

20 March 2023

Chief Executive Officer
Douglas Shire Council
PO Box 723
Mossman QLD 4873

Attention: Daniel Lamond

Dear Daniel,

The following information is provided in response to the information request given under section 12 of the Development Assessment Rules. The application is for a material change of use for Lot 31 Cape Tribulation Rd or otherwise known as 31RP740682.

Information Request Response Summary

The original PDF file is attached in the appendix in response to Information request 4.

A revised site plan is attached in the appendix to adhere to information requests 2 and 3. The revisions include the proposed clearing around the house pad, the location of the on-site effluent disposal system, water tank location and vehicle maneuvering area. The relevant earthworks information are provided including the height and grade of cuts and batters.

I have spoken with the Geotechnical Engineer and it is asked that council condition this requirement for Information Request 1.

Applicant Response to Information Requests

Information Request Item 2a

Provide a revised site plan detailing the proposed clearing around the house pad inclusive of the square metres required.

Applicant response:

The clearing of vegetation has been depicted by the red cloud on the revised site plan and details the extent of clearing around the house pad. The extent of clearing is kept to the minimum required for the development.

Information Request Item 2b

Provide a revised site plan detailing the location of the on-site effluent disposal system land application area and infrastructure.

Applicant response:

The on-site effluent disposal system is identified on the revised site plan including the Septic Tank. The waste disposal area is marked and is laid parallel to the contours RL 127 and RL 126 corresponding with the Survey.

Information Request Item 2c

Provide a revised site plan detailing the water tank location.

Applicant response:

The water tank location is identified in the revised site plan and is placed to the north of the dwelling. The water tank is a total of 30L and is expected to be 3.6 metres in diameter.

Information Request Item 2d

Provide a revised site plan detailing the vehicle parking and manoeuvring area to allow the vehicle to exit in the forward gear.

Applicant response:

The revised site plan includes the proposed vehicle parking and maneuvering area. The plan shows that the vehicle can exit in the forward gear and the turning path blends with the existing contours.

Information Request Item 3a

Provide an earthworks plan detailing the extent of cut and fill required to create a level pad around the house. The plan should detail; the height of cuts and batters.

Applicant response:

Relevant earthworks have been provided to show the areas around the house where excavation is required. In all cases excavation is minimal and to the least extent possible for the development. The turning section has a batter height of 0.55 metres and the vehicle parking area has a batter height of 1.2 metres.

Information Request Item 3b

Provide an earthworks plan detailing the extent of cut and fill required to create a level pad around the house. The plan should detail; The grade of cuts and batters and whether retaining is required.

Applicant response:

Relevant earthworks have been provided to show the areas around the house where excavation is required. The water tank has a 1 on 2 fill batter and a 1 on 1 cut batter. The vehicle parking area has a 1 on 2 cut batter. The turning section is 1 in 7.6 from RL 128 to RL 129 on the Survey and sediment control mesh is used all along the toe of the batter from RL 126 to RL 127 on the Survey.

Information Request Item 3c

Provide an earthworks plan detailing the extent of cut and fill required to create a level pad around the house. The plan should detail drainage solutions.

Applicant response:

Relevant earthworks have been provided to show the areas around the house where excavation is required. The cut line for the top table drain is located at RL 131 on the survey and is shown on the north and south elevation diagram. The side table drain is shown on the west elevation diagram.

Information Request Item 4

Provide the site survey and grade model in original PDF versions so they are legible.

Applicant response:

The original PDF version is attached in the appendix and is legible.

