

Minor Change to Development Approval for Material Change of Use Tourist Attraction (Hamster Wheel) and Development Approval for Building Works (27 Tree Platforms)

Holding Redlich

December 2021

1. Summary

1.1 Introduction

Trees Adventure Holding Pty Ltd trading as Treetops Adventure are an outdoor adventure group that have been operating since 2010 to create treetop obstacle courses which are built, maintained and operated by the company. They currently have fourteen sites across Australia including in Western Australia, Tasmania, New South Wales and Queensland. The courses are constructed from platforms that surround tree trunks while enabling tree development and growth. Treetops Adventure maintain high safety standards providing safety equipment for use onsite, and maintaining daily, monthly and annual inspections to ensure that all equipment, gear, activities and courses have a high safety rating.

Treetops Adventure are excited about the opportunity to revive the jungle surfing facility at Camelot Close, Cape Tribulation. The company does not intend to redesign the facility but is interested in updating the site to create a treetop obstacle course that will attract local, interstate and international visitors to the Cape Tribulation area. The facility will complement its natural surroundings and encourage awareness and education around the Daintree Rainforest.

This application for a Minor Change to the Development Approval for Material Change of Use Tourist Attraction (Hamster Wheel) dated 29 August 2013 (**2013 Approval**) and application for Building Works (27 tree platforms) is submitted to Douglas Shire Council (**Council**) as the responsible entity along with completed Change Application form (Form 5) and Owners' Consent, DA Form 1 - Development application details and DA Form 2 – Building Work details.

The application for a Minor Change seeks to amend the 2013 Approval by replacing the existing canopy run on the site comprising five tree platforms and a hamster wheel, with a new canopy run comprising 27 new tree platforms (resulting in a net increase of 22 platforms).

The application for Building Works seeks approval for the construction of the 27 new tree platforms.

As set out in the email from Daniel Lamond, Town Planner at Council on 7 December 2021, the application fee is \$2,500 and will be paid when payment details are received from Council.

1.2 Proposed Change

The proposed changes are considered to be a minor change as the site will continue to operate as a Tourist Attraction. The majority of the existing infrastructure on the site will be retained and used for the facility, including the Harnessing and Administration Centre, caretaker's accommodation, amenities, shuttle bus service and parking spaces. The caretaker will continue to maintain the site on a day to day basis. The only infrastructure that will not be used for the facility are the human hamster wheel, owing to the declining health of the tree supporting the wheel, and the five existing tree platforms will be decommissioned.

The canopy tours will involve a series of nets, ladders and zip lines supervised by two guides to a group of twelve visitors. The canopy tours largely commence and finish in the same locations as the tours previously operated on the site. As shown in **Figure 1** below the canopy tour will commence at the first tree (T1) and continue to the grand stand (GS). This aspect of the canopy tour is consistent with the previous operations on the site. Visitors will then have the option of proceeding along Course 1 (T6 to T14 highlighted in blue) or Course 2 (T18 to 27 highlighted in purple). The canopy tour will then continue from T14 and T27 through to the arrival ramp at T15 and T16 before finishing at T17. The location of the arrival ramp is also unchanged from the existing facility.

Two types of timber platforms will be installed on the 27 trees supporting the canopy tours comprising three or four larger platforms and smaller platforms for the balance trees. These platforms are consistent with the platform design used by Trees Adventure Holding Pty Ltd across their fourteen

other sites in Australia. The platforms are easily assembled and disassembled and are designed to fit around the tree without damaging the trunk. The platforms and zip line infrastructure will be carried on site and installed by hand under Advanced Rigging Licences, without the use of machinery. For this reason, no builders are required to be engaged for the works.

There will be negligible impact to any vegetation with minimal lopping of trees required to accommodate the new tree platforms. This will be limited to the activities permitted under the *Vegetation Management Act 1999* (Qld) (**Vegetation Management Act**). No vegetation will be cleared on site and the forest bed will not be disturbed. An Arborist's Report has been completed (see **Annexure K**) for the trees which will support the new tree platforms.

1.3 Supporting Information

In support of the minor change application and application for building works we **enclose** the following information required under Section 79 of the *Planning Act 2016* (Qld) (**Planning Act**):

- Annexure A – DA Form 1 – Development application details;
- Annexure B – Change application form;
- Annexure C – DA Form 2 – Building work details;
- Annexure D – Owners' Consent;
- Annexure E – Decision Notice for Material Change of Use Tourist Attraction (Hamster Wheel) dated 29 August 2013;
- Annexure F – Definition of Minor Change;
- Annexure G – Douglas Shire Planning Scheme 2018 Code Assessment.
- Annexure H – Arborist Inspection Report;
- Annexure I – Aerial Imagery of Canopy Tour Redevelopment;
- Annexure J – Engineering Designs;
- Annexure K – 2 Frame Platform Plan;
- Annexure L – Structural Computations;
- Annexure M – Form 15 Compliance Certificate;

1.4 Pre-lodgement

A pre-lodgement meeting was undertaken with Daniel Lamond, Town Planner at Council on 25 November 2021 to discuss planning requirements and key issues applicable to these development applications.

1.5 Development Application Details

Item	Description
Proposed development:	Treetop Adventure as described in Item 1.3 above
Type of approval(s) sought:	Minor Change to Development Approval for Material Change of Use Tourist Attraction (Hamster Wheel) dated 29 August 2013 Development Approval for Building Works (27 tree platforms)
Site address:	141 Camelot Close, Cape Tribulation
Real property description:	Lot 9 on SR963 and Lot 25 on RP733182
Site area:	9.4 hectares
Assessment manager:	Douglas Shire Council
Owner details:	Stephen O'Reilly, Thomas Stevens, and Jacqueline O'Reilly as Trustees under Instrument No. 720391974
Applicant details:	Trees Adventure Holding Pty Ltd ACN 604 827 027

1.6 Planning Instrument Details

Item	Description
Planning Scheme	Douglas Shire Council Planning Scheme 2018
Zone	Conservation
Local Plan	Cape Tribulation and Daintree Coast Local Plan – Precinct 2
Applicable Overlays	Landscape Values Potential Landslide Hazard Hillslopes Natural Areas Transport Network
Applicable Codes	Conservation Zone Code Cape Tribulation and Daintree Local Plan Code – Precinct 2 Landscape Values Overlay Code Potential Landslide Hazard Overlay Code Hillslopes Overlay Code Natural Areas Overlay Code Transport Network Overlay Code

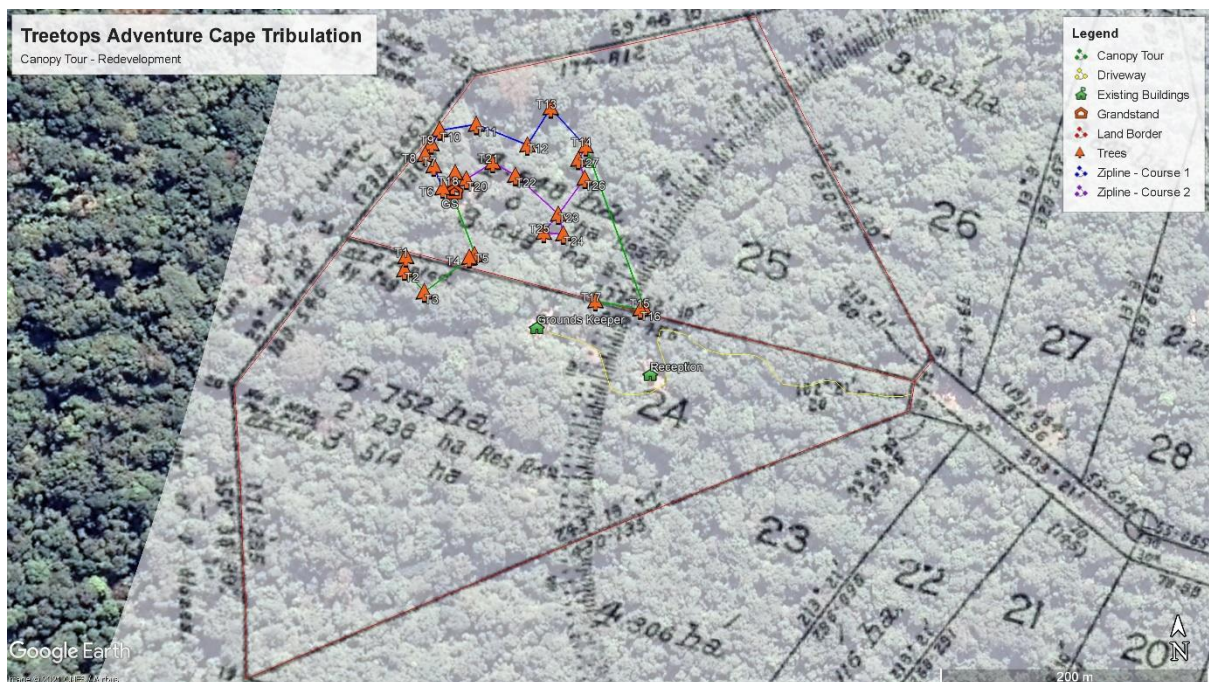
2. Site Details

2.1 Site Description

Item	Description
Existing Land Use	Tourist Attraction
Existing Structures	Harness and Administration Centre Caretakers Accommodation Human Hamster Wheel Jungle Surfing Structure (Grand Stand and five tree platforms)
Frontage and Access	Both lots have frontage on the eastern side to Camelot Close. Access to the site will be via shuttle bus service.
Existing Vegetation	The site is densely vegetated. See Arborist's Report for further detail (Annexure K)
Existing Waterways	Mason Creek traverses Lot 25

Figure 1: Aerial view and site identification

Source: Trees Adventure Holding Pty Ltd



3. Minor Change Status

A minor change for a development approval under the Planning Act is a change that would not result in a substantially different development and, if a development application for the development, including the change, were made when the change application was made would not cause:

- (a) the inclusion of prohibited development in the application; or
- (b) referral to a referral agency, other than to the chief executive, if there were no referral agencies for the development application; or
- (c) referral to extra referral agencies, other than to the chief executive; or
- (d) a referral agency, in assessing the application under section 55(2), to assess the application against, or have regard to, a matter, other than a matter the referral agency must have assessed the application against, or had regard to, when the application was made; or
- (e) public notification if public notification was not required for the development application.

We confirm that the proposed changes:

- do not introduced prohibited development on the site;
- do not require referral to a referral agency; and
- do not require public notification.

3.1 Substantially Different Development

Pursuant to Item 3 of Schedule 1 of the Development Assessment Rules – version 1.3 (**DA Rules**), in determining whether the proposed changes would result in substantially different development, Council must consider the individual circumstances of the development in the context of the changes proposed.

Pursuant to Item 4 of Schedule of the DA Rules we confirm that the proposed changes:

- (a) Do not involve a new use;
The site is approved for use as a tourist attraction pursuant to the 2013 Approval (see **Annexure E**) and will continue to operate as a tourist attraction.
- (b) do not result in the application applying to a new parcel of land;
The proposed changes apply to the same parcels of land subject of the 2013 Approval, being Lot 9 on SR693 and Lot 25 on RP733182.
- (c) do not dramatically change the built form in terms of scale, bulk and appearance;
An additional 27 tree platforms and associated zip line infrastructure will be constructed in the configuration shown on the Aerial Imagery of the Canopy Tour Redevelopment (see **Annexure J**). These timber platforms will complement the surrounding rainforest landscape as they will be installed by hand on existing trees and will not require the clearing of any vegetation. The new tree platforms will not dramatically change the built form of the site in terms of scale, bulk and appearance.

Additionally, the existing Grand Stand structure will be utilised in the new canopy tours and all other operations on the site will remain the same. This includes the use of a shuttle bus service to transport visitors to the site, the use of the existing Harnessing and Administration Centre and the use of the caretaker's accommodation.

- (d) do not change the ability of the proposed development to operate as intended;

The proposed changes positively contribute to the operation of the site as intended, being a tourist attraction and more particularly, a zip line adventure.

- (e) do not remove a component that is integral to the operation of the development;

The 'Human Hamster Wheel' and 'Jungle Surfing structure' referenced in Appendix A of the 2013 Approval (see **Annexure E**) will not be used moving forward. These components are not integral to the operation of the development as a tourist attraction. A new tree structure will replace the 'Jungle Surfing structure'. The use of the 'Human Hamster Wheel' will be discontinued owing to the declining health of the tree supporting the wheel.

- (f) do not significantly impact on traffic flow and the transport network, such as increasing traffic to the site;

The proposed changes will not significantly impact on traffic flow and the local transport network including demand on the Daintree River ferry crossing as there will be no increase in the maximum number of customers allowed on the site.

- (g) do not introduce new impacts or increase the severity of known impacts;

No vegetation will be cleared on the site. Some lopping will be undertaken to accommodate the new tree platforms in accordance with what is permitted under the Vegetation Management Act. Therefore the proposed changes will not introduce new impacts or increase the severity of known impacts on the site.

- (h) do not remove an incentive or offset component that would have balanced a negative impact of the development; and

The proposed changes do not remove an incentive or offset component on the site.

- (i) do not impact on infrastructure provisions.

The proposed development does not impact on infrastructure provisions.

3.2 Amendments to Conditions of Approval

No changes to the conditions of approval are required as a result of the minor change. The key conditions of approval will remain and are set out below.

Condition	Description
5 – Number of Customers Per Day	No more than two hundred customers shall enter the subject land on any one day.
6 & 7 – Transportation of Customers To and From the Site	All customers visiting the site are to arrive and depart via the operator's shuttle bus service. No customers are to access, or park on the site, or adjacent road reserve, in a private, chartered or hired vehicle.

8 – Parking on Site	The six covered parking spaces which include four parking spaces suitable for small buses are to remain as constructed on the subject site.
9 – Harnessing and Administration Centre	The existing Harnessing and Administration Centre is to remain as constructed. No further expansion of the building is to occur.
10 – Additional Amenities	The downstairs toilet of the dwelling house on Lot 9 on SR 693 will remain signed and designated as 'customer toilet'. This toilet will remain freely accessible to customers at all times.
11 – Canopy Runs	No more than two canopy runs (one 'canopy run' being a ground to ground movement) will operate on the site.
13 – Hours of Operation	The Canopy Tours will operate between the hours of 8:00 am and 9:00 pm, Monday to Sunday.

3.3 Change Assessment Process

The matters for consideration by the responsible entity are set out at section 81 of the Planning Act as follows:

- (a) the information in this application;
- (b) any properly made submissions about the development application or another change application that was approved;

No submissions were received during the original public notification period in 2013. The proposed change would be unlikely to result in a submission being made against the development in circumstances where there were no submissions made in relation to the original development application.

- (c) any pre-request response notice or response notice given in relation to the change application;

No pre-request response notice or response notice was required for the change application.

- (d) all matters the responsible entity would or may assess against or have regard to, if the change application were a development application; and

An assessment of the proposed change against the applicable codes in the Planning Scheme is contained in **Annexure M** and confirms that the proposed change complies with the requirements of the relevant codes.

- (e) another matter that the responsible entity considers relevant.

The statutory instrument in effect at the time the development application for the 2013 approval was properly made was the Douglas Shire Council Planning Scheme 2006.

A review of the proposed changes against the relevant provisions of the Douglas Shire Council Planning Scheme 2006 confirm that the proposed changes to the development are generally consistent with the relevant Planning Scheme provisions.

Having regard to the matters for consideration set out above, the Minor Change Application should be approved.

4. Building Work

4.1 Summary

The Development Application for Building Works is Code Assessable under the Planning Scheme.

Item	Description
Building Work	Construction of 27 new tree platforms in accordance with the Engineering Designs and Drawings (Annexures F to H) and associated zip line infrastructure in the configuration shown on the Aerial Imagery of the Canopy Tour Redevelopment (Annexure J)
Value of Proposed Work	\$400,000

4.2 Planning Assessment

A detailed assessment of the proposed building work against the relevant criteria in the applicable codes of the Planning Scheme is contained in **Annexure M** and confirms that the proposed building work complies with the requirements of the relevant codes.

5. Conclusion

Tree Tops Adventure Holding Pty Ltd seeks a minor change to the 2013 Approval. The proposed changes will not result in a substantially different development and the site will continue to operate as a Tourist Attraction.

Treetops Adventure seeks a Building Approval for 27 new tree platforms which will enhance the use of the site as a tourist facility.

We trust the information provided is sufficient to allow the Council to undertake the necessary assessment. However, if Council requires any further information, please do not hesitate to contact our office on (07) 4230 0482 or sangeetha.badya@holdingredlich.com.

DA Form 1 – Development application details

Approved form (version 1.3 effective 28 September 2020) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Trees Adventure Holdings Pty Ltd
Contact name (only applicable for companies)	Sangeetha Badya
Postal address (P.O. Box or street address)	C/- Holding Redlich, Level 1, 15 Lake Street
Suburb	Cairns City
State	QLD
Postcode	4870
Country	Australia
Contact number	(07) 4230 0482
Email address (non-mandatory)	Sangeetha.badya@holdingredlich.com
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	

2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application <input checked="" type="checkbox"/> No – proceed to 3)	

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.1) Street address and lot on plan

- ☐ Street address **AND** lot on plan (all lots must be listed), **or**
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		141	Camelot Close	Cape Tribulation
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	9	Crown Plan SR693	Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
		Lot 25	Camelot Close	Cape Tribulation
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	25	Registered Plan 733182	Douglas Shire Council

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- ☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
☒ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

<input type="checkbox"/> In or adjacent to a water body or watercourse or in or above an aquifer
Name of water body, watercourse or aquifer:
<input type="checkbox"/> On strategic port land under the <i>Transport Infrastructure Act 1994</i>
Lot on plan description of strategic port land:
Name of port authority for the lot:
<input type="checkbox"/> In a tidal area
Name of local government for the tidal area (if applicable):
Name of port authority for tidal area (if applicable):
<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>
Name of airport:

<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☒ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☒ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Construction of 27 new tree platforms.

