3 of the DA Rules</b>  |
| <input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application   |
| <input type="checkbox"/> I do not agree to accept an information request for this development application  |
| <b>Note:</b> <i>By not agreeing to accept an information request I, the applicant, acknowledge:</i>  |
| <ul style="list-style-type: none"> <li>• that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties</li> <li>• Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.</li> </ul> |



## PART 7 – FURTHER DETAILS

### 20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- ☐ Yes – provide details below or include details in a schedule to this development application  
☒ No

| List of approval/development application references                                   | Reference number | Date | Assessment manager |
|---|------------------|------|--------------------|
| <input type="checkbox"/> Approval<br><input type="checkbox"/> Development application |                  |      |                    |
| <input type="checkbox"/> Approval<br><input type="checkbox"/> Development application |                  |      |                    |

### 21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- ☒ Yes – a copy of the receipted QLeave form is attached to this development application  
☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid  
☐ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

| Amount paid | Date paid (dd/mm/yy) | QLeave levy number (A, B or E) |
|-------------|----------------------|--------------------------------|
| \$2,107.00  | 29/11/22             | S324500                        |

### 22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached  
☒ No

### 23) Further legislative requirements

#### **Environmentally relevant activities**

#### 23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below  
☒ No

**Note:** Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at [www.qld.gov.au](http://www.qld.gov.au). An ERA requires an environmental authority to operate. See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

|                      |  |                         |  |
|----------------------|--|-------------------------|--|
| Proposed ERA number: |  | Proposed ERA threshold: |  |
| Proposed ERA name:   |  |                         |  |

- ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

#### **Hazardous chemical facilities**

#### 23.2) Is this development application for a **hazardous chemical facility**?

- ☐ Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application  
☒ No

**Note:** See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information about hazardous chemical notifications.

### **Clearing native vegetation**

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

**Note:** 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.

2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

### **Environmental offsets**

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

**Note:** The environmental offset section of the Queensland Government's website can be accessed at [www.qld.gov.au](http://www.qld.gov.au) for further information on environmental offsets.

### **Koala habitat in SEQ Region**

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

☐ Yes – the development application involves premises in the koala habitat area in the koala priority area

☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area

☒ No

**Note:** If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

### **Water resources**

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000**?

☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

☒ No

**Note:** Contact the Department of Natural Resources, Mines and Energy at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

### **Waterway barrier works**

23.7) Does this application involve **waterway barrier works**?

☐ Yes – the relevant template is completed and attached to this development application

☒ No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

### **Marine activities**

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

☐ Yes – an associated *resource* allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

**Note:** See guidance materials at [www.daf.qld.gov.au](http://www.daf.qld.gov.au) for further information.

#### **Quarry materials from a watercourse or lake**

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

☒ No

**Note:** Contact the Department of Natural Resources, Mines and Energy at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) and [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

#### **Quarry materials from land under tidal waters**

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

☒ No

**Note:** Contact the Department of Environment and Science at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

#### **Referable dams**

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application

☒ No

**Note:** See guidance materials at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) for further information.

#### **Tidal work or development within a coastal management district**

23.12) Does this development application involve **tidal work or development in a coastal management district**?

☐ Yes – the following is included with this development application:

☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)

☐ A certificate of title

☒ No

**Note:** See guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

#### **Queensland and local heritage places**

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

☐ Yes – details of the heritage place are provided in the table below

☒ No

**Note:** See guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for information requirements regarding development of Queensland heritage places.

|                             |  |           |  |
|-----------------------------|--|-----------|--|
| Name of the heritage place: |  | Place ID: |  |
|-----------------------------|--|-----------|--|

#### **Brothels**

23.14) Does this development application involve a **material change of use for a brothel**?

☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*

☒ No

#### **Decision under section 62 of the *Transport Infrastructure Act 1994***

23.15) Does this development application involve new or changed access to a state-controlled road?

- ☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
- ☒ No

#### **Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation**

23.16) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

- ☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered
- ☒ No

**Note:** See guidance materials at [www.planning.dsdmip.qld.gov.au](http://www.planning.dsdmip.qld.gov.au) for further information.

## **PART 8 – CHECKLIST AND APPLICANT DECLARATION**

### **24) Development application checklist**

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17 ☒ Yes

**Note:** See the *Planning Regulation 2017* for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application ☒ Yes  
☐ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application ☒ Yes

**Note:** This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

Relevant plans of the development are attached to this development application ☒ Yes

**Note:** Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21) ☒ Yes  
☐ Not applicable

### **25) Applicant declaration**

- ☒ By making this development application, I declare that all information in this development application is true and correct
- ☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

**Note:** It is unlawful to intentionally provide false or misleading information.

**Privacy** – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, *Planning Regulation 2017* and the *DA Rules* except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

## PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

---

Date received:

Reference number(s):

### Notification of engagement of alternative assessment manager

|   |  |
|---|--|
| Prescribed assessment manager                           |  |
| Name of chosen assessment manager                       |  |
| Date chosen assessment manager engaged                  |  |
| Contact number of chosen assessment manager             |  |
| Relevant licence number(s) of chosen assessment manager |  |

### QLeave notification and payment

*Note: For completion by assessment manager if applicable*

|   |  |                      |  |
|---|--|----------------------|--|
| Description of the work                           |  |                      |  |
| QLeave project number                             |  |                      |  |
| Amount paid (\$)                                  |  | Date paid (dd/mm/yy) |  |
| Date receipted form sighted by assessment manager |  |                      |  |
| Name of officer who sighted the form              |  |                      |  |

# DA Form 2 – Building work details

Approved form (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving building work**.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use *DA Form 1 – Development application details* and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

## PART 1 – APPLICANT DETAILS

| 1) Applicant details                                |   |
|---|---|
| Applicant name(s) (individual or company full name) | Austart Homes C/- The Building Approval Company |
| Contact name (only applicable for companies)        | Scott Dillon                                    |
| Postal address (PO Box or street address)           | PO Box 74                                       |
| Suburb  | Redlynch  |
| State   | QLD   |
| Postcode  | 4870  |
| Country   | Australia                                       |
| Contact number                                      | 07 4222 9833                                    |
| Email address (non-mandatory)                       | sdillon@tbac.com.au                             |
| Mobile number (non-mandatory)                       | 0499 620 082                                    |
| Fax number (non-mandatory)                          |   |
| Applicant's reference number(s) (if applicable)     | 222306/01                                       |

## PART 2 – LOCATION DETAILS

| 2) Location of the premises (complete 2.1 and 2.2 if applicable)  |  |
|---|--|
| <b>Note:</b> Provide details below and attach a site plan for any or all premises part of the development application. For further information, see <a href="#">DA Forms Guide: Relevant plans</a> .  |  |
| 2.1) Street address and lot on plan   |  |
| <input checked="" type="checkbox"/> Street address <b>AND</b> lot on plan (all lots must be listed), <b>or</b>  |  |
| <input type="checkbox"/> Street address <b>AND</b> lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed). |  |

|          |            |                                    |                          |
|----------|------------|------------------------------------|--------------------------|
| Unit No. | Street No. | Street Name and Type               | Suburb                   |
|          | Lot 3      | Bamboo Creek Road                  | Bamboo                   |
| Postcode | Lot No.    | Plan Type and Number (e.g. RP, SP) | Local Government Area(s) |
| 4873     | 3          | RP808141                           | Douglas Shire Council    |

## 2.2) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
- ☒ Not required

## 3) Are there any existing easements over the premises?

**Note:** Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the [DA Forms Guide](#)

- ☒ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☐ No

# PART 3 – FURTHER DETAILS

## 4) Is the application only for building work assessable against the building assessment provisions?

- ☐ Yes – proceed to 8)
- ☒ No

## 5) Identify the assessment manager(s) who will be assessing this development application

Scott Dillon – The Building Approval Company

## 6) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

## 7) Information request under Part 3 of the DA Rules

- ☒ I agree to receive an information request if determined necessary for this development application
- ☐ I do not agree to accept an information request for this development application

**Note:** By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

## 8) Are there any associated development applications or current approvals?

- ☐ Yes – provide details below or include details in a schedule to this development application
- ☒ No

| List of approval/development application         | Reference | Date | Assessment manager |
|--|-----------|------|--------------------|
| <input type="checkbox"/> Approval                |           |      |                    |
| <input type="checkbox"/> Development application |           |      |                    |



|  |  |  |  |
|--|--|--|--|
| <input type="checkbox"/> Approval                |  |  |  |
| <input type="checkbox"/> Development application |  |  |  |

#### 9) Has the portable long service leave levy been paid?

- ☒ Yes – a copy of the receipted QLeave form is attached to this development application
- ☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
- ☐ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

|             |                      |                                |
|-------------|----------------------|--------------------------------|
| Amount paid | Date paid (dd/mm/yy) | QLeave levy number (A, B or E) |
| \$2,107.00  | 29/11/22             | S324500                        |

#### 10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached
- ☒ No

#### 11) Identify any of the following further legislative requirements that apply to any aspect of this development application

- ☐ The proposed development is on a place entered in the **Queensland Heritage Register** or in a local government's **Local Heritage Register**. See the guidance provided at [www.des.qld.gov.au](http://www.des.qld.gov.au) about the requirements in relation to the development of a Queensland heritage place

|                             |  |           |  |
|-----------------------------|--|-----------|--|
| Name of the heritage place: |  | Place ID: |  |
|-----------------------------|--|-----------|--|

## PART 4 – REFERRAL DETAILS

#### 12) Does this development application include any building work aspects that have any referral requirements?

- ☒ Yes – the *Referral checklist for building work* is attached to this development application
- ☐ No – proceed to Part 5

#### 13) Has any referral agency provided a referral response for this development application?

- ☐ Yes – referral response(s) received and listed below are attached to this development application
- ☒ No

| Referral requirement | Referral agency       | Date referral response |
|----------------------|-----------------------|------------------------|
|                      | Douglas Shire Council |                        |
|                      |                       |                        |

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (if applicable)

## PART 5 – BUILDING WORK DETAILS

#### 14) Owner's details

- ☐ Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.

|   |                          |
|---|--------------------------|
| Name(s) (individual or company full name) | Jesse and Elizabeth Hore |
| Contact name (applicable for companies)   | Charmaine Matthews       |

|  |                        |
|--|------------------------|
| Postal address ( <i>P.O. Box or street address</i> ) | 3 Riflebird Crescent   |
| Suburb   | Mossman                |
| State  | QLD                    |
| Postcode   | 4873                   |
| Country  | Australia              |
| Contact number                                       | 0407 129 091           |
| Email address ( <i>non-mandatory</i> )               | jesse.hore@hotmail.com |
| Mobile number ( <i>non-mandatory</i> )               | 0407 129 091           |
| Fax number ( <i>non-mandatory</i> )                  |                        |

#### 15) Builder's details

☐ Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.

|  |                           |
|--|---------------------------|
| Name(s) ( <i>individual or company full name</i> )   | Austart Homes             |
| Contact name ( <i>applicable for companies</i> )     | Charmaine Matthews        |
| QBCC licence or owner – builder number               | 1200115                   |
| Postal address ( <i>P.O. Box or street address</i> ) | PO Box 1077               |
| Suburb   | Smithfield                |
| State  | QLD                       |
| Postcode   | 4878                      |
| Contact number                                       | (07) 4038 3855            |
| Email address ( <i>non-mandatory</i> )               | admin@austarthomes.com.au |
| Mobile number ( <i>non-mandatory</i> )               |                           |
| Fax number ( <i>non-mandatory</i> )                  |                           |

#### 16) Provide details about the proposed building work

What type of approval is being sought?

- ☒ Development permit  
☐ Preliminary approval

b) What is the level of assessment?