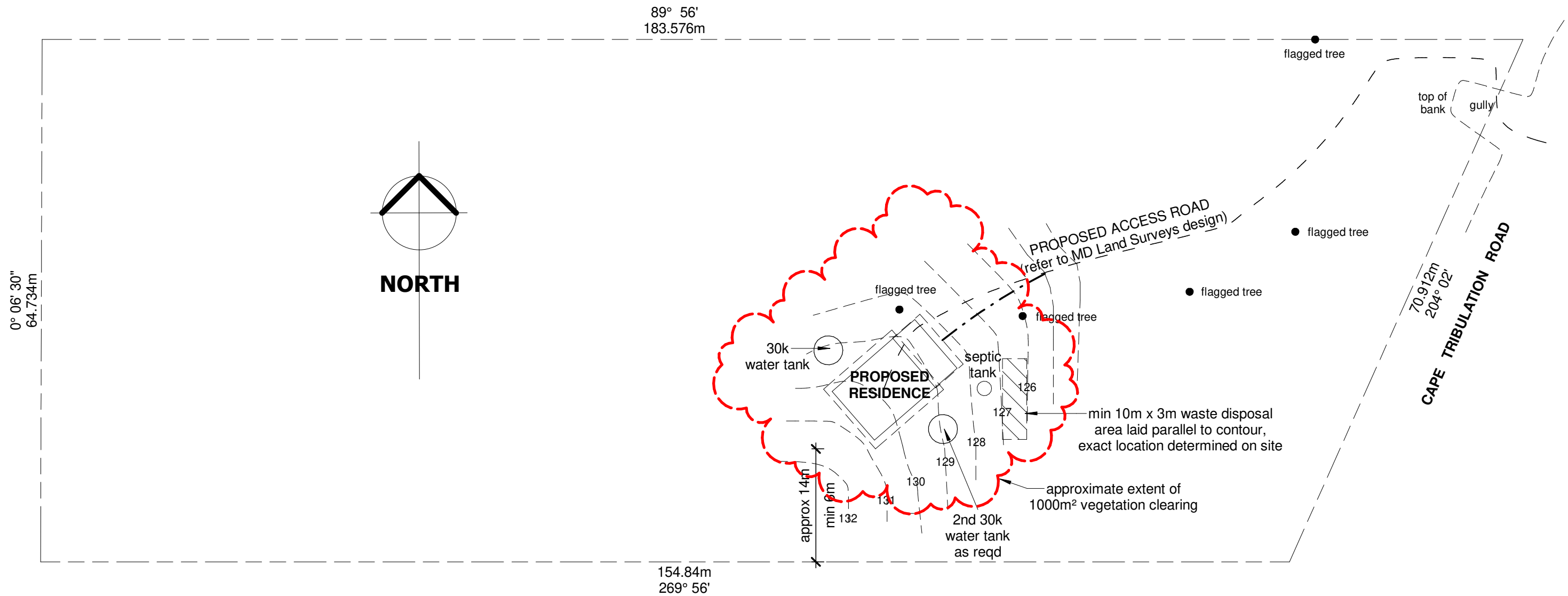
Conclusion

The revised site plan is attached in the appendix along with the original PDF file for the survey. The corresponding applicant responses are enclosed in this letter and have been written in response