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- ☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- ☒ Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☒ Not required

Section 2 – Further development details

7) Does the proposed development application involve any of the following?	
Material change of use	<input type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input checked="" type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use			
Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)
8.2) Does the proposed use involve the use of existing buildings on the premises?			
<input type="checkbox"/> Yes			
<input type="checkbox"/> No			

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?	
9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)	
<input type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13))

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				
10.2) Will the subdivision be staged?				
<input type="checkbox"/> Yes – provide additional details below				
<input type="checkbox"/> No				
How many stages will the works include?				
What stage(s) will this development application apply to?				

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment

12.1) What are the current and proposed areas for each lot comprising the premises?

Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)

12.2) What is the reason for the boundary realignment?

--

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?

<input type="checkbox"/> Road work	<input type="checkbox"/> Stormwater	<input type="checkbox"/> Water infrastructure
<input type="checkbox"/> Drainage work	<input type="checkbox"/> Earthworks	<input type="checkbox"/> Sewage infrastructure
<input type="checkbox"/> Landscaping	<input type="checkbox"/> Signage	<input type="checkbox"/> Clearing vegetation
<input type="checkbox"/> Other – please specify: _____		

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)

<input type="checkbox"/> Yes – specify number of new lots: _____
<input type="checkbox"/> No

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$ _____

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Douglas Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

<input checked="" type="checkbox"/> Yes – a copy of the decision notice is attached to this development application
<input type="checkbox"/> The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
<input type="checkbox"/> No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

- ☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material (*from a watercourse or lake*)
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees (*category 3 levees only*)
- ☐ Wetland protection area

Matters requiring referral to the **local government:**

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has been devolved to local government*)

<input type="checkbox"/> Heritage places – Local heritage places
Matters requiring referral to the Chief Executive of the distribution entity or transmission entity:
<input type="checkbox"/> Infrastructure-related referrals – Electricity infrastructure
Matters requiring referral to:
<ul style="list-style-type: none"> • The Chief Executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual
<input type="checkbox"/> Infrastructure-related referrals – Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council:
<input type="checkbox"/> Ports – Brisbane core port land
Matters requiring referral to the Minister responsible for administering the <i>Transport Infrastructure Act 1994</i>:
<input type="checkbox"/> Ports – Brisbane core port land <i>(where inconsistent with the Brisbane port LUP for transport reasons)</i>
<input type="checkbox"/> Ports – Strategic port land
Matters requiring referral to the relevant port operator , if applicant is not port operator:
<input type="checkbox"/> Ports – Land within Port of Brisbane's port limits <i>(below high-water mark)</i>
Matters requiring referral to the Chief Executive of the relevant port authority:
<input type="checkbox"/> Ports – Land within limits of another port <i>(below high-water mark)</i>
Matters requiring referral to the Gold Coast Waterways Authority:
<input type="checkbox"/> Tidal works or work in a coastal management district <i>(in Gold Coast waters)</i>
Matters requiring referral to the Queensland Fire and Emergency Service:
<input type="checkbox"/> Tidal works or work in a coastal management district <i>(involving a marina (more than six vessel berths))</i>

18) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application		
<input checked="" type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application <i>(if applicable)</i> .		

PART 6 – INFORMATION REQUEST

19) Information request under Part 3 of the DA Rules
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application
<input type="checkbox"/> I do not agree to accept an information request for this development application
Note: By not agreeing to accept an information request I, the applicant, acknowledge: <ul style="list-style-type: none"> • that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties • Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules. Further advice about information requests is contained in the DA Forms Guide .

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)			
<input checked="" type="checkbox"/> Yes – provide details below or include details in a schedule to this development application <input type="checkbox"/> No			
List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input checked="" type="checkbox"/> Development application	N/A – Minor Change Application submitted together with this Development Application		Douglas Shire Council
<input checked="" type="checkbox"/> Approval <input type="checkbox"/> Development application	8/8/1284 (4099191)	29 August 2013	Cairns Regional Council

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)		
<input type="checkbox"/> Yes – a copy of the receipted QLeave form is attached to this development application <input type="checkbox"/> No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid <input checked="" type="checkbox"/> Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)		
Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?	
<input type="checkbox"/> Yes – show cause or enforcement notice is attached <input checked="" type="checkbox"/> No	

23) Further legislative requirements	
Environmentally relevant activities	
23.1) Is this development application also taken to be an application for an environmental authority for an Environmentally Relevant Activity (ERA) under section 115 of the <i>Environmental Protection Act 1994</i> ?	
<input type="checkbox"/> Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below <input checked="" type="checkbox"/> No Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au . An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.	
Proposed ERA number:	Proposed ERA threshold:
Proposed ERA name:	
<input type="checkbox"/> Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.	
Hazardous chemical facilities	
23.2) Is this development application for a hazardous chemical facility ?	
<input type="checkbox"/> Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application <input checked="" type="checkbox"/> No Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.	

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

☐ Yes – the development application involves premises in the koala habitat area in the koala priority area

☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area

☒ No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.des.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au for further information.

DA templates are available from <https://planning.dsdmp.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

☐ Yes – the relevant template is completed and attached to this development application

☒ No

DA templates are available from <https://planning.dsdmp.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
☒ No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
☒ No

Note: Contact the Department of Environment and Science at www.des.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the Water Supply Act)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the Water Supply Act is attached to this development application
☒ No

Note: See guidance materials at www.dnrme.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - ☐ A certificate of title
- ☒ No

Note: See guidance materials at www.des.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- ☐ Yes – details of the heritage place are provided in the table below
☒ No

Note: See guidance materials at www.des.qld.gov.au for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
-----------------------------	--	-----------	--

Brothels

23.14) Does this development application involve a **material change of use for a brothel**?

- ☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*
☒ No

Decision under section 62 of the Transport Infrastructure Act 1994

23.15) Does this development application involve new or changed access to a state-controlled road?

- ☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
☒ No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.16) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

Note: See guidance materials at www.planning.dsdmip.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes

Note: See the Planning Regulation 2017 for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

☒ Yes

☐ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

☒ Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

☐ Yes

☒ Not applicable

25) Applicant declaration

☒ By making this development application, I declare that all information in this development application is true and correct

☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

Change application form

Planning Act Form 5 (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form is to be used for a change application made under section 78 of the *Planning Act 2016*. It is important when making a change application to be aware of whether the application is for a minor change that will be assessed under section 81 of the *Planning Act 2016* or for an other change that will be assessed under section 82 of the *Planning Act 2016*.

An applicant must complete all parts of this form, and provide any supporting information that the form identifies as being required to accompany the change application, unless stated otherwise. Additional pages may be attached if there is insufficient space on the form to complete any part.

Note: All terms used in this form have the meaning given under the *Planning Act 2016*, the *Planning Regulation 2017*, or the *Development Assessment Rules (DA Rules)*.

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Trees Adventure Holdings Pty Ltd
Contact name (only applicable for companies)	Sangeetha Badya
Postal address (P.O. Box or street address)	C/- Holding Redlich, Level 1, 15 Lake Street
Suburb	Cairns City
State	QLD
Postcode	4870
Country	Australia
Email address (non-mandatory)	Sangeetha.badya@holdingredlich.com
Mobile number (non-mandatory)	(07) 4230 0482
Applicant's reference number(s) (if applicable)	

2) Owner's consent - Is written consent of the owner required for this change application?

Note: Section 79(1A) of the *Planning Act 2016* states the requirements in relation to owner's consent.

- ☒ Yes – the written consent of the owner(s) is attached to this change application
☐ No

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		141	Camelot Close	Cape Tribulation
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	9	Crown Plan SR693	Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
		Lot 25	Camelot Close	Cape Tribulation
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	25	Registered Plan 733182	Douglas Shire Council



**Queensland
Government**

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

- ☐ Additional premises are relevant to the original development approval and the details of these premises have been attached in a schedule to this application
- ☒ Not required

PART 3 – RESPONSIBLE ENTITY DETAILS

4) Identify the responsible entity that will be assessing this change application

Note: see section 78(3) of the Planning Act 2016

Douglas Shire Council

PART 4 – CHANGE DETAILS

5) Provide details of the existing development approval subject to this change application

Approval type	Reference number	Date issued	Assessment manager/approval entity
<input checked="" type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval	8/8/1284 (4099191)	29 August 2013	Cairns Regional Council
<input type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval			

6) Type of change proposed

6.1) Provide a brief description of the changes proposed to the development approval (e.g. changing a development approval for a five unit apartment building to provide for a six unit apartment building):

Installation of 27 new tree platforms as part of a new canopy run which will replace the existing canopy run comprising five tree platforms and a hamster wheel.

6.2) What type of change does this application propose?

- ☒ Minor change application – proceed to Part 5
- ☐ Other change application – proceed to Part 6

PART 5 – MINOR CHANGE APPLICATION REQUIREMENTS

7) Are there any affected entities for this change application

☒ No – proceed to Part 7

☐ Yes – list all affected entities below and proceed to Part 7

Note: section 80(1) of the Planning Act 2016 states that the person making the change application must give notice of the proposal and the details of the change to each affected entity as identified in section 80(2) of the Planning Act 2016.

Affected entity	Pre-request response provided? (where a pre-request response notice for the application has been given, a copy of the notice must accompany this change application)	Date notice given (where no pre-request response provided)
	<input type="checkbox"/> No <input type="checkbox"/> Yes – pre-request response is attached to this change application	
	<input type="checkbox"/> No <input type="checkbox"/> Yes – pre-request response is attached to this change application	
	<input type="checkbox"/> No <input type="checkbox"/> Yes – pre-request response is attached to this change application	

PART 6 – OTHER CHANGE APPLICATION REQUIREMENTS

Note: To complete this part it will be necessary for you to complete parts of DA Form 1 – Development application details and in some instances parts of DA Form 2 – Building work details, as mentioned below. These forms are available at <https://planning.dsdmip.qld.gov.au>.

8) Location details - Are there any additional premises included in this change application that were not part of the original development approval?

☒ No

☐ Yes

9) Development details

9.1) Is there any change to the type of development, approval type, or level of assessment in this change application?

☒ No

☐ Yes – the completed Sections 1 and 2 of Part 3 (Development details) of DA Form 1 – Development application details as these sections relate to the new or changed aspects of development are provided with this application.

9.2) Does the change application involve building work?

☐ No

☒ Yes – the completed Part 5 (Building work details) of DA Form 2 – Building work details as it relates to the change application is provided with this application.

10) Referral details – Does the change application require referral for any referral requirements?

Note: The application must be referred to each referral agency triggered by the change application as if the change application was the original development application including the proposed change.

☒ No

☐ Yes – the completed Part 5 (Referral details) of DA Form 1 – Development application details as it relates to the change application is provided with this application. Where referral is required for matters relating to building work the [Referral checklist for building work](#) is also completed.

11) Information request under Part 3 of the DA Rules

☒ I agree to receive an information request if determined necessary for this change application

☐ I do not agree to accept an information request for this change application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this change application will be assessed and decided based on the information provided when making this change application and the assessment manager and any referral agencies relevant to the change application are not obligated under the DA Rules to accept any additional information provided by the applicant for the change application unless agreed to by the relevant parties
 - Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.
- Further advice about information requests is contained in the [DA Forms Guide: Forms 1 and 2](#).

12) Further details

- ☒ Part 7 of *DA Form 1 – Development application details* is completed as if the change application was a development application and is provided with this application.

PART 7 – CHECKLIST AND APPLICANT DECLARATION

13) Change application checklist

I have identified the:

- responsible entity in 4); and
- for a minor change, any affected entities; and ☒ Yes
- for an other change all relevant referral requirement(s) in 10)

Note: See the *Planning Regulation 2017* for referral requirements

For an other change application, the relevant sections of [DA Form 1 – Development application details](#) have been completed and is attached to this application ☐ Yes ☒ Not applicable

For an other change application, where building work is associated with the change application, the relevant sections of [DA Form 2 – Building work details](#) have been completed and is attached to this application ☒ Yes ☐ Not applicable

Supporting information addressing any applicable assessment benchmarks is attached to this application ☒ Yes

Note: This includes any templates provided under 23.6 and 23.7 of *DA Form 1 – Development application details* that are relevant as a result of the change application, a planning report and any technical reports required by the relevant categorising instrument(s) (e.g. the local government planning scheme, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning report template](#).

Relevant plans of the development are attached to this development application ☒ Yes

Note: Relevant plans are required to be submitted for all relevant aspects of this change application. For further information, see [DA Forms Guide: Relevant plans](#).

14) Applicant declaration

- ☒ By making this change application, I declare that all information in this change application is true and correct.
- ☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the responsible entity and any relevant affected entity or referral agency for the change application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*.

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the responsible entity and/or chosen assessment manager, any relevant affected entity or referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the change application.

All information relating to this change application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, *Planning Regulation 2017* and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 8 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			

DA Form 2 – Building work details

Approved form (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving building work**.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use *DA Form 1 – Development application details* and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Trees Adventure Holdings Pty Ltd
Contact name (only applicable for companies)	Sangeetha Badya
Postal address (PO Box or street address)	C/- Holding Redlich, Level 1, 15 Lake Street
Suburb	Cairns City
State	QLD
Postcode	4870
Country	Australia
Contact number	(07) 4230 0482
Email address (non-mandatory)	Sangeetha.badya@holdingredlich.com
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	

PART 2 – LOCATION DETAILS

2) Location of the premises (complete 2.1 and 2.2 if applicable)	
Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see <i>DA Forms Guide: Relevant plans</i> .	
2.1) Street address and lot on plan	
<input checked="" type="checkbox"/> Street address AND lot on plan (all lots must be listed), or <input type="checkbox"/> Street address AND lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).	

a)	Unit No.	Street No.	Street Name and Type	Suburb
		141	Camelot Close	Cape Tribulation
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	9	Crown Plan SR693	Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
		Lot 25	Camelot Close	Cape Tribulation
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	25	Registered Plan 733182	Douglas Shire Council
2.2) Additional premises				
<input type="checkbox"/> Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application <input checked="" type="checkbox"/> Not required				

3) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the [DA Forms Guide](#)

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
☒ No

PART 3 – FURTHER DETAILS

4) Is the application only for building work assessable against the building assessment provisions?

- ☐ Yes – proceed to 8)
☒ No

5) Identify the assessment manager(s) who will be assessing this development application

Douglas Shire Council

6) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
☒ No

7) Information request under Part 3 of the DA Rules

- ☒ I agree to receive an information request if determined necessary for this development application
☐ I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
 - Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.
- Further advice about information requests is contained in the [DA Forms Guide](#).

8) Are there any associated development applications or current approvals?

- ☒ Yes – provide details below or include details in a schedule to this development application
☐ No

List of approval/development application	Reference	Date	Assessment manager
<input checked="" type="checkbox"/> Approval <input type="checkbox"/> Development application	8/8/1284 (4099191)	29 August 2013	Cairns Regional Council
<input type="checkbox"/> Approval <input checked="" type="checkbox"/> Development application	N/A – Application for Minor Change		Douglas Shire Council

9) Has the portable long service leave levy been paid?

- ☐ Yes – a copy of the receipted QLeave form is attached to this development application
☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached
☒ No

11) Identify any of the following further legislative requirements that apply to any aspect of this development application

- ☐ The proposed development is on a place entered in the **Queensland Heritage Register** or in a local government's **Local Heritage Register**. See the guidance provided at www.des.qld.gov.au about the requirements in relation to the development of a Queensland heritage place

Name of the heritage place:	Place ID:

PART 4 – REFERRAL DETAILS

12) Does this development application include any building work aspects that have any referral requirements?

- ☐ Yes – the *Referral checklist for building work* is attached to this development application
☒ No – proceed to Part 5

13) Has any referral agency provided a referral response for this development application?