- ☒ Code assessment  
☐ Impact assessment (*requires public notification*)

c) Nature of the proposed building work (tick all applicable boxes)

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> New building or structure                                 | <input type="checkbox"/> Repairs, alterations or additions |
| <input type="checkbox"/> Change of building classification ( <i>involving building work</i> ) | <input type="checkbox"/> Swimming pool and/or pool fence   |
| <input type="checkbox"/> Demolition   | <input type="checkbox"/> Relocation or removal             |

d) Provide a description of the work below or in an attached schedule.

Dwelling and Garage

e) Proposed construction materials

|                |  |   |  |
|----------------|--|---|--|
| External walls | <input type="checkbox"/> Double brick              | <input type="checkbox"/> Steel            | <input type="checkbox"/> Curtain glass |
|                | <input type="checkbox"/> Brick veneer              | <input type="checkbox"/> Timber           | <input type="checkbox"/> Aluminium     |
|                | <input checked="" type="checkbox"/> Stone/concrete | <input type="checkbox"/> Fibre cement     | <input type="checkbox"/> Other         |
| Frame          | <input type="checkbox"/> Timber                    | <input checked="" type="checkbox"/> Steel | <input type="checkbox"/> Aluminium     |
|                | <input type="checkbox"/> Other                     |   |  |

|  |   |   |   |
|--|---|---|---|
| Floor  | <input checked="" type="checkbox"/> Concrete                                  | <input type="checkbox"/> Timber   | <input type="checkbox"/> Other  |
| Roof covering  | <input type="checkbox"/> Slate/concrete<br><input type="checkbox"/> Aluminium | <input type="checkbox"/> Tiles<br><input checked="" type="checkbox"/> Steel | <input type="checkbox"/> Fibre cement<br><input type="checkbox"/> Other |
| f) Existing building use/classification? (if applicable)   |   |   |   |
| g) New building use/classification? (if applicable)  |   |   |   |
| Class 1a, 10a  |   |   |   |
| h) Relevant plans<br><b>Note:</b> Relevant plans are required to be submitted for all aspects of this development application. For further information, see <a href="#">DA Forms Guide: Relevant plans</a> . |   |   |   |
| <input checked="" type="checkbox"/> Relevant plans of the proposed works are attached to the development application   |   |   |   |

17) What is the monetary value of the proposed building work?

**\$403,023.00**

18) Has Queensland Home Warranty Scheme Insurance been paid?

☒ Yes – provide details below

☐ No

| Amount paid | Date paid (dd/mm/yy) | Reference number |
|-------------|----------------------|------------------|
| 3682.95     | 29/11/2022           | 014520247        |

## PART 6 – CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist

|   |  |
|---|--|
| The relevant parts of <i>Form 2 – Building work details</i> have been completed   | <input checked="" type="checkbox"/> Yes  |
| This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i>   | <input type="checkbox"/> Yes<br><input checked="" type="checkbox"/> Not applicable |
| Relevant plans of the development are attached to this development application<br><b>Note:</b> Relevant plans are required to be submitted for all aspects of this development application. For further information, see <a href="#">DA Forms Guide: Relevant plans</a> . | <input checked="" type="checkbox"/> Yes  |
| The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 9)  | <input type="checkbox"/> Yes<br><input checked="" type="checkbox"/> Not applicable |

20) Applicant declaration

☒ By making this development application, I declare that all information in this development application is true and correct

☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

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- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or
  - required by other legislation (including the *Right to Information Act 2009*); or
  - otherwise required by law.
- This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

## PART 7 – FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received:  Reference numbers:

### For completion by the building certifier

Classification(s) of approved building work

Class 1a, 10a

| Name         | QBCC Certification Licence number | QBCC Insurance receipt number |
|--------------|-----------------------------------|-------------------------------|
| Scott Dillon | A1091920                          | 014520247                     |

### Notification of engagement of alternative assessment manager

|   |  |
|---|--|
| Prescribed assessment manager                           |  |
| Name of chosen assessment manager                       |  |
| Date chosen assessment manager engaged                  |  |
| Contact number of chosen assessment manager             |  |
| Relevant licence number(s) of chosen assessment manager |  |

### Additional information required by the local government

Confirm proposed construction materials:

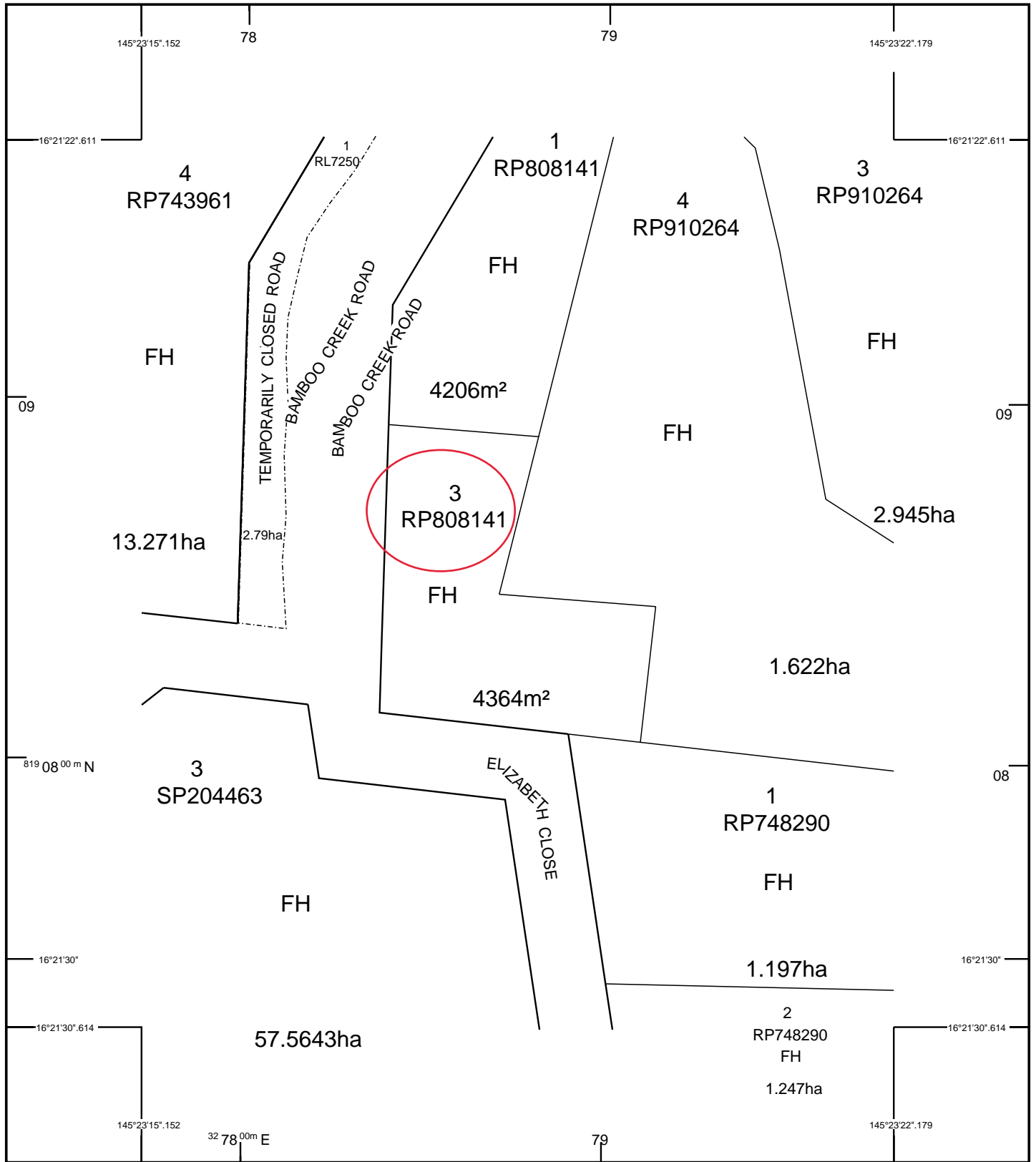
|                |  |   |  |
|----------------|--|---|--|
| External walls | <input type="checkbox"/> Double brick              | <input type="checkbox"/> Steel            | <input type="checkbox"/> Curtain glass |
|                | <input type="checkbox"/> Brick veneer              | <input type="checkbox"/> Timber           | <input type="checkbox"/> Aluminium     |
|                | <input checked="" type="checkbox"/> Stone/concrete | <input type="checkbox"/> Fibre cement     | <input type="checkbox"/> Other         |
| Frame          | <input checked="" type="checkbox"/> Timber         | <input type="checkbox"/> Steel            | <input type="checkbox"/> Aluminium     |
|                | <input type="checkbox"/> Other                     |   |  |
| Floor          | <input checked="" type="checkbox"/> Concrete       | <input type="checkbox"/> Timber           | <input type="checkbox"/> Other         |
| Roof covering  | <input type="checkbox"/> Slate/concrete            | <input type="checkbox"/> Tiles            | <input type="checkbox"/> Fibre cement  |
|                | <input type="checkbox"/> Aluminium                 | <input checked="" type="checkbox"/> Steel | <input type="checkbox"/> Other         |

### QLeave notification and payment

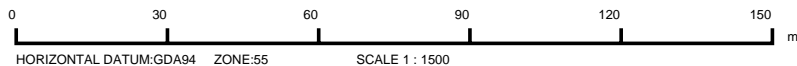
Note: For completion by assessment manager if applicable

|   |                     |                      |  |
|---|---------------------|----------------------|--|
| Description of the work                           | Dwelling and Garage |                      |  |
| QLeave project number                             | N/A                 |                      |  |
| Amount paid (\$)                                  |                     | Date paid (dd/mm/yy) |  |
| Date receipted form sighted by assessment manager |                     |                      |  |
| Name of officer who sighted the form              |                     |                      |  |

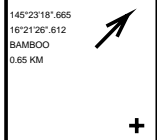
| Additional building details required for the Australian Bureau of Statistics |                    |                              |                   |
|--|--------------------|------------------------------|-------------------|
| Existing building use/classification? <i>(if applicable)</i>                 |                    |                              |                   |
| New building use/classification?   |                    | Class1a, 10a                 |                   |
| Site area (m <sup>2</sup> )  | 4364m <sup>2</sup> | Floor area (m <sup>2</sup> ) | 249m <sup>2</sup> |



STANDARD MAP NUMBER  
7965-21334



MAP WINDOW POSITION &  
NEAREST LOCATION



#### SUBJECT PARCEL DESCRIPTION

|                  |               |
|------------------|---------------|
| DCDB             |               |
| Lot/Plan         | 3/RP808141    |
| Area/Volume      | 4364m²        |
| Tenure           | FREEHOLD      |
| Local Government | DOUGLAS SHIRE |
| Locality         | BAMBOO        |
| Segment/Parcel   | 8920/22       |

#### CLIENT SERVICE STANDARDS

PRINTED 30/11/2022

DCDB 29/11/2022

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<https://www.qld.gov.au/housing/buying-owning-home/property-land-valuations/smartmaps>

**SmartMap**

An External Product of  
SmartMap Information Services

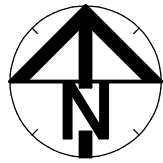
Based upon an extraction from the  
Digital Cadastral Data Base