to the information request received under section 12 of the Development Assessment Rules.

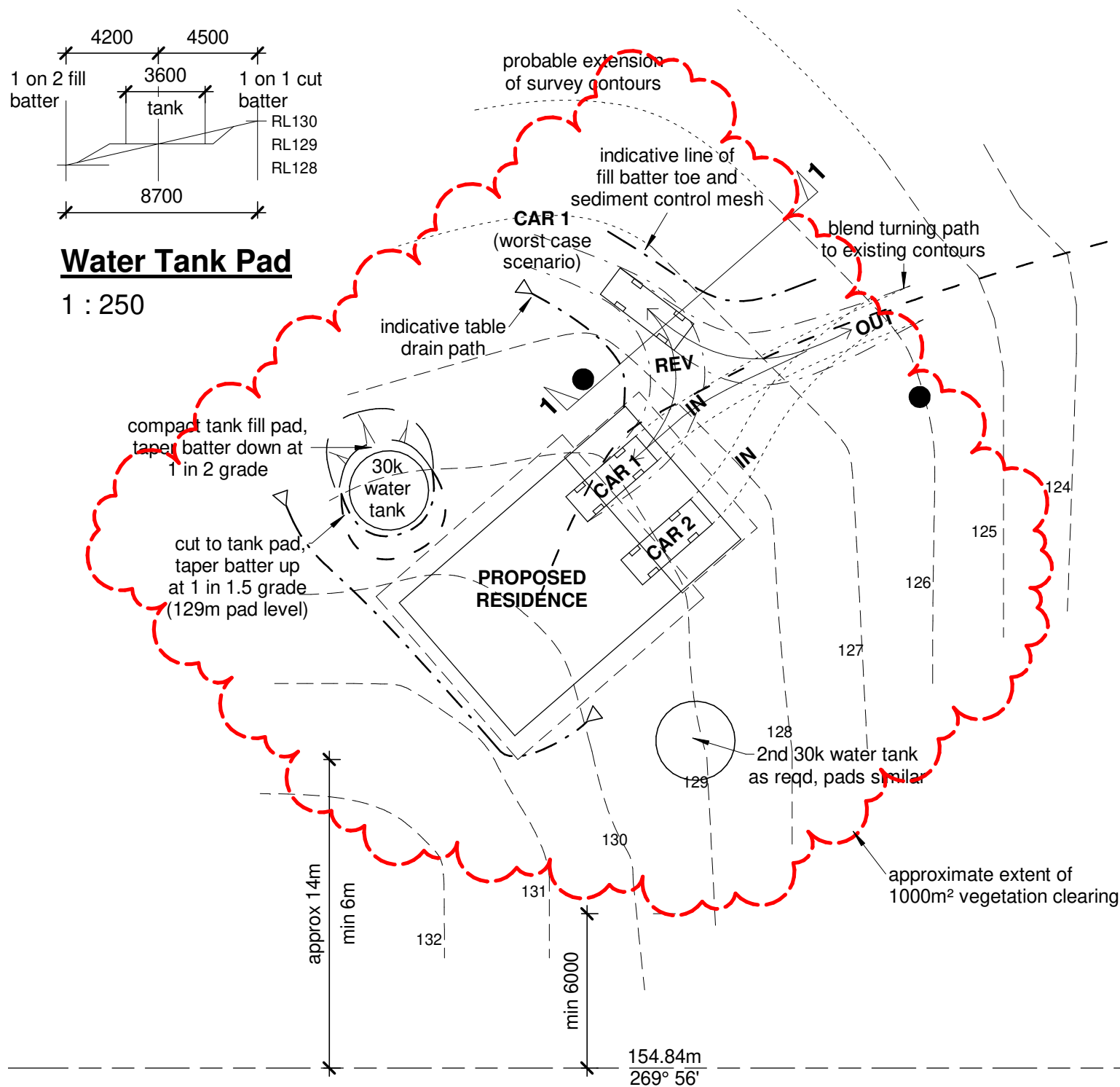
Thank you for your help and consideration throughout the development application process, it is very much appreciated.