- ☐ Yes – referral response(s) received and listed below are attached to this development application
☒ No

Referral requirement	Referral agency	Date referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (if applicable)		

PART 5 – BUILDING WORK DETAILS

14) Owner's details

<input type="checkbox"/> Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.	
Name(s) <i>(individual or company full name)</i>	Thomas Stevens, Stephen John Wootton O'Reilly and Jacqueline Elizabeth O'Reilly as Trustee under Instrument 720391974
Contact name <i>(applicable for companies)</i>	
Postal address <i>(P.O. Box or street address)</i>	PO Box 4685
Suburb	Cairns
State	QLD
Postcode	4870
Country	Australia
Contact number	+61 7 4031 7133
Email address <i>(non-mandatory)</i>	info@oreillystevens.com
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	

15) Builder's details	
<input checked="" type="checkbox"/> Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.	
Name(s) <i>(individual or company full name)</i>	
Contact name <i>(applicable for companies)</i>	
QBCC licence or owner – builder number	
Postal address <i>(P.O. Box or street address)</i>	
Suburb	
State	
Postcode	
Contact number	
Email address <i>(non-mandatory)</i>	
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	

16) Provide details about the proposed building work	
What type of approval is being sought?	
<input checked="" type="checkbox"/> Development permit	
<input type="checkbox"/> Preliminary approval	
b) What is the level of assessment?	
<input checked="" type="checkbox"/> Code assessment	
<input type="checkbox"/> Impact assessment <i>(requires public notification)</i>	
c) Nature of the proposed building work (tick all applicable boxes)	
<input checked="" type="checkbox"/> New building or structure	<input type="checkbox"/> Repairs, alterations or additions
<input type="checkbox"/> Change of building classification <i>(involving building work)</i>	<input type="checkbox"/> Swimming pool and/or pool fence
<input type="checkbox"/> Demolition	<input type="checkbox"/> Relocation or removal
d) Provide a description of the work below or in an attached schedule.	
27 tree platforms will be installed by hand for a new canopy run.	
e) Proposed construction materials	
External walls	<input type="checkbox"/> Double brick <input type="checkbox"/> Steel <input type="checkbox"/> Curtain glass <input type="checkbox"/> Brick veneer <input type="checkbox"/> Timber <input type="checkbox"/> Aluminium <input type="checkbox"/> Stone/concrete <input type="checkbox"/> Fibre cement <input type="checkbox"/> Other

Frame	<input type="checkbox"/> Timber <input type="checkbox"/> Other	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
Floor	<input type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete <input type="checkbox"/> Aluminium	<input type="checkbox"/> Tiles <input type="checkbox"/> Steel	<input type="checkbox"/> Fibre cement <input type="checkbox"/> Other
f) Existing building use/classification? (if applicable)			
g) New building use/classification? (if applicable)			
h) Relevant plans Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans .			
<input checked="" type="checkbox"/> Relevant plans of the proposed works are attached to the development application			

17) What is the monetary value of the proposed building work?
\$ 400,000.00

18) Has Queensland Home Warranty Scheme Insurance been paid?		
<input type="checkbox"/> Yes – provide details below		
<input checked="" type="checkbox"/> No		
Amount paid	Date paid (dd/mm/yy)	Reference number
\$		

PART 6 – CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist	
The relevant parts of <i>Form 2 – Building work details</i> have been completed	<input checked="" type="checkbox"/> Yes
This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable
Relevant plans of the development are attached to this development application Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans .	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 9)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable

20) Applicant declaration
<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct <input checked="" type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i> Note: It is unlawful to intentionally provide false or misleading information.
Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i> , <i>Planning Regulation 2017</i> and the <i>DA Rules</i> except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or
 - required by other legislation (including the *Right to Information Act 2009*); or
 - otherwise required by law.
- This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 7 – FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference numbers:

For completion by the building certifier

Classification(s) of approved building work

Name	QBCC Certification Licence number	QBCC Insurance receipt number
<input type="text"/>	<input type="text"/>	<input type="text"/>

Notification of engagement of alternative assessment manager

Prescribed assessment manager	<input type="text"/>
Name of chosen assessment manager	<input type="text"/>
Date chosen assessment manager engaged	<input type="text"/>
Contact number of chosen assessment manager	<input type="text"/>
Relevant licence number(s) of chosen assessment manager	<input type="text"/>

Additional information required by the local government

Confirm proposed construction materials:

External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input type="checkbox"/> Steel	<input type="checkbox"/> Other

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			

Additional building details required for the Australian Bureau of Statistics			
Existing building use/classification? <i>(if applicable)</i>			
New building use/classification?			
Site area (m ²)		Floor area (m ²)	

ANNEXURE D - Owners' Consent

Individual owner's consent for making a development application under the *Planning Act 2016*

We, Thomas Stevens, Stephen John Wootton O'Reilly and Jacqueline Elizabeth O'Reilly, as Trustee under Instrument 720391974

as owners of the premises identified as follows:

Lot 9 on Crown Plan SR693 and Lot 25 on Registered Plan 733182

consent to the making of a change application under the *Planning Act 2016* by:

Trees Adventure Holdings Pty Ltd ACN 604 827 027

on the premises described above for:

A Minor Change to the Development Approval for a Material Change of Use Tourist Attraction (Hamster Wheel) dated 28 August 2013

Thomas Stevens, as Trustee under Instrument 720391974

DocuSigned by:

Thomas Stevens

938B6D422A7848D.....

Date: 23 December 2021 | 11:00 AEDT

Stephen John Wootton O'Reilly as Trustee under Instrument 720391974

DocuSigned by:

Stephen O'Reilly

7886453136314C6.....

Date: 21 December 2021 | 21:02 PST

Jacqueline Elizabeth O'Reilly as Trustee under Instrument 720391974

DocuSigned by:

JACQUELINE O'REILLY

2AE11B49982F482.....

Date: 22 December 2021 | 14:56 AEST

ENQUIRIES: Gerard Rosse
PHONE: (07) 4044 3553
FAX: (07) 4044 3836
YOUR REF: Walshaw
OUR REF: 8/8/1284 (4099191)

29 August 2013

Keydane Pty Ltd t/as Jungle Surfing Canopy Tours
C/- All About Law
81 McLeod Street
CAIRNS QLD 4870

Dear Sir/Madam

**DECISION NOTICE UNDER S 335 SUSTAINABLE PLANNING ACT 2009:
DEVELOPMENT APPLICATION FOR
141R CAMELOT CLOSE, CAPE TRIBULATION**

With reference to the abovementioned Development Application, which was determined by Council at the Ordinary Meeting held on 28 August 2013, please find attached the relevant Decision Notice.

This approval replaces the previous Negotiated Decision Notice TPC1130 dated 29 January 2004 for the use on Lot 9 on SR693 and Lot 25 on RP733182,

The notice includes extracts from the Act with respect to making representations about conditions, negotiated decisions, suspension of the appeal period, and lodging an Appeal.

Should you have any enquiries in relation to this Decision Notice, please contact Gerard Rosse of Council's Development Services team on telephone number (07) 4044 3553.

Yours faithfully

Graham Boyd
Acting General Manager Planning & Environment

Att

APPLICANT DETAILS

Keydane Pty Ltd t/as Jungle Surfing Canopy Tours
C/- All About Law
81 M^cLeod Street
CAIRNS QLD 4870

ADDRESS

141R Camelot Close, Cape Tribulation

REAL PROPERTY DESCRIPTION

Lot 9 on SR693 and Lot 25 on RP733182

PROPOSAL

Tourist Attraction (Hamster Wheel)

DECISION

Approved subject to conditions (refer to approval package below).

DECISION DATE

28 August 2013

TYPE

Material Change of Use (Development Permit)

REFERRAL AGENCIES

None Applicable

SUBMISSIONS

There were no submissions for this application.

FURTHER DEVELOPMENT PERMITS REQUIRED

Development Permit for Building Works

CODES TO COMPLY WITH FOR SELF-ASSESSABLE DEVELOPMENT

None

DECISION NOTICE DETAILS
SUSTAINABLE PLANNING ACT 2009

DOES THE ASSESSMENT MANAGER CONSIDER THE APPLICATION TO BE IN CONFLICT WITH APPLICABLE CODES, PLANNING SCHEME, STATE PLANNING POLICIES OR PRIORITY INFRASTRUCTURE PLAN (IF YES, INCLUDE STATEMENT OF REASONS)

Not in conflict

APPROVED DRAWING(S) AND/OR DOCUMENT(S)

The term 'approved drawing(s) and/or document(s)' or other similar expression means:

Drawing or Document	Reference	Date
Site Plan – Camelot Close, Cape Tribulation	Lot 25 on RP733182 Lot 9 on SR693	As submitted 09/08/2013
Human Hamster Wheel – Proposed Site Arrangement	0092-001-DRG-002 – Rev P2	12/04/2013
Human Hamster Wheel – General Arrangement	0092-001-DRG-002 – Rev A	16/01/2013
Human Hamster Wheel – Operations and Maintenance Manual	0092-001-REP0001	As submitted 15/05/2013
Previous Approval – Negotiated Decision Notice	MCU (Canopy Tours) Ref No: TPR1130	24/01/2004

ASSESSMENT MANAGER CONDITIONS

1. Carry out the approved development generally in accordance with the approved drawing(s) and/or document(s), and in accordance with:
 - a. The specifications, facts and circumstances as set out in the application submitted to Council; and
 - b. The following conditions of approval and the requirements of Council's Planning Scheme and the *FNQROC Development Manual*.

Except where modified by these conditions of approval

Timing of Effect

2. The conditions of the Development Permit must be effected prior to Commencement of Use, except where specified otherwise in these conditions of approval.

Near Threatened Plant Species

3. An approval under the *Nature Conservation Act* 1992 will be required if any specimens of the following plant species listed as Near Threatened are to be removed or adversely impacted; *Cheilanthes myrianthus*, *Endiandra microneura* and *Haplostichanthus ramiflorus*. Information on approvals under the *Nature Conservation Act* 1992 may be obtained from the Department of Environment & Heritage Protection at www.ehp.qld.gov.au.

On-site Effluent Disposal

4. Should the sewage inflows into the existing on-site sewerage system exceed the original design capacity, the on-site sewerage system is to be upgraded to the new inflows and the relevant approvals obtained for this work.

Number of Customers Per Day

5. No more than two hundred (200) customers shall enter the subject land on any one (1) day.

Transportation of Customers To and From the Site

6. All customers visiting the site are to arrive and depart via the operator's shuttle bus service.
7. No customers are to access, or park on the site, or adjacent road reserve, in a private, chartered or hired vehicle.

Parking on Site

8. The six (6) covered parking spaces which include four (4) parking spaces suitable for small buses are to remain as constructed on the subject site.

Harnessing and Administration Centre

9. The existing Harnessing and Administration Centre is to remain as constructed. No further expansion of the building is to occur.

Additional Amenities

10. The downstairs toilet of the dwelling house on Lot 9 on SR 693 is to be signed and designated as 'customer toilet'. This toilet is to remain freely accessible to customers at all times.

Canopy Runs

11. No more than two (2) canopy runs are to operate on the site. All canopy runs are to remain as currently constructed with the exception of the inclusion of the new hamster wheel.

Workplace Health and Safety

12. The developer must ensure that appropriate Work Place Health and Safety Certificates, Engineering Certifications and Building Applications are acquired when necessary (ie when rotating trees and constructing new platforms new certificates are required).

Hours of Operation

13. The Canopy Tours are to operate between the hours of 8:00 am and 9:00 pm, Monday to Sunday.

Approval for the Existing Use

14. This approval replaces the previous Negotiated Decision Notice TPC1130 dated 29 January 2004 for the use on Lot 9 on SR693 and Lot 25 on RP733182.

ADVICE

1. This approval, granted under the provisions of the *Sustainable Planning Act 2009*, shall lapse four (4) years from the day the approval takes effect in accordance with the provisions of section 339 and 341 of the *Sustainable Planning Act 2009*.
2. All building site managers must take all action necessary to ensure building materials and / or machinery on construction sites are secured immediately following the first cyclone watch and that relevant emergency telephone contacts are provided to Council officers, prior to commencement of works.
3. This approval does not negate the requirement for compliance with all other relevant Local Laws and other statutory requirements.
4. For information relating to the *Sustainable Planning Act 2009* log on to www.dsdip.qld.gov.au . To access the *FNQROC Development Manual*, Local Laws and other applicable Policies log on to www.cairns.qld.gov.au .

LAND USE DEFINITION*

In accordance with Douglas Shire Planning Scheme 2008 the approved land use of Tourist Attraction is defined as:

Means the use of premises for an activity or range of activities which showcase surrounding environmental or agricultural/rural attractions and are designed and operated primarily to attract tourists.

The use includes:

- *interpretive/educational facilities;*
- *administrative office and manager's residence;*
- *small scale ancillary facilities such as:*
 - *retail outlet for the sale of souvenirs and similar items;*
 - *kiosk; or*
 - *Restaurant.*

The use includes facilities commonly described as:

- *animal and bird park or sanctuary;*
- *crocodile farm; or*
- *zoo.*

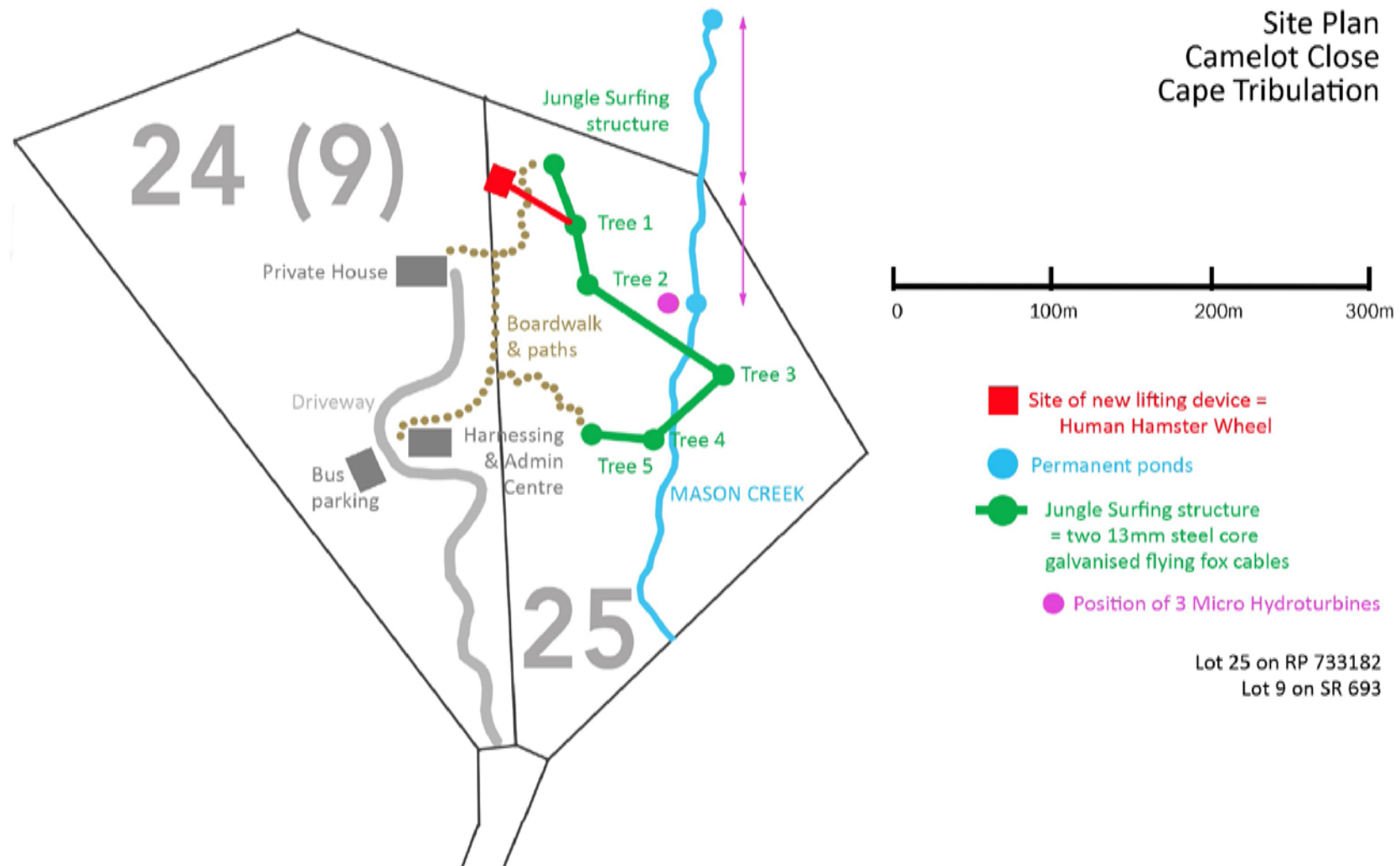
*This definition is provided for convenience only. This Development Permit is limited to the specifications, facts and circumstances as set out in the application submitted to Council and is subject to the abovementioned conditions of approval and the requirements of Council's Planning Scheme and the *FNQROC Development Manual*.

RIGHTS OF APPEAL

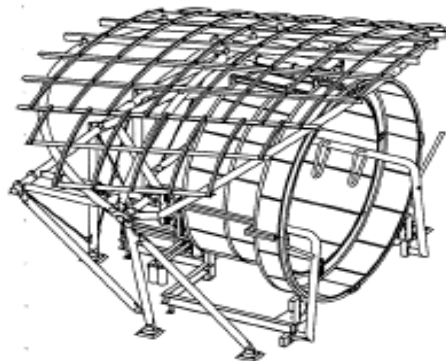
Attached

End of Decision Notice

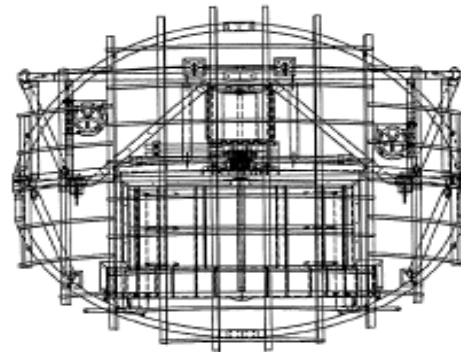
APPENDIX 1: Approved Drawing(s) & Document(s)



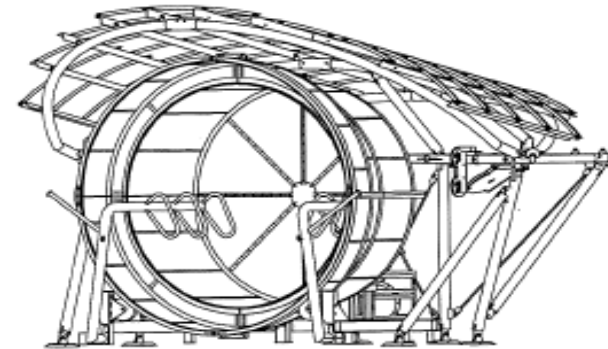
DO NOT SCALE



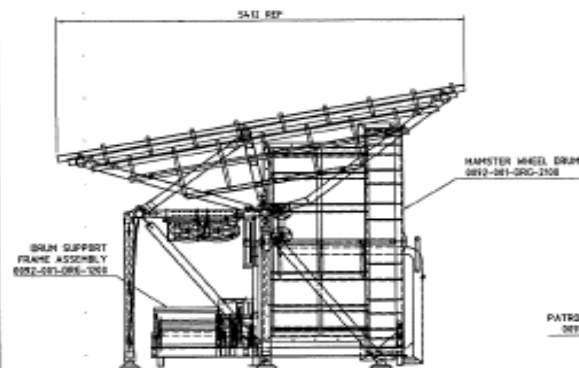
HAMSTER WHEEL ISOMETRIC ARRANGEMENT
HTS



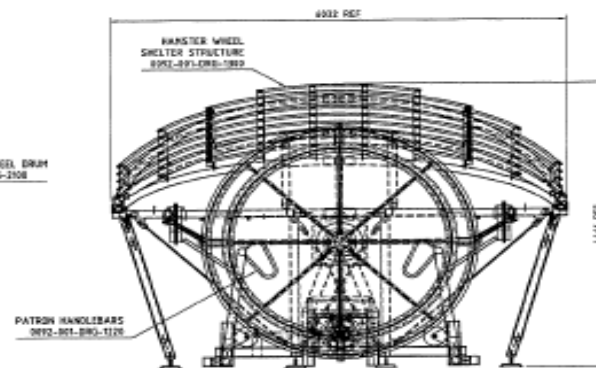
PLAN



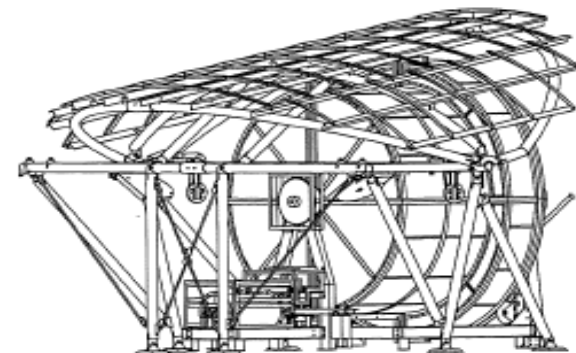
125



SIDE ELEVATION




FRONT ELEVATION

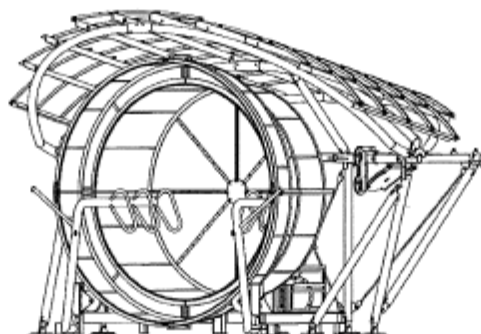


HAMSTER WHEEL REAR PICTORIAL ARRANGEMENT
 125

[illegible]

