

Appendix 1

APPLICATION FORM CURRENT TITLE SEARCH

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BUILDING APPROVALS & INSPECTIONS

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DA Form 1 – Development application details

Approved form (version 1.3 effective 28 September 2020) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Sandra Maree Laino and David Leigh Laino
Contact name (only applicable for companies)	c/- GMA Certification Group – Lisa McKay
Postal address (P.O. Box or street address)	P.O. Box 2760
Suburb	Nerang
State	Queensland
Postcode	4211
Country	Australia
Contact number	07 5578 1622
Email address (non-mandatory)	Planning@gmacert.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	20224804

2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input checked="" type="checkbox"/> No – proceed to 3)	

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		132	George Road	Forest Creek QLD
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	Lot 56	RP 735 857	Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- ☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
☒ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

- ☐ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- ☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- ☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

- ☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

Name of airport:

<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☒ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☒ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Dwelling House and a Domestic Outbuilding (Shed)

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- ☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- ☐ Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application

- ☒ Not required

Section 2 – Further development details

7) Does the proposed development application involve any of the following?	
Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use			
Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)
House	Dwelling House	NA	N/A
Shed	Dwelling House (Domestic Outbuilding)	NA	NA

8.2) Does the proposed use involve the use of existing buildings on the premises?	
<input type="checkbox"/> Yes	
<input checked="" type="checkbox"/> No	

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?	
9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)	
<input type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13))

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				
10.2) Will the subdivision be staged?				
<input type="checkbox"/> Yes – provide additional details below				
<input type="checkbox"/> No				
How many stages will the works include?				
What stage(s) will this development application apply to?				

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment

12.1) What are the current and proposed areas for each lot comprising the premises?

Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)

12.2) What is the reason for the boundary realignment?

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13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement?
(attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?

<input type="checkbox"/> Road work	<input type="checkbox"/> Stormwater	<input type="checkbox"/> Water infrastructure
<input type="checkbox"/> Drainage work	<input type="checkbox"/> Earthworks	<input type="checkbox"/> Sewage infrastructure
<input type="checkbox"/> Landscaping	<input type="checkbox"/> Signage	<input type="checkbox"/> Clearing vegetation
<input type="checkbox"/> Other – please specify: _____		

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)

<input type="checkbox"/> Yes – specify number of new lots: _____
<input type="checkbox"/> No

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$ _____

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Douglas Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

<input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application
<input type="checkbox"/> The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
<input checked="" type="checkbox"/> No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material (*from a watercourse or lake*)
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees (*category 3 levees only*)
- ☐ Wetland protection area

Matters requiring referral to the **local government:**

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has been devolved to local government*)

<input type="checkbox"/> Heritage places – Local heritage places
Matters requiring referral to the Chief Executive of the distribution entity or transmission entity:
<input type="checkbox"/> Infrastructure-related referrals – Electricity infrastructure
Matters requiring referral to:
<ul style="list-style-type: none"> • The Chief Executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual
<input type="checkbox"/> Infrastructure-related referrals – Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council:
<input type="checkbox"/> Ports – Brisbane core port land
Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994:
<input type="checkbox"/> Ports – Brisbane core port land <i>(where inconsistent with the Brisbane port LUP for transport reasons)</i>
<input type="checkbox"/> Ports – Strategic port land
Matters requiring referral to the relevant port operator , if applicant is not port operator:
<input type="checkbox"/> Ports – Land within Port of Brisbane's port limits <i>(below high-water mark)</i>
Matters requiring referral to the Chief Executive of the relevant port authority:
<input type="checkbox"/> Ports – Land within limits of another port <i>(below high-water mark)</i>
Matters requiring referral to the Gold Coast Waterways Authority:
<input type="checkbox"/> Tidal works or work in a coastal management district <i>(in Gold Coast waters)</i>
Matters requiring referral to the Queensland Fire and Emergency Service:
<input type="checkbox"/> Tidal works or work in a coastal management district <i>(involving a marina (more than six vessel berths))</i>

18) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application		
<input type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application <i>(if applicable)</i> .		

PART 6 – INFORMATION REQUEST

19) Information request under Part 3 of the DA Rules
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application
<input type="checkbox"/> I do not agree to accept an information request for this development application
Note: By not agreeing to accept an information request I, the applicant, acknowledge: <ul style="list-style-type: none"> • that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties • Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.
Further advice about information requests is contained in the DA Forms Guide .

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- ☐ Yes – provide details below or include details in a schedule to this development application
☒ No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- ☐ Yes – a copy of the receipted QLeave form is attached to this development application
☒ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
☐ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached
☒ No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
☒ No

Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- ☐ Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application
☒ No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

☐ Yes – the development application involves premises in the koala habitat area in the koala priority area

☒ Yes – the development application involves premises in the koala habitat area outside the koala priority area

☐ No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.des.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000**?

☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au for further information.

DA templates are available from <https://planning.dsdmp.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

☐ Yes – the relevant template is completed and attached to this development application

☒ No

DA templates are available from <https://planning.dsdmp.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
☒ No

Note: Contact the Department of Environment and Science at www.des.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the Water Supply Act)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the Water Supply Act is attached to this development application
☒ No

Note: See guidance materials at www.dnrme.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - ☐ A certificate of title
- ☒ No

Note: See guidance materials at www.des.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- ☐ Yes – details of the heritage place are provided in the table below
☒ No

Note: See guidance materials at www.des.qld.gov.au for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
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Brothels

23.14) Does this development application involve a **material change of use for a brothel**?

- ☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*
☒ No

Decision under section 62 of the Transport Infrastructure Act 1994

23.15) Does this development application involve new or changed access to a state-controlled road?

- ☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
☒ No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.16) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

Note: See guidance materials at www.planning.dsdmip.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes

Note: See the Planning Regulation 2017 for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

☐ Yes

☒ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

☒ Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

☒ Yes

☐ Not applicable

25) Applicant declaration

☒ By making this development application, I declare that all information in this development application is true and correct

☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

Queensland Titles Registry Pty Ltd
ABN 23 648 568 101

Title Reference:	21133235	Search Date:	14/02/2023 12:34
Date Title Created:	17/02/1981	Request No:	43572996
Previous Title:	21106064		

ESTATE AND LAND

Estate in Fee Simple

LOT 56 REGISTERED PLAN 735857
Local Government: DOUGLAS

REGISTERED OWNER

Dealing No: 722124825 23/11/2022

SANDRA MAREE LAINO
DAVID LEIGH LAINO

JOINT TENANTS

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by
Deed of Grant No. 20103162 (POR 191)
2. MORTGAGE No 722124826 23/11/2022 at 11:06
WESTPAC BANKING CORPORATION A.C.N. 007 457 141

ADMINISTRATIVE ADVICES

NIL

UNREGISTERED DEALINGS

NIL

Caution - Charges do not necessarily appear in order of priority

** End of Current Title Search **

Appendix 2

ASSESSMENT BENCHMARKS:

Environmental Management Zone Code

Dwelling House Code

Access, Parking and Servicing Code

Filling and Excavation Code

Infrastructure Works Code

Landscape Values Overlay Code

Natural Areas Overlay Code

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6.2.4 Environmental management zone code

6.2.4.1 Application

- (1) This code applies to assessing development in the Environmental management zone.
- (2) When using this code, reference should be made to Part 5.

6.2.4.2 Purpose

- (1) The purpose of the Environmental management zone code is to recognise environmentally sensitive areas and provide for houses on lots and other low impact activities where suitable.

These areas are protected from intrusion of any urban, suburban, centre or industrial land use.

- (2) The local government purpose of the code is to:
 - (a) implement the policy direction set in the Strategic Framework, in particular:
 - (i) Theme 2 : Environment and landscape values, Element 3.5.3 – Biodiversity, Element 3.5.5 – Scenic amenity.
 - (b) protect and buffer areas of environmental significance from inappropriate development.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) Development is generally restricted to a dwelling house;
 - (b) Adverse impacts on natural systems, both on-site and on adjoining land are minimised through the location, design and management of development;
 - (c) Development reflects and responds to the natural features and environmental values of the area;
 - (d) Visual impacts are minimised through the location and design of development;
 - (e) Development does not adversely affect water quality;
 - (f) Development responds to land constraints, including but not limited to topography, vegetation, bushfire, landslide and flooding.

Criteria for assessment**Table 6.2.4.3.a – Environmental management zone – assessable development**

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable and assessable development		
PO1 The height of all buildings and structures is in keeping with the natural characteristics of the site. Buildings and structures are low-rise and not unduly visible from external sites.	AO1.1 Buildings and structures are not more than 8.5 metres and two storeys in height. Note – Height is inclusive of the roof height. AO1.2 Buildings have a roof height not less than 2 metres.	Complies. As indicated on the proposed plans both the Dwelling House and the Domestic Outbuilding (shed) are one (1) storey structures. The Dwelling House has an overall height of 4.316 metres measured to the uppermost projection of the roofline whilst the shed has an overall height of 2.58 metres measured to the uppermost projection of the roofline. Accordingly, it is submitted that the development is fully compliant with AO1.1 and AO1.2 in this instance. Refer to Appendix 3 Proposed Plans .
PO2 Buildings and structures are set back to: (a) maintain the natural character of the area; (b) achieve separation from neighbouring buildings and from road frontages.	AO2 Buildings and structures are set back not less than: (a) 40 metres from the frontage of a state controlled road; (b) 25 metres from the frontage to Cape Tribulation Road; (c) 6 metres from any other road; (d) 6 metres from the side and rear boundaries of the site.	Complies. As indicated on the proposed plans both the Dwelling House and the shed maintain a setback greater than 6.0 metres from the George Road (northern) frontage. In addition, both the Dwelling House and the shed maintain setbacks greater than 6.0 metres from the side and rear boundaries. Accordingly, it is submitted that the development is fully compliant with AO2 (c) and (d) in this instance. Refer to Appendix 3 Proposed Plans .
For assessable development		
PO3 Development is consistent with the purpose of the Environmental management zone and protects the zone from the intrusion of inconsistent uses.	AO3 Inconsistent uses as identified in Table 6.2.4.3.b are not established in the Environmental management zone.	Complies. As indicated on the proposed plans this application seeks approval for a Dwelling House and Domestic Outbuilding only being fully compliant with AO3 in this instance.

Performance outcomes	Acceptable outcomes	Applicant response
		Refer to Appendix 3 Proposed Plans .
PO4 The site coverage of all buildings and structures and associated services do not have an adverse effect on the environmental or scenic values of the site.	PO4 No acceptable outcomes are prescribed.	Complies. As indicated on the proposed plans the Dwelling House has a building footprint of 201.96m ² and the shed has a building footprint of 19.31m ² . This results in a combined building footprint of 221.27m ² . As the site has an area of 20,070m ² this results in a site cover of 1.1% ensuring that the development is fully compliant with PO4 in this instance. Refer to Appendix 3 Proposed Plans .
PO5 Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds. Note - Planning scheme policy – Site assessments provides guidance on identifying the characteristics, features and constraints of a site and its surrounds.	AO5.1 Buildings, structures and associated access, infrastructure and private open space are sited: (a) within areas of the site which are already cleared; or (b) within areas of the site which are environmentally degraded; (c) to minimise additional vegetation clearing.	Complies. As indicated on the Site Plan prepared by Prestige Kit Homes, both the Dwelling House and the shed have been positioned in a portion of the site which is void of vegetation. Accordingly, it is submitted that the development is fully compliant with AO5.1 (a) in this instance.
	AO5.2 Buildings and structures and associated infrastructure are not located on slopes greater than 1 in 6 (16.6%) or on a ridgeline.	Complies. Refer to Appendix 3 Proposed Plans .
PO6 Buildings and structures are responsive to steep slope through innovative construction techniques so as to: (a) maintain the geotechnical stability of slopes; (b) minimise cut and/or fill; (c) minimise the overall height of development.	AO6.1 Where development on land steeper than 1 in 6 (16.6%) cannot be avoided, development follows the natural contours of the land and single plane concrete slab on-ground methods of construction are not utilised.	Not applicable.
	AO6.2 Access and vehicle manoeuvring and parking areas are constructed and maintained to: (a) minimise erosion;	Complies. Refer to Appendix 3 Proposed Plans .

Performance outcomes	Acceptable outcomes	Applicant response
	(b) minimise cut and fill; (c) follow the natural contours of the site.	
PO7 The exterior finishes of buildings and structures are consistent with the surrounding natural environment.	PO7 The exterior finishes and colours of buildings and structures are non-reflective and are moderately dark to darker shades of grey, green, blue and brown or the development is not visible external to the site.	Complies or can be Conditioned to Comply.
PO8 Development does not adversely affect the amenity of the zone and adjoining land uses in terms of traffic, noise, dust, odour, lighting or other physical or environmental impacts.	AO8 No acceptable outcomes are prescribed.	Complies. As indicated on the proposed plans this application seeks approval for a Dwelling House and shed only. It is submitted that the size and scale of the development ensures that it is fully compliant with PO8 in this instance. Refer to Appendix 3 Proposed Plans .
PO9 The density of development ensures that the environmental and scenic amenity values of the site and surrounding area are not adversely affected.	AO9 The maximum residential density is one dwelling house per lot.	Complies. Refer to Appendix 3 Proposed Plans .
PO10 Lot reconfiguration results in no additional lots. Note - Boundary realignments to resolve encroachments and lot amalgamation are considered appropriate.	AO10 No acceptable outcomes are prescribed.	Not applicable.

Table 6.2.4.3.b – Inconsistent uses within the Environmental management zone

Inconsistent uses		
<ul style="list-style-type: none"> • Adult store • Agricultural supplies store • Air services • Aquaculture • Bar • Brothel • Bulk landscape supplies • Car wash • Caretaker's accommodation • Cemetery • Child care centre • Club • Community care centre • Community residence • Community use • Crematorium • Cropping • Detention facility • Dual occupancy • Dwelling unit • Educational establishment • Food and drink outlet • Function facility • Garden centre 	<ul style="list-style-type: none"> • Hardware and trade supplies • Health care services • High impact industry • Hospital • Hotel • Indoor sport and entertainment • Intensive animal industry • Intensive horticulture • Landing • Low impact industry • Major electricity infrastructure • Major sport, recreation and entertainment facility • Marine industry • Market • Motor sport facility • Multiple dwelling • Nightclub entertainment facility • Office • Outdoor sales • Outstation • Parking station • Place of worship • Port services 	<ul style="list-style-type: none"> • Renewable energy facility • Relocatable home park • Research and technology industry • Residential care facility • Resort complex • Retirement facility • Rooming accommodation • Rural industry • Rural workers accommodation • Sales office • Service Station • Shop • Shopping centre • Short-term accommodation • Showroom • Special industry • Substation • Theatre • Transport depot • Utility installation • Veterinary services • Warehouse • Wholesale nursery • Winery

Note – This table does not imply that all other uses not listed in the table are automatically consistent uses within the zone. Assessable development must still demonstrate consistency through the assessment process.



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9.3.8 Dwelling house code

9.3.8.1 Application

(1) This code applies to assessing development for a dwelling house if:

- (a) self-assessable development or assessable development where this code identified in the assessment criteria column of a table of assessment;
or
- (b) impact assessable development.

(2) When using this code, reference should be made to Part 5.

Note—Where the land is identified in an overlay map, additional provisions relating to that overlay also apply. For example, minimum floor levels for a dwelling house on a site subject to certain types of flooding are identified in the Flood and storm tide inundation overlay code.

Note – For a proposal to be self-assessable, it must meet all of the self-assessable outcomes of this code and any other applicable code. Where it does not meet all the self-assessable outcomes, the proposal becomes assessable development and a development application is required. Where a development application is triggered, only the specific acceptable outcomes that the proposal fails to meet need to be assessed against the corresponding performance outcomes. Other self-assessable outcomes that are met are not assessed as part of the development application.

9.3.8.2 Purpose

- (1) The purpose of the Dwelling house code is to assess the suitability of development to which this code applies.
- (2) The purpose of the code will be achieved through the following overall outcomes:



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- (a) The dwelling house, including all habitable buildings on site, is occupied by a single household;
- (b) A dwelling house, including a secondary dwelling or domestic out-buildings; ensures that the secondary dwelling is sub-ordinate to the primary dwelling house;
- (c) Development of a dwelling house provides sufficient and safe vehicle access and parking for residents;
- (d) The built form, siting, design and use of each dwelling is consistent with the desired neighbourhood character and streetscape elements of the area.

9.3.8.3 Criteria for assessment

Table 9.3.8.3.a –Dwelling house code – assessable development

Performance outcomes	Acceptable outcomes	Compliance
For self-assessable and assessable development		
PO1 Secondary dwellings: (a) are subordinate, small-scaled dwellings; (b) contribute to a safe and pleasant living environment; (c) are established on appropriate sized lots;	AO1 The secondary dwelling: (a) has a total gross floor area of not more than 80m ² , excluding a single carport or garage; (b) is occupied by 1 or more members of the same household as the dwelling house.	Not applicable. No secondary Dwelling is proposed. Refer to Appendix 3 Proposed Plans .



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Performance outcomes	Acceptable outcomes	Compliance
(d) do not cause adverse impacts on adjoining properties.		
P02 Resident's vehicles are accommodated on- site.	AO2 Development provides a minimum number of on-site car parking spaces comprising: (a) 2 car parking spaces which may be in tandem for the dwelling house; (b) 1 car parking space for any secondary dwelling on the same site.	Complies. As indicated on the proposed plans there is sufficient area to provide more than two (2) on-site car parking spaces being fully compliant with AO2 in this instance. Refer to Appendix 3 Proposed Plans .
P03 Development is of a bulk and scale that: (a) is consistent with and complements the built form and front boundary setbacks prevailing in the street and local area; (b) does not create an overbearing development for adjoining dwelling houses and their private open space;	AO3 Development meets the acceptable outcome for building height in the applicable Zone code associated with the site.	Complies. Refer to the AO1.1 of the Environmental Management Zone Code which is included with this application.



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Performance outcomes	Acceptable outcomes	Compliance
(c) does not impact on the amenity and privacy of residents in adjoining dwelling houses; (d) ensures that garages do not dominate the appearance of the street.		



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9.4.1 Access, parking and servicing code

9.4.1.1 Application

- (1) This code applies to assessing:
 - (a) operational work which requires a compliance assessment as a condition of a development permit; or
 - (b) a material change of use or reconfiguring a lot if:
 - (i) self-assessable or assessable development where this code is identified in the assessment criteria column of the table of assessment;
 - (ii) impact assessable development, to the extent relevant.
- (2) When using this code, reference should be made to Part 5.

9.4.1.2 Purpose

- (1) The purpose of the Access, parking and servicing code is to assess the suitability of access, parking and associated servicing aspects of a development.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) sufficient vehicle parking is provided on-site to cater for all types of vehicular traffic accessing and parking on-site, including staff, guests, patrons, residents and short term delivery vehicles;
 - (b) sufficient bicycle parking and end of trip facilities are provided on-site to cater for customer and service staff;
 - (c) on-site parking is provided so as to be accessible and convenient, particularly for any short term uses;
 - (d) development provides walking and cycle routes through the site which link the development to the external walking and cycling network;
 - (e) the provision of on-site parking, loading / unloading facilities and the provision of access to the site do not impact on the efficient function of street network or on the area in which the development is located;
 - (f) new vehicular access points are safely located and are not in conflict with the preferred ultimate streetscape character and local character and do not unduly disrupt any current or future on-street parking arrangements.



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9.4.1.3 Criteria for assessment

Table 9.4.1.3.a – Access, parking and servicing code –assessable development

Performance outcomes	Acceptable outcomes	Compliance
For self-assessable and assessable development		
PO1 Sufficient on-site car parking is provided to cater for the amount and type of vehicle traffic expected to be generated by the use or uses of the site, having particular regard to: (a) the desired character of the area; (b) the nature of the particular use and its specific characteristics and scale; (c) the number of employees and the likely number of visitors to the site; (d) the level of local accessibility; (e) the nature and frequency of any public transport serving the area;	AO1.1 The minimum number of on-site vehicle parking spaces is not less than the number prescribed in Table 9.4.1.3.b for that particular use or uses. Note - Where the number of spaces calculated from the table is not a whole number, the number of spaces provided is the next highest whole number.	Complies. In accordance with Table 9.4.1.3.b – Access, parking and servicing requirements the minimum number of ordinary vehicle parking spaces for a Dwelling House (including a Domestic Outbuilding) land use is a minimum of two (2) spaces which may be in tandem plus one (1) space for a secondary dwelling. As indicated on the proposed plans the site has ample area to ensure that a minimum of two (2) on-site car parking spaces can be provided being fully compliant with AO1.1 in this instance. Refer to Appendix 3 Proposed Plans .
	AO1.2	Complies.



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Performance outcomes	Acceptable outcomes	Compliance
(f) whether or not the use involves the retention of an existing building and the previous requirements for car parking for the building (g) whether or not the use involves a heritage building or place of local significance; (h) whether or not the proposed use involves the retention of significant vegetation.	Car parking spaces are freely available for the parking of vehicles at all times and are not used for external storage purposes, the display of products or rented/sub-leased.	Car parking spaces would be available for the parking of vehicles. Refer to Appendix 3 Proposed Plans .
	AO1.3 Parking for motorcycles is substituted for ordinary vehicle parking to a maximum level of 2% of total ordinary vehicle parking.	Not applicable. Dwelling Houses, including Domestic Outbuildings, do not require parking for motorcycles.
	AO1.4 For parking areas exceeding 50 spaces parking, is provided for recreational vehicles as a substitute for ordinary vehicle parking to a maximum of 5% of total ordinary vehicle parking rate.	Not applicable. The development would not involve parking areas exceeding 50 parking spaces.
PO2 Vehicle parking areas are designed and constructed in accordance with relevant standards.	AO2 Vehicle parking areas are designed and constructed in accordance with Australian Standard:	Complies. Car parking spaces will be constructed to the Australian Standards.



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Performance outcomes	Acceptable outcomes	Compliance
	(a) AS2890.1; (b) AS2890.3; (c) AS2890.6.	
PO3 Access points are designed and constructed: (a) to operate safely and efficiently; (b) to accommodate the anticipated type and volume of vehicles (c) to provide for shared vehicle (including cyclists) and pedestrian use, where appropriate; (d) so that they do not impede traffic or pedestrian movement on the adjacent road area; (e) so that they do not adversely impact upon existing intersections or future road or intersection improvements;	AO3.1 Access is limited to one access cross over per site and is an access point located, designed and constructed in accordance with: (a) Australian Standard AS2890.1; (b) Planning scheme policy SC6.5 – FNQROC Regional Development Manual - access crossovers.	Complies. Only one (1) proposed crossover will provide access to the site.
	AO3.2 Access, including driveways or access crossovers: (a) are not placed over an existing: (i) telecommunications pit; (ii) stormwater kerb inlet;	Complies. The access crossover will not be located over any infrastructure or services.



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Performance outcomes	Acceptable outcomes	Compliance
<p>(f) so that they do not adversely impact current and future on-street parking arrangements;</p> <p>(g) so that they do not adversely impact on existing services within the road reserve adjacent to the site;</p> <p>(h) so that they do not involve ramping, cutting of the adjoining road reserve or any built structures (other than what may be necessary to cross over a stormwater channel).</p>	<p>(iii) sewer utility hole;</p> <p>(iv) water valve or hydrant.</p> <p>(b) are designed to accommodate any adjacent footpath;</p> <p>(c) adhere to minimum sight distance requirements in accordance with AS2980.1.</p>	
	<p>AO3.3</p> <p>Driveways are:</p> <p>(a) designed to follow as closely as possible to the existing contours, but are no steeper than the gradients outlined in Planning scheme policy SC6.5 – FNQROC Regional Development Manual;</p> <p>(b) constructed such that where there is a grade shift to 1 in 4 (25%), there is an area with a grade of no more than 1 in 6 (16.6%) prior to this area, for a distance of at least 5 metres;</p>	<p>Complies.</p> <p>Access to the site will be provided via a proposed crossover and driveway from George Road and can be Conditioned to comply with AO3.3 (b).</p>



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Performance outcomes	Acceptable outcomes	Compliance
	<p>(c) on gradients greater than 1 in 6 (16.6%) driveways are constructed to ensure the cross-fall of the driveway is one way and directed into the hill, for vehicle safety and drainage purposes;</p> <p>(d) constructed such that the transitional change in grade from the road to the lot is fully contained within the lot and not within the road reserve;</p> <p>(e) designed to include all necessary associated drainage that intercepts and directs storm water runoff to the storm water drainage system.</p>	
	<p>AO3.4</p> <p>Surface construction materials are consistent with the current or intended future streetscape or character of the area and contrast with the surface construction materials of any adjacent footpath.</p>	<p>Complies.</p> <p>The site will be accessed via a proposed driveway that will comply with AO3.4.</p>
PO4	AO4	Not applicable.



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Performance outcomes	Acceptable outcomes	Compliance
Sufficient on-site wheel chair accessible car parking spaces are provided and are identified and reserved for such purposes.	The number of on-site wheel chair accessible car parking spaces complies with the rates specified in AS2890 Parking Facilities.	Dwelling Houses, including Domestic Outbuildings, do not require wheelchair accessible car parking spaces.
P05 Access for people with disabilities is provided to the building from the parking area and from the street.	A05 Access for people with disabilities is provided in accordance with the relevant Australian Standard.	Not applicable. Dwelling Houses, including Domestic Outbuildings, are not required to cater for people with disabilities.
P06 Sufficient on-site bicycle parking is provided to cater for the anticipated demand generated by the development.	A06 The number of on-site bicycle parking spaces complies with the rates specified in Table 9.4.1.3.b.	Not applicable. Dwelling Houses, including Domestic Outbuildings, are not required to provide on-site bicycle parking.
P07 Development provides secure and convenient bicycle parking which: (a) for visitors is obvious and located close to the building's main entrance;	A07.1 Development provides bicycle parking spaces for employees which are co-located with end-of-trip facilities (shower cubicles and lockers);	Not applicable. Dwelling Houses, including Domestic Outbuildings, are not required to provide on-site bicycle parking.
	A07.2	Not applicable.