Thank you,
Benjamin Lightfoot

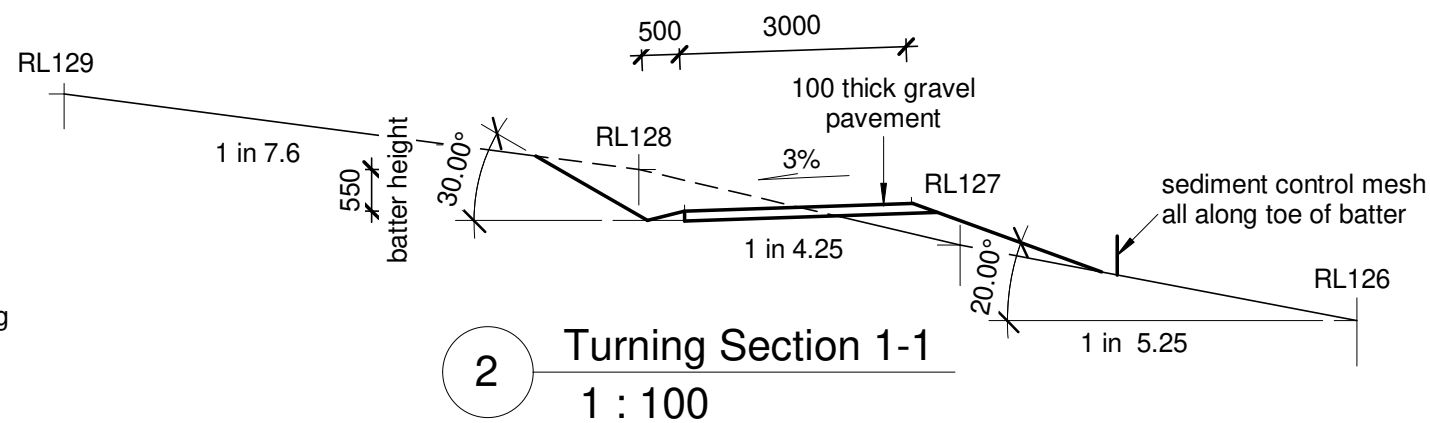
Appendix



1 Site Plan
1 : 500



1 Part Site Plan
1 : 250



PAVEMENT NOTES

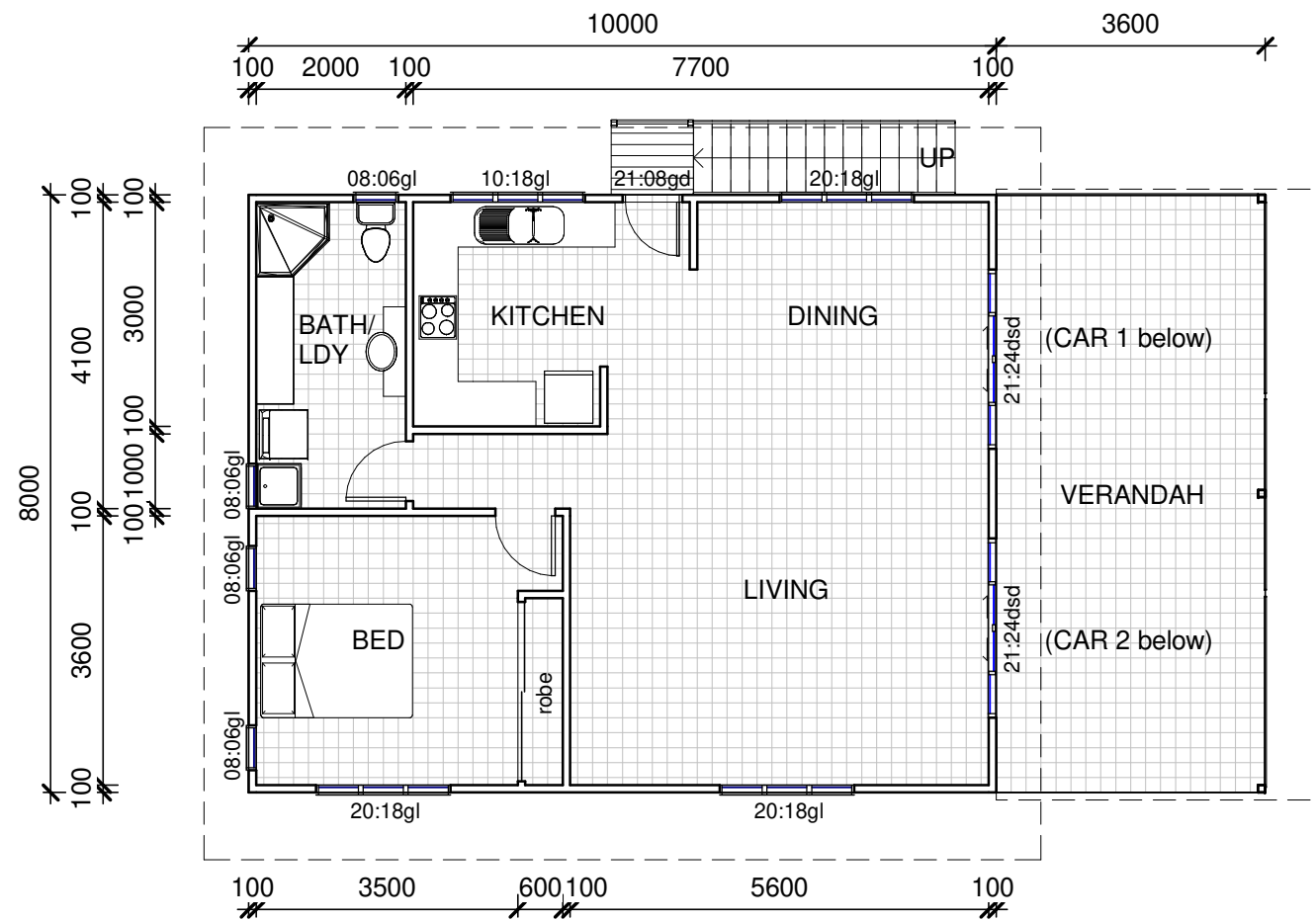
SUBGRADE -
Strip existing top soil and vegetation to a depth of 50mm and compact to 100% SRDD. Should any soft or unsuitable material be identified seek advice from Engineer.

Gravel pavement base can be locally sourced well graded ridge gravel with min CBR 30, compacted to 100% SRDD. Depth of pavement - 100mm.

If preferred the Owner may cement stabilise the pavement with GP cement at 3% by volume.

SEDIMENT CONTROL NOTES

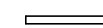
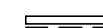



▽ Provide dumped 150Ø rock protection at end of table drain.
Fit sediment mesh at end of table drain rock protection, and all along toe of batters.