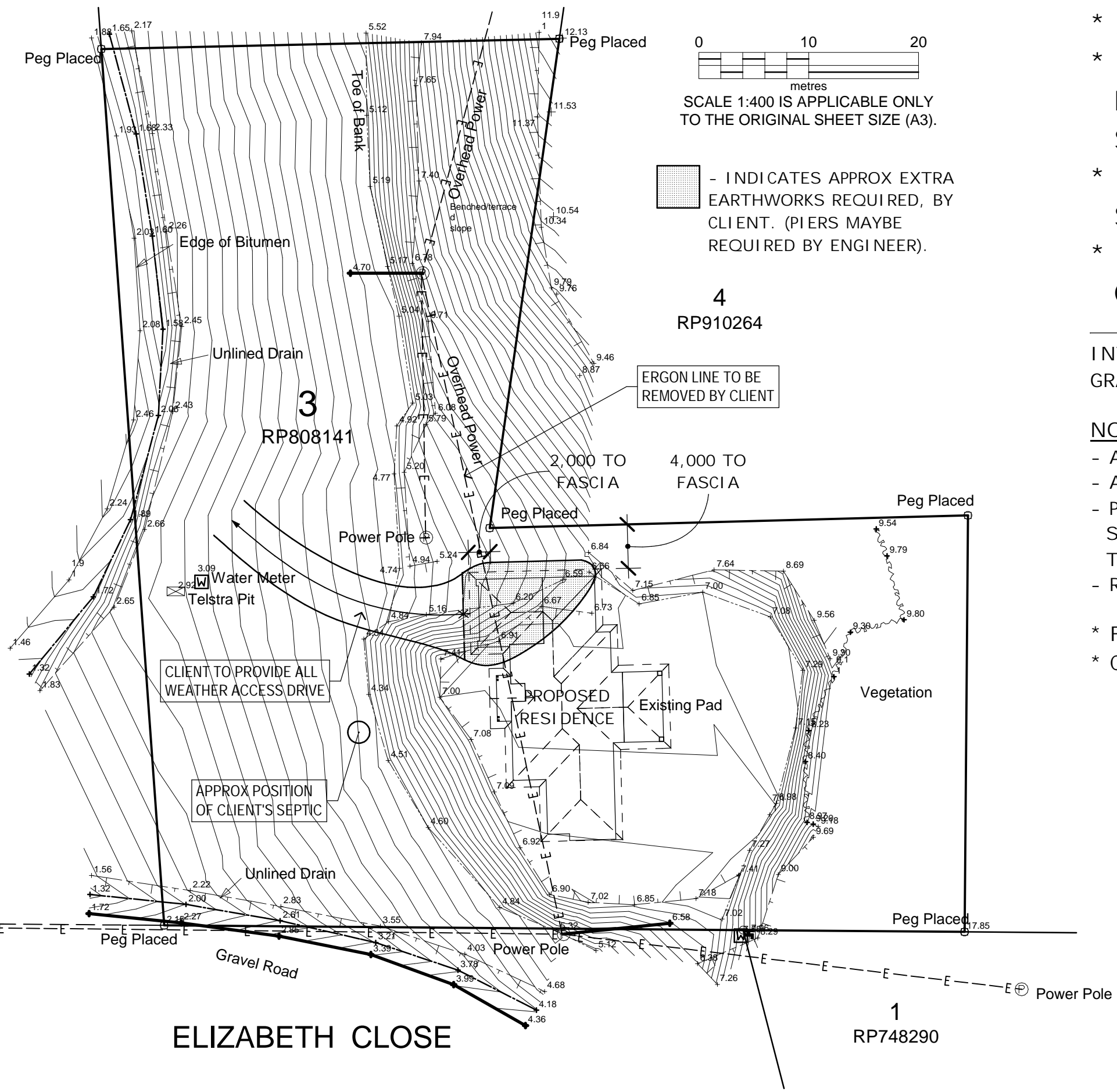
**Queensland  
Government**

(c) The State of Queensland,  
(Department of Resources) 2022.





BAMBOO CREEK ROAD



- \* ALL EARTHWORKS BY CLIENT.
- \* FINAL SETOUT OF HOUSE TO BE CONFIRMED BY CLIENT ON SITE WITH SURVEYOR.
- \* STORMWATER TO FALL ON SITE.
- \* DISCHARGE WASTE TO CLIENT'S SEPTIC SYSTEM.

INDICATES 400mm WIDE x 75mm DEEP GRADED 'V' SHAPED EARTH TABLE DRAIN

**NOTES -**

- ANY RETAINING REQUIRED. BY CLIENT
- ANY TREE REMOVAL REQUIRED. BY CLIENT
- POOLS MUST BE 2000mm MIN. FROM ANY SLAB EDGE OR PATIO COLUMNS. IF LESS THAN 2000mm, ENGINEER TO BE CONSULTED.
- REFER TO SHEET 10 of 10 FOR PLUMB. PLAN.
- \* FILL BATTER @ 1:2 MAX
- \* CUT BATTER @ 1:2 MAX

**AUSTART HOMES**  
Austart Homes Pty. Ltd.  
QBSA Act. Licence No. 1200115  
Address : P.O. Box 1077, SMITHFIELD, 4878  
Phone: 0740383855 Fax: 0740383899

**CONTOUR PLAN**

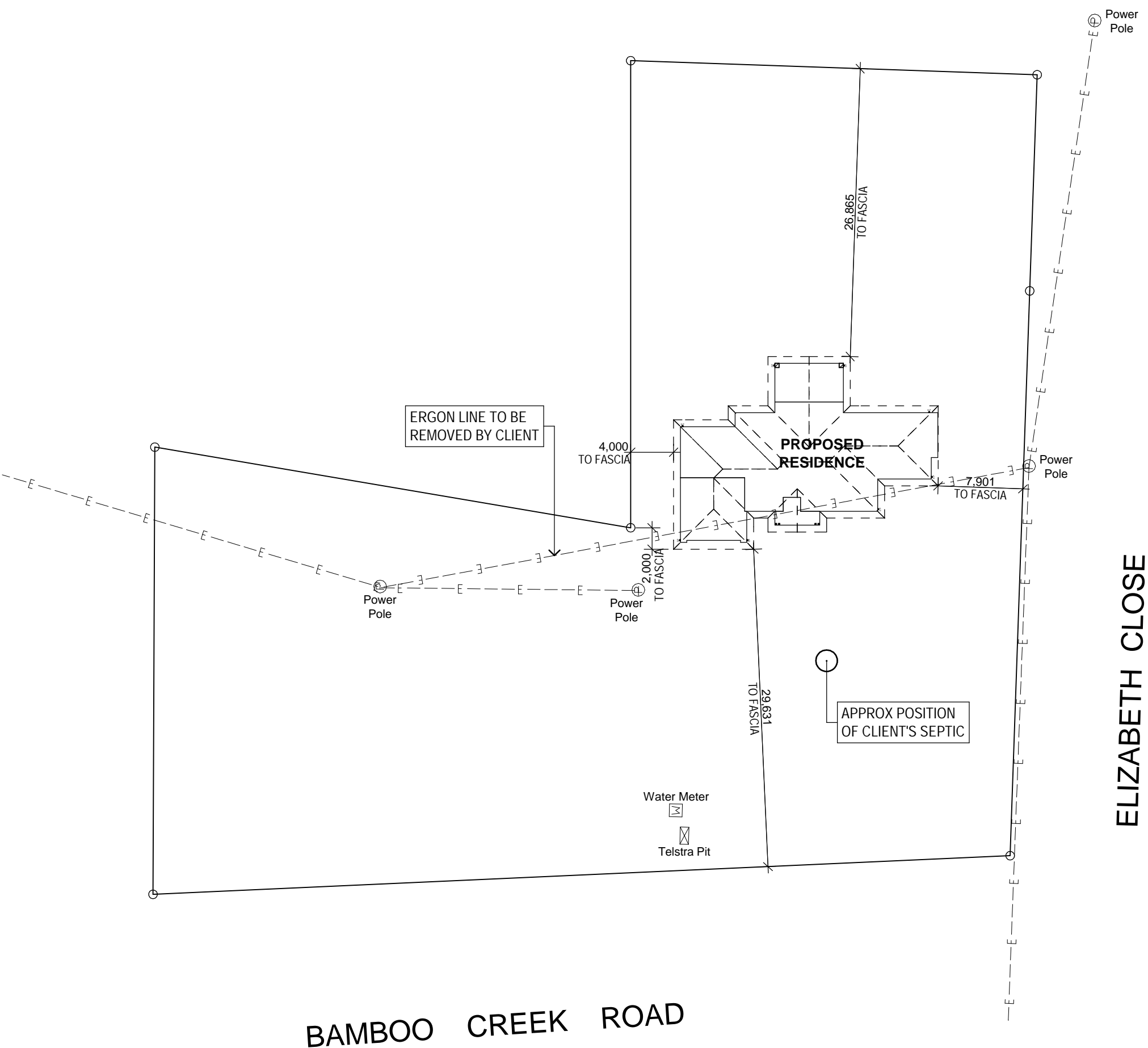
J. and E. HORE  
LOT 3, BAMBOO CREEK ROAD,  
MIALLO

**WIND-'C2'**

N.B. ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES-THIS DESIGN IS THE EXCLUSIVE PROPERTY OF AUSTART HOMES AUSTRALIA Pty. Ltd.

|                                |                     |                                 |
|--------------------------------|---------------------|---------------------------------|
| Design:<br>Custom TURN KEY 241 | Drawn By:           | Amendments:                     |
| Facade:<br>TRADITIONAL         | Date:<br>01/11/2022 | Job Number:<br><b>621BAM</b>    |
| Inclusions:<br>TURN KEY RANGE  | Scale:<br>1 : 400   | Sheet Number:<br><b>1 of 11</b> |

LOT 3 ON RP808141  
BAMBOO CREEK ROAD,  
MIALLO



AUSTART HOMES

Austart Homes Pty. Ltd.

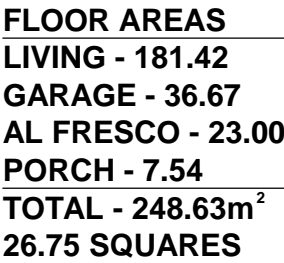
QBSA Act. Licence No. 1200115

Address : P.O. Box 1077, SMITHFIELD, 4878

Phone: 0740383855 Fax: 0740383899

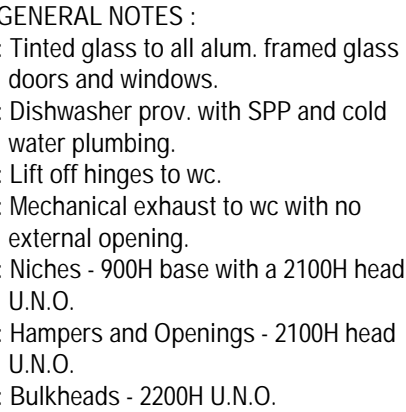
|  |   |           |                                |                     |                           |
|--|---|-----------|--------------------------------|---------------------|---------------------------|
| SETOUT PLAN  | J. and E. HORE<br>LOT 3, BAMBOO CREEK ROAD,<br>MIALLO | WIND-'C2' | Design:<br>Custom TURN KEY 241 | Drawn By:           | Amendments:               |
|  |   |           | Facade:<br>TRADITIONAL         | Date:<br>01/11/2022 | Job Number:<br>621BAM     |
|  |   |           | Inclusions:<br>TURN KEY RANGE  | Scale:<br>1 : 400   | Sheet Number:<br>10 of 11 |
| N.B. ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES-THIS DESIGN IS THE EXCLUSIVE PROPERTY OF AUSTART HOMES AUSTRALIA Pty. Ltd. |   |           |                                |                     |                           |