 EDMS Australia	JUNGLE SURFING CANOPY TOURS HUMAN HAMSTER WHEEL	Doc. No.: 0092-001-REP-0001
Extract from OPERATIONS & MAINTENANCE MANUAL		

JUNGLE SURFING CANOPY TOURS



HUMAN HAMSTER WHEEL

0092-001-REP-0001

EXTRACT FROM
OPERATIONS & MAINTENANCE MANUAL

Prepared by:

EDMS Australia Pty. Ltd
ABN 91 258 703 957

Prepared for:

Jungle Surfing Canopy Tours
Cape Tribulation

	Name	Signature	Date
Prepared By:	Joe Dobson		
Reviewed By:	Michael Hagen		
Approved By:	Maurice Copsey		

 EDMS Australia	JUNGLE SURFING CANOPY TOURS HUMAN HAMSTER WHEEL	Doc. No.: 0092-001-REP-0001
Extract from OPERATIONS & MAINTENANCE MANUAL		

1.Plant Description

1.1. Leading Particulars

Ropeway Owner:		Jungle Surfing Canopy Tours
Installation Location:		24 Camelot Close, Cape Tribulation, QLD
Ropeway Name:		Human Hamster Wheel
Ropeway Design Category		CSA Z98 - Reversible Passenger Ropeway
Ropeway Route:		Hamster Wheel to Tree-house Platform 1
Designer:		EDMS Australia
Ropeway Geometry		
Plan length:		35.360 m (nominal)
Elevation to Tree-house Platform 1		6.018 m (nominal)
Number of Ropeways		2
Ropeway Capacity		
Design Patron capacity:		240 kg (per Track Rope)
Max in-service wind speed:		20 m/s
Track Rope		
Rope diameter:		Ø12mm
Rope construction:		6x36 W/C Galv RHOL
Installation tension (still air & no load):		597 N
Maximum design tension (in-service + 20m/s wind):		13.61 kN
Maximum design rope sag:		500 mm
Haul Rope		
Rope diameter:		Ø6 mm
Rope construction:		6x19 F/C Galv RHOL
Installation tension (still air & no load):		126 N
Maximum design tension (in-service + 20m/s wind):		3.06 kN
Sheaves		
Diversion sheave nominal diameter		Ø450 mm
Line sheave nominal diameter		Ø250 mm
Overload Protection		
Type:		Friction Slip Hub
Manufacturer:		Mayr
Model:		ROBA 3/100.220
Torque setting:		520 Nm
Service Brake		
Type		Double Block Brake
Maximum design capacity		958 Nm
Emergency Brake		
Type		Double Block Brake
Maximum design capacity		958 Nm
Anti-rollback		
Type		Ratchet & Pawl

 EDMS Australia	JUNGLE SURFING CANOPY TOURS HUMAN HAMSTER WHEEL	Doc. No.: 0092-001-REP-0001
Extract from OPERATIONS & MAINTENANCE MANUAL		


1.2. Functional Description

1.2.1. Hamster Wheel

- 1.2.1.1. The Hamster Wheel drum is the focal element of the design and is styled on a tread-wheel crane concept. Patrons and Operators alike may enter the drum and provide motive power to the hauling mechanism by walking. The Hamster Wheel Ropeway is designed in the style of a Funicular, whereby Patron carriers oscillate alternately between ground and Tree-house stations. Consequently, the rotation of the drum determines the direction of oscillation of the carriers and motive power is directly supplied by the occupants walking within the drum.
- 1.2.1.2. Handlebars are provided for use by Patrons and Operators alike. The handlebars are provided principally to prevent falls within the drum, however also serve as a point of reaction against which, occupants of the drum may exert effort if required. EDMS recommend use of the handlebars at all times when within the drum.
- 1.2.1.3. The drum is constructed entirely from Aluminium alloy, principally for reasons of weight. An insulating gasket is provided at the interface between the Aluminium drum and carbon steel Taperlock hub to prevent dissimilar metal corrosion at this interface. Insulation must always be maintained to prevent the adverse effects of corrosion. Similarly, dissimilar metal should not be attached in any way to the Hamster Wheel drum.
- 1.2.1.4. The Hamster Wheel is partitioned into an inner and outer drum. The inner drum is intended for normal operation and is proportioned to accommodate up to 2 persons not exceeding 120kg each. The narrow outer drum is for use by Operators only and is intended to permit application of greater torque only when a single Operator cannot create sufficient motive power from within the inner drum. The outer drum is not intended or designed for use by Patrons, other than as a means of access to the inner drum. Nor is the outer drum intended for use where the Hamster Wheel is already occupied by Patrons within the inner drum.
- 1.2.1.5. The Hamster Wheel drum is supported at the rear by a single, self-aligning spherical roller bearing. At the front of the drum, support is furnished by two $\phi 300\text{mm}$ rollers operating within a channel forming the outer rim of the drum. Alignment of the Hamster Wheel drum may be performed by adjustment of the rollers. Provision for adjustment is made in the form of a jacking screw to permit vertical adjustment of the each roller independently.

1.2.2. Hauling Mechanism

- 1.2.2.1. The hauling mechanism comprises the winch drum, braking and Anti-rollback systems and associated systems. Motive power is transferred from the Hamster Wheel drum to the hauling mechanism by way of a chain drive. Renolds Syno Nickel plated roller chain has been selected to provide lubrication free service. Adjustable tension idlers are provided to remove slack from the chain drive and their adjustment should be monitored, both to optimise chain life and minimise mechanical backlash within the Hamster Wheel drum.
- 1.2.2.2. The driven sprocket is mounted on a Mayr ROBA slip hub, which is in turn mounted on the end of the winch drum shaft. The slip hub is an essential safety system and serves to limiting the maximum torque that may be transferred to the winch drum and Haul Rope system. The slip hub is adjustable within the range of 250-550Nm, by means of an adjusting nut. The slip hub should be set to 520Nm in the manner prescribed by the OEM.
- 1.2.2.3. The design of the slip hub permits exchange of drive sprockets, enabling tuning of the final gearing ratio. Standard ISO 16B simplex plate-wheel sprockets may be bored and counter-faced in accordance with drawing 0092-001-DRG-2201 for installation on the hub. Care must be taken to ensure correct alignment of sprockets and chain on re-installation.

 EDMS Australia	JUNGLE SURFING CANOPY TOURS HUMAN HAMSTER WHEEL	Doc. No.: 0092-001-REP-0001
Extract from OPERATIONS & MAINTENANCE MANUAL		

- 1.2.2.4. The hauling mechanism is equipped with an Anti-rollback mechanism designed to prevent unintended reversal of the Ropeway under load. Similarly, the Anti-rollback system prevents reverse torque transferring through to the Hamster Wheel drum such that it provides safety both for occupants of the Ropeway and of the Hamster Wheel. The mechanism comprises independent, directional ratchet and pawl arrangements, one each intended for left hand and right hand rotation respectively.
- 1.2.2.5. At rest, both left hand and right hand pawls are engaged on their respective ratchets under spring tension, thereby preventing rotation in either direction. The pawls are lifted by cables incorporated into the braking actuation system. For uphill operation of the left hand Ropeway, the left hand brake cable is drawn by the Operator, in turn lifting the right hand pawl and permitting rotation under the influence of the left hand pawl only. Similarly for operation of the right hand Ropeway, the left hand pawl is lifted via operation of the right hand brake cable.
- 1.2.2.6. The Anti-rollback pawls are connected with oil filled dampers. The dampers retard motion of the pawls on the return (tensile stroke) only and are to be adjusted for a nominal stroke duration of 5-7 seconds from fully disengaged position. During emergency descending, it is necessary to lift the Anti-rollback pawl that would otherwise prevent reverse rotation, i.e. for descending on the left hand Ropeway, it is necessary to raise the left hand pawl to permit reversal of the Ropeway.
- 1.2.2.7. In the event of rapid brake application during descending, it is necessary to retard the re-engagement of the pawls until the brakes have arrested rotation of the winch drum. Failure to do so would result in rapid engagement of the pawl and shock loading of the hauling mechanism and Ropeway. The dampers therefore serve an essential safety function by preventing shock loading of the Ropeway during emergency descent.

1.2.3. Winch Drum

- 1.2.3.1. The winch drum is sized to accommodate 200% of the required Haul Rope capacity. The Haul Rope winds on and off the top of the drum and is intended to lay in a single neat layer on the drum surface. It is therefore necessary to ensure correct longitudinal adjustment of the diversion sheaves to provide sufficient fleet angle to nest the cable neatly on the drum and prevent pinching or layering of the rope.
- 1.2.3.2. Excess rope capacity is provided to permit successive relocation of the Patron carriers on the Haul Rope, thereby optimising rope life and reducing the frequency of rope replacement. With each successive relocation of Patron carriers, it is necessary to re-adjust the diversion sheave positions accordingly to maintain correct fleet angle of the Haul Rope.

1.2.4. Braking Systems

- 1.2.4.1. The hauling mechanism is equipped with two independent braking systems for redundant operation. Both brakes are capable of independently arresting the motion of the fully laden Ropeway. The brakes are of a twin calliper design and are fitted with synthetic flexible liners. Braking is performed under the action of counterweights, the position of which may be adjusted to vary the mechanical advantage required. Both brakes are operated via a common reeved cable system as illustrated in drawing 0092-001-DRG-0303. The brake weights are raised using a 4:1 ratio to minimise Operator effort.
- 1.2.4.2. The brakes are designed to open to a nominal radial clearance of 1mm. Maximum brake opening may be adjusted by means of a stop nut, refer drawing 0092-001-DRG-2210 – Item 8.

 EDMS Australia	JUNGLE SURFING CANOPY TOURS HUMAN HAMSTER WHEEL	Doc. No.: 0092-001-REP-0001
Extract from OPERATIONS & MAINTENANCE MANUAL		

1.2.4.3. An emergency brake system is provided as a means of secondary actuation of the brakes in the event of failure of the primary reeving system. The emergency brake system comprises a pull-stop rope system mounted to the Patron handlebar structures at either side of the Hamster Wheel and connected to a quick release coupling on the emergency brake. Pulling on the emergency brake pull-stop rope releases the quick release coupling and engages the emergency brake. The device is intended for emergency use only and must be manually reset after use. Details of the emergency brake system are provided in drawing 0092-001-DRG-0306.

1.2.5.Diversion Sheaves


1.2.5.1. Two diversion sheaves are installed on the Hamster Wheel Shelter Structure to divert the Haul Rope through 90 deg from the Ropeway to the winch drum. The longitudinal position of the sheaves may be adjusted in 50mm increments by means of a through bolt. The diversion sheaves must be positioned in such a manner as to permit the Haul Rope to pay on and off the winch drum in a neat, single layer. Similarly, a jacking screw is provided for angular adjustment of the sheaves.

1.2.6.Line Sheaves

1.2.6.1. Line sheaves assemblies are provided on both Ropeways to correct the fleet angle of Haul Rope entering and leaving the diversion sheaves. The line sheave assemblies are fully adjustable to permit alignment to the prevailing Ropeway alignment. Deflection of the Haul Rope across the line sheave assemblies should not exceed 4.5°. Line sheave adjustment should be confirmed whenever diversion sheaves are re-located.

1.2.7.Tree-house Sheave Assembly

1.2.7.1. The Tree-house sheave assembly is mounted at Tree-house Platform 1 and serves both as an anchorage point for the Track Ropes and to redirect the Haul Rope between Ropeways. The assembly incorporates a fixed lower bullwheel sheave and two wing sheaves which redirect the rope down each Ropeway. The wing sheaves are mounted on pivots that permit self-alignment of the sheaves with the Ropeway. Track Rope lugs are provided atop each wing sheave for attachment of the Track Ropes.

 EDMS Australia	JUNGLE SURFING CANOPY TOURS HUMAN HAMSTER WHEEL	Doc. No.: 0092-001-REP-0001
Extract from OPERATIONS & MAINTENANCE MANUAL		

2. Functional Operation

2.1.1. Communications

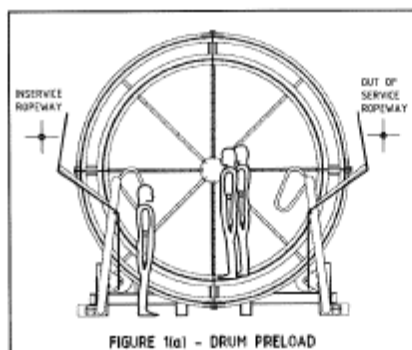
- 2.1.1.1. The Owner shall provide a means of communication between the Hamster Wheel and Tree-house Platform 1. The system for communication shall function reliably under all operational circumstances and in all inclement weather.
- 2.1.1.2. Prior to attempting functional operation of the Ropeway, the Operator shall establish that communication systems are in place and functional between the Hamster Wheel and Tree-house Platform 1.

2.1.2. Attachment of Patrons to Ropeway


- 2.1.2.1. The Owner shall develop and implement procedures and training for the attachment and retrieval of Patrons on the Ropeway. The procedure shall include as a minimum;
- Inspection and maintenance of suspension equipment and harnesses.
 - Clear methodology for attachment and retrieval of Patrons both at the Hamster Wheel and Tree-house Platform 1.
 - Methodology for confirming the security of attachment of Patrons to the Ropeway.
 - Delivery of safety instructions to Patrons and the safe management of Patron conduct on the Ropeway, and
 - Communication protocols to prevent inadvertent operation of the Ropeway during detachment of Patrons at Tree-house Platform 1.

2.1.3. Access and Egress from the Hamster Wheel

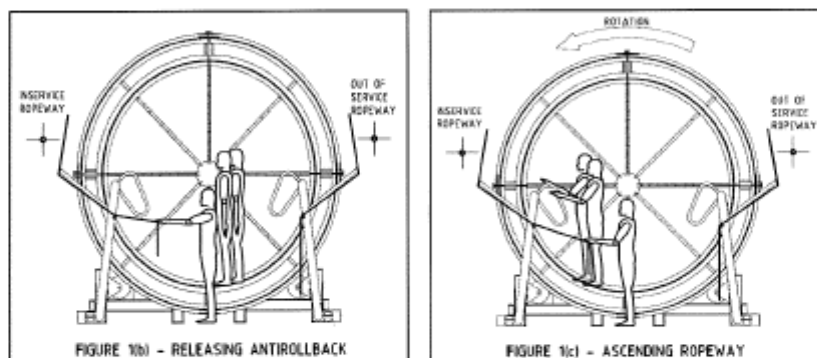
- 2.1.3.1. Access to the Hamster Wheel Drum should only be attempted from the centre invert of the wheel. Upon entry to the inner drum, Patrons should be instructed to stand slightly off centre and opposing the direction of intended travel. By standing off centre within the drum, the effects of any backlash in the drive mechanism that might otherwise permit rotation of the Hamster Wheel Drum are nullified. By standing on the side opposing the intended direction of travel, weight is removed from the Anti-rollback pawl being lifted, thereby preventing jamming of the pawl. Patrons should be instructed to wait in this position until the Operator is ready to commence operation of the Ropeway, refer Figure 1(a).



2.1.4. Uphill Operation

 EDMS Australia	JUNGLE SURFING CANOPY TOURS HUMAN HAMSTER WHEEL	Doc. No.: 0092-001-REP-0001
Extract from OPERATIONS & MAINTENANCE MANUAL		

- 2.1.4.1. Uphill operation of the Hamster Wheel is to be conducted from the side of the in-service Track Rope, i.e. for Patrons travelling on the left hand Track Rope, the Operator shall control with the left hand brake rope and Patrons shall walk towards the left side of the wheel. Conversely for operation of the right hand Track Rope, directions are reversed.