MAIN FLOOR AREA 80.0m²
 VERANDAH AREA 28.8m²
 TOTAL FLOOR AREA 108.8m²

1 Floor Plan
1 : 100

LEGEND

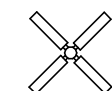
-  stud framed external and internal walls, lined internally with gyprock generally, villaboard to wet areas, externally as noted on Elevations
-  As above with 4mm F22 structural ply lining extra to one face, nail fixed for bracing (see bracing notes).
- B**
-  SHS bracing frame
- BF**
- C1** 75 x 4 SHS posts
- FW** ● Floor Waste (optional)
-  Waterproof wet area to AS3740.
-  Smoke alarms to AS3786.
- S/A**
- 100 x 4 shs posts
- x** denotes M12 locations tying top plate to floor framing both sides of corners and openings and at 1200 max crs, at each rafter set and lintel end to internal load bearing walls

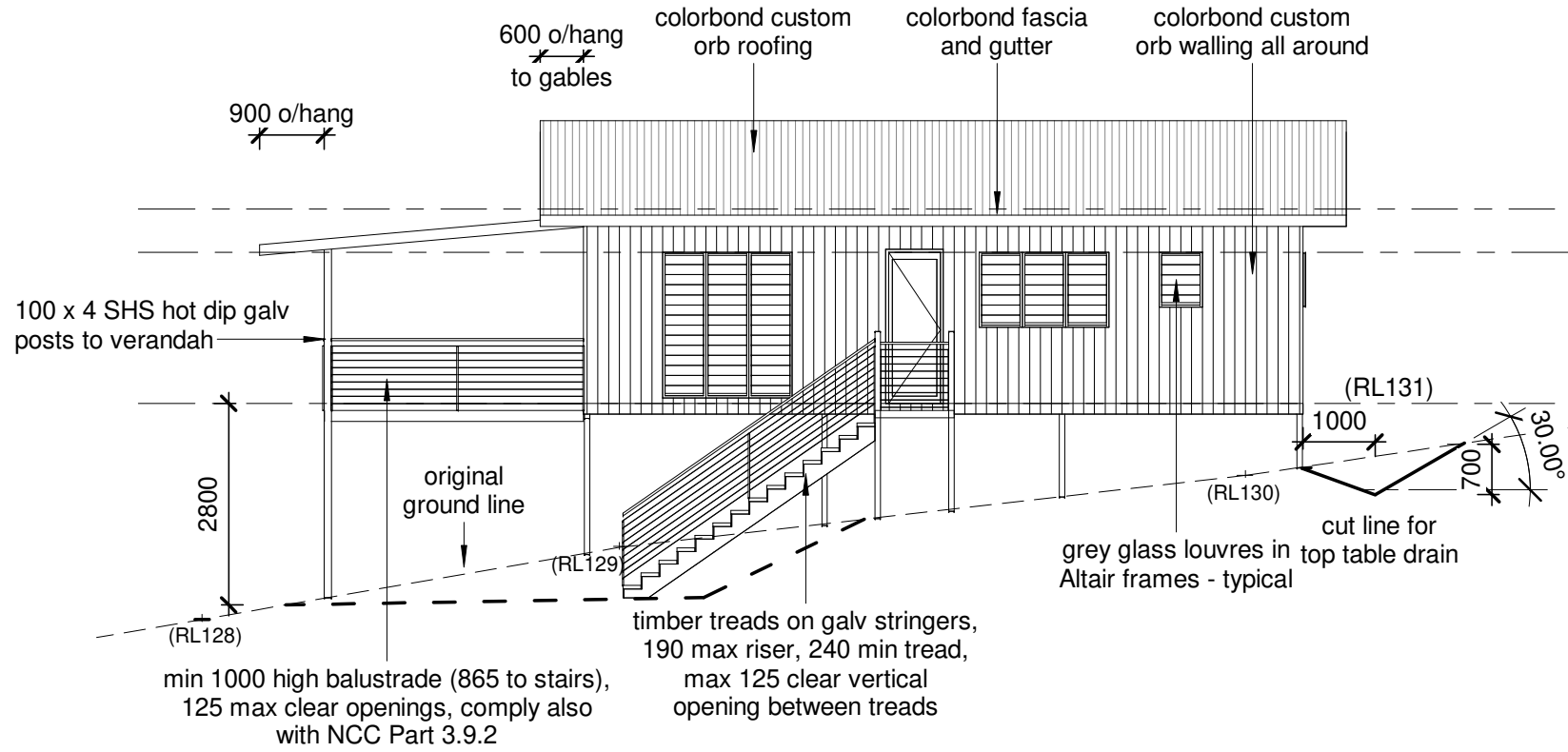
WINDOW and DOOR LEGEND

- sd single sliding door
- dsd double sliding door
- gl glass louvre window

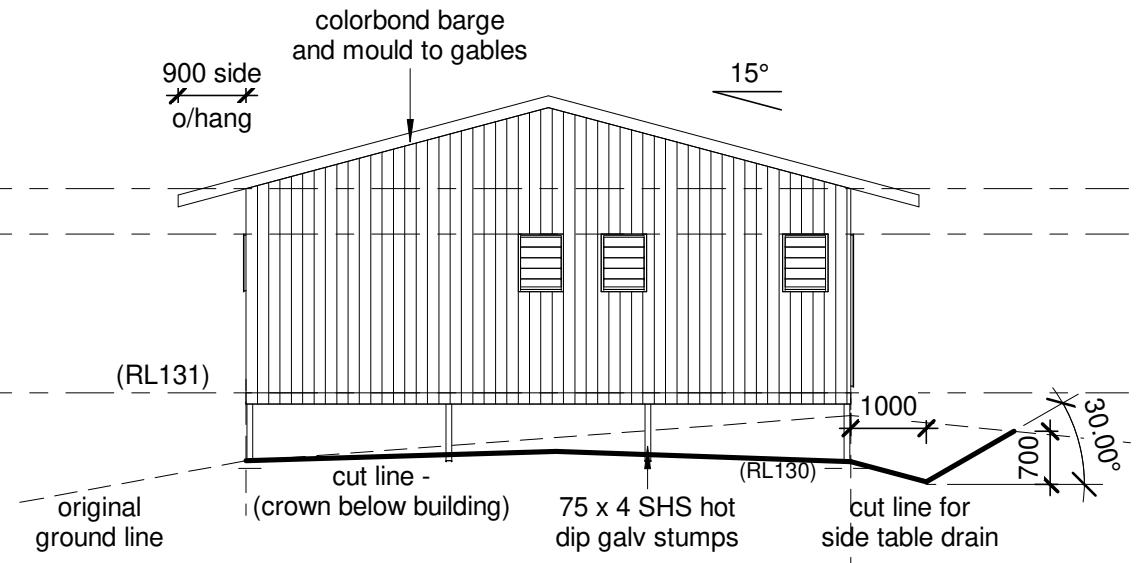
NOTE: all aluminium framed windows and doors are colour coated uno, fitted with grey glass and flymesh

ENERGY RATE LEGEND

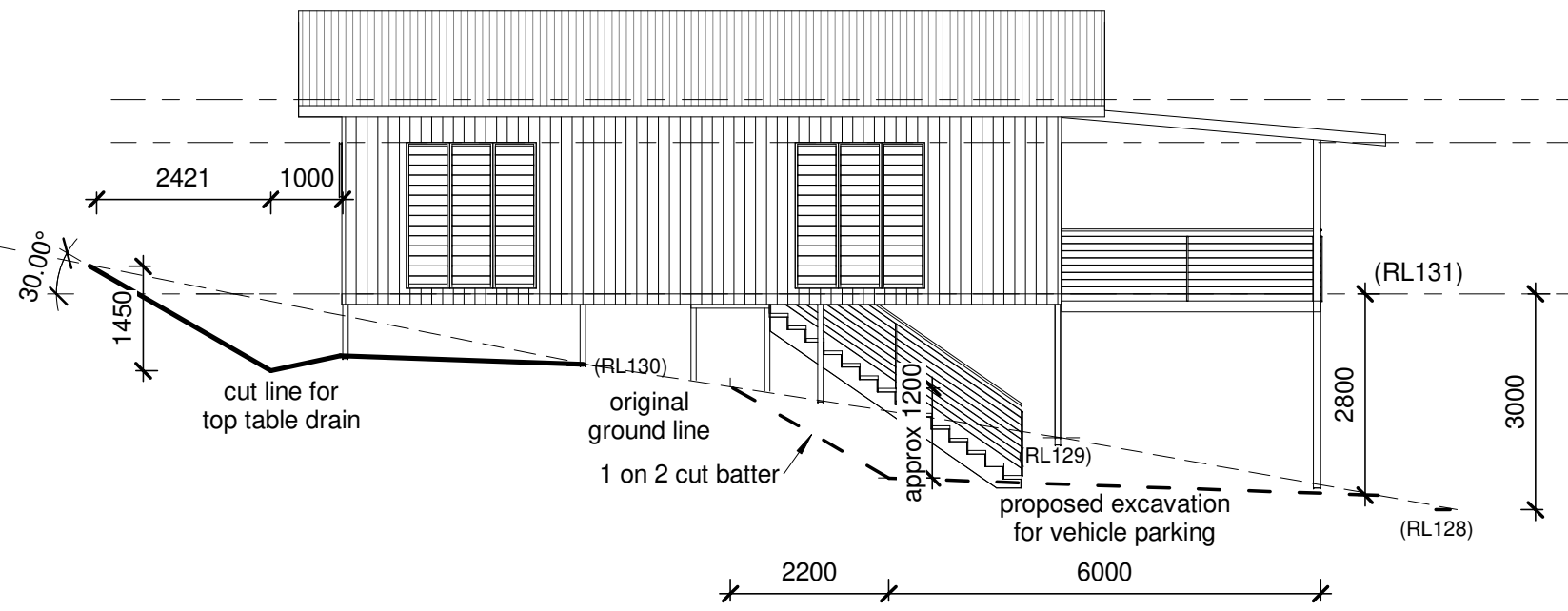
- LED downlights
-  ceiling fans (1400Ø)