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Performance outcomes	Acceptable outcomes	Compliance
(b) for employees is conveniently located to provide secure and convenient access between the bicycle storage area, end-of-trip facilities and the main area of the building; (c) is easily and safely accessible from outside the site.	Development ensures that the location of visitor bicycle parking is discernible either by direct view or using signs from the street.	Dwelling Houses, including Domestic Outbuildings, are not required to provide on-site bicycle parking.
	AO7.3 Development provides visitor bicycle parking which does not impede pedestrian movement.	Not applicable. Dwelling Houses, including Domestic Outbuildings, are not required to provide on-site bicycle parking.
PO8 Development provides walking and cycle routes through the site which: (a) link to the external network and pedestrian and cyclist destinations such as schools, shopping centres, open space, public transport stations, shops and local activity centres along the safest, most direct and convenient routes; (b) encourage walking and cycling; (c) ensure pedestrian and cyclist safety.	AO8 Development provides walking and cycle routes which are constructed on the carriageway or through the site to: (a) create a walking or cycle route along the full frontage of the site; (b) connect to public transport and existing cycle and walking routes at the frontage or boundary of the site.	Not applicable. Dwelling Houses, including Domestic Outbuildings, are not required to provide walking and cycle routes.



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Performance outcomes	Acceptable outcomes	Compliance
PO9 Access, internal circulation and on-site parking for service vehicles are designed and constructed: (a) in accordance with relevant standards; (b) so that they do not interfere with the amenity of the surrounding area; (c) so that they allow for the safe and convenient movement of pedestrians, cyclists and other vehicles.	AO9.1 Access driveways, vehicle manoeuvring and on-site parking for service vehicles are designed and constructed in accordance with AS2890.1 and AS2890.2.	Not applicable. The Dwelling Houses, including Domestic Outbuildings, are not required to provide for service vehicles.
	AO9.2 Service and loading areas are contained fully within the site.	Not applicable. The Dwelling Houses, including Domestic Outbuildings, are not required to provide for service vehicles.
	AO9.3 The movement of service vehicles and service operations are designed so they: (a) do not impede access to parking spaces; (b) do not impede vehicle or pedestrian traffic movement.	Not applicable. The Dwelling Houses, including Domestic Outbuildings, are not required to provide for service vehicles.
PO10	AO10.1	Not applicable.



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Performance outcomes	Acceptable outcomes	Compliance
Sufficient queuing and set down areas are provided to accommodate the demand generated by the development.	Development provides adequate area on-site for vehicle queuing to accommodate the demand generated by the development where drive through facilities or drop-off/pick-up services are proposed as part of the use, including, but not limited to, the following land uses: (a) car wash; (b) child care centre; (c) educational establishment where for a school; (d) food and drink outlet, where including a drive-through facility; (e) hardware and trade supplies, where including a drive-through facility; (f) hotel, where including a drive-through facility; (g) service station.	The Dwelling House, including Domestic Outbuildings, would not include drop-off and pick-up services or facilities.
	AO10.2 Queuing and set-down areas are designed and constructed in accordance with AS2890.1.	Not applicable. The development would not require queuing and set-down areas.



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9.4.4 Filling and excavation code

9.4.4.1 Application

- (1) This code applies to assessing:
 - (a) operational work for filling or excavation which is self-assessable or code assessable development if this code is an applicable code identified in the assessment criteria column of a table of assessment; or
 - (b) a material change of use or reconfiguring a lot if:
 - (i) assessable development where this code is identified as a prescribed secondary code in the assessment criteria column of a table of assessment; or
 - (ii) impact assessable development, to the extent relevant.

Note—This code does not apply to building work that is regulated under the Building Code of Australia.

- (2) When using this code, reference should be made to Part 5.

9.4.4.2 Purpose

- (1) The purpose of the Filling and excavation code is to assess the suitability of development for filling or excavation.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) filling or excavation does not impact on the character or amenity of the site and surrounding areas;
 - (b) filling and excavation does not adversely impact on the environment;
 - (c) filling and excavation does not impact on water quality or drainage of upstream, downstream or adjoining properties;
 - (d) filling and excavation is designed to be fit for purpose and does not create land stability issues;



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- (e) filling and excavation works do not involve complex engineering solutions.

9.4.4.3 Criteria for assessment

Table Error! No text of specified style in document..a – Filling and excavation code – for self-assessable and assessable development

Performance outcomes	Acceptable outcomes	Compliance
For self-assessable and assessable development		
Filling and excavation - General		
PO1 All filling and excavation work does not create a detrimental impact on the slope stability, erosion potential or visual amenity of the site or the surrounding area.	AO1.1 The height of cut and/or fill, whether retained or not, does not exceed 2 metres in height. and Cuts in excess of those stated in A1.1 above are separated by benches/ terraces with a minimum width of 1.2 metres that incorporate drainage provisions and screen planting.	Complies or can be Conditioned to Comply.
	AO1.2 Cuts are supported by batters, retaining or rock walls and associated benches/terraces are	Complies or can be Conditioned to Comply.



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Performance outcomes	Acceptable outcomes	Compliance
	capable of supporting mature vegetation.	
	AO1.3 Cuts are screened from view by the siting of the building/structure, wherever possible.	Complies.
	AO1.4 Topsoil from the site is retained from cuttings and reused on benches/terraces.	Complies or can be Conditioned to Comply.
	AO1.5 No crest of any cut or toe of any fill, or any part of any retaining wall or structure is closer than 600mm to any boundary of the property, unless the prior written approval of the adjoining landowner has been obtained.	Complies.
	AO1.6 Non-retained cut and/or fill on slopes are stabilised and protected against scour and erosion	Not applicable.



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Performance outcomes	Acceptable outcomes	Compliance
	by suitable measures, such as grassing, landscaping or other protective/aesthetic measures.	
Visual Impact and Site Stability		
PO2 Filling and excavation are carried out in such a manner that the visual/scenic amenity of the area and the privacy and stability of adjoining properties is not compromised.	AO2.1 The extent of filling and excavation does not exceed 40% of the site area, or 500m ² whichever is the lesser, except that AO2.1 does not apply to reconfiguration of 5 lots or more.	Complies.
	AO2.2 Filling and excavation does not occur within 2 metres of the site boundary.	Complies or can be Conditioned to Comply.
Flooding and drainage		
PO3 Filling and excavation does not result in a change to the run off characteristics of a site which then	AO3.1 Filling and excavation does not result in the ponding of water on a site or adjacent land or road	Complies or can be Conditioned to Comply.



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Performance outcomes	Acceptable outcomes	Compliance
have a detrimental impact on the site or nearby land or adjacent road reserves.	reserves.	
	AO3.2 Filling and excavation does not result in an increase in the flow of water across a site or any other land or road reserves.	Complies.
	AO3.3 Filling and excavation does not result in an increase in the volume of water or concentration of water in a watercourse and overland flow paths.	Complies.
	AO3.4 Filling and excavation complies with the specifications set out in Planning Scheme Policy No SC5 – FNQROC Development Manual.	Complies or can be Conditioned to Comply.
Water quality		
PO4	AO4	Not applicable.



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Performance outcomes	Acceptable outcomes	Compliance
Filling and excavation does not result in a reduction of the water quality of receiving waters.	Water quality is maintained to comply with the specifications set out in Planning Scheme Policy No SC5 – FNQROC Development Manual.	
Infrastructure		
PO5 Excavation and filling does not impact on Public Utilities.	AO5 Excavation and filling is clear of the zone of influence of public utilities.	Not applicable.



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9.4.6 Infrastructure works code

9.4.6.1 Application

- (1) This code applies to development identified as requiring assessment against the Infrastructure works code by the Tables of Assessment in Part 5.
- (2) When using this code, reference should be made to Part 5.

9.4.6.2 Purpose

- (1) The purpose of the Infrastructure works code is to ensure that development is safely and efficiently serviced by and connected to infrastructure.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) the standards of water supply, waste water treatment and disposal, stormwater drainage, local electricity supply, telecommunications, footpaths and road construction meet the needs of development and are safe and efficient;
 - (b) development maintains high environmental standards;
 - (c) development is located, designed, constructed and managed to avoid or minimise impacts arising from altered stormwater quality or flow, wastewater discharge, and the creation of non-tidal artificial waterways;
 - (d) the integrity of existing infrastructure is maintained;
 - (e) development does not detract from environmental values or the desired character and amenity of an area.

9.4.6.3 Criteria for assessment

Part A - Criteria for self-assessable and assessable development



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Table 9.4.6.3.a – Infrastructure works code – self-assessable and assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable and assessable development		
Works on a local government road		
PO1 Works on a local government road do not adversely impact on footpaths or existing infrastructure within the road verge and maintain the flow, safety and efficiency of pedestrians, cyclists and vehicles.	AO1.1 Footpaths/Pathways are located in the road verge and are provided for the hierarchy of road and located, designed and constructed in accordance with Planning scheme policy – FNQROC Regional Development Manual.	Not applicable.
	AO1.2 Kerb ramp crossovers are constructed in accordance with Planning scheme policy – FNQROC Regional Development Manual.	Not applicable.
	AO1.3	Not applicable.



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Performance outcomes	Acceptable outcomes	Applicant response
	<p>New pipes, cables, conduits or other required to cross existing footpaths;</p> <p>(a) are installed via trenchless methods; or</p> <p>(b) where footpath is removed to install infrastructure, the new section of footpath is installed to the standard detailed in the Planning scheme policy – FNQROC Regional Development Manual and is not less than a 1.2 metre section.</p>	
	<p>AO1.4</p> <p>Where existing footpaths are damaged as a result of development, footpaths are reinstated ensuring:</p> <p>(a) similar surface finishes are used;</p> <p>(b) there is no change in level at joins of new and existing sections;</p>	<p>Not applicable.</p>



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Performance outcomes	Acceptable outcomes	Applicant response
	<p>(c) new sections are matched to existing in terms of dimension and reinforcement.</p> <p>Note – Figure 9.4.6.3.a provides guidance on meeting the outcomes.</p>	
	<p>AO1.5</p> <p>Decks, verandahs stairs, posts and other structures located in the road reserve do not restrict or impede pedestrian movement on footpaths or change the level of the road verges.</p>	Not applicable.
Accessibility structures		
<p>PO2</p> <p>Development is designed to ensure they are accessible for people of all abilities and accessibility features do not impact on efficient and safe use of footpaths.</p>	<p>AO2.1</p> <p>Accessibility structures are not located within the road reserve.</p>	Not applicable.
	<p>AO2.2</p> <p>Accessibility structures are designed in accordance with Australian Standard AS1428.3.</p>	Not applicable.



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Performance outcomes	Acceptable outcomes	Applicant response
	<p>AO2.3</p> <p>When retrofitting accessibility features in existing buildings, all structures and changes of grade are contained within the boundaries of the lot and not within the road reserve.</p> <p>Note – Accessibility features are those features required to ensure access to premises is provided for people of all abilities and include ramps and lifting devices.</p>	<p>Not applicable.</p>
Water supply		
<p>PO3</p> <p>An adequate, safe and reliable supply of potable, fire fighting and general use water is provided.</p>	<p>AO3.1</p> <p>The premises is connected to Council's reticulated water supply system in accordance with the Design Guidelines set out in Section D6 of the Planning scheme policy – FNQROC Regional Development Manual;</p> <p>Or</p>	<p>Not applicable.</p> <p>The development will be provided with a rainwater tank to ensure that there is an adequate water supply on-site.</p> <p>Refer to Appendix 3 Proposed Plans.</p>



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Performance outcomes	Acceptable outcomes	Applicant response
	<p>AO3.2</p> <p>Where a reticulated water supply system is not available to the premises, on site water storage tank/s with a minimum capacity of 30,000 litres and access to the tank/s for fire trucks is provided for each new house or other development. Tank/s are to be fitted with a 50mm ball valve with a camlock fitting and installed and connected prior to occupation of the house and sited to be visually unobtrusive.</p>	<p>Complies or can be Conditioned to Comply.</p>
Treatment and disposal of effluent		
<p>PO4</p> <p>Provision is made for the treatment and disposal of effluent to ensure that there are no adverse impacts on water quality and no adverse ecological impacts as a result of the system or as a result of increasing the cumulative effect of systems in the locality.</p>	<p>AO4.1</p> <p>The site is connected to Council's sewerage system and the extension of or connection to the sewerage system is designed and constructed in accordance with the Design Guidelines set out in Section D7 of the Planning scheme policy – FNQROC Regional Development Manual;</p>	<p>Not applicable.</p>



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Performance outcomes	Acceptable outcomes	Applicant response
	<p>or</p> <p>AO4.2</p> <p>Where not in a sewerage scheme area, the proposed disposal system meets the requirements of Section 33 of the Environmental Protection Policy (Water) 1997 and the proposed on site effluent disposal system is designed in accordance with the Plumbing and Drainage Act (2002).</p>	<p>Complies.</p> <p>Refer to the Wastewater Management System prepared by Earth Test which is included in Appendix 4 Supporting Documentation.</p>
Stormwater quality		
<p>PO5</p> <p>Development is planned, designed, constructed and operated to avoid or minimise adverse impacts on stormwater quality in natural and developed catchments by:</p>	<p>AO5.1</p> <p>A connection is provided from the premises to Council's drainage system;</p> <p>or</p> <p>AO5.2</p>	<p>Complies.</p>



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Performance outcomes	Acceptable outcomes	Applicant response
(a) achieving stormwater quality objectives; (b) protecting water environmental values; (c) maintaining waterway hydrology.	An underground drainage system is constructed to convey stormwater from the premises to Council's drainage system in accordance with the Design Guidelines set out in Sections D4 and D5 of the Planning scheme policy – FNQROC Regional Development Manual.	
	AO5.3 A stormwater quality management plan is prepared, and provides for achievable stormwater quality treatment measures meeting design objectives listed in Table 9.4.6.3.b and Table 9.4.6.3.c, reflecting land use constraints, such as: (a) erosive, dispersive and/or saline soil types; (b) landscape features (including landform); (c) acid sulfate soil and management of nutrients of concern; (d) rainfall erosivity.	Not applicable.



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Performance outcomes	Acceptable outcomes	Applicant response
	<p>AO5.4</p> <p>An erosion and sediment control plan demonstrates that release of sediment-laden stormwater is avoided for the nominated design storm, and minimised when the it is exceeded by addressing design objectives listed in Table Error! Reference source not found.b for:</p> <ul style="list-style-type: none">(a) drainage control;(b) erosion controls;(c) sediment control;(d) water quality outcomes.	<p>Not applicable.</p>
	<p>AO5.5</p> <p>Erosion and sediment control practices are designed, installed, constructed, monitored, maintained, and carried out in accordance with the erosion and sediment control plan.</p>	<p>Complies.</p>



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Performance outcomes	Acceptable outcomes	Applicant response
	<p>AO5.6</p> <p>Development incorporates stormwater flow control measures to achieve the design objectives set out in including management of frequent flows, peak flows, and construction phase hydrological impacts.</p> <p>Note – Planning scheme policy - FNQROC Regional Development Manual provides guidance on soil and water control measures to meet the requirements of the Environmental Protection Act 1994.</p> <p>Note – During construction phases of development, contractors and builders are to have consideration in their work methods and site preparation for their environmental duty to protect stormwater quality.</p>	Complies.
Non-tidal artificial waterways		
<p>PO6</p> <p>Development involving non-tidal artificial waterways is planned, designed, constructed and operated to:</p>	<p>AO6.1</p> <p>Development involving non-tidal artificial waterways ensures:</p>	Not applicable.



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Performance outcomes	Acceptable outcomes	Applicant response
(a) protect water environmental values; (b) be compatible with the land use constraints for the site for protecting water environmental values; (b) be compatible with existing tidal and non-tidal waterways; (c) perform a function in addition to stormwater management; (d) achieve water quality objectives.	(a) environmental values in downstream waterways are protected; (b) any groundwater recharge areas are not affected; (c) the location of the waterway incorporates low lying areas of the catchment connected to an existing waterway; (d) existing areas of ponded water are included.	
	AO6.2 Non-tidal artificial waterways are located: (a) outside natural wetlands and any associated buffer areas; (b) to minimise disturbing soils or sediments;	Not applicable.



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Performance outcomes	Acceptable outcomes	Applicant response
	(c) to avoid altering the natural hydrologic regime in acid sulphate soil and nutrient hazardous areas.	
	AO6.3 Non-tidal artificial waterways located adjacent to, or connected to a tidal waterway by means of a weir, lock, pumping system or similar ensures: <ul style="list-style-type: none"> (a) there is sufficient flushing or a tidal range of >0.3m; or (b) any tidal flow alteration does not adversely impact on the tidal waterway; or (c) there is no introduction of salt water into freshwater environments. 	Not applicable.
	AO6.4	Not applicable.



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Performance outcomes	Acceptable outcomes	Applicant response
	Non-tidal artificial waterways are designed and managed for any of the following end-use purposes: (a) amenity (including aesthetics), landscaping or recreation; or (b) flood management, in accordance with a drainage catchment management plan; or (c) stormwater harvesting plan as part of an integrated water cycle management plan; or (d) aquatic habitat.	
	AO6.5 The end-use purpose of the non-tidal artificial waterway is designed and operated in a way that protects water environmental values.	Not applicable.
	AO6.6	Not applicable.



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Performance outcomes	Acceptable outcomes	Applicant response
	Monitoring and maintenance programs adaptively manage water quality to achieve relevant water quality objectives downstream of the waterway.	
	AO6.7 Aquatic weeds are managed to achieve a low percentage of coverage of the water surface area, and pests and vectors are managed through design and maintenance.	Not applicable.
Wastewater discharge		
PO7 Discharge of wastewater to waterways, or off site: (a) meets best practice environmental management; (b) is treated to:	AO7.1 A wastewater management plan is prepared and addresses: (a) wastewater type; (b) climatic conditions; (c) water quality objectives;	Not applicable.



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Performance outcomes	Acceptable outcomes	Applicant response
(i) meet water quality objectives for its receiving waters;	(d) best practice environmental management.	
(ii) avoid adverse impact on ecosystem health or waterway health;	AO7.2 The wastewater management plan is managed in accordance with a waste management hierarchy that:	Not applicable.
(iii) maintain ecological processes, riparian vegetation and waterway integrity;		
(iv) offset impacts on high ecological value waters.	(a) avoids wastewater discharge to waterways; or (b) if wastewater discharge to waterways cannot practicably be avoided, minimises wastewater discharge to waterways by re-use, recycling, recovery and treatment for disposal to sewer, surface water and groundwater.	
	AO7.3 Wastewater discharge is managed to avoid or minimise the release of nutrients of concern so as	Not applicable.



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Performance outcomes	Acceptable outcomes	Applicant response
	to minimise the occurrence, frequency and intensity of algal blooms.	
	AO7.4 Development in coastal catchments avoids or minimises and appropriately manages soil disturbance or altering natural hydrology and: (a) avoids lowering groundwater levels where potential or actual acid sulphate soils are present; (b) manages wastewaters so that: (i) the pH of any wastewater discharges is maintained between 6.5 and 8.5 to avoid mobilisation of acid, iron, aluminium and metals;	Not applicable.



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Performance outcomes	Acceptable outcomes	Applicant response
	<ul style="list-style-type: none"> (ii) holding times of neutralised wastewaters ensures the flocculation and removal of any dissolved iron prior to release; (iii) visible iron floc is not present in any discharge; (iv) precipitated iron floc is contained and disposed of; (v) wastewater and precipitates that cannot be contained and treated for discharge on site are removed and disposed of through trade waste or another lawful method. 	
Electricity supply		
PO8 Development is provided with a source of power that will meet its energy needs.	AO8.1 A connection is provided from the premises to the electricity distribution network;	Complies.



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Performance outcomes	Acceptable outcomes	Applicant response
	<p>or</p> <p>AO8.2</p> <p>The premises is connected to the electricity distribution network in accordance with the Design Guidelines set out in Section D8 of the Planning scheme policy – FNQROC Regional Development Manual.</p>	
<p>PO9</p> <p>Development incorporating padmount electricity infrastructure does not cause an adverse impact on amenity.</p>	<p>AO9.1</p> <p>Padmount electricity infrastructure is:</p> <ul style="list-style-type: none">(a) not located on land for open space or sport and recreation purposes;(b) screened from view by landscaping or fencing;(c) accessible for maintenance.	<p>Not applicable.</p>



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Performance outcomes	Acceptable outcomes	Applicant response
	<p>AO9.2</p> <p>Padmount electricity infrastructure within a building in an activity centre and is designed and located to enable an active street frontage.</p> <p>Note – Padmounts in buildings in activity centres should not be located on the street frontage.</p>	Not applicable.
Telecommunications		
<p>PO10</p> <p>Development is connected to a telecommunications service approved by the relevant telecommunication regulatory authority.</p>	<p>AO10.1</p> <p>The development is connected to telecommunications infrastructure in accordance with the standards of the relevant regulatory authority.</p>	Complies.
<p>PO11</p> <p>Provision is made for future telecommunications services (e.g. fibre optic cable).</p>	<p>AO11.1</p> <p>Conduits are provided in accordance with Planning scheme policy – FNQROC Regional Development Manual.</p>	Complies.



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Performance outcomes	Acceptable outcomes	Applicant response
Road construction		
PO12 The road to the frontage of the premises is constructed to provide for the safe and efficient movement of: (a) pedestrians and cyclists to and from the site; (b) pedestrians and cyclists adjacent to the site; (c) vehicles on the road adjacent to the site; (d) vehicles to and from the site. (e) emergency vehicles.	AO12.1 The road to the frontage of the site is constructed in accordance with the Design Guidelines set out in Sections D1 and D3 of the Planning scheme policy – FNQROC Regional Development Manual, for the particular hierarchy of road.	Not applicable.
	AO12.2 There is existing road, kerb and channel for the full road frontage of the site.	Not applicable.
	AO12.3 Road access minimum clearances of 3.5 metres wide and 4.8 metres high are provided for safe passage of emergency vehicles.	Not applicable.
Alternations and repairs to public utility services		



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Performance outcomes	Acceptable outcomes	Applicant response
PO13 Infrastructure is integrated with and efficiently extends existing networks.	AO13.1 Development is designed to allow for efficient connection to existing infrastructure networks.	Not applicable.
PO14 Development and works do not affect the efficient functioning of public utility mains, services or installations.	AO14.1 Public utility mains, services and installations are not required to be altered or repaired as a result of the development; or AO14.2 Public utility mains, services and installations are altered or repaired in association with the works so that they continue to function and satisfy the relevant Design Guidelines set out in Section D8 of the Planning scheme policy – FNQROC Regional Development Manual.	Not applicable.
Construction management		



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Performance outcomes	Acceptable outcomes	Applicant response
<p>PO15</p> <p>Work is undertaken in a manner which minimises adverse impacts on vegetation that is to be retained.</p>	<p>AO15.1</p> <p>Works include, at a minimum:</p> <ul style="list-style-type: none"> (a) installation of protective fencing around retained vegetation during construction; (b) erection of advisory signage; (c) no disturbance, due to earthworks or storage of plant, materials and equipment, of ground level and soils below the canopy of any retained vegetation; (d) removal from the site of all declared noxious weeds. 	<p>Not applicable.</p>
<p>PO16</p> <p>Existing infrastructure is not damaged by construction activities.</p>	<p>AO16.1</p> <p>Construction, alterations and any repairs to infrastructure is undertaken in accordance with the</p>	<p>Not applicable.</p>



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Performance outcomes	Acceptable outcomes	Applicant response
	<p>Planning scheme policy – FNQROC Regional Development Manual.</p> <p>Note - Construction, alterations and any repairs to State-controlled roads and rail corridors are undertaken in accordance with the <i>Transport Infrastructure Act 1994</i>.</p>	
For assessable development		
High speed telecommunication infrastructure		
<p>PO17</p> <p>Development provides infrastructure to facilitate the roll out of high speed telecommunications infrastructure.</p>	<p>AO17.1</p> <p>No acceptable outcomes are provided.</p>	<p>Not applicable.</p>
Trade waste		
<p>PO18</p> <p>Where relevant, the development is capable of providing for the storage, collection treatment and disposal of trade waste such that:</p>	<p>AO18.1</p> <p>No acceptable outcomes are provided.</p>	<p>Not applicable.</p>



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Performance outcomes	Acceptable outcomes	Applicant response
(a) off-site releases of contaminants do not occur; (b) the health and safety of people and the environment are protected; (c) the performance of the wastewater system is not put at risk.		
Fire services in developments accessed by common private title		
PO19 Hydrants are located in positions that will enable fire services to access water safely, effectively and efficiently.	AO19.1 Residential streets and common access ways within a common private title should have hydrants placed at intervals of no more than 120 metres and at each intersection. Hydrants may have a single outlet and be situated above or below ground.	Not applicable.
	AO19.2 Commercial and industrial streets and access ways within streets serving commercial properties	Not applicable.