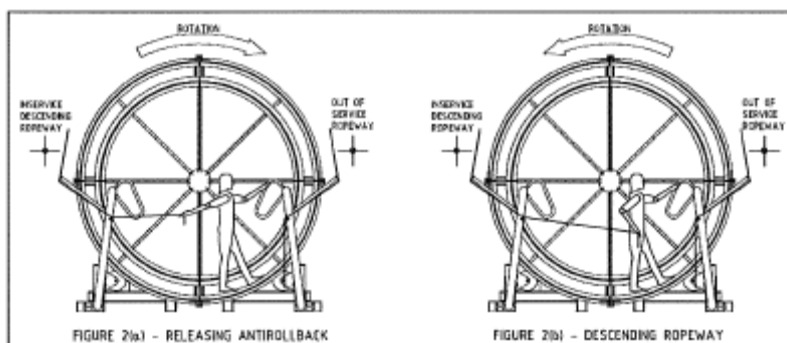


- 2.1.4.2. Whilst Patrons remain standing within the drum on the side opposite the direction of intended travel, the Operator shall gently pull through approximately 200mm of brake rope to raise the Anti-rollback pawl, refer Figure 1(b). Once the pawl is raised, the Operator should feel an increased line pull effort required to release the brakes. Without proceeding to release the brakes, the Operator shall instruct the Patrons within the Hamster Wheel drum to step forward and grip the handlebars, the Operator should then slowly draw more brake cable through until the brakes are fully released and the Patrons within the Hamster Wheel are able to rotate the drum freely, refer Figure 1(c).
- 2.1.4.3. Patrons on the Track Rope are to be raised in a steady manner with Patrons in the Hamster Wheel Drum proceeding no faster than a brisk walking pace. Patrons are not to run within the drum due to the risk of trips and falls.
- 2.1.4.4. Once underway, motion of the Ropeway will not generally be stopped until Patrons on the Ropeway arrive at the Tree-house Platform 1. If motion is ceased, either by instruction from the Operator, or unexpectedly by Patrons within the Hamster Wheel drum, the Operator should re-apply the brakes by gently releasing the brake rope until it fully retracts. When re-commencing uphill travel where the Ropeway is already under load by Patrons travelling on the uphill Track Rope, it is not necessary to instruct Patrons within the Hamster Wheel drum to re-assume a position opposing the direction of travel before lifting the Anti-rollback pawl. Instead, the Patrons should simply be instructed to step up to the handlebars again, after which the Operator may gently release the brakes and permit rotation of the Hamster Wheel and ascent of the Ropeway.
- 2.1.4.5. As Patrons on the Ropeway approach the Tree-house Platform 1, the Operator should instruct Patrons within the Hamster Wheel drum to slow the rate of ascent. Rotation of the drum should continue until the uphill travel buffer is reached. The Operator shall then gently release the brake rope, ensuring that the brake rope fully retracts. Patrons within the Hamster Wheel drum may then be instructed to leave via the centre/invert of the drum.
- 2.1.4.6. Where Patrons are un-available to operate the Hamster Wheel drum, the Operator may perform single person operation in the manner described above whilst continuing to operate the brake system. Where the Operator is unable to generate sufficient torque from the inner drum of the Hamster Wheel, they may alight the outer drum.


2.1.5.Descending

 EDMS Australia	JUNGLE SURFING CANOPY TOURS HUMAN HAMSTER WHEEL	Doc. No.: 0092-001-REP-0001
Extract from OPERATIONS & MAINTENANCE MANUAL		

- 2.1.5.1. The Ropeway is designed principally for ascending to the Tree-house Platform 1, however descending under load is possible under the careful control of the Operator.
- 2.1.5.2. Prior to commencing a descent, it is assumed that the cable way is already stationary and with braking systems fully engaged, i.e. brake ropes fully retracted. A descent must not be attempted with Patrons in the Hamster Wheel drum due to the elevated risk of trips and falls associated with reverse rotation of the drum. Great care must be taken when descending under load as the Anti-rollback system must be bypassed to permit reverse rotation of the drum.
- 2.1.5.3. Descent is performed by operation of the Hamster Wheel from the side opposite the loaded Track Rope. For example, where Patrons are to be descended on the left hand Track Rope, operation of the Ropeway must be conducted using the right hand brake rope, and vice versa. The complication with descending arises from the fact that the Anti-rollback pawl to be lifted remains under load.
- 2.1.5.4. To permit safe descent, the Anti-rollback pawl must be lifted prior to lifting of the brake counterweights, failure to do so safely may result in rapid and unintended acceleration of the Ropeway. To remove load from the Anti-rollback pawl, the Hamster Wheel drum must be preloaded in the opposite direction, i.e. an initial effort must be made in the direction corresponding to uphill travel for the loaded Track Rope. Where Patrons are commencing a descent from a steeper section of the Track Rope, the required effort to release the Anti-rollback pawl is considerable and in no case should the Operator simply attempt to pull on the brake cable to release the pawl.



- 2.1.5.5. The Operator must align the outer drum of the Hamster Wheel and, whilst holding the descending brake rope, apply effort to the Hamster Wheel in the uphill direction for the loaded Track Rope, refer Figure 2(a). Whilst applying effort, the Operator must carefully and slowly draw on the brake cable. By pulling on the cable, the brakes shall open and permit the Hamster Wheel to rotate slightly in the uphill direction before coming to rest again against the opposing Anti-rollback system.
- 2.1.5.6. Once the Hamster Wheel has rotated, the descending pawl will have released and the Operator may proceed to walk the wheel in reverse to descend the Patrons on the Track Rope, refer Figure 2(b).

 EDMS Australia	JUNGLE SURFING CANOPY TOURS HUMAN HAMSTER WHEEL	Doc. No.: 0092-001-REP-0001
Extract from OPERATIONS & MAINTENANCE MANUAL		

2.1.5.7. As an alternate method to walking the wheel in reverse, it is possible for the Operator to release the descending pawl in the manner described above, and then re-apply the brake and exit the Hamster Wheel drum to descend the Ropeway by feathering the brake only, on the provision that the Operator may safely exit the wheel and commence feathering the brake within 5 seconds. This procedure is possible only because the Anti-rollback pawls are fitted with oil filled dampers to retard their motion in re-closing. The pawls are designed to re-close on their respective sprocket within a 5 second minimum interval. Failure to re-apply the brake cable within 5 seconds will result in re-closure of the Anti-rollback pawl and shall necessitate repeating the reverse rotation release procedure.

2.1.5.8. The Owner shall assess the preferred methodology for descending by formal risk assessment during initial trial operation.

2.1.6.Simultaneous Operation of Both Ropeways

2.1.6.1. For reasons of expedience, the Ropeway is designed to permit loading of Patrons on the Ropeway at the Hamster Wheel stations whilst Patrons are simultaneously being unloaded at the Tree-house Platform 1. Loading and unloading of Patrons must always be performed with breaking and Anti-rollback systems fully engaged.

2.1.6.2. The Ropeway is NOT intended for operation with Patrons on both Ropeways, i.e. it is not permissible to use one Ropeway for conducting an emergency descent whilst simultaneously transporting Patrons on the other Ropeway. Use of the Ropeway in this manner may result in overloading of the Ropeway and/or unpredictable behaviour of the Anti-rollback mechanism.

2.1.7.Emergency Egress

2.1.7.1. The Ropeway is designed to permit manual descending in the manner described above, for circumstances where it is necessary to descend Patrons under emergency circumstances. Where it is not possible to perform a manual descent, either due to a failure on the Ropeway or unrelated causes, it shall be necessary to perform a rope rescue of Patrons suspended from the Ropeway.

2.1.7.2. The Owner shall be responsible for the development and implementation of procedures and training necessary for the safe execution of rope rescue of Patrons suspended on the Ropeway. Similarly the Owner shall be responsible for the provision and maintenance of all equipment necessary to safely execute rope rescues.

APPENDIX 2 – PREVIOUS APPROVAL

Mr Paul Gleeson – Senior Planning Officer
Planning Services Section - ☎ (07) 4099 9450

PTG:tap
TPC1130

2004/.

Keydane PTY LTD
C/- Stephen Walsh
PO Box 117
PORT DOUGLAS QLD 4871

29th January 2004

INTEGRATED PLANNING ACT NEGOTIATED DECISION NOTICE

DEVELOPMENT APPLICATION

Applicant's Name : Keydane T/A Jungle Surfing Canopy Tours
Owner's Name : Stephen Walsh & Ian Samuels
Proposal : Material Change of Use for the Purpose of Canopy Tours
Application Number : TPC1130
Site Address : Camelot Close, Cape Tribulation
Property Description : Lots 23, 25, 26 on RP733182 and Lot 9 on SR693

This Negotiated Decision Notice replaces the Decision Notice dated 27 November 2003.
Condition 1 has been amended all other conditions remain unchanged.

1. **Decision:** Decision Date: 28/01/2004

Approved with Conditions

2. **Type of Development Approval:**

Material Change of Use

Development Permit

.../2.

3. Referral Agencies:

Nil

4. Conditions:

- 4.1 The downstairs toilet of the dwelling house on lot 9 on SR 693 is to be signed and designated as 'customer toilet' prior to the use legally commencing. This toilet is to remain freely accessible to customers at all times.
- 4.2 No more than eighty (80) customers shall enter the subject land on any one day.
- 4.3 No customers are to access, or park, on the development, or adjacent road reserve, in a private, chartered or hired vehicle.
- 4.4 Two (2) bus parking bays and turning areas are to be provided, on the subject land, and maintained at all times.
- 4.5 No more than two (2) canopy runs are to be constructed.
- 4.6 Any car parking associated with the use shall not be on public land.
- 4.7 Council Officers may inspect the site on an annual basis to ensure all relevant Local Laws are being complied with.
- 4.8 The developer must ensure that appropriate Work Place Health and Safety certificates, engineering certifications and building applications are acquired when necessary (ie when rotating trees and constructing new platforms new certifications are required).
- 4.9 The applicant is to submit a detailed landscaping plan for the full frontage of Lot 11 on SR740 (Cape Tribulation Pharmacy), in accordance with the requirements of Transitional Planning Policy 4, to provide dense landscaping in accordance with the requirements of Section 10.3.7 of the Transitional Planning Scheme. This landscaping can be contained within the road reserve and is to be installed by the applicant at his/her expense. The landscaping plan is to be submitted to Council for review and all landscaping installed in accordance with the approved plan prior to the use commencing.
- 4.10 The Canopy Tours may operate between the hours of 8.30 am and 7.30 pm.
- 4.11 Any erection and use and occupation of the premises shall at all times comply with the conditions laid down and provided for in the Douglas Shire Planning Scheme from time to time.

.../3.

- 4.12 The provisions of the *Integrated Planning Act 1997*, the Building Act, the Fire Safety Act, the Health Act, the *Food Act 1981* and all other relevant Acts and Regulations and the Local Laws of the Council from time to time shall at all times be observed and performed in relation to the land, the building and the use and occupation thereof.
- 4.13 The issue of this Development Approval in no way implies building approval, either in principle or in detail, of any plans or the proposed development which may have been submitted with the application. Approval of any building works associated with the use shall be the subject of a separate Building Application in accordance with the Council's Local Laws.
- 4.14 The applicant shall submit an application for building works, for all structures related to the canopy tour, within 20 business days of the receipt of the Decision Notice.
- 4.15 The developer shall pay \$2000 to Council, for road maintenance contributions, prior to the issue of a building permit
- 4.16 All conditions of this Development Permit are to be effected prior to the commencement of the specific use as granted by Council.
- 4.17 This development approval lapses 4 years after the day that this development approval takes effect, unless extended under Section 3.5.22 of the *Integrated Planning Act 1997*.

Advice

If the development is to exceed maximum eighty (80) customers per day, the developer will be required to apply for a Material Change of Use of Premises.

You are advised that the Commonwealth *Environmental Protection and Biodiversity Conservation Act 1999* applies to proposed activities likely to have a significant impact on the matters of 'national environmental significance', including world heritage properties. Such activities may require approval under this Act prior to any works being undertaken. Further information on the Act can be obtained from Environment Australia's Community Information unit (1800 803 772) or from the following website www.environment.gov.au/epbc. EPBC *Act Administrative Guidelines on Significance (July 2000)* are available to assist people in deciding whether activities are likely to need consideration under the Act.

You are advised that the taking of water, or interfering with water from streams or groundwater sources will require a permit administered under the *Water Act 2000* and issued by the regional office of the Department of the Natural Resources and Mines. The related infrastructure will/may require an approval for operational works pursuant to the *Integrated Planning Act 1997*. Further information can be obtained from the Department of Natural Resources and Mines at Cairns, Telephone 4039 8275.

.../4.

5. Further Development Approvals required:

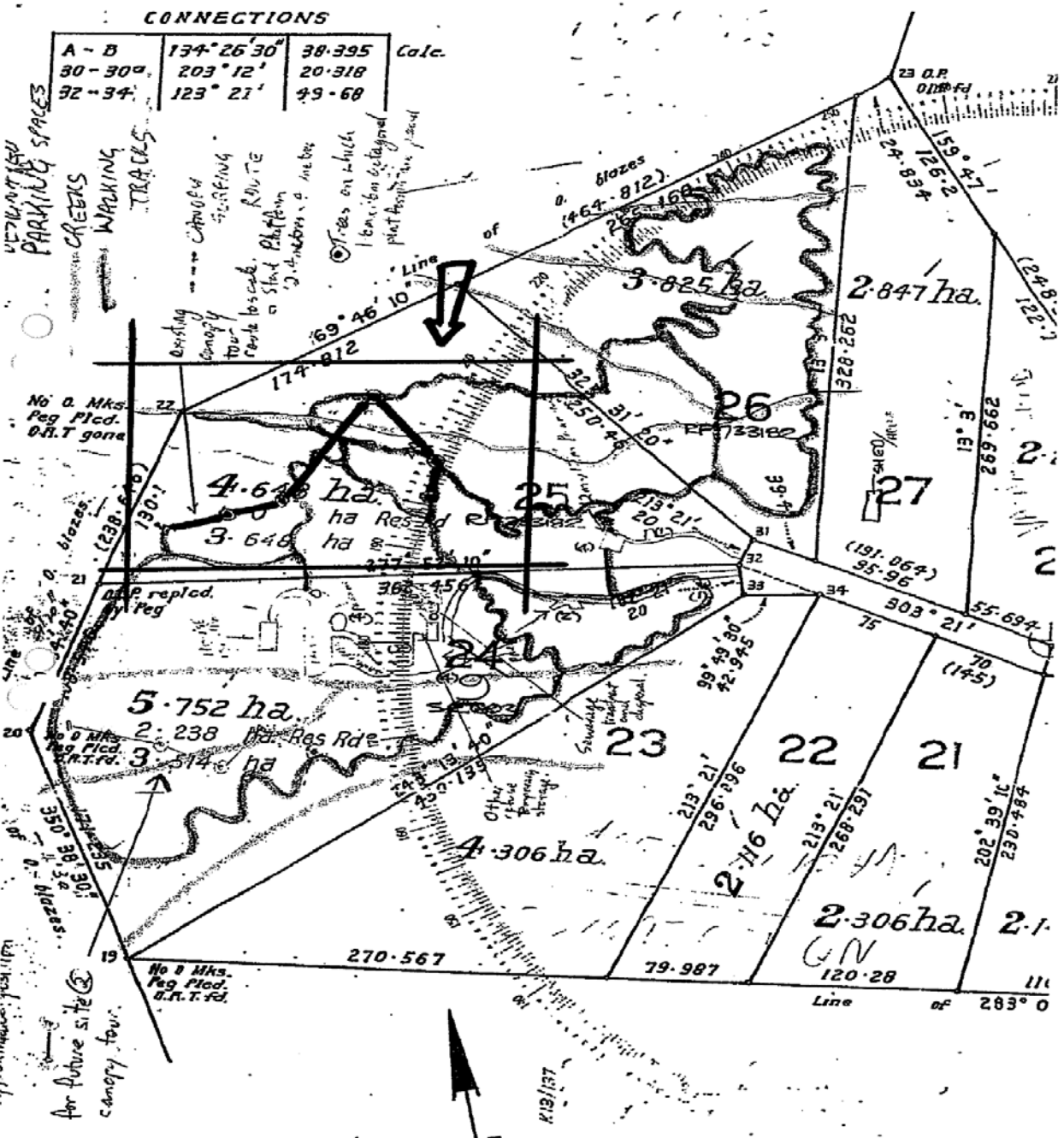
Building Approval
Plumbing & Drainage Permit

Should you have any queries in regards to this matter, please do not hesitate to contact Mr Daniel Koch on telephone (07) 4099 9450.

Yours faithfully

Per: Terry Melchert
Chief Executive Officer

*Attachment 1 –
Approved Plan of Development*



maximum adopted charge see section 112(2).

Milton rail precinct means the area called Milton rail precinct shown on the map in schedule 1 of the repealed *Planning (Urban Encroachment—Milton Brewery) Act 2009*.

Minister, for chapter 3, part 6, includes the Minister responsible for administering the State Development Act.

Minister's guidelines means the guidelines made by the Minister under section 17.

Minister's rules means the rules made by the Minister under section 17.

minor change means a change that—

- (a) for a development application—
 - (i) does not result in substantially different development; and
 - (ii) if the application, including the change, were made when the change is made—would not cause—
 - (A) the inclusion of prohibited development in the application; or
 - (B) referral to a referral agency if there were no referral agencies for the development application; or
 - (C) referral to extra referral agencies; or
 - (D) a referral agency, in assessing the application under section 55(2), to assess the application against, or have regard to, a matter, other than a matter the referral agency must have assessed the application against, or had regard to, when the application was made; or
 - (E) public notification if public notification was not required for the development application; or
- (b) for a development approval—
 - (i) would not result in substantially different development; and

- (ii) if a development application for the development, including the change, were made when the change application is made would not cause—
 - (A) the inclusion of prohibited development in the application; or
 - (B) referral to a referral agency, other than to the chief executive, if there were no referral agencies for the development application; or
 - (C) referral to extra referral agencies, other than to the chief executive; or
 - (D) a referral agency, in assessing the application under section 55(2), to assess the application against, or have regard to, a matter, other than a matter the referral agency must have assessed the application against, or had regard to, when the application was made; or
 - (E) public notification if public notification was not required for the development application.