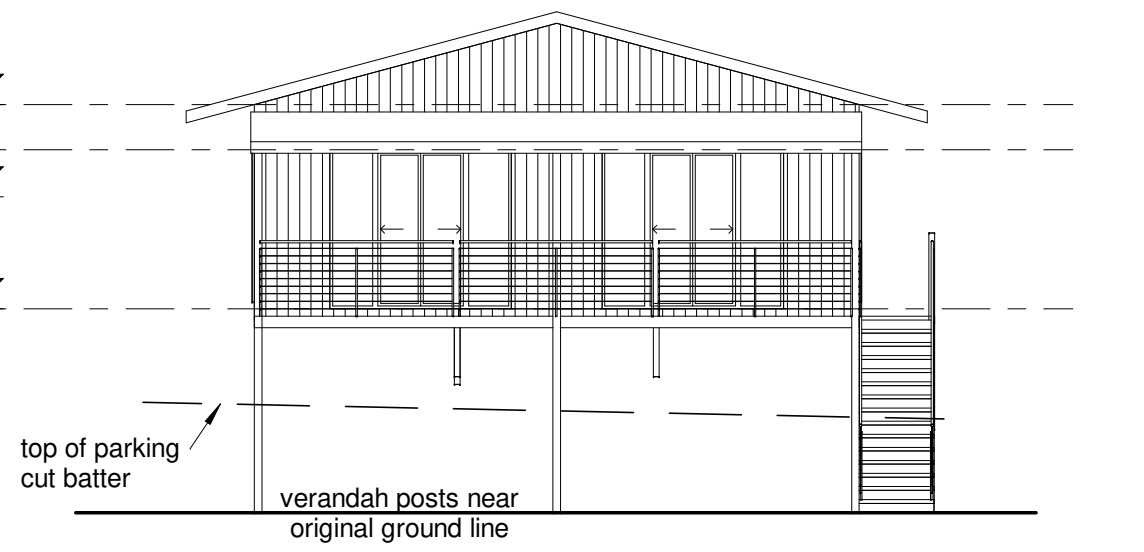
1 North Elevation
1 : 100



2 West Elevation
1 : 100



3 South Elevation
1 : 100



4 East Elevation
1 : 100

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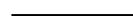








PROJECT
Proposed Residence,
L31 RP740682,
Cape Tribulation Road,
KIMBERLEY

CLIENT
B. Lightfoot
SCALES
1 : 100
PLAN TITLE
Elevations

WIND CLASS
C2
PLAN NUMBER
101-23
DATE OF ISSUE
17.03.23
SHEET
4 of 4
REV
B

Contour Survey Plan

Legend

-  Subject Property Boundary
-  Adjoining Property Boundary
-  Centre Line of Road
-  Bottom of Bank
-  Top of Bank
-  Minor Contour 0.25m
-  Major Contour - 1m
-  Stormwater Line
-  Survey Traverse

Datums:

- Levels are Arbitrary
- Coordinates are Arbitrary
- Azimuth: Vide RP740682