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Performance outcomes	Acceptable outcomes	Applicant response
	such as factories, warehouses and offices should be provided with above or below ground fire hydrants at not more than 90 metre intervals and at each street intersection. Above ground fire hydrants should have dual valved outlets.	
PO20 Hydrants are suitably identified so that fire services can locate them at all hours. <small>Note – Hydrants are identified as specified in the Department of Transport and Main Roads Technical Note: 'Identification of street hydrants for fire fighting purposes' available under 'Publications'.</small>	AO20.1 No acceptable outcomes are provided.	Not applicable.



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Table 9.4.6.3.b – Stormwater management design objectives (Construction phase)

Issue	Design objectives
<p>Drainage control</p> <p>(Temporary drainage works)</p>	<ul style="list-style-type: none"> (1) Design life and design storm for temporary drainage works: <ul style="list-style-type: none"> (a) Disturbed area open for <12 months—1 in 2-year ARI event; (b) Disturbed area open for 12–24 months—1 in 5-year ARI event; (c) Disturbed area open for > 24 months—1 in 10-year ARI event. (2) Design capacity excludes minimum 150 mm freeboard. (3) Temporary culvert crossing—minimum 1 in 1-year ARI hydraulic capacity.
<p>Erosion control</p> <p>(Erosion control measures)</p>	<ul style="list-style-type: none"> (1) Minimise exposure of disturbed soils at any time. (2) Divert water run-off from undisturbed areas around disturbed areas. (3) Determine the erosion risk rating using local rainfall erosivity, rainfall depth, soil-loss rate or other acceptable methods.



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Issue	Design objectives
<p>Sediment control</p> <p>(Sediment control measures, Design storm for sediment control basins, Sediment basin dewatering)</p>	<p>(4) Implement erosion control methods corresponding to identified erosion risk rating.</p> <p>(1) Determine appropriate sediment control measures using:</p> <ul style="list-style-type: none"> (a) potential soil loss rate; or (b) monthly erosivity; or (c) average monthly rainfall. <p>(2) Collect and drain stormwater from disturbed soils to sediment basin for design storm event:</p> <ul style="list-style-type: none"> (a) design storm for sediment basin sizing is 80th% five-day event or similar. <p>(3) Site discharge during sediment basin dewatering:</p> <ul style="list-style-type: none"> (a) TSS < 50 mg/L TSS; (b) Turbidity not >10% receiving waters turbidity;



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Issue	Design objectives
	(c) pH 6.5–8.5.
Water quality (Litter and other waste, hydrocarbons and other contaminants)	(1) Avoid wind-blown litter; remove gross pollutants. (2) Ensure there is no visible oil or grease sheen on released waters. (3) Dispose of waste containing contaminants at authorised facilities.
Waterway stability and flood flow management (Changes to the natural waterway hydraulics and hydrology)	(1) For peak flow for the 100% AEP event and 1% AEP event, use constructed sediment basins to attenuate the discharge rate of stormwater from the site

Table 9.4.6.3.c – Stormwater management design objectives (post-construction phase)



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Design objectives				Application
Minimum reductions in mean annual load from unmitigated development (%)				
Total suspended solids (TSS)	Total phosphorus (TP)	Total nitrogen (TN)	Gross pollutants >5 mm	
80	60	40	90	<p>Development for urban purposes</p> <p>Excludes development that is less than 25% impervious.</p> <p>In lieu of modelling, the default bio-retention treatment area to comply with load reduction targets of 1.5% of the contributing catchment area.</p>
<p>Waterway stability management</p> <p>(1) Limit the peak 100% AEP event discharge within the receiving waterway to the pre-development peak 100% AEP event discharge.</p>				<p>Catchments contributing to un-lined receiving waterway. Degraded waterways may seek alternative discharge management objectives to achieve waterway stability.</p>

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Design objectives				Application
Minimum reductions in mean annual load from unmitigated development (%)				
Total suspended solids (TSS)	Total phosphorus (TP)	Total nitrogen (TN)	Gross pollutants >5 mm	
				For peak flow for the 100% AEP event, use collocated storages to attenuate site discharge rate of stormwater.

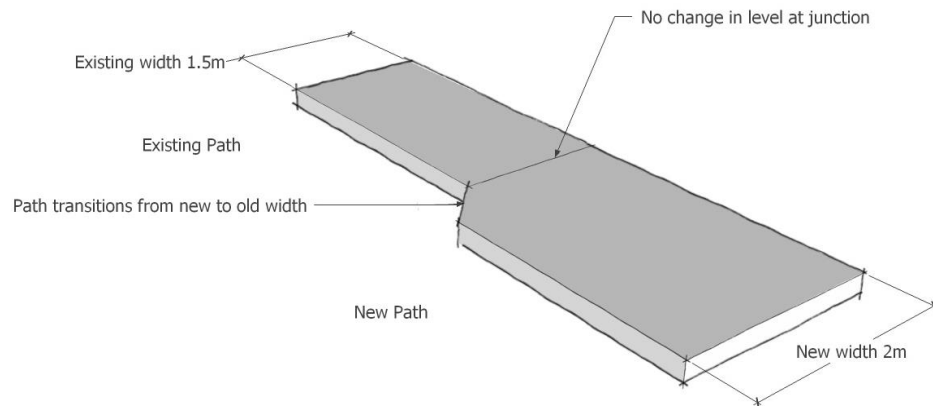


Figure 9.4.6.3.a – New footpath sections

8.2.6 Landscape values overlay code

8.2.6.1 Application

- (1) This code applies to assessing a material change of use, reconfiguring a lot, operational work or building work within the Landscape values overlay, if:
 - (a) self-assessable or assessable development where the code is identified as being applicable in the Assessment criteria for the Overlay Codes contained in the Levels of Assessment Tables in section 5.6;
 - (b) impact assessable development.
- (2) Land in the Landscape values overlay is identified on the Landscape values overlay map in Schedule 2 and includes in following sub-categories:
 - (a) High landscape value sub-category;
 - (b) Medium landscape value sub-category;
 - (c) Scenic route buffer / view corridor area sub-category;
 - (d) Coastal scenery area sub-category.
- (3) When using this code, reference should be made to Part 5.

8.2.6.2 Purpose

- (1) The purpose of the Landscape values overlay code is to:
 - (a) implement the policy direction of the Strategic Framework, in particular:
 - (i) Theme 2: Environment and landscape values Element 3.5.5 Scenic amenity;
 - (ii) Theme 3: Natural resource management Element 3.6.4 – Resource extraction.
 - (b) enable an assessment of whether development is suitable on land within the Landscape values overlay sub-categories.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) areas of High landscape value are protected, retained and enhanced;
 - (b) areas of Medium landscape value are managed to integrate and limit the visual impact of development;
 - (c) the landscape values of the Coastal scenery area are managed to integrate and limit the visual impact of development;
 - (d) development maintains and enhances the significant landscape elements and features which contribute to the distinctive character and identity of Douglas Shire;
 - (e) ridges and vegetated hillslopes are not developed in a way that adversely impacts on landscape values;
 - (f) watercourses, forested mountains and coastal landscape character types remain predominantly natural in appearance in order to maintain the region's diverse character and distinctive tropical image, in particular:
 - (i) areas in the coastal landscape character type which are predominantly natural and undeveloped in appearance retain this natural landscape character;
 - (ii) watercourses which are predominantly natural and undeveloped in appearance retain this natural landscape character;
 - (iii) the rural character of cane fields and lowlands landscape character types which are predominantly rural or natural in appearance are

maintained;

- (iv) landscape values are maintained when viewed from lookouts, scenic routes, gateways and public places.
- (g) views towards High landscape value areas and the Coral Sea are not diminished;
- (h) development is consistent with the prevailing landscape character of its setting, and is neither visually dominant nor visually intrusive;
- (i) advertising devices do not detract from the landscape values, character types or amenity of an area.

8.2.6.3 Criteria for assessment

Table 8.2.6.3.a – Landscape values overlay code – assessable development

z		Acceptable outcomes
For assessable development		
Development in a High landscape value area		
<p>PO1 Development within High landscape value areas identified on the Landscape values overlay maps contained in Schedule 2:</p> <ul style="list-style-type: none"> (a) avoids detrimental impacts on the landscape values of forested skylines, visible hillslopes, ridgelines, the coastal foreshore or the shoreline of other water bodies through the loss of vegetation; (b) is effectively screened from view from a road, lookout or other public place by an existing natural landform or native vegetation, or will be effectively screened by native vegetation within 3 years of construction; (c) retains existing vegetation and incorporates new landscaping to enhance existing vegetation and visually soften built form elements; (d) incorporates development of a scale, design, height, position on site, construction materials and external finishes that are compatible with the landscape values of the locality; (e) avoids detrimental impacts on landscape values and excessive changes to the natural landform as a result of the location, position on site, scale, design, extent and alignment of earthworks, roads, driveways, retaining walls and other on-ground or in-ground infrastructure; (f) avoids detrimental impacts on landscape values and views as a result of the location, position on site, scale, design and alignment of telecommunications facilities, electricity towers, poles and lines and other tall 	<p>AO1.1 Buildings and structures are not more than 8.5 metres and two storeys in height.</p> <p>Note - Height is inclusive of roof height.</p> <p>AO1.2 Buildings and structures are setback not less than 50 metres from ridgelines or peaks.</p> <p>AO1.3 Development is screened from view from roads or other public places by an existing natural landform or an existing native vegetation buffer.</p> <p>AO1.4 Where development on land steeper than 1 in 6 (16.6%) cannot be avoided:</p> <ul style="list-style-type: none"> (a) development follows the natural; contours of the site; (b) buildings are split level or suspended floor construction, or a combination of the two; (c) lightweight materials are used to areas with suspended floors. 	<p>Complies. As indicated on the proposed plans both the Dwelling House and the Domestic Outbuilding (shed) are one (1) storey structures. The Dwelling House has an overall height of 4.316 metres measured to the uppermost projection of the roofline whilst the shed has an overall height of 2.58 metres measured to the uppermost projection of the roofline. Accordingly, it is submitted that the development is fully compliant with AO1.1 and AO1.2 in this instance. Refer to Appendix 3 Proposed Plans.</p> <p>Complies.</p> <p>Not applicable.</p> <p>Not applicable.</p>



<p>infrastructure; (g) extractive industry operations are avoided.</p> <p>Note - A visual impact assessment is undertaken in accordance with Planning scheme policy SC6.6 – Landscape values in order to satisfy performance outcomes.</p>	<p>Note - Examples of suitable lightweight materials include timber or fibre cement boards or sheeting for walls and factory treated metal sheeting for walls and roofs.</p> <p>AO1.5 The external features, walls and roofs of buildings and structures have a subdued and non-reflective palette.</p> <p>Note - Examples of suitable colours include shades of green, olive green, blue green, grey green, green blue, indigo, brown, blue grey, and green yellow.</p> <p>AO1.6 No clearing of native vegetation occurs on land with a slope greater than 1 in 6 (16.5%).</p> <p>AO1.7 Where for accommodation activities or reconfiguration of a lot in a High landscape value area, development demonstrates that the height, design, scale, positioning on-site, proposed construction materials and external finishes are compatible with the landscape values.</p> <p>Note - A visual impact assessment undertaken in accordance with Planning scheme policy SC6.6 – Landscape values may be required.</p> <p>AO1.8 Advertising devices do not occur.</p>	<p>Complies or can be Conditioned to Comply.</p> <p>Complies.</p> <p>Not applicable.</p> <p>Complies.</p>
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8.2.7 Natural areas overlay code

8.2.7.1 Application

- (1) This code applies to assessing a material change of use, reconfiguring a lot, operational work or building work within the Natural areas overlay, if:
 - (a) self-assessable or assessable development where the code is identified as being applicable in the Assessment criteria for the Overlay Codes contained in the Levels of Assessment Tables in section 5.6;
 - (b) impact assessable development.
- (2) Land in the Natural areas overlay is identified on the Natural areas overlay map in Schedule 2 and includes the following sub-categories:
 - (a) MSES – Protected area;
 - (b) MSES – Marine park;
 - (c) MSES – Wildlife habitat;
 - (d) MSES – Regulated vegetation;
 - (e) MSES – Regulated vegetation (intersecting a Watercourse);
 - (f) MSES – High ecological significance wetlands;
 - (g) MSES – High ecological value waters (wetlands);
 - (h) MSES – High ecological value waters (watercourse);
 - (i) MSES – Legally secured off set area.

Note – MSES = Matters of State Environmental Significance.

- (3) When using this code, reference should be made to Part 5.

8.2.7.2 Purpose

- (1) The purpose of the Natural areas overlay code is to:
 - (a) implement the policy direction in the Strategic Framework, in particular:
 - (i) Theme 2: Environment and landscape values, Element 3.5.3 Biodiversity, Element 3.5.4 Coastal zones;
 - (ii) Theme 3: Natural resource management Element 3.6.2 Land and catchment management, Element 3.6.3 Primary production, forestry and fisheries.
 - (b) enable an assessment of whether development is suitable on land within the Biodiversity area overlay sub-categories.

- (2) The purpose of the code will be achieved through the following overall outcomes:
- (a) development is avoided within:
 - (i) areas containing matters of state environmental significance (MSES);
 - (ii) other natural areas;
 - (iii) wetlands and wetland buffers;
 - (iv) waterways and waterway corridors.
 - (b) where development cannot be avoided, development:
 - (i) protects and enhances areas containing matters of state environmental significance;
 - (ii) provides appropriate buffers;
 - (iii) protects the known populations and supporting habitat of rare and threatened flora and fauna species, as listed in the relevant State and Commonwealth legislation;
 - (iv) ensures that adverse direct or indirect impacts on areas of environmental significance are minimised through design, siting, operation, management and mitigation measures;
 - (v) does not cause adverse impacts on the integrity and quality of water in upstream or downstream catchments, including the Great Barrier Reef World Heritage Area;
 - (vi) protects and maintains ecological and hydrological functions of wetlands, waterways and waterway corridors;
 - (vii) enhances connectivity across barriers for aquatic species and habitats;
 - (viii) rehabilitates degraded areas to provide improved habitat condition, connectivity, function and extent;
 - (ix) protects areas of environmental significance from weeds, pests and invasive species.
 - (c) strategic rehabilitation is directed to areas on or off site, where it is possible to achieve expanded habitats and increased connectivity.

Criteria for assessment**Table 8.2.7.3.a - Natural areas overlay code – assessable development**

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable and assessable development		
Protection of matters of environmental significance		
PO1 Development protects matters of environmental significance.	AO1.1 Development avoids significant impact on the relevant environmental values. or AO1.2 A report is prepared by an appropriately qualified person demonstrating to the satisfaction of the assessment manager, that the development site does not contain any matters of state and local environmental significance. or AO1.3 Development is located, designed and operated to mitigate significant impacts on environmental values. For example, a report certified by an appropriately qualified person demonstrating to the satisfaction of the assessment manager, how the proposed development mitigates impacts, including on water quality, hydrology and biological processes.	Complies. Specifically the portion of the site where the Dwelling House and Domestic Outbuilding have been sited is void of any vegetation or environmental values.



Performance outcomes	Acceptable outcomes	Applicant response
Management of impacts on matters of environmental significance		
PO2 Development is located, designed and constructed to avoid significant impacts on matters of environmental significance.	AO2 The design and layout of development minimises adverse impacts on ecologically important areas by: <ul style="list-style-type: none"> (a) focusing development in cleared areas to protect existing habitat; (b) utilising design to consolidate density and preserve existing habitat and native vegetation; (c) aligning new property boundaries to maintain ecologically important areas; (d) ensuring that alterations to natural landforms, hydrology and drainage patterns on the development site do not negatively affect ecologically important areas; (e) ensuring that significant fauna habitats are protected in their environmental context; and (f) incorporating measures that allow for the safe movement of fauna through the site. 	Complies. Specifically the portion of the site where the Dwelling House and Domestic Outbuilding have been sited is void of any vegetation or environmental values.
PO3 An adequate buffer to areas of state environmental significance is provided and maintained.	AO3.1 A buffer for an area of state environmental significance (Wetland protection area) has a minimum width of: <ul style="list-style-type: none"> (a) 100 metres where the area is located outside Urban areas; or (b) 50 metres where the area is located within a Urban areas. <p>or</p> AO3.2 A buffer for an area of state environmental significance is applied and maintained, the width of which is supported by an evaluation of environmental values, including the function and threats to matters of environmental significance.	Not applicable.



Performance outcomes	Acceptable outcomes	Applicant response
P04 Wetland and wetland buffer areas are maintained, protected and restored. Note – Wetland buffer areas are identified in AO3.1.	AO4.1 Native vegetation within wetlands and wetland buffer areas is retained. AO4.2 Degraded sections of wetlands and wetland buffer areas are revegetated with endemic native plants in patterns and densities which emulate the relevant regional ecosystem.	
P05 Development avoids the introduction of non-native pest species (plant or animal), that pose a risk to ecological integrity.	AO5.1 Development avoids the introduction of non-native pest species. AO5.2 The threat of existing pest species is controlled by adopting pest management practices for long-term ecological integrity.	Complies.
Ecological connectivity		
P06 Development protects and enhances ecological connectivity and/or habitat extent.	AO6.1 Development retains native vegetation in areas large enough to maintain ecological values, functions and processes. and AO6.2 Development within an ecological corridor rehabilitates native vegetation. and AO6.3 Development within a conservation corridor mitigates adverse impacts on native fauna, feeding, nesting, breeding and roosting sites and native fauna movements.	Not applicable.



Performance outcomes	Acceptable outcomes	Applicant response
PO7 Development minimises disturbance to matters of state environmental significance (including existing ecological corridors).	A07.1 Development avoids shading of vegetation by setting back buildings by a distance equivalent to the height of the native vegetation. and A07.2 Development does not encroach within 10 metres of existing riparian vegetation and watercourses.	Complies.
Waterways in an urban area		
PO8 Development is set back from waterways to protect and maintain: <ul style="list-style-type: none"> (a) water quality; (b) hydrological functions; (c) ecological processes; (d) biodiversity values; (e) riparian and in-stream habitat values and connectivity; (f) in-stream migration 	A08.1 Where a waterway is contained within an easement or a reserve required for that purpose, development does not occur within the easement or reserve; or A08.2 Development does not occur on the part of the site affected by the waterway corridor. Note – Waterway corridors are identified within Table 8.2.7.3.b.	Not applicable.
Waterways in a non-urban area		
PO9 Development is set back from waterways to protect and maintain: <ul style="list-style-type: none"> (a) water quality; (b) hydrological functions; (c) ecological processes; (d) biodiversity values; (e) riparian and in-stream habitat values and connectivity; (f) in-stream migration. 	A09 Development does not occur on that part of the site affected by a waterway corridor. Note – Waterway corridors are identified within Table 8.2.7.3.b.	Complies.

Table 8.2.7.3.b — Widths of waterway corridors for waterways

Waterways classification	Waterway corridor width
Waterways in Urban areas	10 metres measured perpendicular from the top of the high bank.
Waterways in Other areas	For a dwelling house, 10 metres measured perpendicular from the top of the high bank. For all other development, 20 metres measured perpendicular from the top of the high bank.

Appendix 3

PROPOSED PLANS:

Survey Plan prepared by RPS

Dwelling House Plans prepared by Prestige Kit Homes

Domestic Outbuilding Plans and Form 15 prepared by Versatile Buildings

www.gmacert.com.au

BUILDING APPROVALS & INSPECTIONS

BUILDING CERTIFICATION

ENERGY EFFICIENCY ASSESSMENTS

TOWN PLANNING

Gold Coast

Caboolture

Townsville

Cairns

Port Douglas

Childers

Kingscliff



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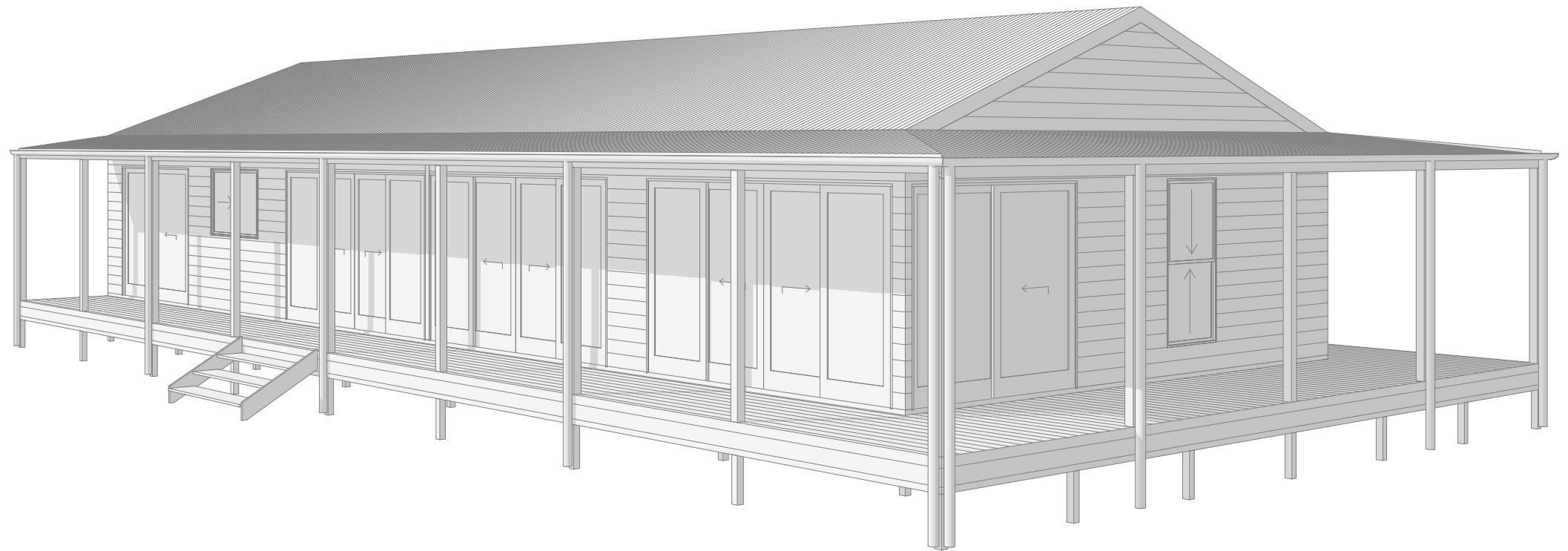


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PRESTIGE KIT HOMES

Homes Built On Trust



PROPOSED DWELLING

PROJECT CLIENT

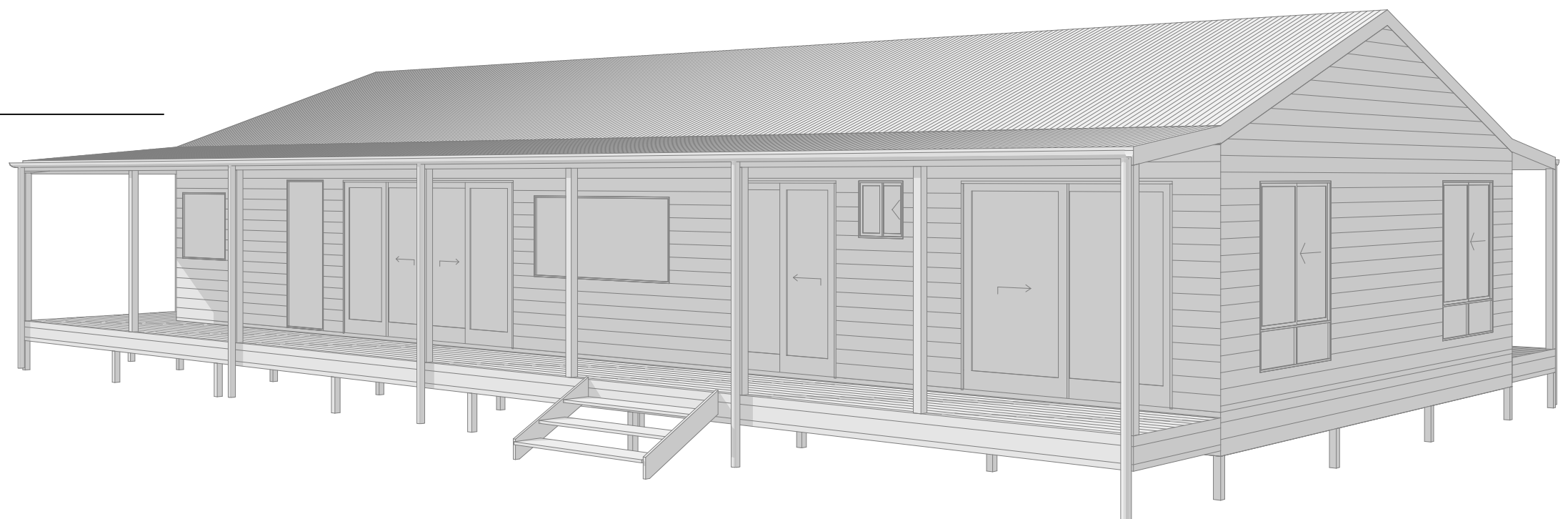
SANDRA & DAVID LAINO

PROJECT ADDRESS

132 GEORGE ROAD FOREST CREEK QLD 4873

JOB NUMBER

65941



SITE DETAILS

ADDRESS: 132 GEORGE ROAD FOREST CREEK QLD 4873
LOT AND PLAN NUMBER: L56 RP735857
LOCAL COUNCIL DOUGLAS SHIRE COUNCIL
SITE AREA: 2.01 Ha

NOTES

THE SITE INFORMATION SHOWN HAS BEEN SUPPLIED BY THE CLIENT AND PREPARED FROM THIS INFORMATION. ANY DISCREPANCIES IN DIMENSIONING SHOULD BE REFERRED TO THE CLIENT FOR VERIFICATION AND SUBSEQUENT AMENDMENTS. DO NOT SCALE DRAWINGS.