**ALL DIMENSIONS SHOWN ARE TO FRAME AND BLOCKWORK, EXCLUDES GYPROCK**

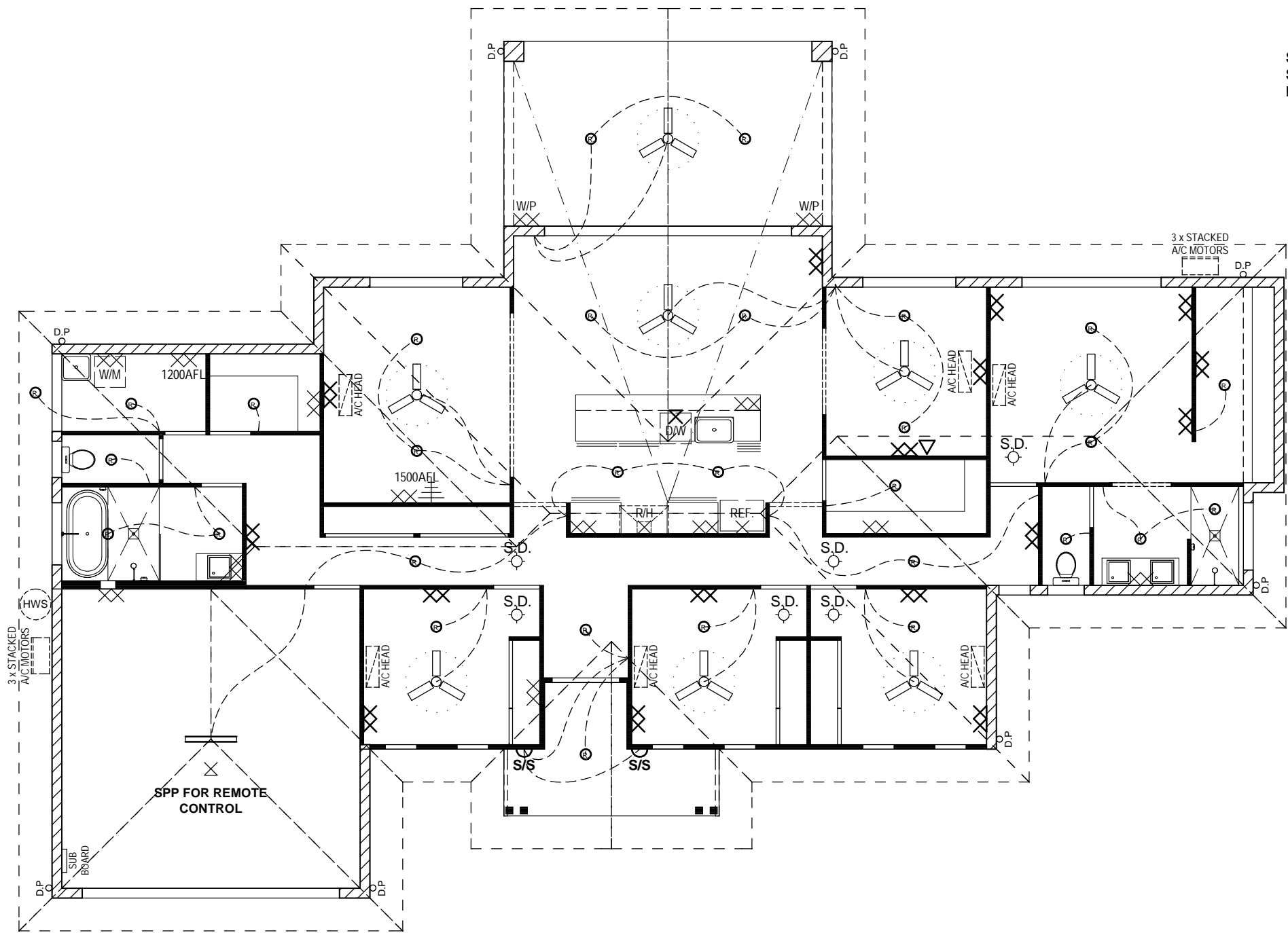
**ENERGY EFFICIENCY NOTES:**  
**: ALL TAPWARE & SHOWERS**  
**TO BE 3 STAR min.**  
**: ALL TOILETS TO BE 4 STAR**  
**min.**  
**: ELECTRIC HOT WATER**  
**SYSTEM TO BE INSTALLED.**



# WIND- 'C2'

# FLOOR PLAN

|   |  |                     |           |            |                                 |
|---|--|---------------------|-----------|------------|---------------------------------|
| J. and E. HORE<br>LOT 3, BAMBOO CREEK ROAD,<br>MIALLO | Design:  | Custom TURN KEY 241 | Drawn By: |            | Amendments:                     |
|   | Facade:  | TRADITIONAL         | Date:     | 01/11/2022 | Job Number:                     |
|   | Inclusions:  | TURN KEY RANGE      | Scale:    | 1:100      | Sheet Number:                   |
|   | N.B. ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES - THIS DESIGN IS THE EXCLUSIVE PROPERTY OF AUSTART HOMES AUSTRALIA Pty. Ltd. |                     |           |            | <b>621BAM</b><br><b>2 of 11</b> |



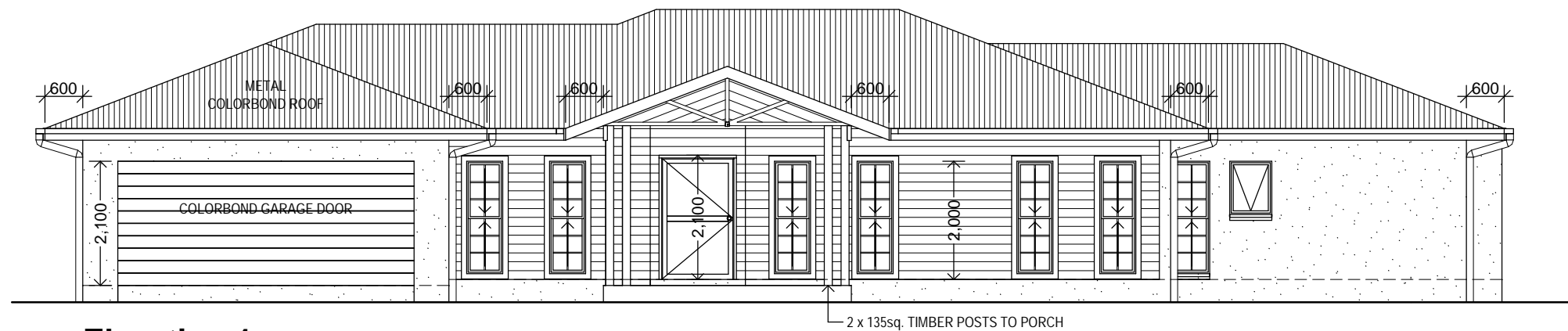
S/S - UP & DOWN  
STAINLESS STEEL  
LIGHTS

ELECTRICAL LEGEND

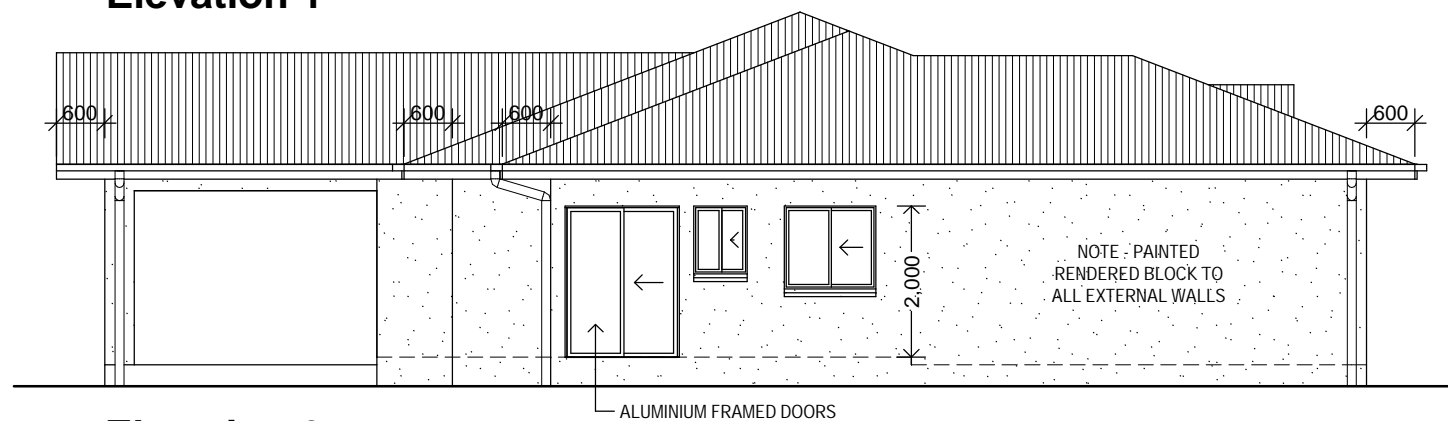
|                              |    |
|------------------------------|----|
| SINGLE G.P.O. 300mm AFL      | ⊗  |
| SINGLE G.P.O. 1050mm AFL     | ⊗  |
| DOUBLE G.P.O. 300mm AFL      | ⊗⊗ |
| DOUBLE G.P.O. 1050mm AFL     | ⊗⊗ |
| CEILING LIGHT(BATTEN HOLD)   | ○  |
| RECESSED DOWNLIGHTS          | Ⓡ  |
| WALL MOUNTED LIGHT           | ⌒  |
| RECESSED LED LIGHTS          | Ⓢ  |
| FLUORESCENT LIGHT            | ▬  |
| TWIN SPOT or FLOODLIGHT      | ⌒  |
| EXHAUST FAN                  | Ⓢ  |
| CEILING FAN                  | ⌒  |
| SMOKE DETECTOR               | Ⓢ  |
| T.V. POINT 300mm AFL U.N.O.  | ⌒  |
| PHONE POINT 300mm AFL U.N.O. | ⌒  |
| HOT WATER SYSTEM             | Ⓢ  |
| METER BOX                    | Ⓢ  |
| SWITCH                       | ⌒  |
| DIMMER SWITCH                | ⌒  |

NOTE : THIS LAYOUT HAS BEEN DESIGNED  
TO SHOW 100% ENERGY EFFICIENT LED  
LIGHTING, (INTERNAL, EXCLUDING GARAGE).

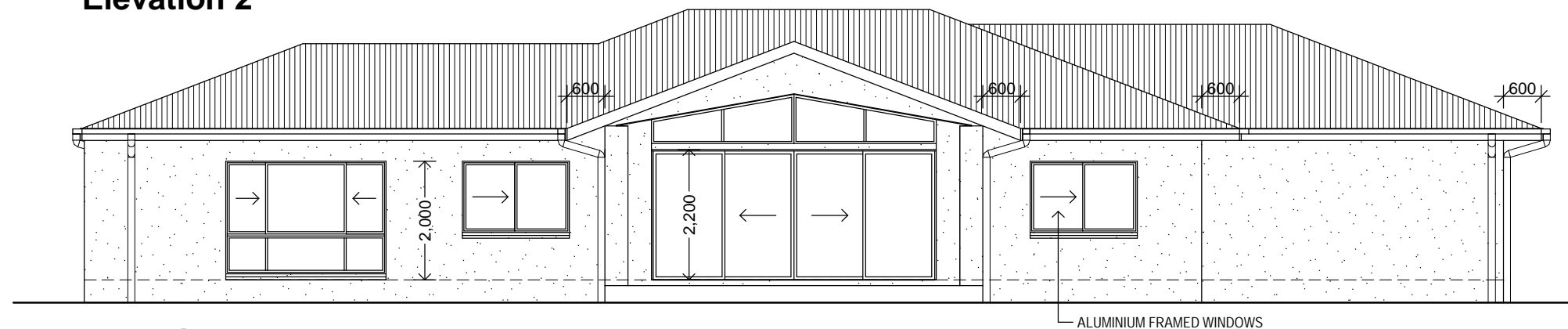
NOTE : A/C HEADS AND OUT DOOR  
UNIT POSITIONS TO BE CONFIRMED  
ON SITE BY AIR-CON INSTALLER.