Note—

For when a change to a development approval that was a PDA development approval is a minor change, see also the *Economic Development Act 2012*, section 51AM.

necessary infrastructure condition see section 127(2).

negotiated decision notice see section 76(3).

negotiated notice see section 125(3).

non-SCG plan application, for chapter 7, part 4C, see section 275T.

non-trunk infrastructure means development infrastructure that is not trunk infrastructure.

notice means a written notice.

occupier, of a place, for chapter 5, part 7, includes the following—

- (a) if there is more than 1 person who apparently occupies the place—any 1 of the persons;

ANNEXURE G – Douglas Shire Council Planning Scheme 2018 Code Assessment

6.2.3 Conservation Zone Code

6.2.3.3 Assessment criteria

Table 6.2.3.3.a - Conservation zone – assessable development

Performance outcomes	Acceptable outcomes	Applicant Response
For assessable development		
PO1 The establishment of uses is consistent with the outcomes sought for the Conservation zone and protects the zone from the intrusion of inconsistent uses.	AO1 Uses identified in Table 6.2.3.3.b are not established in the Conservation zone.	The use of the site as a tourist attraction has been previously approved by Council. The existing infrastructure on the site reflects the ongoing use of the site as a tourist attraction. The proposed development is designed to highlight the importance of the biological diversity and ecological integrity of the area. The proposed development complies with PO1.
PO2 The height of buildings is compatible with the character of the area and does not adversely affect the amenity of the area.	AO2 Buildings and structures are not more than 8.5 metres in height and two storeys. Note - Height is inclusive of roof height.	The height of the tree platforms is compatible with the character of the area and does not adversely affect the amenity of the area and can not be seen from outside the site. The proposed development complies with PO2.
PO3 Development is setback from site boundaries so they are screened from view from the boundaries of adjoining properties and adjoining roads to maintain the scenic values of the area.	AO3 Buildings and structures are setback not less than: <ul style="list-style-type: none"> (a) 40 metres from the frontage of a State-controlled road, existing or proposed arterial road, existing or proposed sub-arterial road, as identified on the Transport network overlay maps contained in Schedule 2; (b) 25 metres from Cape Tribulation Road frontage; (c) 20 metres from any other road frontage (d) 10 metres from side and rear boundaries. 	The new tree platforms meet the setback requirements. The proposed development complies with AO3.

<p>PO4</p> <p>The site coverage of all buildings and structures does not have an adverse effect on the conservation or scenic amenity values of the site and surrounding area and buildings are subservient to the natural environment.</p>	<p>AO4</p> <p>Development is sited in an existing cleared area or an area approved for clearing, but which is not yet cleared until a development permit to carry out Building Works is issued. Any clearing is limited to a maximum area of 700m² and is sited clear of the high bank of any watercourse.</p> <p>Note – The 700m² area of clearing does not include an access driveway.</p>	<p>No vegetation will be cleared on the site.</p> <p>The proposed development complies with AO4.</p>
<p>PO5</p> <p>Development is consistent with the overall outcomes sought for the Conservation zone.</p>	<p>AO5</p> <p>No acceptable outcomes are prescribed.</p>	<p>The development is:</p> <ul style="list-style-type: none"> (a) Consistent with the protection of biological diversity, ecological integrity and scenic amenity; (b) Does not affect the environmental, habitat, conservation or scenic values of the land or surrounding area; and (c) Has a minimal impact on the environmental and scenic amenity values of the site or surrounding area. <p>The proposed development complies with PO5.</p>
<p>PO6</p> <p>Development complements, and is subservient to the surrounding environment and is in keeping with the ecological, landscape and scenic values of the area.</p>	<p>AO6</p> <p>The exterior finishes and colours of all development are non-reflective and consist of colours that blend easily with surrounding native vegetation and view-shed.</p>	<p>The exterior finishes and colours of the timber tree platforms will be non-reflective and blend easily with surrounding native vegetation and view-shed.</p> <p>The proposed development complies with AO6.</p>
<p>PO7</p> <p>Development is screened from view from adjoining roads and properties with a dense screen of endemic/native landscape which:</p> <ul style="list-style-type: none"> (a) is informal in character and complementary to the existing natural environment; (b) provides screening; 	<p>AO7.1</p> <p>For any development, the balance area of the site not built upon, including all setback areas must be landscaped/revegetated with dense three tier, endemic planting which is maintained to ensure successful screening is achieved.</p>	<p>The development is not visible from adjoining roads or properties. No vegetation will be cleared on the site and the site is densely vegetated.</p> <p>The proposed development complies with AO7.1</p>

<p>(c) enhances the visual appearance of the development.</p> <p>Note – Planning scheme policy – Landscaping provides further guidance on meeting the performance outcome.</p>	<p>AO7.2</p> <p>Endemic palm species, where used, are planted and not in a regular pattern.</p>	<p>N/A</p>
<p>P08</p> <p>Development is complementary to the surrounding environment.</p>	<p>AO8.1</p> <p>Development harmonises with the surrounding environment, for example, through suspended, light-weight construction on sloping sites, which requires minimal excavation or fill.</p>	<p>The tree platforms will be suspended on trees which do not require any excavation or fill or vegetation clearing.</p> <p>The proposed development complies with AO8.1</p>
	<p>AO8.2</p> <p>A driveway or parking areas are constructed and maintained to:</p> <ul style="list-style-type: none"> (a) minimise erosion, particularly in the wet season; (b) minimise cut and fill; (c) follow the natural contours of the site; (d) minimise vegetation clearing. 	<p>N/A - the existing driveways and parking area will be used for the proposed development.</p>
	<p>AO8.3</p> <p>Buildings and structures are erected on land not exceeding a maximum gradient of 1 in 6 (16.6%) or</p> <p>On land steeper than 1 in 6 (16.6%) gradient:</p> <ul style="list-style-type: none"> (a) A split level building form is utilised; (b) A single plane concrete slab is not utilised; (c) Any voids between building and ground level, or between outdoor decks and ground level are screened from view using lattice/battens and/or landscaping <p>and</p> <ul style="list-style-type: none"> (d) is accompanied by a Geotechnical Report prepared by a qualified engineer at development application stage which includes certification that the site can be stabilised, followed by a certificate upon completion of works. 	<p>N/A - no buildings or structures will be erected at ground level on the site.</p>

	AO8.4 Buildings and structures are sited below any ridgelines and are sited to avoid protrusion above the surrounding tree-level canopy.	The tree platforms are sited below ridgelines and avoid protrusion above the surrounding tree-level canopy. The proposed development complies with AO8.4.
PO9 Development is located to: <ul style="list-style-type: none"> (a) protect the ecological values of the site and surrounding land; (b) maintain the scenic values of the area; (c) maintain appropriate setbacks to waterways, watercourses, wetlands, tidal areas and overland flow paths; (d) avoid areas that are vulnerable to natural hazards; (e) minimise to the greatest extent possible on site excavation and filling; (f) provide buffers to cultural, historical or ecological features; (g) minimise visibility from external sites or public viewing points; (h) minimises to the greatest extent possible the loss of native vegetation and fauna habitat. 	AO9 No acceptable outcomes are prescribed.	The proposed development: <ul style="list-style-type: none"> (a) protects the ecological values of the site and surrounding land by not requiring the clearing of any vegetation and being designed to fit around tree trunks; (b) maintains the scenic values of the area by being designed to complement the surrounding rainforest; (c) is located above Mason Creek and therefore not subject to setback requirements; (d) avoids areas that are vulnerable to natural hazards; (e) does not require on site excavation and filling; (f) provides buffers to ecological features; (g) minimises visibility from external sites or public viewing points; (h) only requires minor lopping of the trees on site, and therefore minimises the loss of native vegetation and fauna habitat. The proposed development complies with PO9.
PO10 Development does not result in adverse impacts on: <ul style="list-style-type: none"> (a) ecological function or features; (b) on-site or surrounding waterways and wetlands. 	AO10 No acceptable outcomes are prescribed.	The tree platforms do not adversely impact ecological function or features as they do not require the clearing of any vegetation and are designed to complement the surrounding area. The tree platforms do not interfere with Mason Creek. The proposed development complies with PO10.
PO11 Rehabilitation of natural processes on disturbed sites is undertaken to improve the environmental integrity of the area.	AO11 No acceptable outcomes are prescribed	N/A - the tree platforms are designed not to disturb natural processes on the site.

<p>PO12</p> <p>Fencing is designed to not impede the free movement of native fauna through the site.</p>	<p>AO12</p> <p>No acceptable outcomes are prescribed.</p>	<p>N/A - no fencing is proposed on the site.</p>
<p>PO13</p> <p>New lots contain a minimum lot size of 200 hectares, unless:</p> <ul style="list-style-type: none"> (a) the lot reconfiguration results in no additional lots (e.g. amalgamation, boundary realignments); (b) the reconfiguration is limited to one additional lot to accommodate an existing or approved: <ul style="list-style-type: none"> (i) Telecommunications facility; (ii) Utility installation; (c) the lot reconfiguration facilitates and outcome consistent with the Return to Country local plan. <p>Note – Boundary realignments must result in an improved environmental outcome or resolve encroachments.</p>	<p>AO13</p> <p>No acceptable outcomes are prescribed.</p>	<p>N/A – the proposed development does not involve new lots.</p>

7.2.1 Cape Tribulation and Daintree Coast Local Plan Code

7.2.1.10 Criteria for assessment

Table 7.2.1.10.a – Cape Tribulation and Daintree Coast local plan – assessable development

All development in the Cape Tribulation and Daintree Coast local plan area		Applicant's response
PO1 Development does not result in a demand which exceeds the capacity of: <ul style="list-style-type: none"> (a) the Daintree River ferry crossing; (b) Alexandra Range Road; (c) the local road network. 	AO1 No acceptable outcomes are prescribed.	The proposed development continues the previous use of the site as a tourist attraction and does not increase the maximum number of customers allowed on site. The proposed development will not increase demand on the Daintree River ferry crossing or the local road network. The proposed development complies with PO1.
PO2 Development provides a suitable standard of self-sufficient service for: <ul style="list-style-type: none"> (a) potable water; (b) water for fire-fighting purposes; (c) electricity supply. 	AO2.1 Water storage is provided in tank/s with a minimum capacity to service the proposed use, including firefighting capacity, and access to the tank/s for fire trucks. Tank/s are to be: <ul style="list-style-type: none"> (a) fitted with a 50mm ball valve and camlock fitting; (b) installed and connected prior to occupation; (c) sited so as to be visually unobtrusive. AO2.2 Water storage tanks are to be fitted with screening at their inlets to prevent the intrusion of leaves and insects. AO2.3 An environmentally acceptable and energy efficient power supply is constructed, installed and connected prior to occupation and sited so as to be screened from the road.	N/A - the proposed development does not alter the approved water storage infrastructure on the site.

PO3 On-site waste water does not adversely impact on the environmental quality of the water and soil resources or amenity of residents, through the implementation of best environmental practice.	AO3 No acceptable outcomes are prescribed.	N/A - the proposed development does not alter the approved waste water management system on the site.
PO4 The sustainability of the natural water resources of the area is protected for ecological and domestic consumption purposes.	AO4.1 If groundwater is to be used, development is limited to one bore per site and the bore is: not located within 100 metres of a septic disposal trench (on the site or adjoining sites); not located within 100 metres of another bore.	N/A - the proposed development does not introduce any groundwater bores or alter the location of any existing groundwater bores on the site.
	AO4.2 Surface water is to be used for domestic purposes only.	N/A – the proposed development does not alter the use of surface water on the site.
PO5 Development does not adversely impact on areas of sensitive natural vegetation, foreshore areas, watercourses and/or areas of tidal inundation.	AO5 No acceptable outcomes are prescribed.	The tree platforms will not adversely impact on areas of sensitive natural vegetation as no vegetation will be cleared. Any lopping of trees will be conducted in accordance with what is permitted under <i>Vegetation Management Act 1999</i> (Qld). The tree platforms do not interfere with Mason Creek. The proposed development complies with PO5.
PO6 Development is subservient to the surrounding natural environment in scale and intensity and is designed to be functional in a humid tropical rainforest environment.	AO6.1 The exterior finishes and colours of buildings are non-reflective and complement the colours of the surrounding vegetation and view shed.	N/A - the proposed development does not involve the construction of new buildings and the tree platforms will be subservient to the environment.
	AO6.2 The noise of generators is controlled by design, or the generator is enclosed within a sound insulated building with a residential approved muffler. The noise level generated is less than 65 dBA when measured from a distance of 7 metres.	N/A - the proposed development does not alter the design of any approved generators on the site.

	AO6.3 Any fuel storage associated with an on-site generator, with storage of 20 litres or more of fuel, is enclosed with a building and provided with a bund.	N/A - the proposed development does not alter any approved fuel storage arrangements on the site.
PO7 Landscaping of the development ensures that the endemic character of the local area is dominant.	AO7.1 Landscaping complies with the requirements of Planning Scheme Policy 7 – Landscaping;	N/A - the proposed development does not propose any landscaping.
	AO7.2 All of the existing landscaping to be retained and all of the proposed landscaping is 100% endemic or native species and the details are provided on a landscape plan.	All existing landscaping will be retained and the proposed development does not propose any new landscaping. The proposed development complies with AO7.2.
PO8 Site access driveways and roads within the local plan area are retained as safe, slow speed, scenic drives.	AO8.1 Site access driveways and existing or proposed roads comply with the relevant requirements of Planning Scheme Policy 5 – FNQROC Development Manual and are maintained as low speed gravel roads to maintain the scenic drive experience and to discourage the use of roads by through-traffic;	N/A - the proposed development does not alter the approved site access driveways or roads, and does not involve the construction of any new roads.
	AO8.2 Where existing roads/tracks are 4-wheel drive only, upgrading to facilitate conventional vehicles and an increase in through traffic does not occur.	N/A - the proposed development does not alter any roads/tracks on the site.
PO9 The on-site impacts on natural flow regimes and erosion and sedimentation are minimised.	AO9.1 Filling and excavation is kept to a minimum and involves not more than 5% of the cleared area of the lot.	N/A - no filling or excavation is proposed on the site.

	AO9.2 All exposed surfaces must incorporate erosion and sediment controls during construction and must be maintained until revegetation, or other permanent stabilisation, has occurred.	N/A - no surfaces will be exposed as part of the proposed development.
	AO9.3 This is no disturbance to tree roots and trenching does not involve any damage to tree roots.	The proposed development will not disturb tree roots or involve any trenching. The proposed development complies with AO9.3
	AO9.4 On-site drainage and stormwater management: (a) maintains natural flow regimes; (b) minimises impervious surfaces; (c) avoids concentration of flows, but where there is any form of concentration of flow, energy dissipation measures are installed at the outlet to avoid erosion (e.g. rock rip rap, gravel beds, diffusers etc.)	N/A - the proposed development does not alter the drainage and stormwater management on the site.
	AO10.2 Development is sited in an existing cleared area or in an area approved for vegetation clearing.	No vegetation will be cleared on the site. The proposed development complies with AO10.2.
	AO10.3 Any new clearing is limited to a maximum area of 700m ² and is sited to be clear of the high bank of any watercourse. Note – The 700m ² of clearing does not include an access driveway.	N/A – no vegetation will be cleared on the site.
	AO13.2 Vehicular access is a maximum width of 4 metres, avoids large tree specimens and/or significant vegetation and habitat corridors and is constructed and maintained to a minimum gravel standard of 75mm of road base on a compacted soil surface.	N/A - the proposed development does not alter the existing vehicular access to the site.

Additional requirements for Precinct 2– Low impact residential precinct		
<p>PO19</p> <p>Development is for;</p> <ul style="list-style-type: none"> (a) a detached dwelling of limited size and scale and necessary outbuildings and infrastructure; (b) home occupations, including bed and breakfast accommodation, where it can be demonstrated that the bed and breakfast accommodation can establish on the site and not detrimentally impact on the scenic values of the site and surrounding areas; (c) Nature based tourism, being Forest stay accommodation where in compliance with other requirements contained within this code. 	<p>AO19.1</p> <p>Development is limited to one dwelling house per lot.</p> <p>AO19.2</p> <p>Establishment of bed and breakfast accommodation only occurs on land on which a dwelling house has been approved and constructed.</p> <p>AO19.3</p> <p>Bed and breakfast accommodation is limited to cleared areas on the land;</p> <p>or</p> <p>AO19.4</p> <p>Bed and breakfast accommodation is established within an existing house, where there is no additional vegetation clearing required to accommodate the use;</p> <p>AO19.5</p> <p>Bed and breakfast accommodation occurs on a site with a minimum area of 1 hectare, and thereafter occurs at a rate of 1 bedroom (2 beds) per hectare, up to a maximum of 4 bedrooms (8) beds per site.</p> <p>AO19.6</p> <p>Development is setback a minimum of 100 metres to an Esplanade or a foreshore frontage.</p>	<p>N/A - the development is not for a residential dwelling.</p>

8.2.5 Hillslopes Overlay Code

8.2.5.3 Criteria for assessment

Table 8.2.5.3.a – Hillslopes overlay code –assessable development

Performance outcomes	Acceptable outcomes	Applicant's Response
For assessable development		
PO2 The landscape character and visual amenity quality of hillslopes areas is retained to protect the scenic backdrop to the region.	AO2.1 Development does not occur on land with a gradient in excess of 1 in 6 (16.6%) or AO2.2 Where development on land steeper than 1 in 6 (16.6%) cannot be avoided, development follows the natural contours of the site.	The proposed development will not impact on the landscape character or visual amenity of the hillslopes in the area. The proposed development complies with PO2.
	AO2.3 Access ways and driveways are: (a) constructed with surface materials that blend with the surrounding environment; (b) landscaped with dense planting to minimise the visual impact of the construction; (c) provided with erosion control measures immediately after construction.	N/A- no new access ways and driveways will be constructed as part of the proposed development.
	AO2.4 The clearing or disturbance of vegetation is limited to clearing and disturbance that: (a) is necessary for the construction of driveways; (b) is necessary to contain the proposed development; (c) minimises canopy clearing or disturbance; (d) minimises riparian clearing or disturbance.	No vegetation will be cleared. Any disturbance of vegetation will be limited to lopping of trees where necessary to accommodate the tree platforms in accordance with what is permitted under the <i>Vegetation Management Act 1999</i> (Qld). Canopy disturbance and riparian disturbance will be minimised. The proposed development complies with AO2.4.

	AO2.5 On land with slopes greater than 1 in 6 (16.6%) or greater, alternative construction methods to concrete slab on ground are utilised (i.e. split level or post and beam constructed buildings that minimise modification to the natural terrain of the land).	N/A - no concrete slabs will be constructed on the site.
	AO2.6 Development does not alter the sky line.	The tree platforms will not alter the sky line. The proposed development complies with AO2.6.
	AO2.7 Buildings and structures: (a) are finished predominantly in the following exterior colours or surfaces: (i) moderately dark to darker shades of olive green, brown, green, blue, or charcoal; or (ii) moderately dark to darker wood stains that blend with the colour and hues of the surrounding vegetation and landscape; (b) are not finished in the following exterior colours or surfaces: (i) pastel or terracotta colours, reds, yellows, shades of white or beige, or other bright colours that do not blend with the surrounding vegetation and landscape; (ii) reflective surfaces.	The timber tree platforms will be finished in exterior colours or surfaces consistent with the surrounding vegetation and landscape. The proposed development complies with AO2.7.