DIMENSIONS

ALL DIMENSIONS AND LEVELS SHALL BE VERIFIED BY THE CONTRACTOR BEFORE WORK IS COMMENCED. ALL THESE DRAWINGS SHALL NOT BE SCALED. ALL DIMENSIONS ARE IN MM UNLESS STATED OTHERWISE.

SERVICES


WHILE ALL BEST EFFORTS ARE MADE TO LOCATE THE SERVICES ON SITE THE OWNER/CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISITING AND NEW SERVICES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE SAME.

STORMWATER

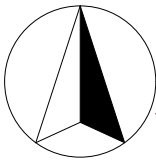
ALL STORMWATER AND DRAINAGE TO BE IN ACCORDANCE WITH NCC PART 3.1.3 DRAINAGE AND AS/NZS 3500.3:2021 STORMWATER AND DRAINAGE.

CONTOURS

CONTOUR INTERVAL: 0.2m

 CREEK BANK O/S 10m STAKE

N




SITE PLAN

Scale 1:1000



****PRELIMINARY ONLY****

THESE PLANS ARE NOT FOR CONSTRUCTION

	5/9 LACY COURT, CARRARA, QLD, 4211 1300 653 442 www.prestigekithomes.com.au ABN 29 167 470 166	THESE DESIGNS REMAIN THE PROPERTY OF PRESTIGE KIT HOMES AND SHALL NOT BE REPRODUCED IN PART OR FULL WITHOUT THE WRITTEN PERMISSION OF PRESTIGE KIT HOMES.	CLIENT SANDRA & DAVID LAINO	PROJECT ADDRESS 132 GEORGE ROAD FOREST CREEK QLD 4873	TITLE SITE PLAN	DRAWING NO.	JOB NO.	65941
						02 OF 6	DATE	16/02/2023
						DRAWING ISSUE	DRAWN BY	JPA
						13	SHEET SIZE	A3

SITE DETAILS

ADDRESS: 132 GEORGE ROAD FOREST CREEK QLD 4873
LOT AND PLAN NUMBER: L56 RP735857
LOCAL COUNCIL DOUGLAS SHIRE COUNCIL
SITE AREA: 2.01 Ha

NOTES

THE SITE INFORMATION SHOWN HAS BEEN SUPPLIED BY THE CLIENT AND PREPARED FROM THIS INFORMATION. ANY DISCREPANCIES IN DIMENSIONING SHOULD BE REFERRED TO THE CLIENT FOR VERIFICATION AND SUBSEQUENT AMENDMENTS. DO NOT SCALE DRAWINGS.

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STORMWATER

ALL STORMWATER AND DRAINAGE TO BE IN ACCORDANCE WITH NCC PART 3.1.3 DRAINAGE AND AS/NZS 3500.3:2021 STORMWATER AND DRAINAGE.

CONTOURS

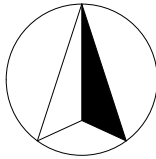
CONTOUR INTERVAL: 0.2m



TREE DETAILS

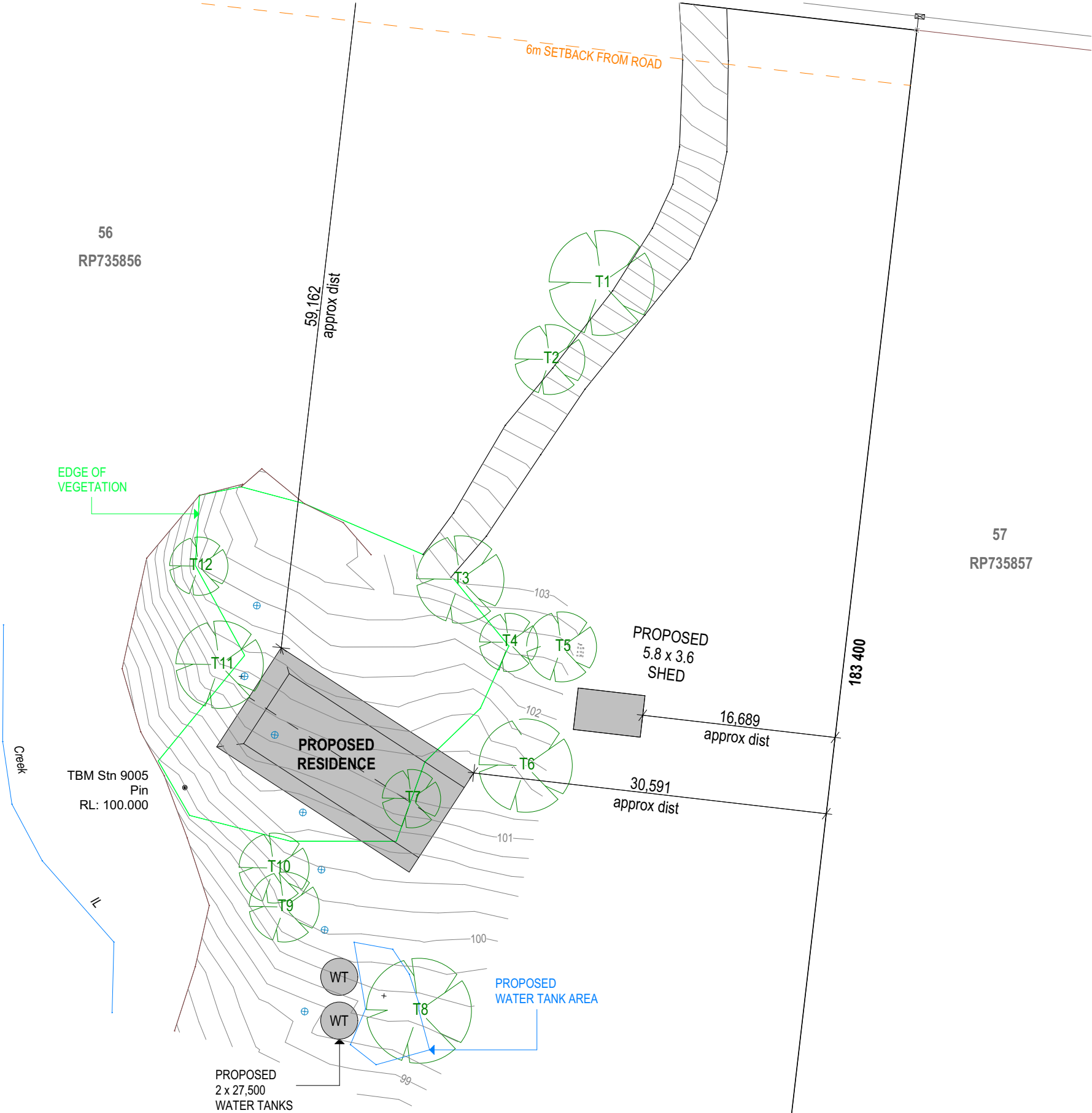
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T2	D:0.6 S:12.0 H:20.0
T3	D:0.5 S:15.0 H:25.0
T4	D:0.5 S:10.0 H:28.0
T5	D:0.75 S:12.0 H:28.0
T6	D:0.9 S:16.0 H:28.0
T7	D:0.4 S:10.0 H:20.0
T8	D:0.08 S:18.0 H:28.0
T9	D:0.5 S:12.0 H:25.0
T10	D:0.5 S:12.0 H:25.0
T11	D:0.8 S:15.0 H:28.0
T12	D:0.4 S:10.0 H:20.0

N



SITE PLAN DETAILED

Scale 1:400



****PRELIMINARY ONLY****

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www.prestigekithomes.com.au
ABN 29 167 470 166

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CLIENT

SANDRA & DAVID
LAINO

PROJECT ADDRESS

132 GEORGE ROAD FOREST
CREEK QLD 4873

TITLE

DETAILED SITE PLAN

DRAWING NO.

03 OF 6

DRAWING ISSUE

13

JOB NO.

DATE

DRAWN BY

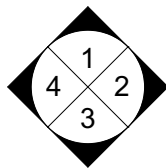
SHEET SIZE

65941

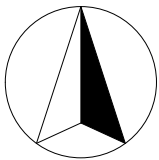
16/02/2023

JPA

A3



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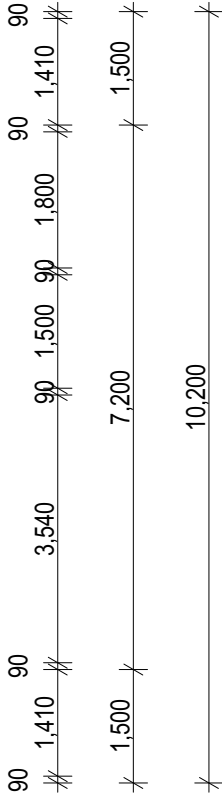
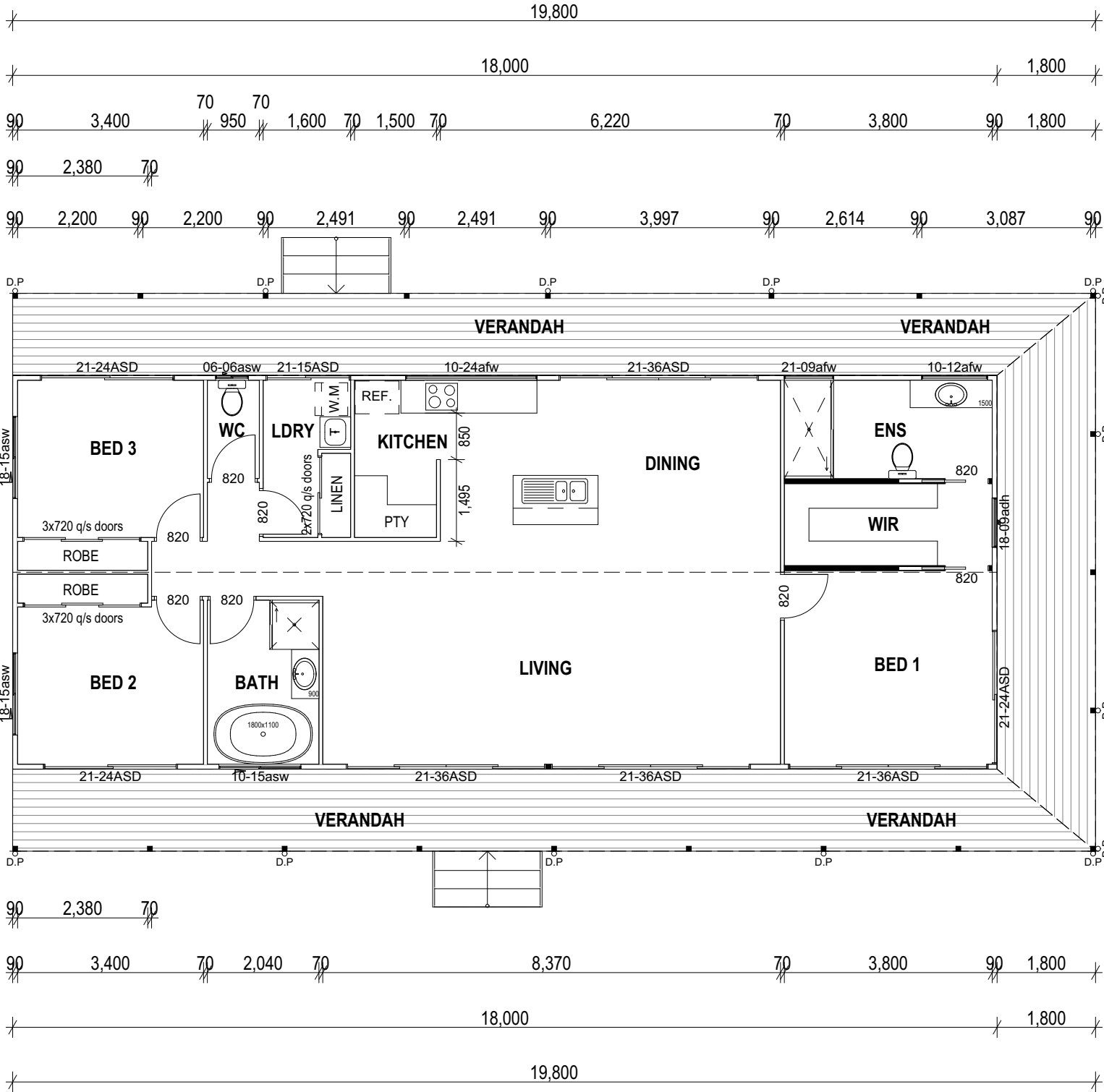


GROUND FLOOR

Scale 1:100

DOWNPIPE LOCATIONS ARE NOMINAL ONLY AND
ARE TO BE CONFIRMED ON SITE PRIOR TO
CONSTRUCTION.

WINDOW SIZES ARE SHOWN AS HEIGHT x WIDTH

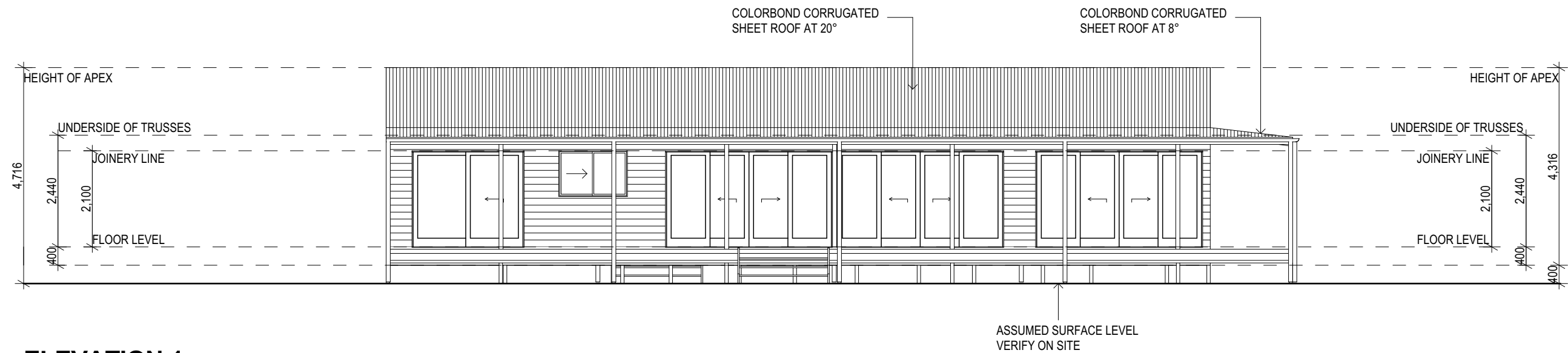


FLOOR AREAS	AREA (m²)
LIVING AREA:	129.600 Sq.m
VERANDAH:	72.360 Sq.m
TOTAL:	201.960 Sq.m

****PRELIMINARY ONLY****

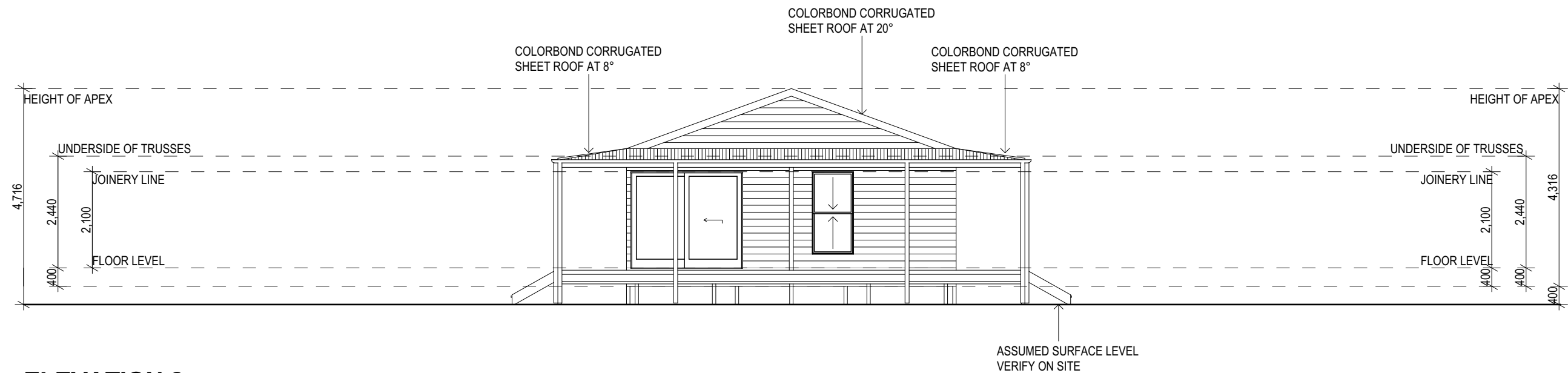
THESE PLANS ARE NOT FOR CONSTRUCTION

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						04 OF 6	DATE	16/02/2023
						DRAWING ISSUE 13	DRAWN BY JPA	SHEET SIZE A3



ELEVATION 1

Scale 1:100




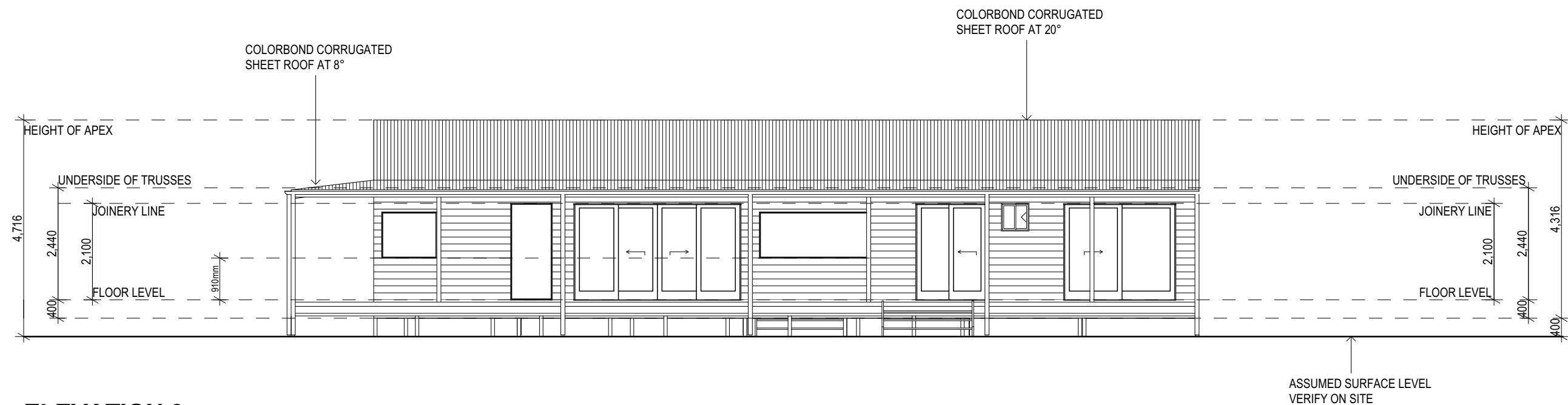
ELEVATION 2

Scale 1:100

****PRELIMINARY ONLY****

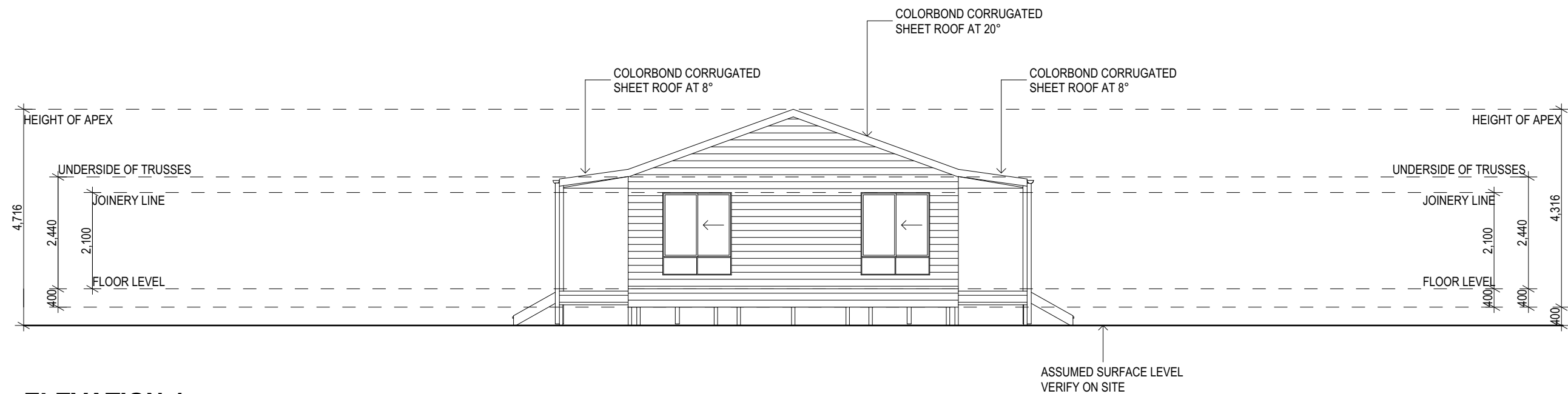
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						05 OF 6	DATE	16/02/2023
						DRAWING ISSUE	DRAWN BY	JPA
						13	SHEET SIZE	A3



ELEVATION 3

Scale 1:100




ELEVATION 4

Scale 1:100

****PRELIMINARY ONLY****

THESE PLANS ARE NOT FOR CONSTRUCTION

 PRESTIGE KIT HOMES Homes Built On Trust	5/9 LACY COURT, CARRARA, QLD, 4211 1300 653 442 www.prestigekithomes.com.au ABN 29 167 470 166	THESE DESIGNS REMAIN THE PROPERTY OF PRESTIGE KIT HOMES AND SHALL NOT BE REPRODUCED IN PART OR FULL WITHOUT THE WRITTEN PERMISSION OF PRESTIGE KIT HOMES.	CLIENT SANDRA & DAVID LAINO	PROJECT ADDRESS 132 GEORGE ROAD FOREST CREEK QLD 4873	TITLE ELEVATIONS 3 & 4	DRAWING NO.	JOB NO.	65941
						06 OF 6	DATE	16/02/2023
						DRAWING ISSUE	DRAWN BY	JPA
						13	SHEET SIZE	A3

GENERAL

1. All work shall conform to the Australian and New Zealand building codes and relevant standards.
2. Check diagonals to ensure building is square.
3. Drawing shall not be scaled for any fabrication or erection details.

LOADINGS

1. Roof live load = 0.25kPa in accordance with AS1170.1:2002. Non trafficable roof walk on pans & purlins locations only or use planks.
2. Wind load in accordance with AS/NZ 1170.2:2002. Wind classification in accordance with AS4055:2006. Building is designed for the following equivalent wind loads:
3. Region A,W,B - N1, N2 & N3. Region C - C1 & C2.
Structure has not been designed to carry occasional loading as stipulated in 3.8.3 of AS1170.1:2002

FOUNDATIONS

1. Support ground shall have a safe bearing capacity of at least 100kPa.
2. Footings are to be set in natural ground. In the case of fill, footings are to be designed by an engineer
3. At filled sites the depth to be measured below fill level.
4. For H,E & P soil classifications refer to a registered engineer. Piers for firm or soft clays or loose sand to be designed by an engineer.

CONCRETE

1. Remove vegetation & loose material from the site of the building, back fill with compacted hard fill if required & lay a 50mm binding of bedding sand to the underside of the concrete slab. Ensure the surface of the slab will be at least 100mm above the highest level of cleared ground around the slab.
2. Provide a 0.2mm polythene damp proof & slip layer under the slab taped with 200mm laps. This is optional but recommended.
3. Concrete shall have a maximum aggregate size of 20mm, maximum slump of 80mm & a minimum compressive strength of 25MPa at 28 days.
4. The concrete slab shall be 100mm thick with local thickening at bolt down locations as per details. Provide a continuous thickening of an additional 50mm around the perimeter of the slab. Increase this thickening if the Local council requires the slab to have a higher step from the ground. This thickening is to be a minimum of 100mm wide. Increase the slab thickness to 125mm & mesh to F82 when the shed is to be used for heavy load equipment or storage.
5. Slab to have F72 mesh with 225 laps & 30mm top cover.
6. Fix garage frames to concrete with M10 screwbolts screwed into drilled hole embedded to 100mm.

STEELWORK

1. All structural members to be C80x40x0.75bmtG550 cold rolled channel or B80x40 as noted.
2. Ridge beams/ purlin/ eave purlin to be 80x40x0.75bmtG550 cold rolled channel.
3. Boxed channels shall be flanged fixed at 600mm centres.
4. Screws to be #10x16mm long tek screws class 3, fixed at a minimum edge distance of 6mm & a minimum pitch of 12mm. Brackets to be minimum G450 galvanized to Z200.
5. All purlins to be fixed with 3 screws top & bottom U.N.O.
6. All bracing strap to be 27x0.75 G550 with no holes/perforations.