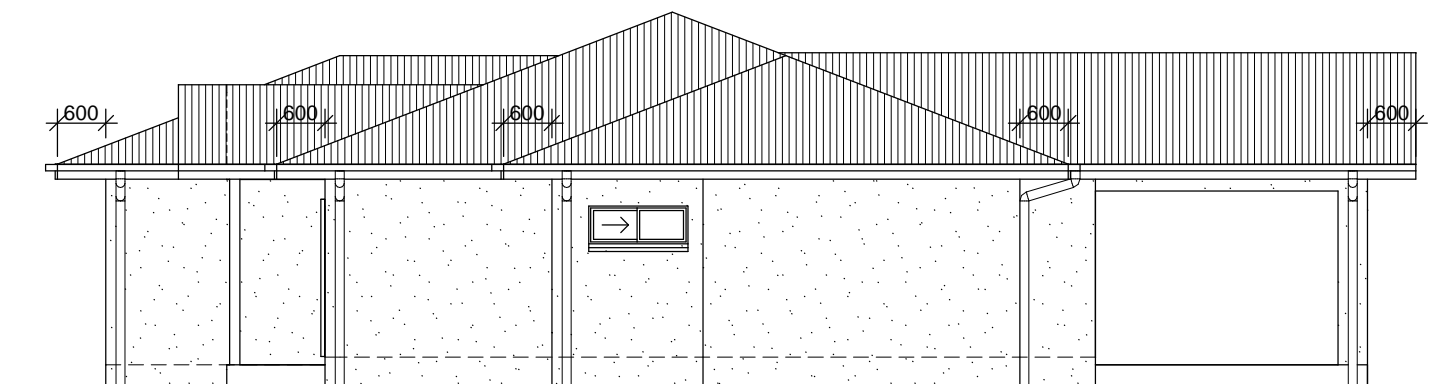
**Elevation 1**



**Elevation 2**



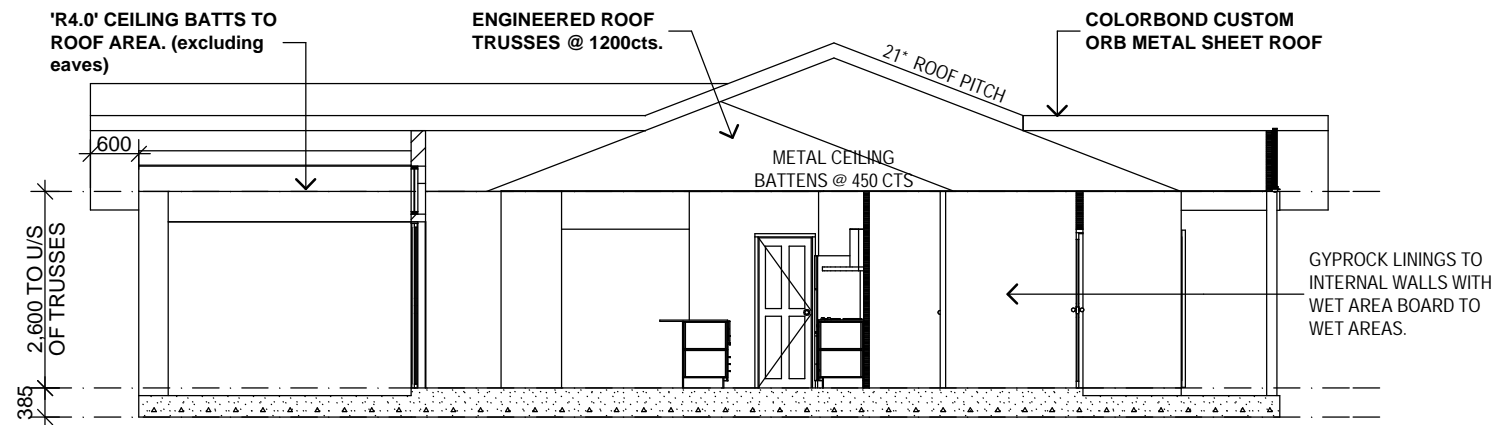
**Elevation 3**



**Elevation 4**

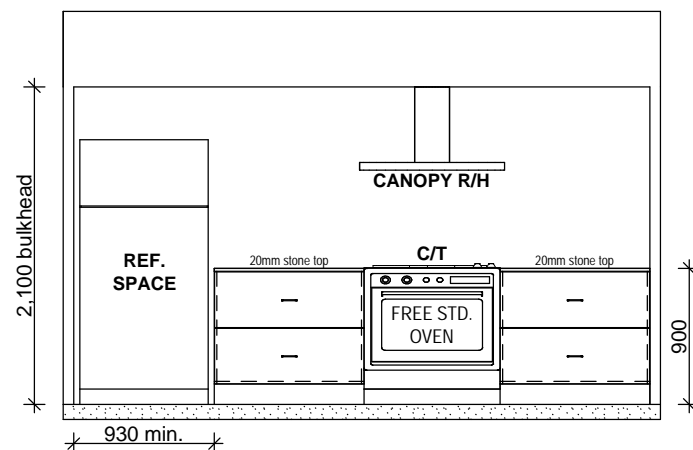
\* GRADE SITE AWAY FROM THE BUILDING AT A MINIMUM SLOPE OF 1:20 FOR A MINIMUM DISTANCE OF 1000mm TO PERIMETER, SO THAT THE WATER DRAINS TO THE ROAD or UNDERGROUND DRAINAGE, NOT ONTO NEIGHBOURING PROPERTIES

**FLY SCREENS ONLY TO ALL OPENING WINDOWS AND SLIDING GLASS DOORS, INCLUDING FRONT DOOR. (EXCLUDES GARAGE DOORS).**

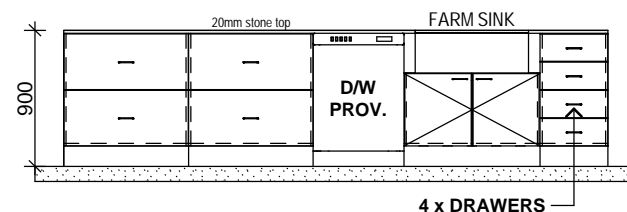


**Section A-A** BLOCK DETAILS, FOOTING & SLAB DETAILS TO BE DESIGNED, CERTIFIED AND INSPECTED BY A RPEQ ENGINEER PRIOR TO WORK BEING CARRIED OUT FOR A 'P' CLASS SITE AND WIND-'C2' WIND RATING.  
**N.T.S.**

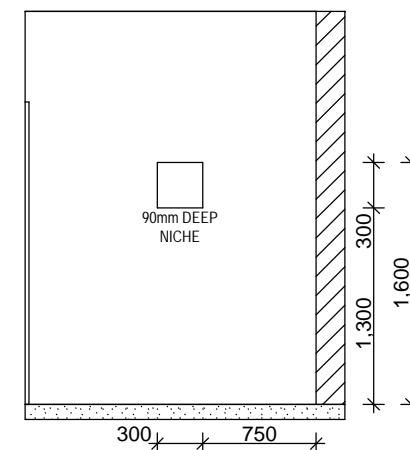
The requirements of the building code of Australia for the control of termites **provides that if the primary building elements are of termite resistant materials then a barrier does not need to be installed, Austart Homes has elected to install the primary building elements of termite resistant materials plus provide a termite barrier at all penetrations through the concrete slab.**



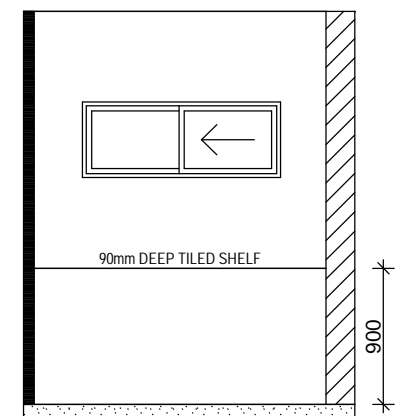
**Kitchen Elevation 1**  
1 : 50



**Kitchen Elevation 2**  
1 : 50



**Bathroom Niche**  
1 : 50



**Ensuite Shr. Shelf**  
1 : 50

## 6.2.11 Rural zone code

### 6.2.11.1 Criteria for assessment

Table 6.2.11.3.a – Rural residential zone code – assessable development

| Performance outcomes  | Acceptable outcomes   | Applicant response   |
|---|---|--|
| <b>For self-assessable and assessable development</b>   |   |  |
| <b>PO1</b><br>The height of buildings is compatible with the rural character of the area and must not detrimentally impact on visual landscape amenity.       | <b>AO1</b><br>Dwelling houses are not more than 8.5 metres and two storeys in height.<br><br>Note – Height is inclusive of roof height.<br><br><b>AO1.2</b><br>Rural farm sheds and other rural structures are not more than 10 metres in height  | <b>Complies with AO1</b><br><br>The proposed dwelling house is single storey and has a maximum height of approximately 4.8 metres  |
| <b>PO2</b><br>Buildings and structures are setback to maintain the rural character of the area and achieve separation from buildings on adjoining properties. | <b>AO2</b><br>Buildings are setback not less than:<br>(a) 40 metres from a property adjoining a State- controlled road;<br>(b) a minimum of 25 metres from the property boundary adjoining Cape Tribulation Road;<br>(c) 20 metres from front boundaries;<br>(d) 6 metres from side and rear property boundaries. | <b>Does not comply with AO2</b><br><br><b>Complies with PO2</b><br><br>The proposed dwelling has the following outermost projection setbacks: <ul style="list-style-type: none"> <li>• 29.631m from the Bamboo Creek Road boundary; and</li> <li>• 7.901m from the Elizabeth Close road boundary; and</li> <li>• 4.0m from the northern side boundary.</li> </ul> The proposed dwelling setbacks are consistent with that of existing development within the immediate area and are considered adequate to maintain the existing rural character of the area.<br><br>Neighbouring buildings to the norther and north-eastern sides are a minimum of 65m clear of the |

| Performance outcomes   | Acceptable outcomes  | Applicant response   |
|--|--|--|
|  |  | proposed building location. Accordingly, adequate separation form buildings on adjoining properties is achieved.                                     |
| <b>PO3</b><br>Buildings/structures are designed to maintain the rural character of the area. | <b>AO3</b><br>White and shining metallic finishes are avoided on external surfaces of buildings. | <b>Able to comply with AO3</b><br>The external colour scheme has not yet been confirmed. Council can condition the approval for compliance with AO3. |

## 8.2.1 Acid sulfate soils overlay code

### 8.2.1.1 Criteria for assessment

Table 8.2.1.3.a – Acid sulfate soils overlay code – assessable development

| Performance outcomes  | Acceptable outcomes   | Applicant response   |
|---|---|--|
| <b>For self-assessable and assessable development</b>   |   |  |
| <b>PO1</b><br>The extent and location of potential or actual acid sulfate soils is accurately identified.   | <b>AO1.1</b><br>No excavation or filling occurs on the site.<br><br>or<br><br><b>AO1.2</b><br>An acid sulfate soils investigation is undertaken.<br><br>Note - Planning scheme policy SC 6.12– Potential and actual acid sulfate soils provides guidance on preparing an acid sulfate soils investigation.  | <b>Complies with PO1</b><br><br>No excavation or filling is to be carried out in the part of the allotment affected by the overlay   |
| <b>PO2</b><br>Development avoids disturbing potential acid sulfate soils or actual acid sulfate soils, or is managed to avoid or minimise the release of acid and metal contaminants. | <b>AO2.1</b><br>The disturbance of potential acid sulfate soils or actual acid sulfate soils is avoided by:<br>(a) not excavating, or otherwise removing, soil or sediment identified as containing potential or actual acid sulfate soils;<br>(b) not permanently or temporarily extracting groundwater that results in the aeration of previously saturated acid sulfate soils;<br>(c) not undertaking filling that results in:<br>(d) actual acid sulfate soils being moved below the water table;<br>(e) previously saturated acid sulfate soils being aerated.<br>Or<br><br><b>AO2.2</b><br>The disturbance of potential acid sulfate soils or | <b>Complies with AO1.2</b><br><br>No excavation or filling is to be carried out in the part of the allotment affected by the overlay |

| Performance outcomes   | Acceptable outcomes   | Applicant response           |
|--|---|------------------------------|
|  | <p>actual acid sulfate soils is undertaken in accordance with an acid sulfate soils management plan and avoids the release of metal contaminants by:</p> <ul style="list-style-type: none"> <li>(a) neutralising existing acidity and preventing the generation of acid and metal contaminants;</li> <li>(b) preventing the release of surface or groundwater flows containing acid and metal contaminants into the environment;</li> <li>(c) preventing the in situ oxidisation of potential acid sulfate soils and actual acid sulfate soils through ground water level management;</li> <li>(d) appropriately treating acid sulfate soils before disposal occurs on or off site;</li> <li>(e) documenting strategies and reporting requirements in an acid sulfate soils environmental management plan.</li> </ul> <p>Note - Planning scheme policy SC 6.12 – Acid sulfate soils provides guidance on preparing an acid sulfate soils management plan.</p> |                              |
| <p><b>PO3</b></p> <p>No environmental harm is caused as a result of exposure to potential acid sulfate soils or actual acid sulfate soils.</p> | <p><b>AO3</b></p> <p>No acceptable outcomes are prescribed.</p>   | <p><b>Not Applicable</b></p> |