	AO2.8 Exterior colour schemes limit the use of white or other light colours to exterior trim and highlighting of architectural features	Exterior colour schemes will limit the use of white or other light colours to exterior trim and highlighting of architectural features. The proposed development complies with AO2.8.
	AO2.9 Areas between the first floor (including outdoor deck areas) and ground level are screened from view.	N/A
	AO2.10 Recreational or ornamental features (including tennis courts, ponds or swimming pools) do not occur on land: (a) with a gradient of 1 in 6 (16.6%) or more; (b) are designed to be sited and respond to the natural constraints of the land and require minimal earthworks.	N/A - no recreational or ornamental features will be installed on the site.
PO3 Excavation or filling does not have an adverse impact on the amenity, safety, stability or function of the site or adjoining premises through: (a) loss of privacy; (b) loss of access to sunlight; (c) intrusion of visual or overbearing impacts; (d) complex engineering solutions.	AO3 Excavation or fill: (a) is not more than 1.2 metres in height for each batter or retaining wall; (b) is setback a minimum of 2 metres from property boundaries; (c) is stepped with a minimum 2 metre wide berm to incorporate landscaping in accordance with Planning scheme policy SC6.7 – Landscaping; (d) does not exceed a maximum of 3 batters and 3 berms (i.e. not greater than 3.6 metres in height) on any one lot.	N/A - no excavation or fill will occur on the site.

8.2.6 Landscape Values Overlay Code

8.2.6.3 Criteria for assessment

Table 8.2.6.3.a – Landscape values overlay code – assessable development

Performance outcomes		Acceptable outcomes
For assessable development		
Development in a High landscape value area		
PO1 Development within High landscape value areas identified on the Landscape values overlay maps contained in Schedule 2: <ul style="list-style-type: none"> (a) avoids detrimental impacts on the landscape values of forested skylines, visible hillslopes, ridgelines, the coastal foreshore or the shoreline of other water bodies through the loss of vegetation; (b) is effectively screened from view from a road, lookout or other public place by an existing natural landform or native vegetation, or will be effectively screened by native vegetation within 3 years of construction; (c) retains existing vegetation and incorporates new landscaping to enhance existing vegetation and visually soften built form elements; (d) incorporates development of a scale, design, height, position on site, construction materials and external finishes that are compatible with the landscape values of the locality; (e) avoids detrimental impacts on landscape values and excessive changes to the natural landform as a result of the location, position on site, scale, design, extent and alignment of earthworks, roads, driveways, retaining walls and other on-ground or in-ground infrastructure; 	AO1.1 Buildings and structures are not more than 8.5 metres and two storeys in height. Note - Height is inclusive of roof height.	The tree platforms will be screened from view from roads or other public spaces by the existing natural landform and native vegetation buffer. The proposed development complies with PO1.
	AO1.2 Buildings and structures are setback not less than 50 metres from ridgelines or peaks.	The tree platforms will be screened from view from roads or other public spaces by the existing natural landform and native vegetation buffer. The proposed development complies with PO1.
	AO1.3 Development is screened from view from roads or other public places by an existing natural landform or an existing native vegetation buffer.	The tree platforms will be screened from view from roads or other public spaces by the existing natural landform and native vegetation buffer. The proposed development complies with AO1.3.
	AO1.4 Where development on land steeper than 1 in 6 (16.6%) cannot be avoided: <ul style="list-style-type: none"> (a) development follows the natural; contours of the site; (b) buildings are split level or suspended floor construction, or a combination of the two; (c) lightweight materials are used to areas with suspended floors. 	The tree platforms will be screened from view from roads or other public spaces by the existing natural landform and native vegetation buffer. The proposed development complies with PO1.

<p>(f) avoids detrimental impacts on landscape values and views as a result of the location, position on site, scale, design and alignment of telecommunications facilities, electricity towers, poles and lines and other tall infrastructure;</p> <p>(g) extractive industry operations are avoided.</p> <p>Note - A visual impact assessment is undertaken in accordance with Planning scheme policy SC6.6 – Landscape values in order to satisfy performance outcomes.</p>	<p>Note - Examples of suitable lightweight materials include timber or fibre cement boards or sheeting for walls and factory treated metal sheeting for walls and roofs.</p>	
	<p>AO1.5</p> <p>The external features, walls and roofs of buildings and structures have a subdued and non-reflective palette.</p> <p>Note - Examples of suitable colours include shades of green, olive green, blue green, grey green, green blue, indigo, brown, blue grey, and green yellow.</p>	<p>The external features of the timber tree platforms will have a subdued and non-reflective palette.</p> <p>The proposed development complies with AO1.5.</p>
	<p>AO1.6</p> <p>No clearing of native vegetation occurs on land with a slope greater than 1 in 6 (16.5%).</p>	<p>No vegetation will be cleared.</p> <p>The proposed development complies with AO1.6.</p>
	<p>AO1.7</p> <p>Where for accommodation activities or reconfiguration of a lot in a High landscape value area, development demonstrates that the height, design, scale, positioning on-site, proposed construction materials and external finishes are compatible with the landscape values.</p> <p>Note - A visual impact assessment undertaken in accordance with Planning scheme policy SC6.6 – Landscape values may be required.</p>	<p>N/A - the proposed development does not involve accommodation activities or the reconfiguration of a lot.</p>
	<p>AO1.8</p> <p>Advertising devices do not occur.</p>	<p>N/A - no advertising devices are proposed.</p>

8.2.7 Natural Areas Overlay Code

8.2.7.3 Criteria for assessment

Table 8.2.7.3.a – Natural areas overlay code – assessable Development

[illegible]

Management of impacts on matters of environmental significance		
PO2 Development is located, designed and constructed to avoid significant impacts on matters of environmental significance.	AO2 The design and layout of development minimises adverse impacts on ecologically important areas by: <ul style="list-style-type: none"> (a) focusing development in cleared areas to protect existing habitat; (b) utilising design to consolidate density and preserve existing habitat and native vegetation; (c) aligning new property boundaries to maintain ecologically important areas; (d) ensuring that alterations to natural landforms, hydrology and drainage patterns on the development site do not negatively affect ecologically important areas; (e) ensuring that significant fauna habitats are protected in their environmental context; and (f) incorporating measures that allow for the safe movement of fauna through the site. 	The design and the layout of the tree platforms minimise adverse impacts on ecologically important areas by: <ul style="list-style-type: none"> (a) not requiring the clearing of any vegetation and thereby ensuring significant fauna habitats are protected as well as the movement of fauna through the site; (b) utilising design to consolidate density and preserving existing habitat and native vegetation; (c) not altering the property boundaries; and (d) not altering natural landforms, hydrology and drainage patterns on the site. The proposed development complies with AO2.
PO3 An adequate buffer to areas of state environmental significance is provided and maintained.	AO3.1 A buffer for an area of state environmental significance (Wetland protection area) has a minimum width of: <ul style="list-style-type: none"> (a) 100 metres where the area is located outside Urban areas; or (b) 50 metres where the area is located within a Urban areas. or AO3.2 A buffer for an area of state environmental significance is applied and maintained, the width of	N/A - the site is not affected by a wetland protection area.

	which is supported by an evaluation of environmental values, including the function and threats to matters of environmental significance.	
PO4 Wetland and wetland buffer areas are maintained, protected and restored. Note – Wetland buffer areas are identified in AO3.1.	AO4.1 Native vegetation within wetlands and wetland buffer areas is retained. AO4.2 Degraded sections of wetlands and wetland buffer areas are revegetated with endemic native plants in patterns and densities which emulate the relevant regional ecosystem.	 N/A – the site is not located within wetlands.
PO5 Development avoids the introduction of non- native pest species (plant or animal), that pose a	AO5.1 Development avoids the introduction of non-native pest species.	Non-native pest species will not be introduced. The proposed development complies with AO5.1
	AO5.2 The threat of existing pest species is controlled by adopting pest management practices for long-term ecological integrity.	Pest management practices will be adopted, where required. The proposed development complies with AO5.2.
Ecological connectivity		
PO6 Development protects and enhances ecological connectivity and/or habitat extent.	AO6.1 Development retains native vegetation in areas large enough to maintain ecological values, functions and processes. and AO6.2 Development within an ecological corridor rehabilitates native vegetation.	 No vegetation will be cleared on the site. The proposed development complies with AO6.1.
		 No vegetation will be cleared on the site.

	<p>and</p> <p>AO6.3</p> <p>Development within a conservation corridor mitigates adverse impacts on native fauna, feeding, nesting, breeding and roosting sites and native fauna movements.</p>	<p>The proposed development complies with AO6.2.</p> <p>No vegetation will be cleared on the site and any lopping required to accommodate the tree platforms will be limited to what is permitted under the <i>Vegetation Management Act 1999</i> (Qld). The tree platforms therefore will not have an adverse impact on native fauna, feeding, nesting, breeding and roosting site and native fauna movements.</p> <p>The proposed development complies with AO6.3.</p>
<p>PO7</p> <p>Development minimises disturbance to matters of state environmental significance (including existing ecological corridors).</p>	<p>AO7.1</p> <p>Development avoids shading of vegetation by setting back buildings by a distance equivalent to the height of the native vegetation.</p> <p>and</p> <p>AO7.2</p> <p>Development does not encroach within 10 metres of existing riparian vegetation and watercourses.</p>	<p>N/A - the proposed development does not involve the construction of any new buildings.</p>
Waterways in a non-urban area		
<p>PO9</p> <p>Development is set back from waterways to protect and maintain:</p> <ul style="list-style-type: none"> (a) water quality; (b) hydrological functions; (c) ecological processes; (d) biodiversity values; (e) riparian and in-stream habitat values and connectivity; (f) in-stream migration. 	<p>AO9</p> <p>Development does not occur on that part of the site affected by a waterway corridor.</p> <p>Note – Waterway corridors are identified within Table 8.2.7.3.b.</p>	<p>N/A - the site is not affected by a waterway corridor.</p>

8.2.9 Potential Landslide Hazard Overlay Code

8.2.9.3 Criteria for assessment

Table 8.2.9.3.a – Potential landslide hazard overlay code – assessable development

Performance outcomes		Acceptable outcomes
For self-assessable and assessable development		
<p>PO1</p> <p>The siting and design of development does not involve complex engineering solutions and does not create or increase the potential landslide hazard risk to the site or adjoining premises through:</p> <ul style="list-style-type: none"> (a) building design; (b) increased slope; (c) removal of vegetation; (d) stability of soil; (e) alteration of existing ground water or surface water paths; (f) waste disposal areas. 	<p>AO1.1</p> <p>Development is located on that part of the site not affected by the Potential landslide hazard overlay.</p> <p>or</p> <p>AO1.2</p> <p>Development is on an existing stable, benched site and requires no further earthworks</p> <p>or</p> <p>AO1.3</p> <p>A competent person certifies that:</p> <ul style="list-style-type: none"> (a) the stability of the site, including associated buildings and infrastructure, will be maintained during the course of the development and will remain stable for the life of the development; (b) development of the site will not increase the risk of landslide hazard activity on other land, including land above the site; (c) the site is not subject to the risk of landslide activity on other land; (d) any measures identified in a site-specific geotechnical report for stabilising the site or development have been fully implemented; 	<p>The siting and design of the tree platforms does not involve complex engineering solutions.</p> <p>The proposed development complies with AO1.2.</p>

	<p>(e) development does not concentrate existing ground water and surface water paths;</p> <p>(f) development does not incorporate on-site waste water disposal.</p> <p>Note – Planning scheme policy SC6.9 – Natural hazards provides guidance on preparing a site specific geo-technical assessment.</p> <p>Note – Development may alter the conditions of ground water and surface water paths in accordance with a site-specific geotechnical report, but should ensure that its final disbursement is as-per pre-developed conditions. Consideration for location, velocity, volume and quality should be given.</p>	
<p>PO2</p> <p>The siting and design of necessary retaining structures does not cause an adverse visual impact on landscape character or scenic amenity quality of the area.</p>	<p>AO2</p> <p>Excavation or fill:</p> <p>(a) is not more than 1.2 metres in height for each batter or retaining wall;</p> <p>(b) is setback a minimum of 2 metres from property boundaries;</p> <p>(c) is stepped with a minimum 2 metre wide berm to incorporate landscaping in accordance with Planning scheme policy SC6.7 – Landscaping;</p> <p>(d) does not exceed a maximum of 3 batters and 3 berms (i.e. Not greater than 3.6 metres in height) on any one lot.</p>	<p>N/A - no excavation or fill is proposed to occur on the site.</p>

8.2.10 Transport Network Overlay Code

8.2.10.3 Criteria for assessment

Table 8.2.10.3.a – Transport network overlay code – assessable development

Performance outcomes	Acceptable outcomes	
For assessable development		
<p>PO1</p> <p>Development supports the road hierarchy for the region.</p> <p>Note -A Traffic impact assessment report prepared in accordance with Planning scheme policy SC6.10 - Parking and access is one way to demonstrate achievement of the Performance Outcomes.</p>	<p>AO1.1</p> <p>Development is compatible with the intended role and function of the transport network as identified on the Transport network overlay maps contained in Schedule 2.</p> <p>AO1.2</p> <p>Development does not compromise the safety and efficiency of the transport network.</p> <p>AO1.3</p> <p>Development is designed to provide access via the lowest order road, where legal and practicable access can be provided to that road.</p>	<p>The proposed development continues the previous use of the site as a tourist attraction and is compatible with the transport network.</p> <p>The development complies with AO1.1, AO1.2 and AO1.3.</p>
<p>PO2</p> <p>Transport infrastructure is provided in an integrated and timely manner.</p> <p>Note - A Traffic impact assessment report prepared in accordance with Planning scheme policy SC6.10 - Parking and access is one way to demonstrate achievement of the Performance Outcomes.</p>	<p>AO2</p> <p>Development provides infrastructure (including improvements to existing infrastructure) in accordance with:</p> <ul style="list-style-type: none"> (a) the Transport network overlay maps contained in Schedule 2; (b) any relevant Local Plan. <p>Note – The Translink Public Transport Infrastructure Manual provides guidance on the design of public transport facilities.</p>	<p>The proposed development relies on existing approved infrastructure on the site.</p> <p>The proposed development complies with AO2.</p>

<p>PO3</p> <p>Development involving sensitive land uses within a major transport corridor buffer area is located, designed and maintained to avoid or mitigate adverse impacts on amenity for the sensitive land use.</p>	<p>AO3</p> <p>No acceptable outcomes are prescribed.</p> <p>Note – Part 4.4 of the Queensland Development Code provides requirements for residential building design in a designated transport noise corridor.</p>	<p>The proposed development does not involve sensitive land uses within a major transport corridor buffer area.</p> <p>The proposed development complies with PO3.</p>
<p>PO4</p> <p>Development does not compromise the intended role and function or safety and efficiency of major transport corridors.</p> <p>Note - A Traffic impact assessment report prepared in accordance with Planning scheme policy SC6.10 - Parking and access is one way to demonstrate achievement of the Performance Outcomes.</p>	<p>AO4.1</p> <p>Development is compatible with the role and function (including the future role and function) of major transport corridors.</p> <p>AO4.2</p> <p>Direct access is not provided to a major transport corridor where legal and practical access from another road is available.</p> <p>AO4.3</p> <p>Intersection and access points associated with major transport corridors are located in accordance with:</p> <ul style="list-style-type: none"> (a) the Transport network overlay maps contained in Schedule 2; and (b) any relevant Local Plan. <p>AO4.4</p> <p>The layout of development and the design of the associated access is compatible with existing and future boundaries of the major transport corridor or major transport facility.</p>	<p>The proposed development is compatible with the role and function of major transport corridors and does not provide direct or indirect access to a major transport corridor.</p> <p>The proposed development complies with AO4.1, AO4.2, AO4.3 and AO4.4.</p>

<p>PO5</p> <p>Development retains and enhances existing vegetation between a development and a major transport corridor, so as to provide screening to potential noise, dust, odour and visual impacts emanating from the corridor.</p>	<p>AO5</p> <p>No acceptable outcomes are prescribed.</p>	<p>The proposed development is not located near a major transport corridor.</p> <p>The proposed development complies with PO5.</p>
--	---	--

ANNUAL ARBORIST INSPECTION JUNGLE SURFING
3922 Cape Tribulation Rd, Cape Tribulation Qld 4873

Arborist Team

Australian Tree Contractors & Arboricultural Consultants
P O Box 1411, Noosaville DC Qld 4566
W: www.australianconsultarborist.com.au
Managing Trees in The Urban Environment

Kurt Brown

kurt@australianconsultarborist.com.au

Australian Tree Contractors & Arboricultural Consultants

P O Box 1411, Noosaville DC Qld 4566 E: kurt@australianconsultarborist.com.au M: 0431586371

W: www.australianconsultarborist.com.au

Managing Trees in The Urban Environment



Arborist Inspection

Client: Treetop Adventure Australia Cape Tribulation

Site: 3922 Cape Tribulation Rd, Cape Tribulation Qld 4873

Date of Inspection: 12/08/2021

Table of Contents

1. Professional Disclaimer
2. Qualifications
3. Client Information
4. Scope Of Works
5. Method of Inspection
6. Glossary of Terms
7. Site Map
8. Tree Details
9. Photos of Trees Requiring a Mitigation Response with Contractor Note

Australian Tree Contractors & Arboricultural Consultants

P O Box 1411, Noosaville DC Qld 4566 E: kurt@australianconsultarborist.com.au M: 0431586371

W: www.australianconsultarborist.com.au

Managing Trees in The Urban Environment



Professional Disclaimer:

All trees are inspected on a basic level and ground based and should a higher level of inspection be required this will be identified and required to complete a mitigation response on individual trees.