CLADDING

1. Cladding to be minimum 0.35bmt G550 grade steel coated to AZ150 & rolled to profile as per manufacturers specifications.
2. Wall sheeting to be fixed with #10x16 tek screws to sheet pans as per manufacturers specifications.
3. Roof sheeting to be fixed at centre of each pan with M6.2-14 x 25 Tek's and 25mm DIA. bonded cyclone washers into all purlins.
4. All roof fixings to have neoprene washers between sheeting and screw.
5. Ridges, barges & all wall penetrations to be flashed with 0.35bmt AZ150 steel as per manufacturers specifications.
6. Guttering to be sealed with neutral silicone & fixed with pop rivets and be water tight. Fit down pipes to guttering to discharge to an approved stormwater drainage system. Guttering & down pipes to be fixed to sheeting with tek screws or rivets.
7. Tilt & roller doors as per manufacturers design & specifications.

CERTIFICATE OF COMPLIANCE - DESIGN

Work certified: Workshop Series WS3050

Drawings certified: Knight Consulting drawings WS3050.01-03, WS3150.01-04, WS3250.01-04

I hereby certify that the steel structures in the drawings above have been modelled and analysed using a three dimensional space frame analysis program, and if constructed in accordance with the drawings listed above, shall be capable of sustaining the most adverse combinations of loads to which it will be subjected, as per the requirements of the Standard Building Regulations, BCA and other relevant Australian Standards. The assumptions and design criteria used in the analysis are as follows:

1. Standards used:

AS 1170.0 Structural Design Actions - General Principles
AS 1170.2 Structural Design Actions - Wind Actions
AS 4600 Cold-formed Steel Structures
AISC Design of Cold-Formed Steel Structures 3rd Edition
BCA

2. Wind design:

Region C
Importance Level 2.0 Annual probability of exceedance 1/500
Category 3
No Shielding
Topographic Multiplier: Mt = 1.0

C2

Mzcat = 0.8
V500 = 66 m/s
Vdes = 51.2 m/s

3. Roof Live Loads:

0.25kPa, (Non Trafficable Roof)

4. Soil test Reference:

Soil Report to be carried out for each site at owners expense.
Footing Design adequate for A & S Class Soils.
For M Class Soils:
Depths of all Footings & Edge Beams to be increased by 100mm.
Minimum Design Pressure: 100 kPa
Footings to be founded in natural stiff material, consult further engineering advise for design on fill or reactive ground.

5. Durability:

Durability and protection of materials used as per manufacturers requirements.

Peter Knight B.E.(Hons)

R.P.E.Q. 2314

for and on behalf of Knight Consulting Engineers Pty Ltd

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FAX: 07 3803 2320

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ENGINEERS PTY. LTD.
A.C.N. 144 624 199
Structural Design, Precast Concrete,
Design & Management

102 Annerley Road, South Brisbane Q 4101

Approved By:

Wind Classification: C2 (W50C)

Date: 13/12/2010

Scale: N/A

Project
WORKSHOP SERIES WS3050

Drawing title: STANDARD NOTES

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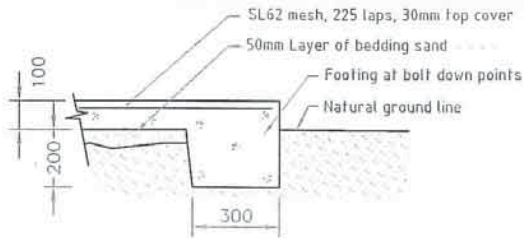
Drawing number
WS3050.01

Revision
B

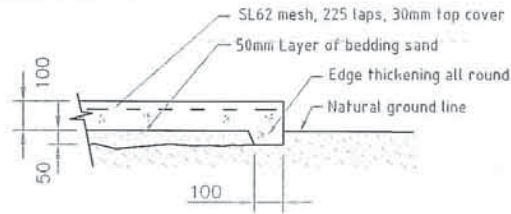
Sheet
1 of 3

B	Engineer Updated	Dec 2010	PK
A	Engineer Approved	Dec 2007	PK
Rev	Revision note	Date	Checked

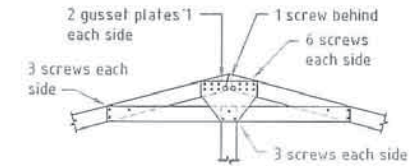
CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING • ALL DIMENSIONS IN MM UNLESS STATED



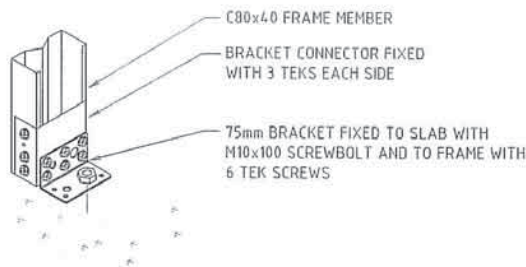
FOOTING DETAIL



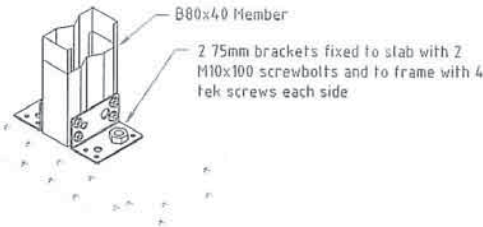
EDGE DETAIL



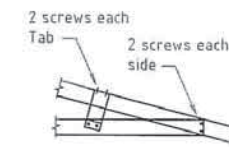
DETAIL A



HOLD DOWN DETAIL 1
C80x40 AT SLAB CORNER



HOLD DOWN DETAIL 2
B80x40 at slab side



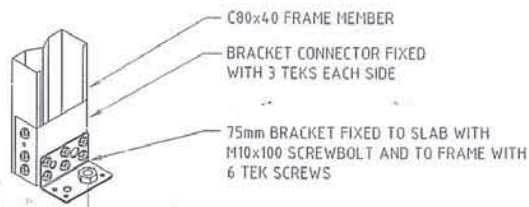
DETAIL 6



DETAIL 7



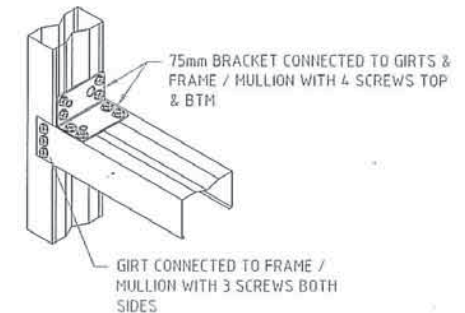
HOLD DOWN DETAIL 3
B80x40 at slab side



HOLD DOWN DETAIL 4
C80x40 AT FRONT DOOR MULLION



HOLD DOWN DETAIL 5
C80x40 at slab side



DETAIL 8
FOR ALL GIRTS > 1300 LONG

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WORKSHOP SERIES WS3050

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Date: 13/12/2010

Scale:
AS SHOWN

Drawing title: **JOINTS AND FOOTINGS**

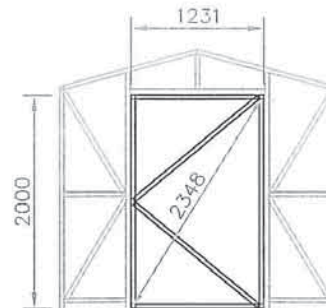
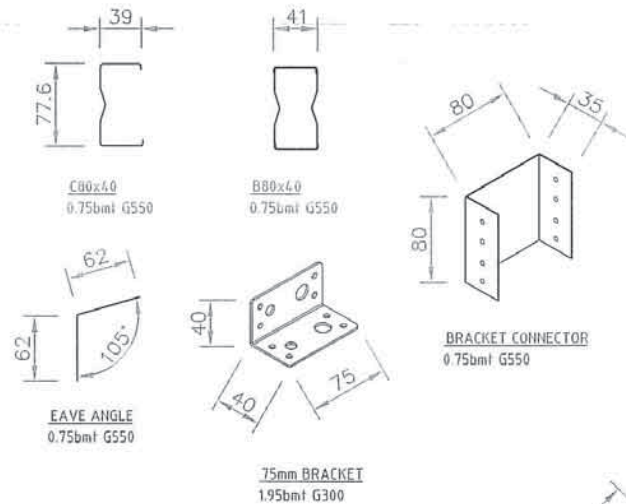
Drawing number
WS3050.02

Revision
B

Sheet
2 of 3

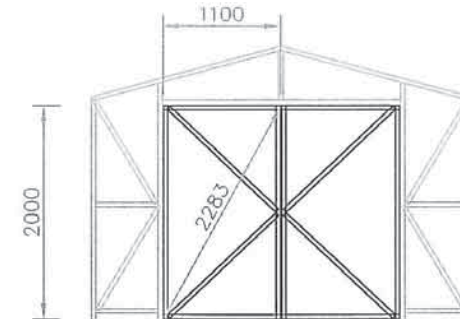
DRAWING SCHEDULE

Shed Names	Span	Length	Height	Door Location	Door Type	Wind Class	Drawings
260 Series Workshop	2.6	3.4 - 5.4	2.10	Gable	1.2 wide Hinge	C2	WS3050.01-3, WS3150.01-04
360 Series Workshop	3.6	3.4 - 5.4	2.10	Gable	2.2 wide Hinge	C2	WS3050.01-3, WS3250.01-04



HINGED DOORS - 260 SERIES

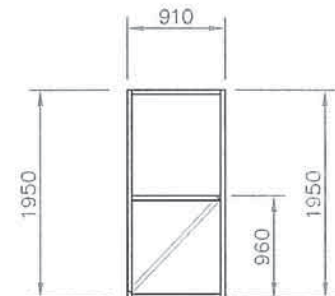
ALL MEMBERS C80x40



HINGED DOORS - 360 SERIES

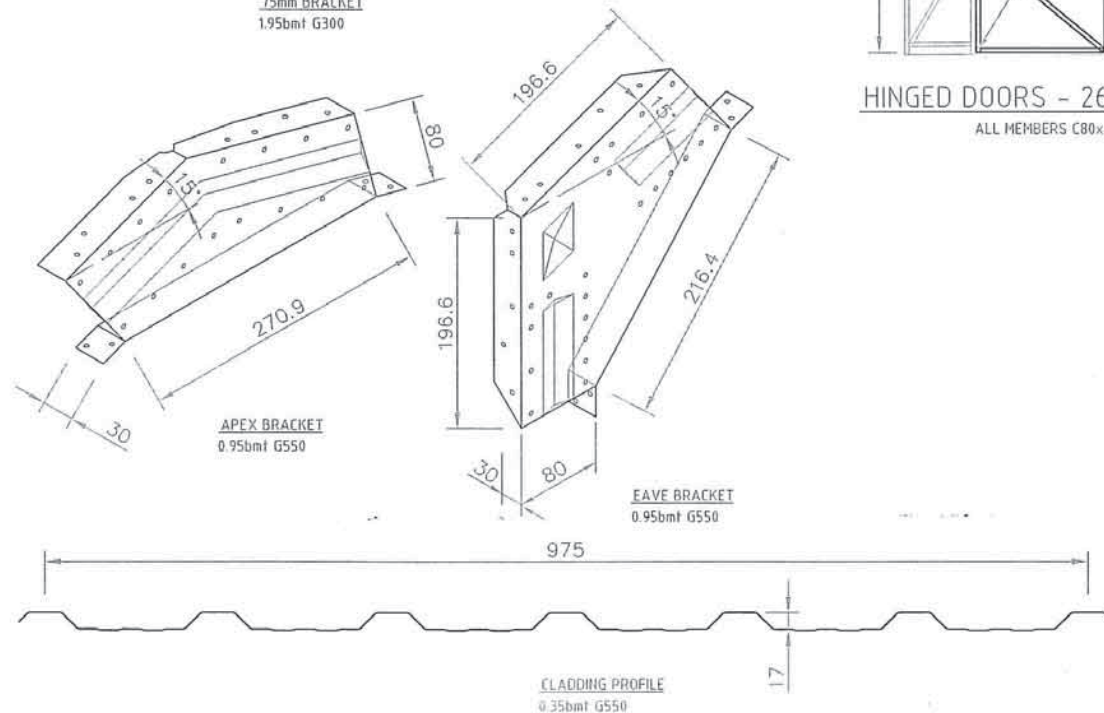
ALL MEMBERS C80x40

NOTE:
DOOR FRAMES SHOWN ARE FOR INFORMATION ONLY. DESIGN IS TO
MANUFACTURERS SPECIFICATIONS. CONFIRM WITH DOOR
MANUFACTURER AS TO FITTING, FIXING & CAPACITY DETAILS.



P/A DOOR

ALL MEMBERS C80x40 UNO

CLADDING PROFILE
0.35bmt G550

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Wind Classification: C2 (W50C)

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Scale:
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Drawing title: COMPONENT & DRAWING SCHEDULE

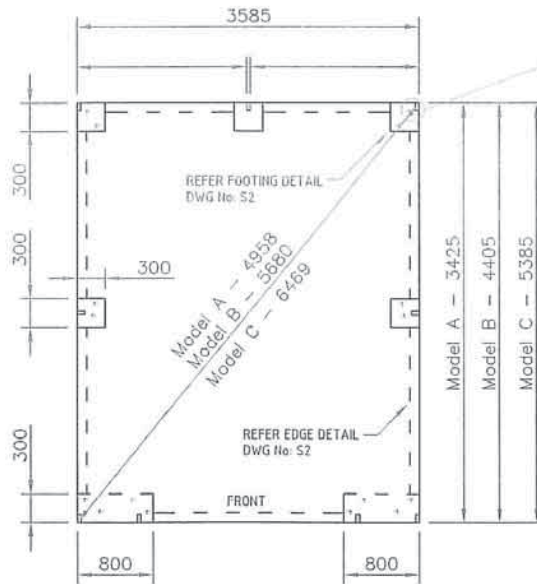
Drawing number
WS3050.03

Revision
B

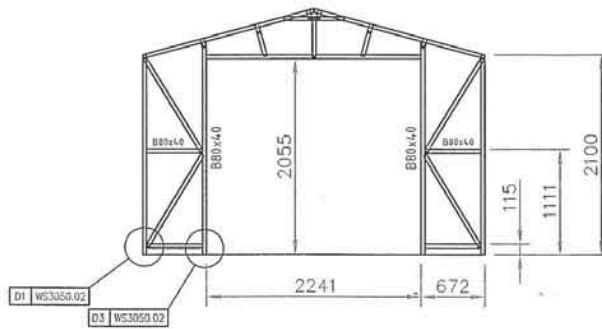
Sheet
3 of 3

Rev	Revision note	Date	Checked
A	Engineer Updated	Dec 2010	PK
A	Engineer Approved	Dec 2007	PK

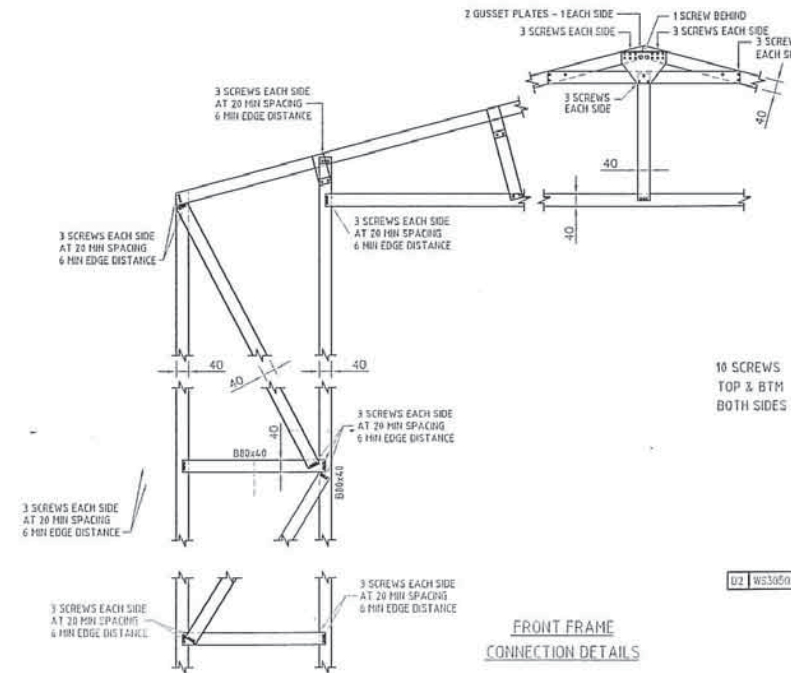
CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING • ALL DIMENSIONS IN MM UNLESS STATED



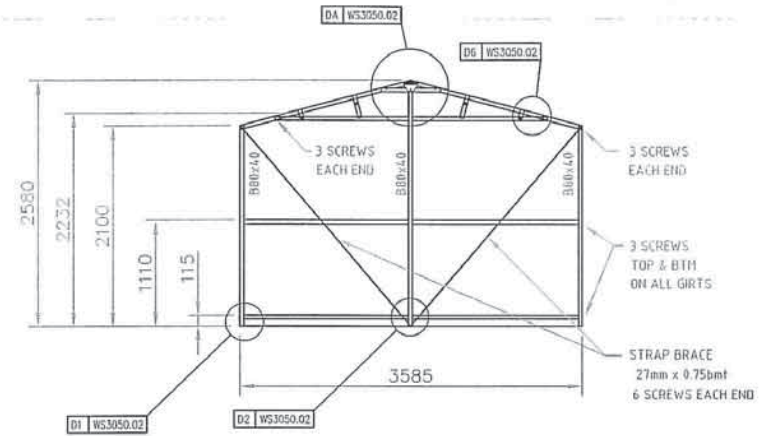
SLAB PLAN



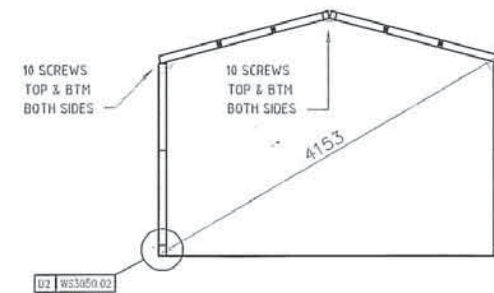
FRONT FRAME
ALL MEMBERS C80x40 UNO



FRONT FRAME
CONNECTION DETAILS



END FRAME
ALL MEMBERS C80x40 UNO



CENTRE FRAME
ALL MEMBERS B80x40

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Project
WORKSHOP SERIES WS3050

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Wind Classification: C2 (WS0C)

Date: 13/12/2010

Scale:
1:50, 1:10

Drawing Title: **FRONT FRAME DETAILS & SLAB PLAN**

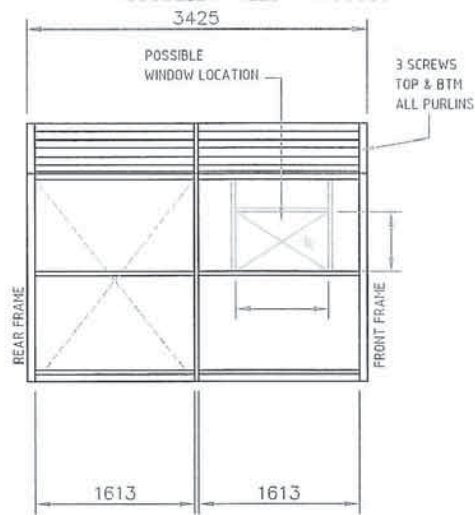
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WS3250.01

Revision
B

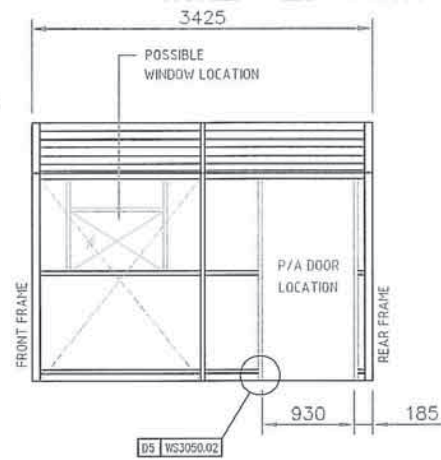
Sheet
1 of 4

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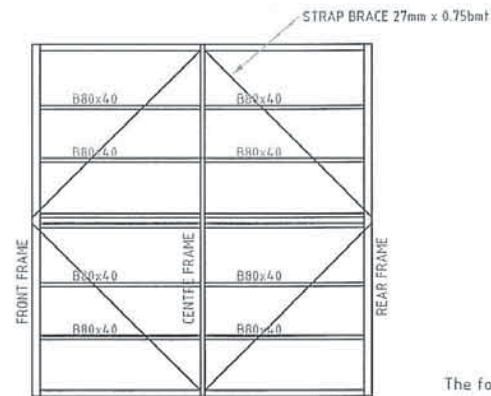
Rev	Revision note	Date	Checked
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LEFT SIDE

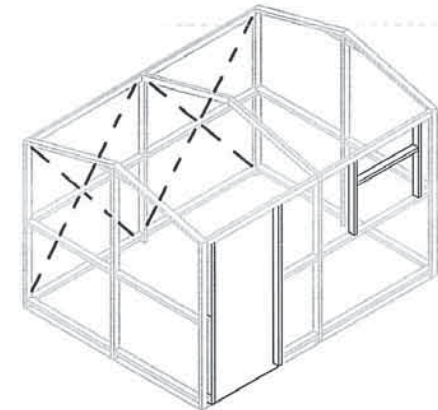


RIGHT SIDE



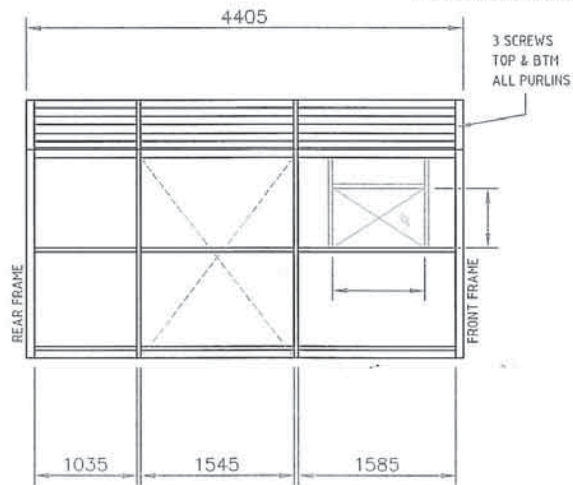
ROOF PLAN

×× NON TRAFFICABLE ROOF ××

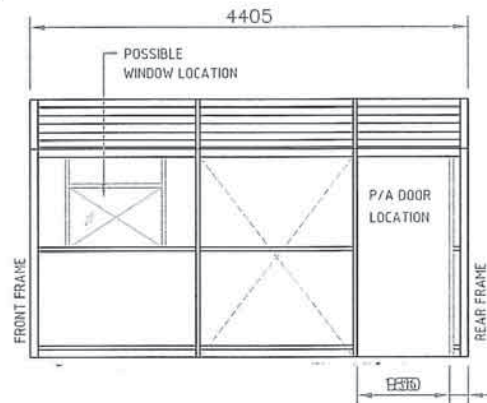


The following rule applies to Model A only
- Where P.a. Door and window to be in the same side wall, 2 Side wall braces to be added to the opposite side wall as shown. Gable and roof bracing as standard.