## 8.2.2 Bushfire hazard overlay code

### 8.2.2.1 Criteria for assessment

Table 8.2.2.3.a – Bushfire hazard overlay code –assessable development

| Performance outcomes   | Acceptable outcomes   | Applicant response   |
|--|---|--|
| <b>For self-assessable and assessable development</b>  |   |  |
| <b>Compatible development</b>  |   |  |
| <b>PO1</b><br>A vulnerable use is not established or materially intensified within a bushfire hazard area (bushfire prone area) unless there is an overriding need or other exceptional circumstances.<br><br>Note - See the end of this code for examples of vulnerable uses. | <b>AO1</b><br>Vulnerable uses are not established or expanded.<br><br>Note – Where, following site inspection and consultation with Council, it is clear that the mapping is in error in identifying a premises as being subject to a medium, high, very high bushfire hazard or potential impact buffer sub-category, Council may supply a letter exempting the need for a Bushfire Management Plan.<br>Note – Where the assessment manager has not previously approved a Bushfire Management Plan (either by condition of a previous development approval), the development proponent will be expected to prepare such a plan.<br>Note – Planning scheme policy SC6.9 - Natural hazards, provides a guide to the preparation of a Bushfire Management Plan. | <b>Complies with AO1</b><br><br>The proposed development comprises a dwelling house only that is not considered to be a vulnerable use |
| <b>PO2</b><br>Emergency services and uses providing community support services are able to function effectively during and immediately after a bushfire hazard event.  | <b>AO2</b><br>Emergency Services and uses providing community support services are not located in a bushfire hazard sub-category and have direct access to low hazard evacuation routes.  | <b>Not applicable</b><br><br>The proposed development comprises a dwelling house only  |
| <b>PO3</b><br>Development involving hazardous materials manufactured or stored in bulk is not located in bushfire hazard sub-category.   | <b>AO3</b><br>The manufacture or storage of hazardous material in bulk does not occur within bushfire hazard sub-category.  | <b>Complies with AO3</b><br><br>The storage of hazardous materials is not proposed as part of this development                         |
| <b>Development design and separation from bushfire hazard – reconfiguration of lots</b>  |   |  |

| Performance outcomes   | Acceptable outcomes  | Applicant response           |
|--|--|------------------------------|
| <p><b>PO4.1</b><br/>Where reconfiguration is undertaken in an urban area or is for urban purposes or smaller scale rural residential purposes, a separation distance from hazardous vegetation is provided to achieve a radiant heat flux level of 29kW/m<sup>2</sup> at the edge of the proposed lot(s).</p> <p>Note - "Urban purposes" and "urban area" are defined in the <i>Sustainable Planning Regulations 2009</i>. Reconfiguration will be taken to be for rural residential purposes where proposed lots are between 2000m<sup>2</sup> and 2ha in area. "Smaller scale" rural residential purposes will be taken to be where the average proposed lot size is 6000m<sup>2</sup> or less.</p> <p>Note - The radiant heat levels and separation distances are to be established in accordance with method 2 set out in AS3959-2009.</p> <p><b>PO4.2</b><br/>Where reconfiguration is undertaken for other purposes, a building envelope of reasonable dimensions is provided on each lot which achieves radiant heat flux level of 29kW/m<sup>2</sup> at any point.</p> | <p><b>AO4.1</b><br/>No new lots are created within a bushfire hazard sub-category.</p> <p>or</p> <p><b>AO4.2</b><br/>Lots are separated from hazardous vegetation by a distance that:</p> <ul style="list-style-type: none"> <li>(a) achieves radiant heat flux level of 29kW/m<sup>2</sup> at all boundaries; and</li> <li>(b) is contained wholly within the development site.</li> </ul> <p>Note - Where a separation distance is proposed to be achieved by utilising existing cleared developed areas external to the site, certainty must be established (through tenure or other means) that the land will remain cleared of hazardous vegetation.<br/>For staged developments, temporary separation distances, perimeter roads or fire trails may be absorbed as part of subsequent stages.</p> <p>Note - The achievement of a cleared separation distance may not be achievable where other provisions within the planning scheme require protection of certain ecological, slope, visual or character features or functions.</p> | <p><b>Not Applicable</b></p> |
| <p><b>PO5</b><br/>Where reconfiguration is undertaken in an urban area or is for urban purposes, a constructed perimeter road with reticulated water supply is established between the lots and the hazardous vegetation and is readily accessible at all times for urban fire fighting vehicles.</p> <p>The access is available for both fire fighting and maintenance/defensive works.</p>   | <p><b>AO5.1</b><br/>Lot boundaries are separated from hazardous vegetation by a public road which:</p> <ul style="list-style-type: none"> <li>(a) has a two lane sealed carriageway;</li> <li>(b) contains a reticulated water supply;</li> <li>(c) is connected to other public roads at both ends and at intervals of no more than 500m;</li> <li>(d) accommodates geometry and turning radii in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines;</li> </ul>  | <p><b>Not Applicable</b></p> |

| Performance outcomes   | Acceptable outcomes  | Applicant response |
|--|--|--------------------|
|  | <p>(e) has a minimum of 4.8m vertical clearance above the road;</p> <p>(f) is designed to ensure hydrants and water access points are not located within parking bay allocations; and</p> <p>(g) incorporates roll-over kerbing.</p> <p><b>AO5.2</b><br/>Fire hydrants are designed and installed in accordance with AS2419.1 2005, unless otherwise specified by the relevant water entity.</p> <p>Note - Applicants should have regard to the relevant standards set out in the reconfiguration of a lot code and works codes in this planning scheme.</p>   |                    |
| <p><b>PO6</b><br/>Where reconfiguration is undertaken for smaller scale rural residential purposes, either a constructed perimeter road or a formed, all weather fire trail is established between the lots and the hazardous vegetation and is readily accessible at all times for the type of fire fighting vehicles servicing the area.</p> <p>The access is available for both fire fighting and maintenance/hazard reduction works.</p> | <p><b>AO6</b><br/>Lot boundaries are separated from hazardous vegetation by a public road or fire trail which has:</p> <p>(a) a reserve or easement width of at least 20m;</p> <p>(b) a minimum trafficable (cleared and formed) width of 4m capable of accommodating a 15 tonne vehicle and which is at least 6m clear of vegetation;</p> <p>(c) no cut or fill embankments or retaining walls adjacent to the 4m wide trafficable path;</p> <p>(d) a minimum of 4.8m vertical clearance;</p> <p>(e) turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines;</p> <p>(f) a maximum gradient of 12.5%;</p> <p>(g) a cross fall of no greater than 10 degrees;</p> <p>(h) drainage and erosion control devices in accordance with the standards prescribed</p> | Not Applicable     |

| Performance outcomes  | Acceptable outcomes   | Applicant response           |
|---|---|------------------------------|
|   | <p>in a planning scheme policy;</p> <ul style="list-style-type: none"> <li>(i) vehicular access at each end which is connected to the public road network at intervals of no more than 500m;</li> <li>(j) designated fire trail signage;</li> <li>(k) if used, has gates locked with a system authorised by Queensland Fire and Emergency Services; and</li> <li>(l) if a fire trail, has an access easement that is granted in favour of Council and Queensland Fire and Emergency Services.</li> </ul>  |                              |
| <p><b>PO7</b><br/>Where reconfiguration is undertaken for other purposes, a formed, all weather fire trail is provided between the hazardous vegetation and either the lot boundary or building envelope, and is readily accessible at all times for the type of fire fighting vehicles servicing the area.</p> <p>However, a fire trail will not be required where it would not serve a practical fire management purpose.</p> | <p><b>AO7</b><br/>Lot boundaries are separated from hazardous vegetation by a public road or fire trail which has:</p> <ul style="list-style-type: none"> <li>(a) a reserve or easement width of at least 20m;</li> <li>(b) a minimum trafficable (cleared and formed) width of 4m capable of accommodating a 15 tonne vehicle and which is at least 6m clear of vegetation;</li> <li>(c) no cut or fill embankments or retaining walls adjacent to the 4m wide trafficable path;</li> <li>(d) a minimum of 4.8m vertical clearance;</li> <li>(e) turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines;</li> <li>(f) a maximum gradient of 12.5%;</li> <li>(g) a cross fall of no greater than 10 degrees;</li> <li>(h) drainage and erosion control devices in accordance with the standards prescribed in a planning scheme policy;</li> <li>(i) vehicular access at each end which is connected to the public road network;</li> </ul> | <p><b>Not Applicable</b></p> |

| Performance outcomes  | Acceptable outcomes   | Applicant response           |
|---|---|------------------------------|
|   | <p>(j) designated fire trail signage;</p> <p>(k) if used, has gates locked with a system authorised by Queensland Fire and Emergency Services; and</p> <p>if a fire trail, has an access easement that is granted in favour of Council and Queensland Fire and Emergency Services.</p>  |                              |
| <p><b>PO8</b></p> <p>The development design responds to the potential threat of bushfire and establishes clear evacuation routes which demonstrate an acceptable or tolerable risk to people.</p> | <p><b>AO8</b></p> <p>The lot layout:</p> <ul style="list-style-type: none"> <li>(a) minimises the length of the development perimeter exposed to, or adjoining hazardous vegetation;</li> <li>(b) avoids the creation of potential bottle-neck points in the movement network;</li> <li>(c) establishes direct access to a safe assembly /evacuation area in the event of an approaching bushfire; and</li> <li>(d) ensures roads likely to be used in the event of a fire are designed to minimise traffic congestion.</li> </ul> <p>Note - For example, developments should avoid finger-like or hour-glass subdivision patterns or substantive vegetated corridors between lots.</p> <p>In order to demonstrate compliance with the performance outcome, a bushfire management plan prepared by a suitably qualified person may be required. The bushfire management plan should be developed in accordance with the Public Safety Business Agency (PSBA) guideline entitled "Undertaking a Bushfire Protection Plan.</p> <p>Advice from the Queensland Fire and Emergency Services (QFES) should be sought as appropriate</p> | <p><b>Not Applicable</b></p> |
| <p><b>PO9</b></p> <p>Critical infrastructure does not increase the potential bushfire hazard.</p>   | <p><b>AO9</b></p> <p>Critical or potentially hazardous infrastructure such as water supply, electricity, gas and telecommunications are placed underground.</p>   | <p><b>Not Applicable</b></p> |