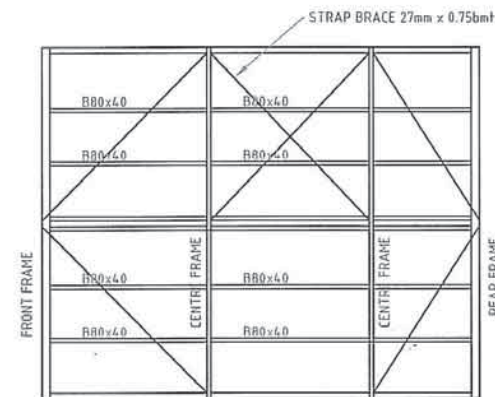
NOTE: ALL STRAP BRACING TO HAVE 6 SCREWS EACH END
ALL PURLINS C80x40 UNO



LEFT SIDE



RIGHT SIDE



ROOF PLAN

×× NON TRAFFICABLE ROOF ××

NOTE: ALL GIRTS C80x40 UNO

NOTE: ALL GIRTS C80x40 UNO

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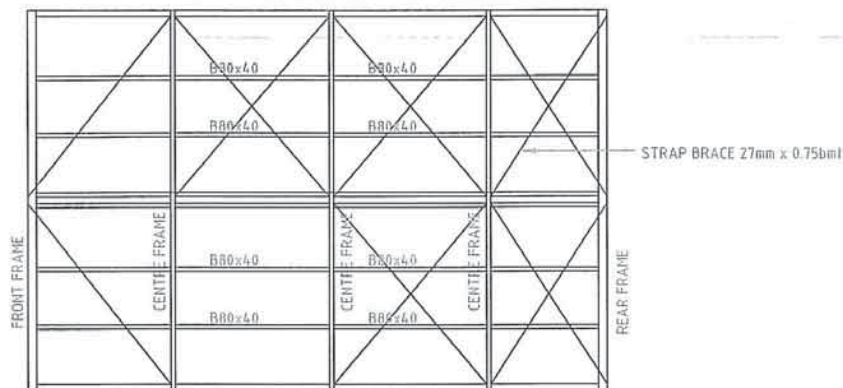
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Design & Management

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Approved By:

Project WORKSHOP SERIES WS3050	Wind Classification: C2 (WS0C)	Date: 13/12/2010	Scale: 1:50
Drawing title SIDE FRAME & ROOF PLAN DETAILS	Drawing number WS3250.02	Revision B	Sheet 2 of 4

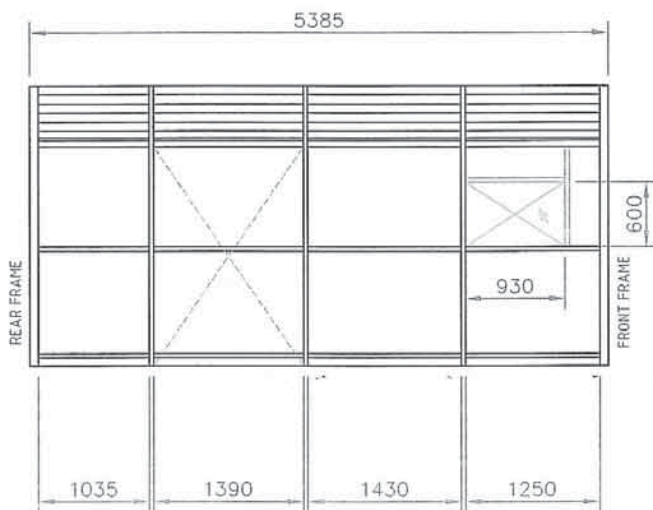
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ROOF PLAN

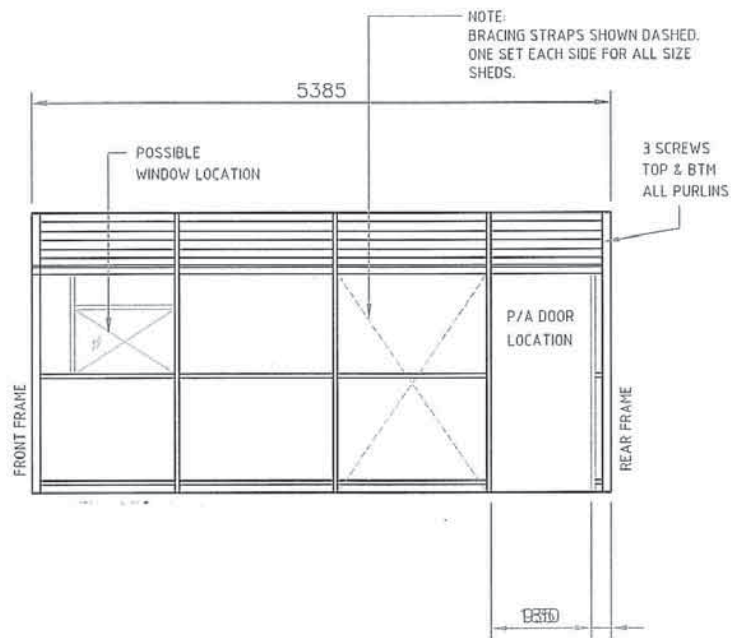
×× NON TRAFFICABLE ROOF ××

NOTE: ALL STRAP BRACING TO HAVE 6 SCREWS EACH END
ALL PURLINS C80x40 UNO



LEFT SIDE

NOTE: ALL GIRTS C80x40 UNO



RIGHT SIDE

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A	Engineer Approve	Dec 2007	PK

VERSATILE BUILDINGS 74 Platinum St. Crestmead Qld 4132		PH: 07 3827 8000 FAX: 07 3803 2320
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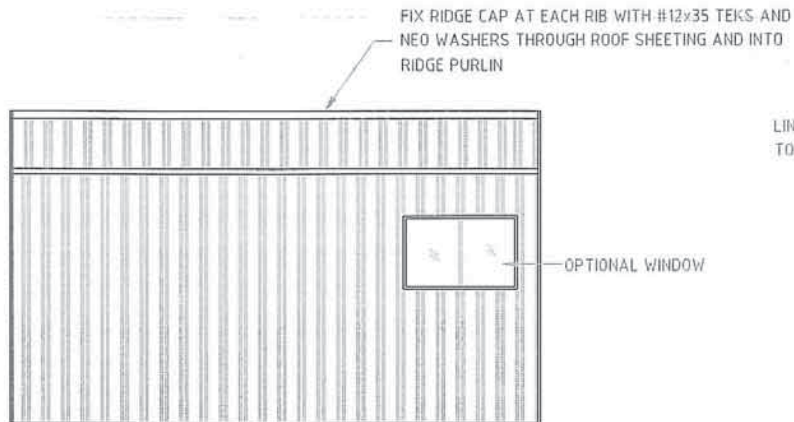
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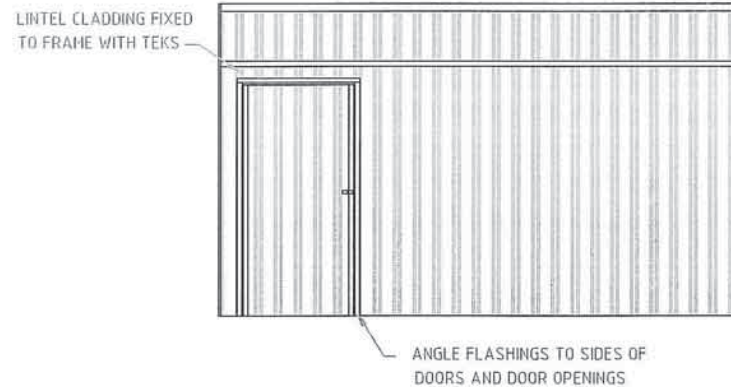
Approved By:

Project WORKSHOP SERIES WS3050	Wind Classification: C2 (W50C)	Date: 13/12/2010	Scale: 1:50
Drawing title: Roof, Side wall Framing plan			
Drawing number WS3250.03	Revision 8	Sheet 3 of 4	

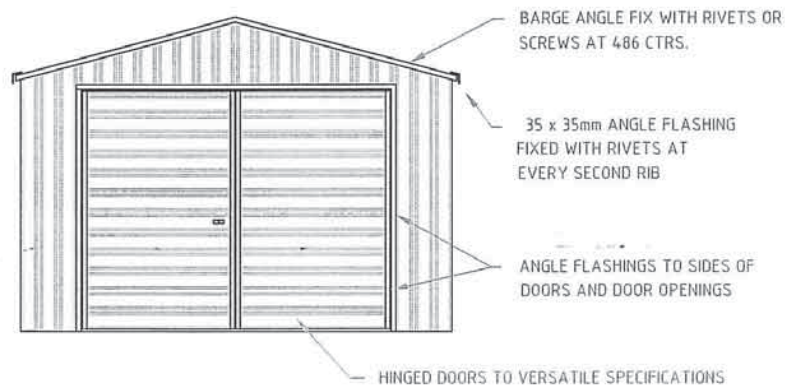
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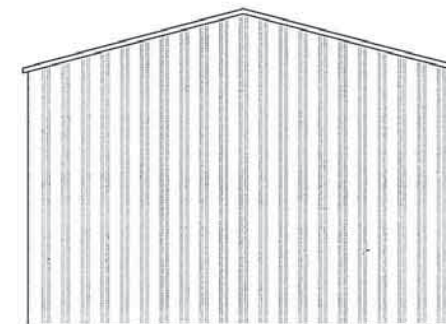
LEFT SIDE VIEW



RIGHT SIDE VIEW



FRONT VIEW



REAR VIEW

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Approved By:

	Wind Classification : C2 (W50C)	Date :13/12/2010	Scale : 1:50
Project WORKSHOP SERIES WS3050	Drawing title: SIDE FRAME AND END FRAME SHEETING		
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This form is to be used by an appointed competent person for the purposes of section 10 of the *Building Act 1975* and sections 73 and 77 of the *Building Regulation 2021* (Design-specification certificate) stating that an aspect of building work or specification will, if installed or carried out as stated in this form, comply with the building assessment provisions.

Additional explanatory information is included in the Appendix at the end of this form.

<p>1. Property description</p> <p>This section need only be completed if details of street address and property description are applicable.</p> <p>E.g. in the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.</p> <p>The description must identify all land the subject of the application.</p> <p>The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice.</p> <p>If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address <i>(include number, street, suburb/locality and postcode)</i></p> <p>.....</p> <p>..... State Postcode</p> <p>Lot and plan details <i>(attach list if necessary)</i></p> <p>.....</p> <p>Local government area the land is situated in</p> <p>.....</p>
<p>2. Description of aspect/s certified</p> <p>Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.</p>	<p>Structural design of Steel framing and concrete footings of a range of Workshop buildings (260 & 360 Series) fabricated by Spanbilt Australia and Constructed for C2 wind zones. Building spans of 2.6m to 3.6m and heights up to 2.1m</p>
<p>3. Basis of certification</p> <p>Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications were relied upon.</p>	<p>AS/NZS1170.0, AS/NZS1170.1, AS/NZS1170.2, AS3600, AS2870, AS4100, AS/NZS4600, AS3666.1</p>

4. Reference documentation Clearly identify any relevant documentation, e.g. numbered structural engineering plans.	Spanbilt standard drawing number 5002-WorkShop 260 Series: WS3050.01,.02&.03; WS3150.01,.02&.04 Spanbilt standard drawing number 5002-WorkShop 360 Series: WS3050.01,.02&.03; WS3250.01,.02&.03																
5. Building certifier reference number and building development application number	Building certifier reference number Building development application number (<i>if available</i>)																
6. Appointed competent person details Under Part 6 of the Building Regulation a person must be assessed as a competent for the type of work (design-specification) by the relevant building certifier.	<table border="0"> <tr> <td colspan="2">Name (<i>in full</i>) WIRTU L. BAYISSA</td> </tr> <tr> <td>Company name (<i>if applicable</i>) Steel Sheds Australia</td> <td>Contact person WIRTU L. BAYISSA</td> </tr> <tr> <td>Business phone number 07 3827 8028</td> <td>Mobile number</td> </tr> <tr> <td colspan="2">Email address wirtu.bayissa@steelshedsaustralia.com.au</td> </tr> <tr> <td colspan="2">Postal address 74 Platinum Street, Crestmead</td> </tr> <tr> <td colspan="2">..... State <u>QLD</u> Postcode <u>4132</u></td> </tr> <tr> <td colspan="2">Licence class or registration type (<i>if applicable</i>) <u>Structural</u></td> </tr> <tr> <td colspan="2">Licence or registration number (<i>if applicable</i>) RPEQ 16592</td> </tr> </table>	Name (<i>in full</i>) WIRTU L. BAYISSA		Company name (<i>if applicable</i>) Steel Sheds Australia	Contact person WIRTU L. BAYISSA	Business phone number 07 3827 8028	Mobile number	Email address wirtu.bayissa@steelshedsaustralia.com.au		Postal address 74 Platinum Street, Crestmead State <u>QLD</u> Postcode <u>4132</u>		Licence class or registration type (<i>if applicable</i>) <u>Structural</u>		Licence or registration number (<i>if applicable</i>) RPEQ 16592	
Name (<i>in full</i>) WIRTU L. BAYISSA																	
Company name (<i>if applicable</i>) Steel Sheds Australia	Contact person WIRTU L. BAYISSA																
Business phone number 07 3827 8028	Mobile number																
Email address wirtu.bayissa@steelshedsaustralia.com.au																	
Postal address 74 Platinum Street, Crestmead																	
..... State <u>QLD</u> Postcode <u>4132</u>																	
Licence class or registration type (<i>if applicable</i>) <u>Structural</u>																	
Licence or registration number (<i>if applicable</i>) RPEQ 16592																	
7. Signature of appointed competent person This certificate must be signed by the individual assessed and appointed by the building certifier as competent to give design-specification help.	<table border="0"> <tr> <td>Signature</td> <td>Date</td> </tr> <tr> <td>  </td> <td> <u>02 December 2021</u> </td> </tr> <tr> <td colspan="2">Valid until 31/12/2022</td> </tr> </table>	Signature	Date	 <u>02 December 2021</u>	Valid until 31/12/2022											
Signature	Date																
 <u>02 December 2021</u>																
Valid until 31/12/2022																	

LOCAL GOVERNMENT USE ONLY

Date received		Reference number/s	
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Appendix – explanatory information

IMPORTANT NOTE: it is an offence for a competent person to give a building certifier a document, including this form, that the person knows or reasonably suspects, is false or misleading.

Who can complete this certificate? (sections 10 of the *Building Act 1975* (Building Act) and 73 of Building Regulation 2021 (BR 2021))
A building certifier can accept from a competent person (design – specifications) a certificate stating that the competent person has assessed the building design or specification for the aspect of building work, and it will, if installed or carried out under the certificate, comply with the building assessment provisions, including any relevant standards and codes.

Schedule 10 of the BR 2021 defines *building design or specification* as any material, system, method of building or other thing related to the design of or specifications for building work.

For a competent person to meet the regulation requirements (section 77 of the BR 2021) they must substantially complete all sections of this form, including information, such as the design of a particular material, system, method of building or that a building element complies with the Building Code of Australia or a provision of the Queensland Development Code. It is also important that the details of the relevant reference documents are included, for example, the applicable Australian Standards or other technical provisions that may be applicable to the subject work.

What is the purpose of this form? (section 10 of the *Building Act 1975*)

The information in this form informs the building certifier's decision making when they are assessing a building development application and issuing the building development approval for the building work the subject of the certificate (form).

When is this form not required?

The assessment of some building applications will be entirely within the expertise of the relevant building certifier and therefore they may not seek the help of a competent person. In these instances, this form is not required.

Is a manufacturer or supplier required under the BR 2021 to complete and sign this Form 15, if requested?

No. A manufacturer or supplier of building materials is not required to complete and give this form or any aspect and inspection certificates if requested by a construction contractor, builder, appointed competent person, or a building certifier.

However, a manufacturer or supplier may give the construction contractor, builder, competent person or the building certifier evidence of suitability such as a manufacturers statement for an aspect or material that it is compliant with the relevant reference documents in the BCA i.e. the applicable Australian Standard/s.

What if there is not enough space for all the supporting material/documents?

Items 2, 3 and 4 requires the competent person to clearly identify the extent of the assessment that was undertaken for aspect/s of work identified in this form.

For instance, there is provision for material such as specifications, standards, codes or other relevant publications to be referenced in the form. However, if the space in the form is not sufficient to accommodate all of this material, you can create and refer to additional material in an addendum or attachment to the form.

The form is also available in a Microsoft Word version, that you can download and edit to include additional material in the relevant parts of the form. Note that editing the form in the Microsoft Word version may cause the relevant boxes to expand and increase the length of the document. This is acceptable and does not change the approved form, provided the section text (description on the left-hand side of the page) is not altered.

Appointed competent person (design or specification) – (sections 34 and 36 of the BR 2021)

A building certifier must assess and decide to appoint an individual as a competent person before they can, as a competent person, give design-specification help. The building certifier is required to keep detailed records about what was considered when appointing a competent person.

A building certifier must be satisfied that an individual is competent to give the type of inspection help having regard to the individual's experience, qualifications and skills and if required by law to hold a licence or registration, that the individual is appropriately registered or licensed.

An individual is appointed as competent to give design-specification help on or from a particular day. The building certifier can also decide an individual is a competent person (design-specification) and a competent person (inspection) at the same time or for the same systems or components of the work.

For further information about assessment of someone as a competent person refer to the **Guideline for the assessment of competent persons**.

PRIVACY NOTICE

The Department of Energy and Public Works is collecting personal information as required under the *Building Act 1975*. This information may be stored by the Department, and will be used for administration, compliance, statistical research and evaluation of building laws. Your personal information will be disclosed to other government agencies, local government authorities and third parties for purposes relating to administering and monitoring compliance with the *Building Act 1975*. Personal information will otherwise only be disclosed to third parties with your consent or unless authorised or required by law.

Appendix 4

SUPPORTING DOCUMENTATION:

**2018 Douglas Shire Council Planning Scheme Property Report
Site Classification Report prepared by Dirt Professionals
Wastewater Management System prepared by Earth Test
DSDILGP - State Planning Policy (Lot Plan Search)
DSDILGP - Regional Land Use Categories**

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BUILDING APPROVALS & INSPECTIONS

BUILDING CERTIFICATION

ENERGY EFFICIENCY ASSESSMENTS

TOWN PLANNING

Gold Coast

Caboolture

Townsville

Cairns

Port Douglas

Childers

Kingscliff



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2018 Douglas Shire Council Planning Scheme Property Report

The following report has been automatically generated to provide a general indication of development related information applying to the premise.

For more information and to determine if the mapping layers are applicable, refer to the [2018 Douglas Shire Council Planning Scheme](#). This report is not intended to replace the need for carrying out a detailed assessment of Council and State controls or the need to seek your own professional advice on any town planning instrument, local law or other controls that may impact on the existing or intended use of the premise mentioned in this report. For further information please contact Council by phone: [07 4099 9444](tel:0740999444) or [1800 026 318](tel:1800026318) or email enquiries@douglas.qld.gov.au.

Visit Council's website to apply for an [official property search or certificate](#), or contact the [Department of Natural Resources, Mines and Energy](#) to undertake a title search to ascertain how easements may affect a premise.

Property Information

Property Address [132 George Road FOREST CREEK](#)

Lot Plan [56RP735857](#) (Freehold - 20070m²)



☒ Selected Property

☐ Easements

☐ Property

Douglas Shire Planning Scheme 2018 version 1.0

The table below provides a summary of the Zones and Overlays that apply to the selected property.

Zoning






Applicable Zone
Environmental Management

More Information

- [View Section 6.2.4 Environmental Management Zone Code](#)
- [View Section 6.2.4 Environmental Management Zone Compliance table](#)
- [View Section 6.2.4 Environmental Management Zone Assessment table](#)

Douglas Shire Planning Scheme 2018 version 1.0

The table below provides a summary of the Zones and Overlays that apply to the selected property.

 Acid Sulfate Soils	Applicable Precinct or Area Acid Sulfate Soils (5-20m AHD)	More Information <ul style="list-style-type: none"> • View Section 8.2.1 Acid Sulfate Soils Overlay Code • View Section 8.2.1 Acid Sulfate Soils Overlay Compliance table
 Landscape Values	Landscape Values High landscape values	More Information <ul style="list-style-type: none"> • View Section 8.2.6 Landscape Values Overlay Code • View Section 8.2.6 Landscape Values Overlay Compliance table
 Landslide	Applicable Precinct or Area Landslide Hazard (High & Medium Hazard Risk)	More Information <ul style="list-style-type: none"> • View Section 8.2.9 Potential Landslide Hazard Overlay Code • View Section 8.2.9 Potential Landslide Hazard Overlay Compliance table
 Natural Areas	Applicable Precinct or Area MSES - Regulated Vegetation (Intersecting a Watercourse) MSES - Wildlife Habitat MSES - Regulated Vegetation MSES - High Ecological Significance Wetlands	More Information <ul style="list-style-type: none"> • View Section 8.2.7 Natural Areas Overlay Code • View Section 8.2.7 Natural Areas Overlay Compliance table
 Transport Road Hierarchy	Applicable Precinct or Area Minor Rural Road	More Information <ul style="list-style-type: none"> • View Section 8.2.10 Transport Network Overlay Code • View Section 8.2.10 Transport Network Overlay Compliance table

Zoning

Applicable Zone
Environmental Management

- More Information**
- [View Section 6.2.4 Environmental Management Zone Code](#)
 - [View Section 6.2.4 Environmental Management Zone Compliance table](#)
 - [View Section 6.2.4 Environmental Management Zone Assessment table](#)



☒ Selected Property

☐ Property

<input type="checkbox"/> Centre	<input type="checkbox"/> Community Facilities	<input type="checkbox"/> Conservation	<input type="checkbox"/> Environmental Management
<input type="checkbox"/> Industry	<input type="checkbox"/> Low Density Residential	<input type="checkbox"/> Low-medium Density Residential	<input type="checkbox"/> Medium Density Residential
<input type="checkbox"/> Recreation and Open Space	<input type="checkbox"/> Rural	<input type="checkbox"/> Rural Residential	<input type="checkbox"/> Special Purpose
<input type="checkbox"/> Tourism	<input type="checkbox"/> Tourist Accommodation		

Acid Sulfate Soils

Applicable Precinct or Area
Acid Sulfate Soils (5-20m AHD)

- More Information**
- [View Section 8.2.1 Acid Sulfate Soils Overlay Code](#)
 - [View Section 8.2.1 Acid Sulfate Soils Overlay Compliance table](#)



☒ Selected Property

☐ Property

Acid Sulfate Soils

☒ Acid Sulfate Soils (< 5m AHD)

☒ Acid Sulfate Soils (5-20m AHD)

☐ all others

Landscape Values

Landscape Values

High landscape values

- More Information

 - [View Section 8.2.6 Landscape Values Overlay Code](#)
 - [View Section 8.2.6 Landscape Values Overlay Compliance table](#)



Selected Property

Property

Scenic Buffer Area

Gateway

View corridor

Lookout

all others

Scenic route

Scenic route buffer

Landscape Values

Coastal scenery

High landscape values

Medium Landscape Value

all others

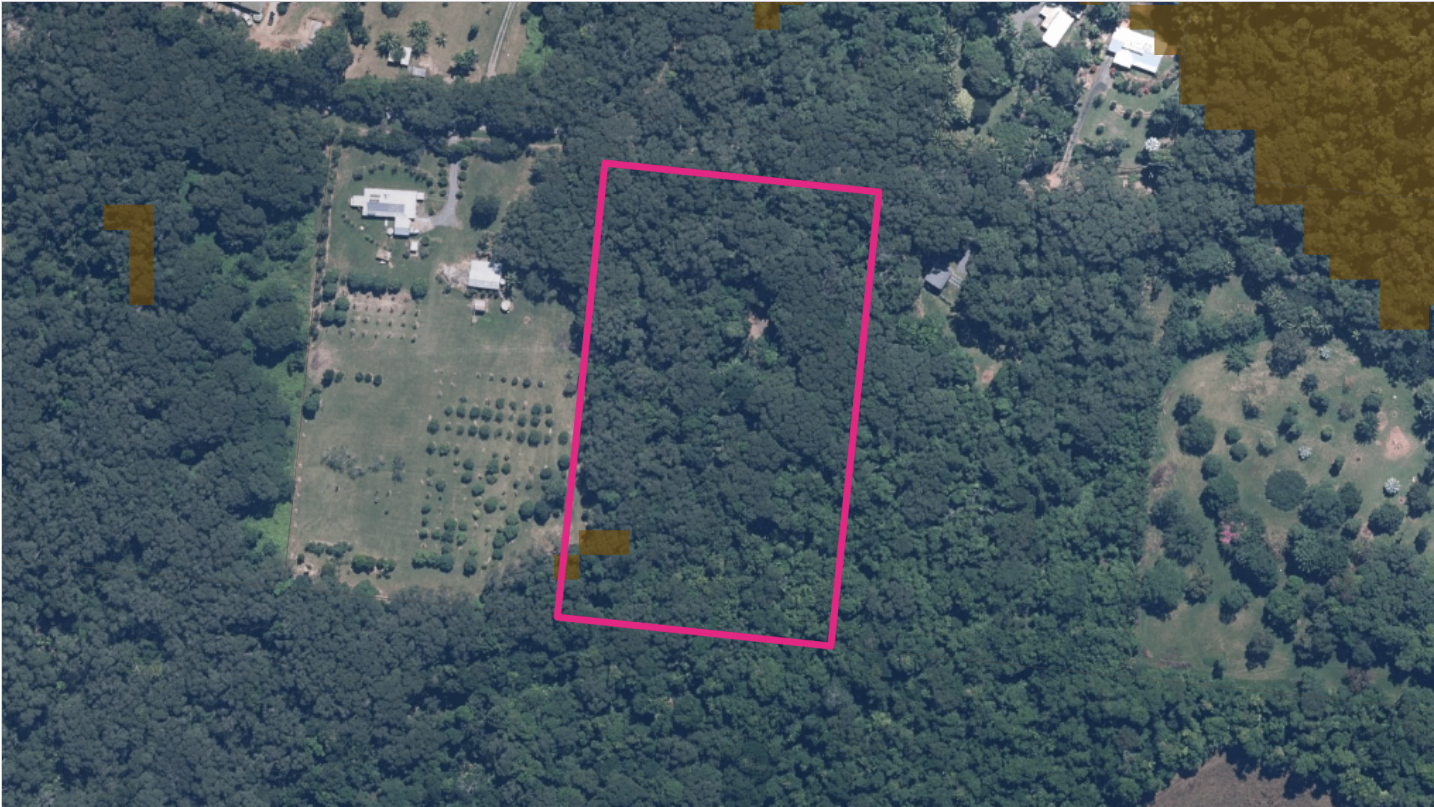
Landslide

Applicable Precinct or Area


Landslide Hazard (High & Medium Hazard Risk)

More Information

- [View Section 8.2.9 Potential Landslide Hazard Overlay Code](#)
- [View Section 8.2.9 Potential Landslide Hazard Overlay Compliance table](#)



 Selected Property

 Property

 Potential Landslide Hazard

Natural Areas

Applicable Precinct or Area

- MSES - Regulated Vegetation (Intersecting a Watercourse)
- MSES - Wildlife Habitat
- MSES - Regulated Vegetation
- MSES - High Ecological Significance Wetlands

More Information

- [View Section 8.2.7 Natural Areas Overlay Code](#)
- [View Section 8.2.7 Natural Areas Overlay Compliance table](#)



Selected Property	Property	MSES - Regulated Vegetation (Intersecting a Watercourse)
MSES - High Ecological Value Waters (Watercourse)	MSES - Wildlife Habitat	MSES - Regulated Vegetation
MSES - Protected Area	MSES - Marine Park	MSES - Legally Secured Offset Area
MSES - High Ecological Value Waters (Wetland)	MSES - High Ecological Significance Wetlands	

Transport Road Hierarchy

Applicable Precinct or Area

Minor Rural Road

More Information

- [View Section 8.2.10 Transport Network Overlay Code](#)
- [View Section 8.2.10 Transport Network Overlay Compliance table](#)



☒ Selected Property

☐ Property

Road Hierarchy

— Access Road

— Arterial Road

— Collector Road

— Industrial Road

— Major Rural Road

— Minor Rural Road

— Sub Arterial Road

— Unformed Road

— all others

☐ Major Transport Corridor Buffer Area

Disclaimer

This report is not a substitute for a Planning and Development Certificate and should not be relied upon where the reliance may result in loss, damage or injury. While every effort is taken to ensure the information in this report is accurate and up to date, Douglas Shire Council makes no representations or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and all liability (including without limitation, liability in negligence) for all expenses, losses, damages (including indirect or consequential damage) and costs that may occur as a result of the report being inaccurate or incomplete in any way or for any reason.

DIRT PROFESSIONALS

Email: dirtprofessionals@bigpond.com
MOBILE 0417 647 477

Sandra and David Laino
sandylaino21@gmail.com

Tandel Investments Pty Ltd
QBCC No. 1173606

25 November 2022

Site Classification
132 (Lot 56) George Road
Forest Creek QLD

Job No 24850

INTRODUCTION

This report presents the results of a site investigation performed at 132 (Lot 56) George Road, Forest Creek. The investigation is required in connection with a proposed building to be constructed on the allotment.

EXISTING CONDITIONS

At the time of the investigation the allotment was located in a rain forest subdivision. The allotment had an existing cleared area, which was grassed with a slope descending to the South. The location of the proposed building area was approximately pegged.

FIELD WORK

To investigate subsurface conditions bore holes were excavated to depths of 1.5m. The location of these holes were at approximately diagonal corners of the building area. Dynamic Cone Penetrometer Tests were carried out at the area of the proposed building area. A disturbed sample was taken for laboratory testing. The results are attached.

SOIL PROFILE

The bore holes indicate similar subsurface soil profiles. There is a layer of sandy clay silt under laid gravel sandy clay silt to the depth of holes. A Plasticity Indices Test was carried out on a sample of sandy clay silt from bore hole 1. The test results are as follows: Liquid Limit 48%, Plastic Limit 23%, Plasticity Index 25% and Linear Shrinkage 9.5%.

SITE CLASSIFICATION

The materials in the area are regarded as having moderate shrink/swell potential with less than 400 mm of fill. The site classification in accordance with the AS 2870 residential slabs and footings, visual inspection of the soils, Dynamic Cone Penetrometer Tests and a Plasticity Indices Test is found to be **CLASS M**.

FOUNDATION RECOMMENDATIONS

The building area should be stripped of all topsoil and any trees. Any holes resulting from there removal should be recompacted as stated below.

If any fill material to be used as part of the foundation building platform, it should be engineered in accordance with the requirements of AS 3798 level 1, Guidelines on Earthworks for Commercial and Residential Developments. That is, the fill should be placed in no greater than 200 mm layers within 2% of optimum moisture content and at a density of not less than 95% of maximum standard dry density as per AS 1289. The filling used should be of a low plastic nature and free from any organic and deleterious materials.

This report should be read in conjunction with the attached CSIRO information leaflet.

VALIDITY

The excavation of a limited number of holes does not preclude the possibility of some conditions on the site being different from those encountered in the holes. Should conditions be found which differ from those described in this report, then the recommendations are not valid and this organisation should be contacted.

Yours faithfully



Angelo Tudini
Director

Tandel Investments Pty Ltd T/as **DIRT PROFESSIONALS**

Attached

-CSIRO SHEET NO 10-91

-Plan of allotment

-Photo of building area

BORE HOLE LOG

HOLE 1 Location: Northwest corner

0.0 - 0.6m Sandy Clay Silt - Orange Brown

0.6 - 1.5m Gravel Sand Clay Silt - Orange Brown

HOLE 2 Location: Southeast corner

0.0 - 0.8m Sandy Clay Silt - Orange Brown

0.8 - 1.5m Gravel Sand Clay Silt - Orange Brown

Dirt Professionals

Phone (07) 40927081 | Mobile 0417647477 | 7 Reynolds Street, Mareeba QLD 4880
Email dirtprofessionals@bigpond.com | ABN 78 137 132 220

Dynamic Cone Penetrometer Report


Client :	Sandra and David Laino
Address :	sandylaino21@gmail.com
Project Name :	Investigation
Project Number :	24850
Location:	136 George Road , Forest Creek

Report Number: 24850 - 1/1
Report Date : 26/11/2022
Order Number :
Test Method : AS1289.6.3.2

Page 1 of 1

Sample Number :	A/27753		A/27754					
Test Number :	1		2					
Date Sampled :	25/11/2022		25/11/2022					
Date Tested :	25/11/2022		25/11/2022					
Lot Number :	132		132					
Sample Location :	George Road BH 1		George Road BH 2					
Soil Condition :								
Soil Description :								
	Depth	Blows	Depth	Blows	Blow		Blow	
	0.00 - 0.10	2	0.00 - 0.10	2				
	0.10 - 0.20	3	0.10 - 0.20	3				
	0.20 - 0.30	3	0.20 - 0.30	2				
	0.30 - 0.40	3	0.30 - 0.40	3				
	0.40 - 0.50	3	0.40 - 0.50	3				
	0.50 - 0.60	4	0.50 - 0.60	3				
	0.60 - 0.70	5	0.60 - 0.70	3				
	0.70 - 0.80	8	0.70 - 0.80	3				
	0.80 - 0.90	9	0.80 - 0.90	4				
	0.90 - 1.00	15	0.90 - 1.00	9				
	1.00 - 1.10	10	1.00 - 1.10	15				
	1.10 - 1.20	8	1.10 - 1.20	10				
	1.20 - 1.30	7	1.20 - 1.30	18				
	1.30 - 1.40	9	1.30 - 1.40	20				
	1.40 - 1.50	11	1.40 - 1.50					
Remarks :								

Remarks :



A.W. Tudini

132 (Lot 56) George Road, FOREST CREEK

16°14'35"S 145°24'17"E

16°14'35"S 145°24'31"E



16°14'48"S 145°24'17"E

16°14'48"S 145°24'31"E

A product of

 **Queensland Globe**

Legend located on next page



N
0 50 metres
Scale: 1:2256

Printed at: A4

Print date: 4/11/2022

Projection: Web Mercator EPSG 102100 (3857)

For more information, visit
<https://qldglobe.information.qld.gov.au/help-info/Contact-us.html>

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 **Queensland Government**
Department of Resources





Wastewater Management System

For

Professional Plumbing & Gas

At

132 George Road

Forest Creek

INTRODUCTION:

Earth Test has been engaged by Professional Plumbing & Gas to design a Domestic Wastewater Management System at 132 George Road, Forest Creek.

Real Property Description:

Lot 56 on RP 735857

Local Authority: Douglas Shire Council

It is understood the intention is to construct a dwelling at the site.

A site and soil evaluation was carried out in February 2023.

SITE FACTORS:

The site was identified by its street address.

A photograph is included as part of this report to confirm the identity of the site.

The Lot has a total area of 2.01 hectares. It is predominantly covered with rainforest.

The site has a slope of 3 degrees falling to the South-West.

One soil permeability test was performed at location P1 as shown on the site plan.



Permeability testing at 132 George Road, Forest Creek.



SITE AND SOIL EVALUATION

132 George Road, Forest Creek.

The site and soil evaluation carried out on 28/02/2023 provided the following results.

Site Assessment

<u>Site Factor</u>	<u>Result</u>
Slope	3 degrees
Shape	Linear Planar
Aspect	South-West
Exposure	Limited
Erosion/land slip	Not noted
Boulders/rock outcrop	Not noted
Vegetation	Rainforest – To be cleared
Watercourse	>10m from LAA
Water table	Not encountered during investigation.
Wells/Bores	None
Fill	Not in Land Application Area
Flooding	Not likely
Channelled run-off	Not found
Soil surface conditions	Moist, Soft.
Other site specific factors	Not noted

Soil Assessment

<u>Soil Property</u>	<u>Result</u>
Colour	Orange-Brown
Texture	Sandy Clay-Loam
Structure	Weak
Coarse Fragments	Nil
Measured Permeability Ksat (m/d)	P1= 0.72
Dispersion	Slakes
Soil Category	4
Resultant Design Load Rating, DLR (mm/d)	15



WASTEWATER MANAGEMENT SYSTEM

An “All-Waste” septic tank discharging into an “Advanced Enviro-Septic” bed is considered suitable for this site.

This system has been designed to conform to the requirements of the following codes, acts, regulations and standards. All work to be carried out in accordance with the following codes.

- AS/NZ 1547:2012 On-site domestic-wastewater management.
- Queensland PLUMBING AND DRAINAGE ACT 2018.
- Queensland STANDARD PLUMBING AND DRAINAGE REGULATION 2019.
- Queensland PLUMBING AND WASTEWATER CODE.

SYSTEM SIZING FACTORS.

A population equivalent of five (5) persons has been chosen for the proposed three bedroom dwelling.

The residence is connected to a reticulated water supply system.

Standard water-reduction fixtures must be used to ensure the integrity of the system. They shall include:-

- Dual flush 6/3 Litre water closets.
- Shower-flow restrictors.
- Aerator faucets (taps).
- Water-conserving automatic washing machines.

Note: - Garbage grinders are not permitted.

As per AS/NZ 1547:2012 Appendix H, Table H1 the “Typical wastewater design flow” for a “Reticulated water supply” gives a flow allowance of 150 L/Person/day.

The daily flow for the dwelling (5 persons @ 150 L/person/day) will be 750 L/day.

From AS/NZ 1547:2012 Table J1 the minimum capacity of the All-Waste septic tank required is 3000 L.

The tank must NOT be fitted with an outlet filter.



LAND-APPLICATION SYSTEM

DISPOSAL AREA SIZING

From AS/NZ 1547:2012 APPENDIX L, L4 DESIGN AREA SIZING, L4.2 Sizing

$$L = Q / (DLR \times W)$$

Where:

L = length in m

Q = design daily flow in L/day

DLR = Design Loading Rate in mm/d

W = Width in m

$$\begin{aligned} L &= 750/15 \times 3.21 \\ &= 15.6\text{m.} \end{aligned}$$

Use one 15.6m long by 3.21m wide advanced enviro septic bed.

See site plan and detail cross-section.

Its recommended that 1kg gypsum per m² be applied to the scarified base before laying the sand

SYSTEM SAND

All Advanced Enviro-Septic systems require the use of “system sand” surrounding the pipe. This sand, typically washed coarse sand, must adhere to the following specification.

AS Sieve Size (mm)	Percent Passing %
9.50	100
4.75	95-100
2.36	80-100
1.18	50-85
0.600	25-60
0.300	5-30
0.150	0-10
0.075	0-2

If there is any doubt if the sand media proposed for use will meet the requirements please contact Earth Test for further advice.

SYSTEM INSTALLATION

The entire bottom of the bed should be scarified a minimum of 200mm deep parallel to the AES pipes.

Avoid compaction by keeping people and machinery off the finished trench or bed floor.
The system shall be installed by a licensed plumber in accordance with the manufacturer's recommendations and the relevant Australian Standards.

Operation and Maintenance

Homeowners should be fully informed of the proper operation and maintenance requirements of the on-site wastewater system.

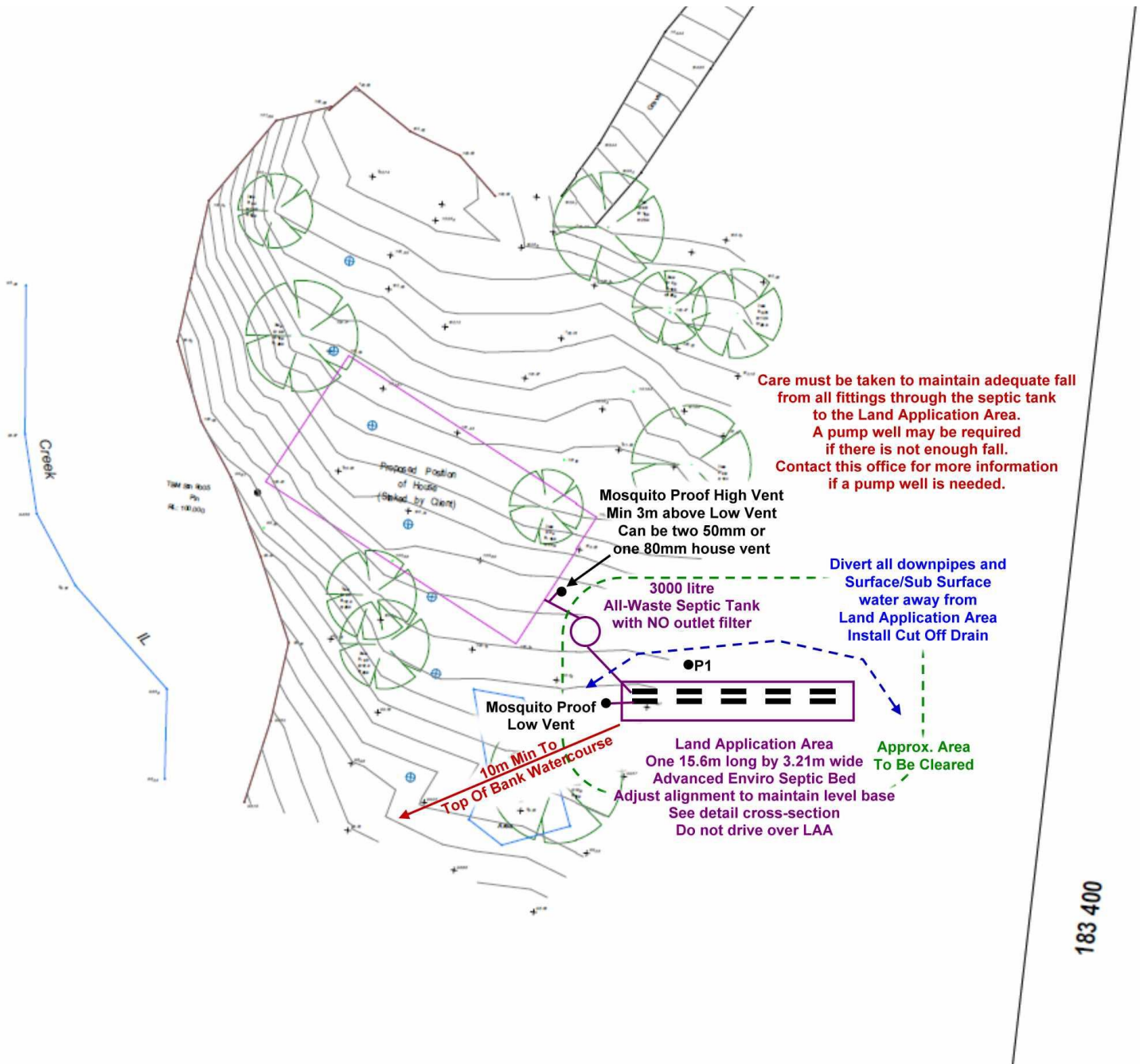
A handwritten signature in dark ink, appearing to read "Gavin Negri".

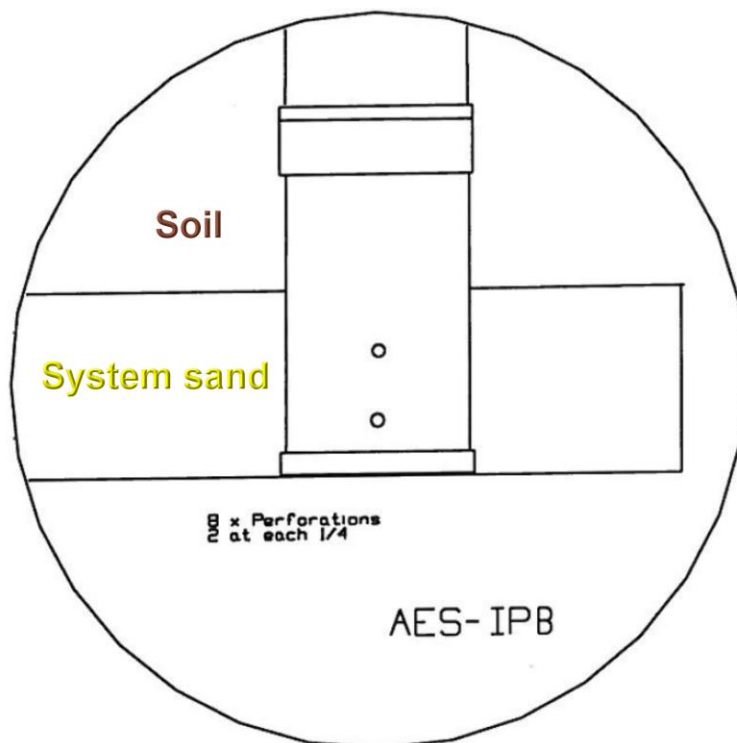
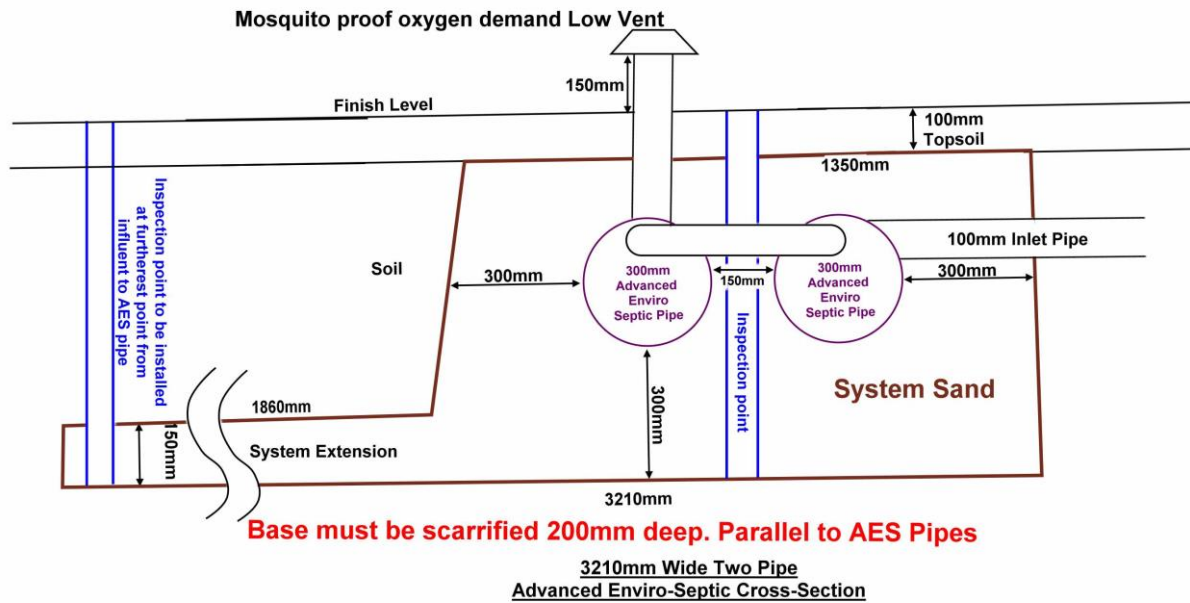
Gavin Negri
Earth Test



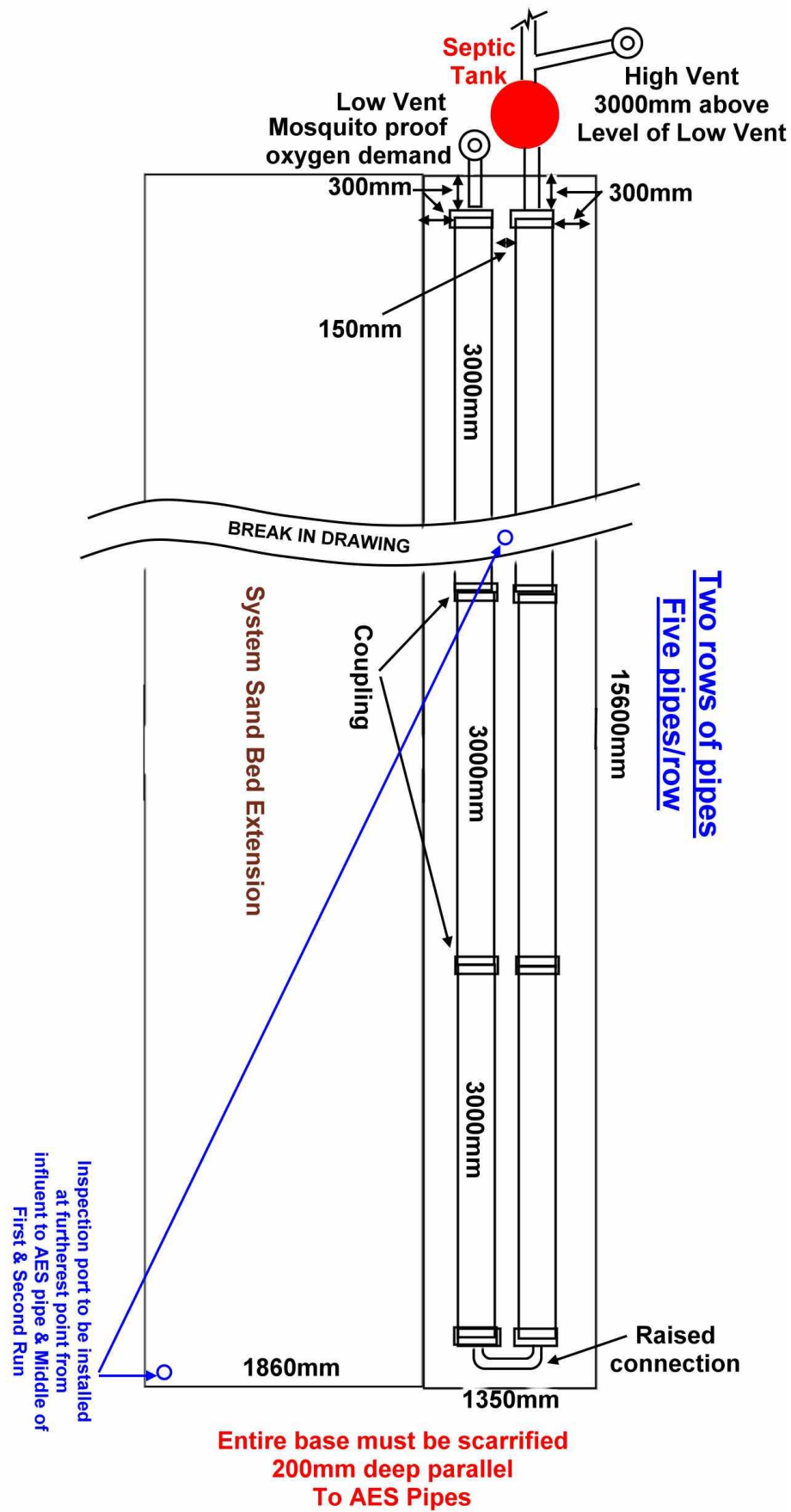
Consoil Solutions Pty. Ltd. T/A Earth Test QBCC #. 15092731

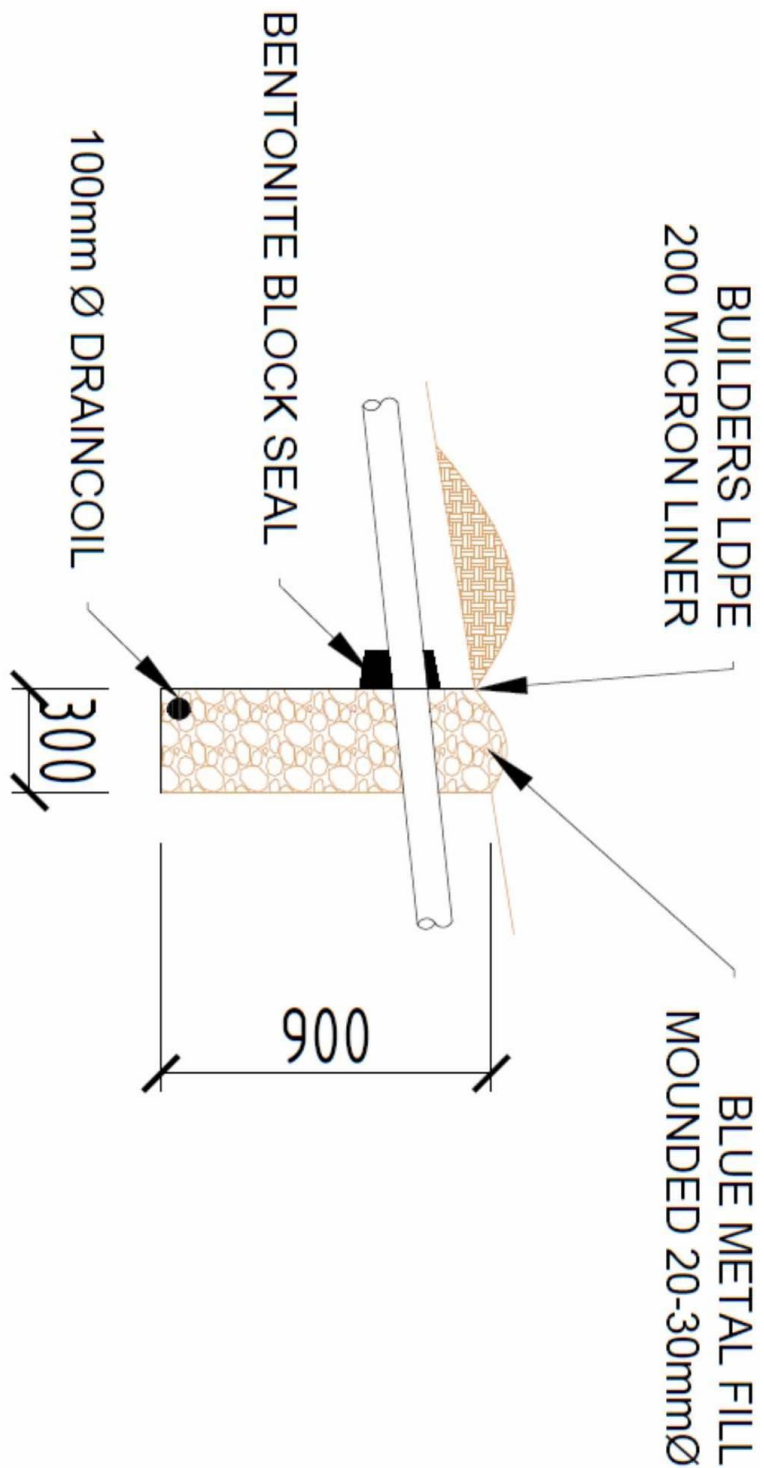
SITE PLAN
132 George Road, Forest Creek.
Not to Scale.