| Performance outcomes  | Acceptable outcomes  | Applicant response   |
|---|--|--|
| <b>Development design and separation from bushfire hazard – material change of use</b>  |  |  |
| <p><b>PO10</b><br/>Development is located and designed to ensure proposed buildings or building envelopes achieve a radiant heat flux level at any point on the building or envelope respectively, of:<br/>(a) 10kW/m<sup>2</sup> where involving a vulnerable use; or<br/>(b) 29kW/m<sup>2</sup> otherwise.</p> <p>The radiant heat flux level is achieved by separation unless this is not practically achievable.</p> <p>Note - The radiant heat levels and separation distances are to be established in accordance with method 2 set out in AS3959-2009.</p> | <p><b>AO10</b><br/>Buildings or building envelopes are separated from hazardous vegetation by a distance that:<br/>(a) achieves a radiant heat flux level of at any point on the building or envelope respectively, of 10kW/m<sup>2</sup> for a vulnerable use or 29kW/m<sup>2</sup> otherwise; and<br/>(b) is contained wholly within the development site.</p> <p>Note - Where a separation distance is proposed to be achieved by utilising existing cleared developed areas external to the site, certainty must be established (through tenure or other means) that the land will remain cleared of hazardous vegetation.</p> <p>For staged developments, temporary separation distances, perimeter roads or fire trails may be absorbed as part of subsequent stages.</p> <p>Note - The achievement of a cleared separation distance may not be achievable where other provisions within the planning scheme require protection of certain ecological, slope, visual or character features or functions.</p> | <p><b>Complies with AO10</b></p> <p>The allotment is affected by the Potential Impact Buffer only and the proposed development is within an existing cleared area of the site.</p> |
| <p><b>PO11</b><br/>A formed, all weather fire trail is provided between the hazardous vegetation and the site boundary or building envelope, and is readily accessible at all times for the type of fire fighting vehicles servicing the area.</p> <p>However, a fire trail will not be required where it would not serve a practical fire management purpose.</p> <p>Note - Fire trails are unlikely to be required where a</p>  | <p><b>AO11</b><br/>Development sites are separated from hazardous vegetation by a public road or fire trail which has:<br/>(a) a reserve or easement width of at least 20m;<br/>(b) a minimum trafficable (cleared and formed) width of 4m capable of accommodating a 15 tonne vehicle and which is at least 6m clear of vegetation;<br/>(c) no cut or fill embankments or retaining walls adjacent to the 4m wide trafficable path;<br/>(d) a minimum of 4.8m vertical clearance;</p>   | <p><b>Complies with AO11</b></p> <p>Existing allotment that has an area of 4364m<sup>2</sup></p>   |

| Performance outcomes   | Acceptable outcomes   | Applicant response  |
|--|---|---|
| development site involves less than 2.5ha  | <ul style="list-style-type: none"> <li>(e) turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines;</li> <li>(f) a maximum gradient of 12.5%;</li> <li>(g) a cross fall of no greater than 10 degrees;</li> <li>(h) drainage and erosion control devices in accordance with the standards prescribed in a planning scheme policy;</li> <li>(i) vehicular access at each end which is connected to the public road network which is connected to the public road network at intervals of no more than 500m;</li> <li>(j) designated fire trail signage;</li> <li>(k) if used, has gates locked with a system authorised by Queensland Fire and Emergency Services; and</li> <li>(l) if a fire trail, has an access easement that is granted in favour of Council and Queensland Fire and Emergency Services.</li> </ul> |   |
| <b>All development</b>   |   |   |
| <b>PO12</b><br>All premises are provided with vehicular access that enables safe evacuation for occupants and easy access by fire fighting appliances. | <b>AO12</b><br>Private driveways: <ul style="list-style-type: none"> <li>(a) do not exceed a length of 60m from the street to the building;</li> <li>(b) do not exceed a gradient of 12.5%;</li> <li>(c) have a minimum width of 3.5m;</li> <li>(d) have a minimum of 4.8m vertical clearance;</li> <li>(e) accommodate turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines; and</li> <li>(f) serve no more than 3 dwellings or buildings.</li> </ul>  | <b>Complies with AO12</b><br>The existing allotment is serviced by sealed roads that provide access directly to the site. The allotment access driveway is able to comply with the parameters provided. |

| Performance outcomes  | Acceptable outcomes  | Applicant response  |
|---|--|---|
| <b>PO13</b><br>Development outside reticulated water supply areas includes a dedicated static supply that is available solely for fire fighting purposes and can be accessed by fire fighting appliances. | <b>AO13</b><br>A water tank is provided within 10m of each building (other than a class 10 building) which: <ul style="list-style-type: none"> <li>(a) is either below ground level or of non- flammable construction;</li> <li>(b) has a take off connection at a level that allows the following dedicated, static water supply to be left available for access by fire fighters: <ul style="list-style-type: none"> <li>(i) 10,000l for residential buildings</li> </ul> </li> </ul> Note – A minimum of 7,500l is required in a tank and the extra 2,500l may be in the form of accessible swimming pools or dams. <ul style="list-style-type: none"> <li>(ii) 45,000l for industrial buildings; and</li> <li>(iii) 20,000l for other buildings;</li> <li>(c) includes shielding of tanks and pumps in accordance with the relevant standards;</li> <li>(d) includes a hardstand area allowing medium rigid vehicle (15 tonne fire appliance) access within 6m of the tank;</li> <li>(e) is provided with fire brigade tank fittings – 50mm ball valve and male camlock coupling and, if underground, an access hole of 200mm (minimum) to accommodate suction lines; and</li> </ul> is clearly identified by directional signage provided at the street frontage. | <b>Complies with AO13</b><br><br>The existing allotment is serviced by reticulated water supply.              |
| <b>PO14</b><br>Landscaping does not increase the potential bushfire risk.   | <b>AO14</b><br>Landscaping uses species that are less likely to exacerbate a bushfire event, and does not increase fuel loads within separation areas.   | <b>Able to comply with AO14</b><br><br>The future landscaping is able to comply with the parameters provided. |
| <b>PO15</b><br>The risk of bushfire and the need to mitigate that risk is balanced against other factors (such as but   | <b>AO15</b><br>Bushfire risk mitigation treatments do not have a significant impact on the natural environment or  | <b>Complies with AO15</b>   |



| Performance outcomes                             | Acceptable outcomes                                       | Applicant response  |
|--|---|---|
| not limited to, biodiversity or scenic amenity). | landscape character of the locality where this has value. | Minimal bushfire risk mitigation is required to facilitate the construction of the proposed dwelling. Accordingly, there will not be a significant impact on the natural environment. |

## 8.2.7 Natural areas overlay code

### 8.2.7.1 Criteria for assessment

Table 8.2.7.3.a – Natural areas overlay code – assessable development

| Performance outcomes  | Acceptable outcomes   | Applicant response   |
|---|---|--|
| <b>For self-assessable and assessable development</b>                     |   |  |
| <b>Protection of matters of environmental significance</b>                |   |  |
| <b>PO1</b><br>Development protects matters of environmental significance. | <b>AO1.1</b><br>Development avoids significant impact on the relevant environmental values.<br><br>or<br><br><b>AO1.2</b><br>A report is prepared by an appropriately qualified person demonstrating to the satisfaction of the assessment manager, that the development site does not contain any matters of state and local environmental significance.<br><br>or<br><br><b>AO1.3</b><br>Development is located, designed and operated to mitigate significant impacts on environmental values. For example, a report certified by an appropriately qualified person demonstrating to the satisfaction of the assessment manager, how the proposed development mitigates impacts, including on water quality, hydrology and biological processes. | <b>Complies with PO1</b><br><br>The proposed development is to be carried out on a part of the allotment that is not affected by the Natural Areas Overlay |

| Performance outcomes  | Acceptable outcomes   | Applicant response    |
|---|---|-----------------------|
| <b>Management of impacts on matters of environmental significance</b>   |   |                       |
| <b>PO2</b><br>Development is located, designed and constructed to avoid significant impacts on matters of environmental significance. | <b>A02</b><br>The design and layout of development minimises adverse impacts on ecologically important areas by: <ul style="list-style-type: none"> <li>(a) focusing development in cleared areas to protect existing habitat;</li> <li>(b) utilising design to consolidate density and preserve existing habitat and native vegetation;</li> <li>(c) aligning new property boundaries to maintain ecologically important areas;</li> <li>(d) ensuring that alterations to natural landforms, hydrology and drainage patterns on the development site do not negatively affect ecologically important areas;</li> <li>(e) ensuring that significant fauna habitats are protected in their environmental context; and</li> <li>(f) incorporating measures that allow for the safe movement of fauna through the site.</li> </ul> | <b>Not Applicable</b> |
| <b>PO3</b><br>An adequate buffer to areas of state environmental significance is provided and maintained.                             | <b>A03.1</b><br>A buffer for an area of state environmental significance (Wetland protection area) has a minimum width of: <ul style="list-style-type: none"> <li>(a) 100 metres where the area is located outside Urban areas; or</li> <li>(b) 50 metres where the area is located within a Urban areas.</li> </ul> <p>or</p> <b>A03.2</b><br>A buffer for an area of state environmental  | <b>Not Applicable</b> |

| Performance outcomes   | Acceptable outcomes   | Applicant response |
|--|---|--------------------|
|  | significance is applied and maintained, the width of which is supported by an evaluation of environmental values, including the function and threats to matters of environmental significance.  |                    |
| <b>PO4</b><br>Wetland and wetland buffer areas are maintained, protected and restored.<br><br>Note – Wetland buffer areas are identified in AO3.1. | <b>AO4.1</b><br>Native vegetation within wetlands and wetland buffer areas is retained.<br><br><b>AO4.2</b><br>Degraded sections of wetlands and wetland buffer areas are revegetated with endemic native plants in patterns and densities which emulate the relevant regional ecosystem. | Not Applicable     |
| <b>PO5</b><br>Development avoids the introduction of non- native pest species (plant or animal), that pose a risk to ecological integrity.         | <b>AO5.1</b><br>Development avoids the introduction of non-native pest species.<br><br><b>AO5.2</b><br>The threat of existing pest species is controlled by adopting pest management practices for long-term ecological integrity.  | Not Applicable     |
| <b>Ecological connectivity</b>   |   |                    |
| <b>PO6</b><br>Development protects and enhances ecological connectivity and/or habitat extent.   | <b>AO6.1</b><br>Development retains native vegetation in areas large enough to maintain ecological values, functions and processes.<br><br>and<br><br><b>AO6.2</b>  | Not Applicable     |

| Performance outcomes  | Acceptable outcomes   | Applicant response    |
|---|---|-----------------------|
|   | <p>Development within an ecological corridor rehabilitates native vegetation.</p> <p>and</p> <p><b>AO6.3</b><br/>Development within a conservation corridor mitigates adverse impacts on native fauna, feeding, nesting, breeding and roosting sites and native fauna movements.</p>                |                       |
| <p><b>PO7</b><br/>Development minimises disturbance to matters of state environmental significance (including existing ecological corridors).</p>   | <p><b>AO7.1</b><br/>Development avoids shading of vegetation by setting back buildings by a distance equivalent to the height of the native vegetation.</p> <p>and</p> <p><b>AO7.2</b><br/>Development does not encroach within 10 metres of existing riparian vegetation and watercourses.</p>     | <b>Not Applicable</b> |
| <b>Waterways in an urban area</b>   |   |                       |
| <p><b>PO8</b><br/>Development is set back from waterways to protect and maintain:</p> <ul style="list-style-type: none"> <li>(a) water quality;</li> <li>(b) hydrological functions;</li> <li>(c) ecological processes;</li> <li>(d) biodiversity values;</li> <li>(e) riparian and in-stream habitat values and connectivity;</li> </ul> <p>in-stream migration.</p> | <p><b>AO8.1</b><br/>Where a waterway is contained within an easement or a reserve required for that purpose, development does not occur within the easement or reserve;</p> <p>or</p> <p><b>AO8.2</b><br/>Development does not occur on the part of the site affected by the waterway corridor.</p> | <b>Not Applicable</b> |

| Performance outcomes   | Acceptable outcomes  | Applicant response    |
|--|--|-----------------------|
|  | Note – Waterway corridors are identified within Table 8.2.7.3.b.   |                       |
| <b>PO9</b><br>Development is set back from waterways to protect and maintain:<br>(a) water quality;<br>(b) hydrological functions;<br>(c) ecological processes;<br>(d) biodiversity values;<br>(e) riparian and in-stream habitat values and connectivity;<br>in-stream migration. | <b>AO9</b><br>Development does not occur on that part of the site affected by a waterway corridor.<br><br>Note – Waterway corridors are identified within Table 8.2.7.3.b. | <b>Not Applicable</b> |