AES Inspection point detail





1. 900mm Deep by 300mm wide surface and subsurface interception & diversion cutoff drain.
2. Drain base and downslope side lined with Minimum 200 Micron LDPE Heavy Duty. Backfill with 20-30mm Ø crushed blue metal or similar.
3. 100mm Ø draincoil placed in lower corner of drain to discharge drain water well clear of LAA.
4. Excavation spoil mounded on downslope side to act as bund and blue metal drainage aggregate mounded to prevent bridging by leaves etc.
5. Bentonite block to be placed in septic tank discharge pipe trench, replacing bedding sand/aggregate, downslope of cutoff drain to prevent water in cutoff drain running through pipe bedding into land application area



 ADVANCED ENVIRO-SEPTIC™ <i>"Always The First Option"</i>		Advanced Enviro-septic Design Calculator V9.0 ©				
AES The World Leader in Passive Solutions ©						
Site Address	132 George Road, Forest Creek		State	QLD	Post Code	4873
Client Name	Professional Plumbing & Gas				Date of Site Visit	
Designers Name	Earth Test	Designers Ph Number	07 4095 4734		Designer Lic (e.g QBCC)	15092731
Lic Plumber	TBA	Plumber Ph Number	TBA		Plumb / Drainer Lic Number	TBA
Council Area	Douglas Shire Council	Designers AES Cert Number	1164		Date	6/3/2023
This Calculator is a guide only, receiving soil classification, surface water, water tables and all other site constraints addressed by the qualified designer.						
System Designers site and soil calculation data entry			IMPORTANT NOTES			
Enter AES L/m loading rate, "30" for ADV Secondary or "38" Secondary		30	>> This design is for an ADVANCED SECONDARY sys			
Is this a new installation Y or N		Y	>> Minimum single vent size is 80mm or 2 x 50mm house vents			
Number of Bedrooms		3	>> This is not used in ANY Calculation. If not known use N/A or 0.			
Number of persons		5	>> A septic tank outlet filter is NOT RECOMMENDED			
Daily Design Flow Allowance Litre/Person/Day		150				
Number of rows required to suit site constraints		2	>> The maximum length of a single AES pipe run is 30m or 10 PIPES			
Infiltration Soil Category from site/soil evaluation. CATEGORY		4	>> Catagory may require design considerations. Ref AS1547			
Design Loading Rate based on site & soil evaluation DLR (mm/day)		15	>> Soil conditioning may be necessary. Ref AS1547 & Comments.			
Bore log depth below system Basal area		1.5m	>> Min depth 1.5m. Check water table/restrictive layer			
Is this design a GRAVITY system with no outlet filter? Y or N		Y	>> GRAVITY. A House Vent & LOW VENT required on this system			
PLEASE CHECK YOU HAVE FALL FROM TANK TO AES SYSTEM PIPES						
COMMENTS :- " The outcome must be important to everyone. "						
- Ripping of receiving surface required in clay soil structures in Cat 4,5,6. In addition refer to AS 1547. Always excavate & rip parallel to the site slope/AES pipe. - Specialist soils advice & special design techniques will be required for clay dominated soil having dispersive or shrink/swell behaviour. Refer AS1547 - Designers need to be familiar with special requirements of Local Authorities. ie - Minimum falls from Septic tank outlets to Land application areas etc - Plumbers are reminded good construction techniques as per AS1547 are especially important in these soil types. Refer AS1547 & AES installation Instructions						
AES System Calculator Outcomes			AES dimensions			
Total System load - litres / day (Q).	750	l/d	AES System		System Extension	
Min Length of AES pipe rows to treat loading	12.50	lm	Length:(L)	15.60m	15.60m	
Number of FULL AES Pipe lengths per row	5	lths	Width:(W)	1.35m	1.86m	
Total Capacity of AES System pipe in Litres	2120	ltr.	Sand Depth :	0.75m	0.15m	
			Area m2	21.1 m^2	28.9 m^2	
USE CUT LENGTHS OF PIPE IN THIS DESIGN? (ENTER Y)						
IF YOU WISH TO USE A TRENCH EXTENSION DESIGN OPTION ENTER "Y"			Enter Custom Width in metre			
AES INFILTRATION FOOT PRINT AREA - $L = Q / (DLR \times W)$ for this Basic Serial design is		Length	Width	Minimum AES foot print required		
		15.60m	x 3.21m	=	50.0	m2 total
AES pipes are best centered in the trench parallel to the site slope						
Code	AES System Bill of Materials		Chankar Environmental Use Only			
AES-PIPE	AES 3 metre Lengths required	10	lths	 ADVANCED ENVIRO-SEPTIC™ <i>"Nature's Wastewater Solutions"</i> Digitally signed by Steve Dennis DN: cn=Steve Dennis, o=Chankar Environmental, ou=Design Review, email=steve@enviro-septic.com.au, c=US Date: 2023.03.06 07:57:46 +10'00'		
AESC	AES Couplings required	8	ea			
AESO	AES Offset adaptors	4	ea			
AESODV	AES Oxygen demand vent	1	ea			
AES-IPB	AES 100mm Inspection point base	2	ea			
TD Kit 4	4 Hole Distribution Box Kit		ea			
TD Kit 7	7 Hole Distribution Box Kit		ea			
VS43-4	Sweet Air Filter VS43-4		ea			
AES DESO	Double Offset Adaptors		ea			
TOTAL SYSTEM SAND REQUIRED (Estimate Only)		24	m3			
Please email your AES Calculator (EXCEL FORMAT), Site Layout & AES Design to						
designreview@enviro-septic.com.au			designreview@enviro-septic.com.au			
> The AES Calculator is a design aid to allow checking of the AES components, configuration and is a guide only. Site and soil conditions referencing AS1547 are calculated and designed by a Qualified Wastewater Designer. > Chankar Environmental accepts no responsibility for the soil evaluation, loading calculations or DLR entered by the designer for this calculator. > AES pipes can be cut to length on site. They are supplied in 3 meter lengths only. > AES ONLY supply AES components as detailed in the Bill of Materials. > SEPTIC Tank & other components including SAND will need to be sourced from other suppliers. Refer to our WEBSITE www.enviro-septic.com.au OR 07 5474 4055 AES-Design-V9.0-Calculator © Copy Right - Chankar Environmental Pty Ltd 20/1/2022						



STANDARDSMARK LICENCE

SAI Global hereby grants:

Ecoflo Wastewater Management Pty Ltd

ABN 33 606 583 895

25 Shannon Place, Virginia, QLD 4014, Australia

StandardsMark Licence

Manufactured to:

AS/NZS 1546.2:2008 - On-site domestic wastewater treatment units - Waterless composting toilets

"the StandardsMark Licensee" the right to use the STANDARDSMARK as shown below only in respect of the goods described and detailed in the Schedule which are produced by the Licensee or on behalf of the Licensee* and which comply with the appropriate Standard referred to above as from time to time amended. The Licence is granted subject to the rules governing the use of the STANDARDSMARK and the Terms and Conditions for certification and licence. The Licensee covenants to comply with all the Rules and Terms and Conditions.

Certificate No:SMKH25591

Issued: 19 July 2022

Expires: 1 September 2023

Originally Certified: 2 September 2014

Current Certification: 19 July 2022

Calin Moldoveanu
President, Business Assurance
SAI Global Assurance



WWW.JAS-ANZ.ORG/REGISTER

* For details of manufacture, refer to the licensee

The STANDARDSMARK is a registered certification trademark of SAI Global Pty Limited (A.C.N. 050 644 642) and is issued under licence by SAI Global Certification Services Pty Limited (ACN 108 716 669) ("SAI Global") 650 Lorimer Street, Port Melbourne VIC 3207, GPO Box 5420 Sydney NSW 2001. This certificate remains the property of SAI Global and must be returned to SAI Global upon its request. Refer to www.saiglobal.com, for the list of product models.



INFORM. INSPIRE. IMPROVE.

SCHEDULE TO STANDARDSMARK LICENCE

SAI Global hereby grants:

Ecoflo Wastewater Management Pty Ltd

25 Shannon Place, Virginia, QLD 4014, Australia

StandardsMark Licence

Manufactured to:

AS/NZS 1546.2:2008 - On-site domestic wastewater treatment units - Waterless composting toilets

Model identification of the goods on which the STANDARDSMARK may be used:

Model ID.	Description	Capacity for Weekend or Vacation use	Capacity for Residential or Continuous use	Date Endorsed
CM-10	Continuous system - Dry toilet	13	7	26 Jun 2015
CM-14 NEXT GEN	Continuous system - Dry toilet	19	9	25 Mar 2021
CM-20	Continuous system - Dry toilet	28	13	26 Jun 2015
CM-40	Continuous system - Dry toilet	55	28	26 Jun 2015
CM-8 NEXT GEN	Continuous system - Dry toilet	10	5	25 Mar 2021
CM-HP	Batch system - Dry toilet	7	4	4 May 2021
CM-LP	Batch system - Dry toilet	3	1-2	23 Feb 2020
Ecolet 25e	Continuous system - Dry toilet	4	3	4 May 2021
Ecolet 65e	Continuous system - Dry toilet	6	4	4 May 2021
Ecolet NE Separera 30	Batch system - Dry toilet	4	2	21 Apr 2015
Kazuba	Batch system - Dry toilet	30+ uses per day (as tested)	10-15 persons	13 Jun 2015
NL-650	Batch system - Dry toilet	2 per 2 chambers	1 per 2 chambers	9 Jul 2021
Sun-Mar CENTREX 3000	Continuous system - Flush toilet	8	6	19 Dec 2012
Sun-Mar CENTREX 3000 A/F	Continuous system - Dry toilet	8	6	19 Dec 2012
Sun-Mar CENTREX 3000 A/F NE	Continuous system - Dry toilet	8	6	23 Feb 2020

Certificate No: SMKH25591

Issued Date: 19 July 2022

This schedule supersedes all previously issued schedules

*** For details of manufacture, refer to the licensee**

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SCHEDULE TO STANDARDSMARK LICENCE

Model ID.	Description	Capacity for Weekend or Vacation use	Capacity for Residential or Continuous use	Date Endorsed
Sun-Mar CENTREX 3000 NE	Continuous system - Flush toilet	8	6	23 Feb 2020

End of Record

Certificate No: SMKH25591

Issued Date: 19 July 2022

This schedule supersedes all previously issued schedules

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State Planning Policy - Lot Plan Search

Making or amending a local planning instrument
and designating land for community infrastructure

Date: 14/02/2023



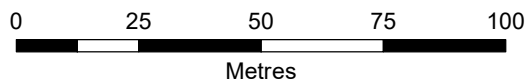
Location Diagram

Queensland



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State Planning Policy mapping layers - consolidated list for all selected Lot Plans

(Note: Please refer to following pages for State Interests listed for each selected Lot Plan)

BIODIVERSITY

- MSES - Wildlife habitat (endangered or vulnerable)
- MSES - Regulated vegetation (category B)
- MSES - Regulated vegetation (category R)
- MSES - Regulated vegetation (essential habitat)
- MSES - Regulated vegetation (wetland)
- MSES - Regulated vegetation (intersecting a watercourse)
- MSES - High ecological significance wetlands

NATURAL HAZARDS RISK AND RESILIENCE

- Flood hazard area - Local Government flood mapping area*



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State Planning Policy
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State Planning Policy mapping layers for each selected Lot Plan

Lot Plan: 56RP735857 (Area: 20070 m²)

BIODIVERSITY

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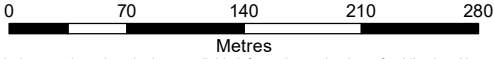


Date: 14/02/2023

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Legend

Drawn Polygon Layer

Override 1

Cadastre (5k)



Cadastre (5k)

Regional land use categories (SEQ, WBB, MIW, FNQ)



Urban Footprint



Rural Living Area



Regional Landscape and Rural Production Area



Date: 14/02/2023

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State Planning Policy

**Making or amending a local planning instrument
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PLANNING STATEMENT

Landowners: Sandra Maree and David Leigh Laino

Development Land Use: Dwelling House & Domestic Outbuilding

Property Address: 132 George Road, Forest Creek QLD 4873

RPD: Lot 56 on RP 735 857

Prepared by: GMA Certification Group Pty Ltd

File Reference: 20224804

Revision: A

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Appendix 1 Application Forms and Current Title Search

Appendix 2 Assessment Benchmarks

Appendix 3 Proposed Plans

Appendix 4 Supporting Documentation

1.0 Introduction

This Planning Statement has been prepared on behalf of the registered landowners, Sandra Maree Laino and David Leigh Laino, in support of a Material Change of Use (Code) assessable Development Application to the Douglas Shire Council (DSC) for a Dwelling House and Domestic Outbuilding to be located at 132 George Road, Forest Creek QLD 4873 – Lot 56 on RP 735 857.

The subject site is a relatively large and generally rectangular lot with a primary (northern) frontage to George Road measuring 110.6 metres, side boundaries to the east and west each measuring 183.4 metres and a rear (southern) boundary measuring 110.6 metres. The site configuration results in a total area of 20,070m².



Figure 1: Subject Site – Aerial Image (2018 Douglas Shire Council Planning Scheme Property Report, 2023)

The immediate interfaces appear to be either vacant land or improved by Dwelling Houses and Ancillary Structures being directly consistent with the land use being proposed in this instance.

1.1 Land Use Definitions

As previously discussed, this application seeks approval for a Dwelling House and a Domestic Outbuilding.

In accordance with the Douglas Shire Planning Scheme 2018, Version 1.0 a Dwelling House and Domestic Outbuilding are defined as follows –

Dwelling House (refer to Table SC 1.1.b – Use Definitions)

A residential use of premises for one household that contains a single dwelling.

The use includes domestic outbuildings and works normally associated with a dwelling and may include a secondary dwelling.

Domestic Outbuilding (refer to Table SC 1.2.b - Administrative Definitions)

A Class 10a building, as defined in the Building Code of Australia, that is ancillary to a residential use on the same premises and is limited to non-habitable buildings for the purpose of a shed, garage and carport.

1.2 Categories of Development and Assessment

In accordance with the Douglas Shire Planning Scheme 2018, Version 1.0 and specifically Table 5.6.d – Environmental Management Zone the Categories of development and assessment for a Dwelling House, including a Domestic Outbuilding, are as follows –

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
Dwelling House	Code assessable	Environmental Management Zone Code Dwelling House Code Access, Parking and Servicing Code Filling and Excavation Code Infrastructure Works Code Landscape Values Overlay Code Natural Areas Overlay Code

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As indicated in **Appendix 2 Assessment Benchmarks** the proposed development is considered to be fully compliant with all of the Acceptable Outcomes and Performance Outcomes of the Assessment Benchmarks in this instance.

Accordingly, the development is considered to be consistent in terms of scale and intensity to other forms of development in the locality and the site can contain the use without adverse impacts on the amenity of the area.

Therefore, it is submitted that this application warrants favourable consideration by Council subject to reasonable and relevant Conditions.

2.0 Development Summary

Address:	132 George Road, Forest Creek QLD 4873
Real Property Description:	Lot 56 on RP 735 857
Easements & Encumbrances:	Not applicable
Site Area/Frontage:	Area: 20,070m ² Frontage: 110.6 metres
Registered Owner/s:	Sandra Maree Laino and David Leigh Laino
Proposal:	Dwelling House and a Domestic Outbuilding
Approval Sought:	Development Permit
Level of Assessment:	Code Assessment
State Interests – State Planning Policy	<ul style="list-style-type: none"> • Biodiversity • Natural Hazards Risk and Resilience
State Interests – SARA Mapping:	Nil
Referral Agencies:	Nil
State Development Assessment Provisions:	Not applicable
Regional Plan Designation:	Regional Landscape and Rural Production Area
Zone:	Environmental Management Zone
Precinct / Neighbourhood Plan:	Not applicable
Overlays:	<ul style="list-style-type: none"> • Acid Sulfate Soils (5-20m AHD) • Landscape Values (High Landscape Value) • Landslide Hazard (High & Medium Hazard Risk) • Natural Areas

3.0 Site and Locality

The subject site is a relatively large and generally rectangular lot with a primary (northern) frontage to George Road measuring 110.6 metres, side boundaries to the east and west each measuring 183.4 metres and a rear (southern) boundary measuring 110.6 metres. The site configuration results in a total area of 20,070m².

4.0 Proposal

This application seeks approval for a Dwelling House and a Domestic Outbuilding. A detailed description of each building is presented below.

Dwelling House:

As indicated on the proposed plans prepared by Prestige Kit Homes the Dwelling House is a one (1) storey structure with an overall height of 4.316 metres measured to the uppermost projection of the roofline.

The Dwelling House comprises an open-planned kitchen, dining and living area, three (3) bedrooms; the main of which being provided with a walk in robe and ensuite; a main bathroom with a separate water closet, a laundry and a wrap-a-round verandah. The Dwelling House has an internal area of 129.6m² and an external area of 72.36m² which results in a combined area of 201.96m². As the site has an area of 20,070m² the Dwelling House results in a site cover of 1.0%.

The Dwelling House maintains a setback of 59.162 metres from the George Road (northern) frontage and 30.591 metres from the left hand side (eastern) boundary.

Domestic Outbuilding:

As indicated on the proposed plans prepared by Versatile Buildings the Domestic Outbuilding is a one (1) storey structure with an overall height of 2.58 metres measured to the uppermost projection of the roofline.

The Domestic Outbuilding measures 3.585 metres by 5.385 metres which results in a building footprint of 19.31m². As the site has an area of 20,070m² the Dwelling House results in a site cover of 0.1%.

Due to the rural nature of the subject site, the Dwelling House will be provided with an on-site effluent disposal system and a rainwater tank. The Dwelling House and Domestic Outbuilding will be provided with access via a proposed crossover and driveway from George Road.

The Proposal Plans are attached in **Appendix 3 Proposed Plans**.

The key development features of this application are summarised in the Table below:

Development Feature	Proposal
Site Area:	20,070m ²
Frontage:	George Road: 110.6 metres
Site Boundaries:	Rear (south): 110.6 metres RHS (west): 183.4 metres LHS (east): 183.4 metres
Storeys / Height (Dwelling House):	One (1) storey / 4.316 metres
Storeys / Height (Domestic Outbuilding):	One (1) storey / 2.58 metres
Footprint (Dwelling House):	201.96m ²
Footprint (Domestic Outbuilding):	19.31m ²
Site Cover:	1.1%
Setbacks to the Site Boundaries:	Front (north): 59.162 metres Rear (south): > 6.0 metres RHS (west): > 6.0 metres LHS (east): 16.689 metres
Access:	Via a proposed crossover and driveway from George Road
Car Spaces:	> Two (2)

5.0 Statutory Planning Considerations

This section provides a summary of the legislative framework affecting the application pursuant to the *Planning Act 2016*.

5.1 Planning Act 2016

5.1.1 Categorisation of Development

The proposed development is not identified as prohibited development having regard to the relevant instruments that can prohibit development under the *Planning Act 2016*, including –

- Schedule 10 of the *Planning Regulations 2017*
- Relevant Categorising Instruments.

The development is made assessable under the DSC, and the Douglas Shire Planning Scheme 2018, Version 1.0, which is a categorising instrument for the purpose of s43 of the *Planning Act 2016*.

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5.1.2 Assessment Manager

Pursuant to Schedule 8 of the *Planning Regulations 2017*, the Assessment Manager for the application is the DSC.

5.1.3 Level of Assessment

In accordance with the Douglas Shire Planning Scheme 2018, Version 1.0 and specifically Table 5.6.d – Environmental Management Zone the Categories of development and assessment for a Dwelling House (including a Domestic Outbuilding) are as follows –

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
Dwelling House	Code assessable	Environmental Management Zone Code Dwelling House Code Access, Parking and Servicing Code Filling and Excavation Code Infrastructure Works Code Landscape Values Overlay Code Natural Areas Overlay Code

As indicated in **Appendix 2 Assessment Benchmarks** the proposed development is considered to be fully compliant with all of the Acceptable Outcomes and Performance Outcomes of the Assessment Benchmarks and no 'variations' are proposed in this instance.

Accordingly, the development is considered to be consistent in terms of scale and intensity to other forms of development in the locality and the site can contain the use without adverse impacts on the amenity of the area.

Therefore, it is submitted that this application warrants favourable consideration by Council subject to reasonable and relevant Conditions.

5.1.4 Statutory Considerations for Assessable Development

As the application is subject to Code Assessment, in deciding the application pursuant to s60 of the *Planning Act 2016*, the Council, as Assessment Manager, can only have regard to the matters established in the relevant planning benchmarks.

This assessment is further discussed in Section 6.0 of this report and a detailed assessment of the proposed development against the Assessment Benchmarks is provided in **Appendix 2**.

5.1.5 State Planning Policy

The application site has the following State Planning Policy designations/classifications:

Biodiversity

- MSES - Wildlife habitat (endangered or vulnerable)
- MSES - Regulated vegetation (category B)
- MSES - Regulated vegetation (category R)
- MSES - Regulated vegetation (essential habitat)
- MSES - Regulated vegetation (wetland)
- MSES - Regulated vegetation (intersecting a watercourse)
- MSES - High ecological significance wetlands

Natural Hazards Risk and Resilience

- Flood hazard area - Local Government flood mapping area*

It is understood that the Minister has identified that the State Planning Policy has been appropriately integrated into the Douglas Shire Planning Scheme 2018, Version 1.0 (being the relevant Planning Scheme) and consequently no further assessment is required in this instance.

5.1.6 Regional Plan

The application site is identified in the Regional Landscape and Rural Production Area designation of the SEQ Regional Plan. Consistent with the State Planning Policies, it is understood that the Planning Scheme has been determined to appropriately advance the Regional Plan and, on that basis, no further assessment is required in this instance.

5.1.7 Referral Agencies

There are no referral agencies identified in respect of this application.

5.1.8 State Development Assessment Provisions

As there are no referral agencies for the application, no State Development Assessment Provisions Apply to the assessment.

6.0 Local Planning Considerations

6.1 Douglas Shire Planning Scheme 2018

The site is located within the Douglas Shire Council area and is assessable under the Douglas Shire Planning Scheme 2018, Version 1.0 which commenced on the 2nd of January 2018 (being the relevant Planning Scheme).

In accordance with the Douglas Shire Planning Scheme 2018, Version 1.0 the site is located in the Environmental Management Zone and is affected by the following applicable Overlays –

- *Landscape Values (High Landscape Value)*
- *Natural Areas*

The Table below identifies the applicable Assessment Benchmarks contained within the Douglas Shire Planning Scheme 2018, Version 1.0.

Assessment Benchmarks	Applicability	Compliance
Environmental Management Zone Code	Applicable	Complies. Refer to Appendix 2
Dwelling House Code	Applicable	Complies. Refer to Appendix 2
Access, Parking and Servicing Code	Applicable	Complies. Refer to Appendix 2
Filling and Excavation Code	Applicable	Complies. Refer to Appendix 2
Infrastructure Works Code	Applicable	Complies. Refer to Appendix 2
Landscape Values Overlay Code	Applicable	Complies. Refer to Appendix 2
Natural Areas Overlay Code	Applicable	Complies. Refer to Appendix 2

The assessment of the proposed Dwelling House and Domestic Outbuilding is provided in detail in [Appendix 2 Assessment Benchmarks](#). This assessment is considered to demonstrate that the proposed development satisfies or is able to satisfy the Assessment Benchmarks in this instance.

In accordance with the requirements of the *Planning Act 2016*, the Council are obligated to approve the application subject to reasonable and relevant Conditions.

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7.0 Summary and Conclusion

This Planning Statement has been prepared on behalf of the registered landowners, Angelo Aloysius Joseph, in support of a Material Change of Use (Code) assessable Development Application to the Douglas Shire Council (DSC) for a Dwelling House and a Domestic Outbuilding to be located at 132 George Road, Forest Creek QLD 4873 – Lot 56 on RP 735 857.

The application is identified as being Code Assessable and consideration can only be given to the relevant Planning Scheme. An assessment has demonstrated that the proposed development satisfies or is able to satisfy the relevant Assessment Benchmarks.

On that basis, it is submitted that this development application warrants approval by Council, subject to reasonable and relevant Conditions.

Kind regards,



Lisa McKay
Town Planning Manager

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