## 8.2.5 Hillslopes overlay code

### 8.2.5.1 Criteria for assessment

Table 8.2.5.3.a – Hillslopes overlay code –assessable development

| Performance outcomes   | Acceptable outcomes  | Applicant response  |
|--|--|---|
| <b>For self-assessable and assessable development</b>  |  |   |
| <b>PO1</b><br>The landscape character and visual amenity quality of hillslopes areas is retained to protect the scenic backdrop to the region. | <b>AO1.1</b><br>Development is located on parts of the site that are not within the Hillslopes constraint sub- category as shown on the Hillslopes overlay Maps contained in schedule 2.   | <p><b>Does not comply with AO1.1</b></p> <p><b>Complies with PO1</b></p> <p>The existing cleared area with a building pad is located within the Hillslopes Overlay area. The proposed dwelling is single storey and will have an elevation that is consistent with existing development in the immediate area. The scenic backdrop of the area will not be compromised by the proposed development.</p> |
| <b>For assessable development</b>  |  |   |
| <b>PO2</b><br>The landscape character and visual amenity quality of hillslopes areas is retained to protect the scenic backdrop to the region. | <b>AO2.1</b><br>Development does not occur on land with a gradient in excess of 1 in 6 (16.6%)<br><br>or<br><br><b>AO2.2</b><br>Where development on land steeper than 1 in 6 (16.6%) cannot be avoided, development follows the natural contours of the site.<br><br><b>AO2.3</b><br>Access ways and driveways are:<br>(a) constructed with surface materials that blend with the surrounding environment;<br>(b) landscaped with dense planting to | <p><b>It is understood that a separate Operation Works application has been lodged for the earthworks that have been carried out on site and that council have agreed to assess the MCU and Operation Works applications concurrently.</b></p>  |

| Performance outcomes | Acceptable outcomes   | Applicant response |
|----------------------|---|--------------------|
|                      | <p>minimise the visual impact of the construction;</p> <p>(c) provided with erosion control measures immediately after construction.</p> <p><b>AO2.4</b><br/>The clearing or disturbance of vegetation is limited to clearing and disturbance that:</p> <p>(a) is necessary for the construction of driveways;</p> <p>(b) is necessary to contain the proposed development;</p> <p>(c) minimises canopy clearing or disturbance;</p> <p>(d) minimises riparian clearing or disturbance.</p> <p><b>AO2.5</b><br/>On land with slopes greater than 1 in 6 (16.6%) or greater, alternative construction methods to concrete slab on ground are utilised (i.e. split level or post and beam constructed buildings that minimise modification to the natural terrain of the land).</p> <p><b>AO2.6</b><br/>Development does not alter the sky line.</p> <p><b>AO2.7</b><br/>Buildings and structures:</p> <p>(a) are finished predominantly in the following exterior colours or surfaces:</p> <p>(i) moderately dark to darker shades of olive green, brown, green, blue, or charcoal; or</p> <p>(ii) moderately dark to darker wood stains that blend with the colour and hues of the surrounding vegetation and</p> |                    |



| Performance outcomes   | Acceptable outcomes   | Applicant response   |
|--|---|--|
|  | <p>landscape;</p> <p>(b) are not finished in the following exterior colours or surfaces:</p> <p>(i) pastel or terracotta colours, reds, yellows, shades of white or beige, or other bright colours that do not blend with the surrounding vegetation and landscape;</p> <p>(ii) reflective surfaces.</p> <p><b>AO2.8</b><br/>Exterior colour schemes limit the use of white or other light colours to exterior trim and highlighting of architectural features</p> <p><b>AO2.9</b><br/>Areas between the first floor (including outdoor deck areas) and ground level are screened from view.</p> <p><b>AO2.10</b><br/>Recreational or ornamental features (including tennis courts, ponds or swimming pools) do not occur on land:</p> <p>(a) with a gradient of 1 in 6 (16.6%) or more;</p> <p>(b) are designed to be sited and respond to the natural constraints of the land and require minimal earthworks.</p> |  |
| <p><b>PO3</b><br/>Excavation or filling does not have an adverse impact on the amenity, safety, stability or function of the site or adjoining premises through:</p> <p>(a) loss of privacy;</p> <p>(b) loss of access to sunlight;</p> <p>(c) intrusion of visual or overbearing impacts;</p> <p>(d) complex engineering solutions.</p> | <p><b>AO3</b><br/>Excavation or fill:</p> <p>(a) is not more than 1.2 metres in height for each batter or retaining wall;</p> <p>(b) is setback a minimum of 2 metres from property boundaries;</p> <p>(c) is stepped with a minimum 2 metre wide berm to incorporate landscaping in</p>  | <p><b>It is understood that a separate Operation Works application has been lodged for the earthworks that have been carried out on site and that council have agreed to assess the MCU and Operation Works applications concurrently.</b></p> |

| Performance outcomes   | Acceptable outcomes  | Applicant response           |
|--|--|------------------------------|
|  | <p>accordance with Planning scheme policy SC6.7 – Landscaping;</p> <p>(d) does not exceed a maximum of 3 batters and 3 berms (i.e. not greater than 3.6 metres in height) on any one lot.</p>  |                              |
| <b>Lot reconfiguration</b>   |  |                              |
| <p><b>PO4</b></p> <p>For development that involves reconfiguring a lot, lot layout and design is responsive to the natural constraints of the land and each lot is capable of being used for its intended purpose.</p> | <p><b>AO4.1</b></p> <p>The frontage and depth of all lots is of sufficient width to:</p> <p>(a) allow driveways to follow the natural contours of the site and not exceed a gradient of 1 in 6 (16.6%);</p> <p>(b) accommodate any changes in gradient between the road and lot within the lot boundary and not within the road reserve.</p> <p><b>AO4.2</b></p> <p>Development does not create new lots containing land of greater than 1 in 6 (16.6%), except where a rectangular area of land of lesser grade is contained within the new lots to accommodate the intended land use, with the balance left in its natural state to the greatest extent possible.</p> <p>Note – The size of rectangular areas is outlined within each zone code.</p> <p><b>AO4.3</b></p> <p>Development does not alter ridgelines.</p> <p><b>AO4.4</b></p> <p>Lots are designed to ensure rooflines of future buildings and structures do not protrude above</p> | <p><b>Not Applicable</b></p> |

| Performance outcomes | Acceptable outcomes | Applicant response |
|----------------------|---------------------|--------------------|
|                      | a ridgeline.        |                    |

## 8.2.9 Potential landslide hazard overlay code

### 8.2.9.1 Criteria for assessment

Table 8.2.9.3.a – Potential landslide hazard overlay code – assessable development

| Performance outcomes  | Acceptable outcomes   | Applicant response   |
|---|---|--|
| <b>For self-assessable and assessable development</b>   |   |  |
| <b>PO1</b><br>The siting and design of development does not involve complex engineering solutions and does not create or increase the potential landslide hazard risk to the site or adjoining premises through:<br>(a) building design;<br>(b) increased slope;<br>(c) removal of vegetation;<br>(d) stability of soil;<br>(e) earthworks;<br>(f) alteration of existing ground water or surface water paths;<br>(g) waste disposal areas. | <b>AO1.2</b><br>Development is on an existing stable, benched site and requires no further earthworks<br><br>or<br><br><b>AO1.3</b><br>A competent person certifies that:<br>(a) the stability of the site, including associated buildings and infrastructure, will be maintained during the course of the development and will remain stable for the life of the development;<br>(b) development of the site will not increase the risk of landslide hazard activity on other land, including land above the site;<br>(c) the site is not subject to the risk of landslide activity on other land;<br>(d) any measures identified in a site-specific geotechnical report for stabilising the site or development have been fully implemented;<br>(e) development does not concentrate existing ground water and surface water paths;<br>(f) development does not incorporate on-site waste water disposal. | <b>Complies with AO1.2</b><br><br>The proposed development is on a part of the allotment that is not affected by the Potential Landslip Hazard Overlay |

| Performance outcomes   | Acceptable outcomes   | Applicant response   |
|--|---|--|
|  | <p>Note – Planning scheme policy SC6.9 – Natural hazards provides guidance on preparing a site specific geo-technical assessment.</p> <p>Note – Development may alter the conditions of ground water and surface water paths in accordance with a site-specific geotechnical report, but should ensure that its final disbursement is as-per pre-developed conditions.</p> <p>Consideration for location, velocity, volume and quality should be given.</p>   |  |
| <p><b>PO2</b></p> <p>The siting and design of necessary retaining structures does not cause an adverse visual impact on landscape character or scenic amenity quality of the area.</p>   | <p><b>AO2</b></p> <p>Excavation or fill:</p> <ul style="list-style-type: none"> <li>(a) is not more than 1.2 metres in height for each batter or retaining wall;</li> <li>(b) is setback a minimum of 2 metres from property boundaries;</li> <li>(c) is stepped with a minimum 2 metre wide berm to incorporate landscaping in accordance with Planning scheme policy SC6.7 – Landscaping;</li> <li>(d) does not exceed a maximum of 3 batters and 3 berms (i.e. Not greater than 3.6 metres in height) on any one lot.</li> </ul> | <p><b>It is understood that a separate Operation Works application has been lodged for the earthworks that have been carried out on site and that council have agreed to assess the MCU and Operation Works applications concurrently.</b></p> |
| Additional requirements for Community infrastructure   |   |  |
| <p><b>PO3</b></p> <p>Development for community infrastructure:</p> <ul style="list-style-type: none"> <li>(a) is not at risk from the potential landslide hazard areas;</li> <li>(b) will function without impediment from a landslide;</li> <li>(c) provides access to the infrastructure without impediment from the effects of a landslide;</li> <li>(d) does not contribute to an elevated risk of a landslide to adjoining properties.</li> </ul> | <p><b>AO3</b></p> <p>Development is designed in accordance with the recommendations of a site-specific geotechnical assessment which makes reference to the community infrastructure and its needs and function.</p> <p>Note - A site specific geotechnical assessment will detail requirements that will address the Acceptable Outcomes of this Performance Outcome. Planning scheme policy SC6.9 – Natural hazards provides guidance on preparing a site specific geotechnical assessment.</p>                                   | <p><b>Not Applicable</b></p>   |



**Individual owner's consent for making a development application under the *Planning Act 2016***

I,

Jesse Hone

[Insert full name.]

as owner of the premises identified as follows:

Lot 3 RP808141 – Bamboo Creek Road, Bamboo

consent to the making of a development application under the *Planning Act 2016* by:

The Building Approval Company

on the premises described above for:

Material Change of Use for new Dwelling House

JH

[signature of owner and  
date signed]

**Individual owner's consent for making a development application under the *Planning Act 2016***

I,

Elizabeth Hore

[Insert full name.]

as owner of the premises identified as follows:

Lot 3 RP808141 – Bamboo Creek Road, Bamboo

consent to the making of a development application under the *Planning Act 2016* by:

The Building Approval Company

on the premises described above for:

Material Change of Use for new Dwelling House

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[signature of owner and  
date signed]