All trees are assessed on "normal weather conditions" and weather event outside this will be deemed an abnormal weather event and as this assessment results maybe a higher level of risk than the initial assessment due to forces applied.

After any weather event where there have been severe forces applied to the assessed trees, we strongly recommend a reinspection to keep your report current as this report prior to any event will be deemed defuncted until reinspected.

Although Australian Tree Contractors & Arboricultural Consultants PTY Ltd (I 614 266 125) (ATCAC) use all due care and skill in providing you with the information made available in this Report, to the extent permitted by law ATCAC otherwise excludes all warranties of any kind, either expressed or implied. To the extent permitted by law, you agree that ATCAC is not liable to you or any other person or entity for any loss or damage caused or alleged to have been caused (including loss or damage resulting from negligence), either directly or indirectly, by your use of the information (including by way of example, Arboricultural advice) made available to you in this report. Without limiting this disclaimer, in no event will ATCAC be liable to you for any lost revenue or profits, or for special, indirect, consequential, or incidental damage (however caused and regardless of the theory of liability) arising out of or related to your use of that information, even if Tree Logic has been advised of the possibility of such loss or damage. This disclaimer is governed by the law in force in the State of Queensland, Australia. This Report is addressed to you and may not be distributed to, or used or relied on by, another person without the prior written consent of ATCAC. ATCAC accepts no liability to any other person, entity, or organisation with respect to the content of this Report unless that person, entity, or organisation has first agreed in writing to the terms upon which this Report may be relied on by that other person, entity, or organisation. Report Assumptions The following qualifications and assumptions apply to the Report: • Any legal description provided to ATCAC is assumed to be correct. Any titles and ownership of any property are assumed to be correct. No responsibility is assumed for matters outside of ATCAC's control. • ATCAC assumes that any property or project is not in violation of any applicable codes, ordinances, statutes or other local, state, or federal government regulations. • ATCAC shall take care to obtain all information from reliable sources. All data shall be verified insofar as possible; however, ATCAC can neither guarantee nor be responsible for the accuracy of the information provided by others not directly under ATCAC's control. • No ATCAC employee or contractor shall be required to give testimony or to attend court because of the Report unless subpoenaed or subsequent contractual arrangements are made, including payment of an additional fee for such services. • Loss of the report or alteration of any part of the report not undertaken by ATCAC invalidates the entire Report and shall not be relied upon by any party. • The Report and any values expressed therein represent the opinion of ATCAC's consultant and ATCAC's fee is in no way conditional upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported. • Sketches, diagrams, graphs, and photographs used in the Report, is intended as visual aids, are not necessarily to scale and should not be construed as engineering or architectural drawings, reports, or surveys. • Unless expressed otherwise: i) The information contained in the Report will cover those items that were outlined in the project brief or that were examined during the assessment and reflect the condition of those items at the time of inspection; and ii) The inspection is limited to a visual examination of accessible components without dissection, excavation or probing unless otherwise stipulated. • There is no warranty or guarantee, expressed or implied by ATCAC, that the problems or deficiencies of the plants or site in question may not arise in the future. • All instructions (verbal or written) that define the scope of the Report have been included in the Report and all documents and other materials that the ATCAC Consultant has been instructed to consider or to consider in preparing the Report have been included or listed within the Report. • The Report is strictly limited to the matters stated in it and does not apply by implication to any other matters. • To the writer's knowledge all facts, matter, and all assumptions upon which the Report proceeds have been stated within the body of the report and all opinion contained within the report will be fully researched and referenced and any such opinion not duly researched is based upon the writer's experience and observations.

Australian Tree Contractors & Arboricultural Consultants

P O Box 1411, Noosaville DC Qld 4566 E: kurt@australianconsultarborist.com.au M: 0431586371

W: www.australianconsultarborist.com.au

Managing Trees in The Urban Environment



General References

- Australian Standards AS 4373 – 2007 Pruning of amenity trees.
- AS 4970-2009 – Protection of trees on development sites
- Wild Plants of Greater Brisbane – Queensland Museum
- Fraser Coast website and Maps/overlays
- Evaluating Tree Defects – A Field Guide by Ed Hayes, Second Edition
- Body Language of Trees – Research for Amenity Trees, Claus Mattheck
- Smiley E. Thomas, Nelda Matheny, and Sharon Lilly April 2012. Tree Risk Assessment: Levels of Assessment
- Matheny Nelda and Jim Clark Feb 2009. Tree Risk Assessment: What we know (and What We Don't Know)
- The use of the TRAQ as trained by the International Society of Arboriculture

Qualifications:

Our Consulting Arborist is Kurt Brown, and he has over 30 years in field experience ranging the breadth of Australia and New Zealand, both as a consultant and as a AQF Level 3 Climbing Arborist and as such brings a more rounded and unique perspective to his inspections. This is evident in the inspections and data collection and how this is translated into the report format and recommendations.

Kurt also has attained the highest of the relevant qualifications for inspecting trees from all aspects relating to asset and people protection and tree health and structure and much more.

Qualifications are as follows

1. AQF Level 3 Arboriculture SCIT
2. AQF Level 5 Arboriculture TAFE East Coast
3. ISA TRAQ Certified Arborist

Other Relevant Information,

1. Queensland Arboricultural Association Qualified Member 2018 – Current
2. Arboriculture Australia Member
3. Queensland Arboricultural Association Executive Member 2012 to 2017
4. President Queensland Arboricultural Association 2014 to 2016
5. Past President Queensland Arboricultural Association 2017
6. Arboricultural Australia Member 2014 to current
7. International Society of Arboriculture Member 2014 to current

Client Information: Jungle Surfing

Client Contact: Tim Mulligan E: tim@treesadventure.com.au

Australian Tree Contractors & Arboricultural Consultants

P O Box 1411, Noosaville DC Qld 4566 E: kurt@australianconsultarborist.com.au M: 0431586371

W: www.australianconsultarborist.com.au

Managing Trees in The Urban Environment



Scope Of Works:

To perform the initial inspection of all trees as identified by Tim Mulligan from Trees Adventure and tag with this inspection to identify any risks and or structural compromises and provide mitigation actions and contractor notes and photos.

Weather Conditions, Overcast and Raining, restriction in vision

Method of Inspection

Kurt Brown employs a relevant section of multiple quantified modalities in his inspections, these are Matthecks VTA (Visual Tree Assessment) (Image 1) and ISA TRAQ Assessment. Kurt will also age profile the tree using the following classification in Appendix 2 and from this will give an approximate ULE (useful life expectancy)

The following data was updated for the trees:

- ID Number consistent with previous assessment or on a new site the initial numbering system
- Image of tree
- Botanic and common name
- Tree dimensions (Height x Width)
- Diameter at breast height (DBH)
- Health
- Structure
- Useful life expectancy (ULE)
- Age Class
- Recommended works
- Comments

Appendix 1

Australian Tree Contractors & Arboricultural Consultants

P O Box 1411, Noosaville DC Qld 4566 E: kurt@australianconsultarborist.com.au M: 0431586371

W: www.australianconsultarborist.com.au

Managing Trees In The Urban Environment



The Visual Tree Assessment (VTA) methods as described in 'The Body Language of Trees. A Handbook for Failure Analysis. Research for Amenity Trees' by Mattheck and Breloer (Mattheck, et al., 1994) is used in association with the International Society of Arboriculture's guidelines in this report.

196 THE BODY LANGUAGE OF TREES

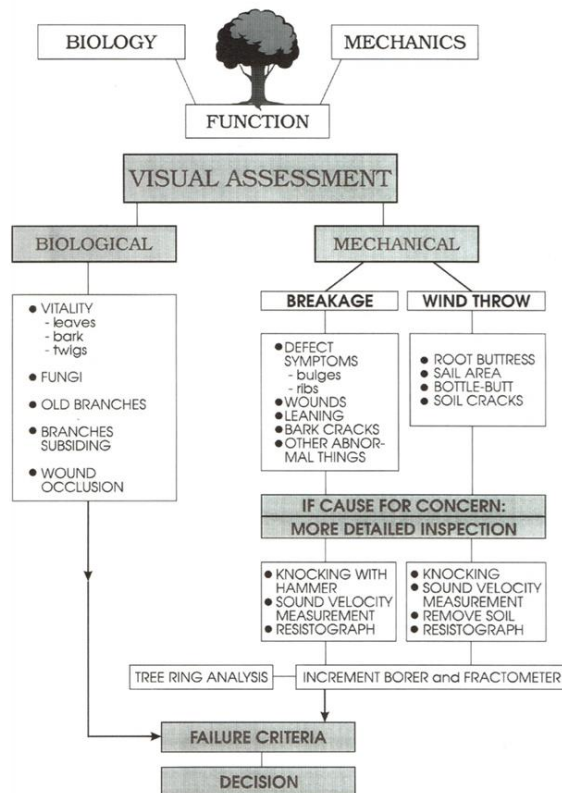


Fig 120. The Visual Tree Assessment (VTA) procedure for assessing trees. As the suspicion increases that defects are present, the examination becomes more thorough and searching.

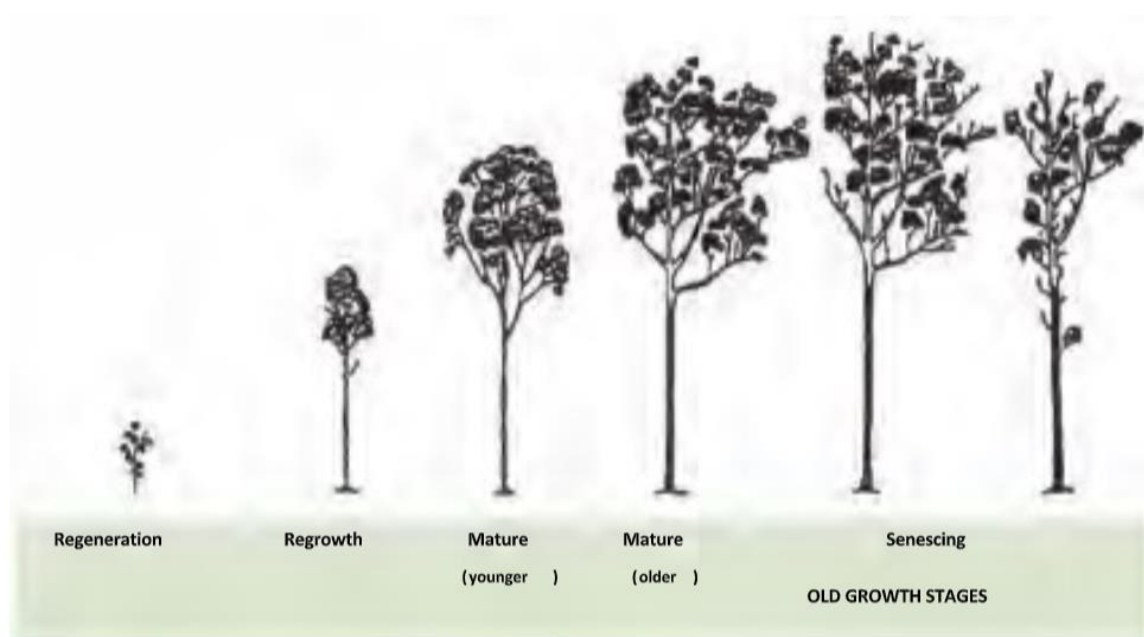
Appendix 2 Age Profile

Australian Tree Contractors & Arboricultural Consultants

P O Box 1411, Noosaville DC Qld 4566 E: kurt@australianconsultarborist.com.au M: 0431586371

W: www.australianconsultarborist.com.au

Managing Trees in The Urban Environment



Glossary of Terms

1. DBH: Diameter at breast height (1.4m)
2. M: Mature
3. J: Juvenile
4. S: Sequencing
5. E: Emergent
6. F: Fair
7. G: Good
8. FG: Fair to Good
9. SRZ: Structural Root Zone

Site Map

Tree Details

Tree Number	Botanical Name	Height	Canopy Span	DBH (mm)	Age	Health	Structure	ULE (Y)	Mitigation Works Require	Purpose
1	Dysoxylum pettigrewianum	20	5	1340	M	G	Good, High Crown with minimal taper	15 to 40	Re inspect in 12 months	Physical use in the high ropes course
2	Dysoxylum pettigrewianum	30	12	2050	M	G	Fair/Good There is a codominant stem which has signs of laminating and a high crown with minimal taper	10 to 20	Re inspect in 12 months	

Australian Tree Contractors & Arboricultural Consultants

P O Box 1411, Noosaville DC Qld 4566 E: kurt@australianconsultarborist.com.au M: 0431586371

W: www.australianconsultarborist.com.au

Managing Trees in The Urban Environment



3										
4	Alstonia scholaris	20	4	750	SM/M	FG	Slightly exposed position and this crown by comparison to the crown taper	15 to 40	Re inspect in 12 months	
5	Dysoxylum pettigrewianum	25	15	1110	M	G	Soil erosion near base, leaning bias there is already high ropes infrastructure installed and the load direction of the cables is, and forces exerted on the tree appear in this inspection minimal	15 to 40	Re inspect in 12 months	
6	Dysoxylum pettigrewianum	25	3	400	SM/M	G	This tree has a phototropic lean towards the canopy opening created by the original infrastructure clearing, there is evidence of root disturbance assumed from the grandstand construction. There is evidence of response growth with the buttressing on the tension (uphill) side which shows the tree has vigour.	15 to 40	Re inspect in 12 months	
7	Dysoxylum pettigrewianum	30	10	600	M	F	There appears that a leader has been impacted from a previous failure from another tree there is epicormic response growth present and minor decay. Monitor	15 to 40	Re inspect in 12 months	Targets infrastructure
8	Dysoxylum pettigrewianum	25	5	380	SM/M	G	Form typical for the species and from a ground-based inspection no obvious areas of concern	15 to 40	Re inspect in 12 months	Targets infrastructure
9	Syzygium monospernum	30	15	400	M	G	Form typical for the species and from a ground-based inspection no obvious areas of concern	15 to 40	Re inspect in 12 months	Targets infrastructure
10	Dysoxylum pettigrewianum	30	15	960	M	G	Form typical for the species and from a ground-based inspection no obvious areas of concern	15 to 40	Re inspect in 12 months	Targets infrastructure
11	Dysoxylum pettigrewianum	20	4	410	SM	G	Form typical for the species and from a ground-based inspection, there is some basal rot caused by a previous failure, monitor	15 to 40	Re inspect in 12 months	Targets infrastructure

Australian Tree Contractors & Arboricultural Consultants

P O Box 1411, Noosaville DC Qld 4566 E: kurt@australianconsultarborist.com.au M: 0431586371

W: www.australianconsultarborist.com.au

Managing Trees in The Urban Environment



12	Alstonia scholaris	30	5	570	M	G	Form typical for the species and from a ground-based inspection no obvious areas of concern	15 to 40	Re inspect in 12 months	Targets infrastructure
13	Dysoxylum pettigrewian umi	25	20	1430	M	FG	Form typical for the species and from a ground-based inspection no obvious areas of concern. This tree has high ropes infrastructure installed and their impact is unknown from this inspection TA will need to inspect and comment	15 to 40	Re inspect in 12 months	Targets infrastructure
14	Dysoxylum pettigrewian umi	30	20	2540	M	G	Form typical for the species and from a ground-based inspection no obvious areas of concern. This tree has high ropes infrastructure installed and their impact is unknown from this inspection		Re inspect in 12 months	Targets infrastructure
15	Dysoxylum pettigrewian umi	30	20	1030	M	G	Form typical for the species and from a ground-based inspection no obvious areas of concern. This tree has high ropes infrastructure installed and their impact is unknown from this inspection	15 to 40	Re inspect in 12 months	Targets infrastructure
16	Dysoxylum pettigrewian umi	30	15	940	M	G	Form typical for the species and from a ground-based inspection no obvious areas of concern	15 to 40	Re inspect in 12 months	Targets infrastructure
17	Dysoxylum pettigrewian umi	35	10	910	M	G	Form typical for the species and from a ground-based inspection no obvious areas of concern	15 to 40	Re inspect in 12 months	Targets infrastructure
18	Syzygium monospernum	25	6	430	SM M	G	Form typical for the species and from a ground-based inspection. At the construction of the footings for the grandstand there has been an incursion into the SRZ and some backing filling up the trunk, no obvious negative affects of these works at this inspection	15 to 40	Re inspect in 12 months	Targets infrastructure
19	Dysoxylum pettigrewian umi	30	10	840	M	FG	Form typical for the species and from a ground-based inspection.	15 to 40	Re inspect in 12 months	Targets infrastructure

Australian Tree Contractors & Arboricultural Consultants

P O Box 1411, Noosaville DC Qld 4566 E: kurt@australianconsultarborist.com.au M: 0431586371

W: www.australianconsultarborist.com.au

Managing Trees in The Urban Environment



							There are 2 sections of decay on the tension side of the buttress root that appears to be from impact from a previous failure. The other is on the compression side of the root plate and has decay present which again appears to be from a previous leader failure. Will need to monitor no structural concerns at this inspection			
20	Dysoxylum pettigrewian umi	22	5	370	SM	FG	Form typical for the species and from a ground-based inspection no obvious areas of concern, rather just maintenance issues with pruning required away from the cables	15 to 40	Maintenance pruning works and limbs that target the cables and re inspect in 12 months	Targets infrastructure
21	Dysoxylum pettigrewian umi	35	15	1950	M	G	Form typical for the species and from a ground-based inspection. There is a weight bias over the cables	15 to 40	Re inspect in 12 months, potential weight reduction in the future	Targets infrastructure
22	Alstonia scholaris	30	10	1420	M	G	Form typical for the species and from a ground-based inspection no obvious areas of concern	15 to 40	Re inspect in 12 months	Targets infrastructure
23	Dysoxylum pettigrewian umi	30	9	1110	M	G	Form typical for the species and from a ground-based inspection no obvious areas of concern	15 to 40	Re inspect in 12 months	Targets infrastructure
24	Dysoxylum pettigrewian umi	30	9	1120	M	G	Form typical for the species and from a ground-based inspection no obvious areas of concern	15 to 40	Re inspect in 12 months	Targets infrastructure
25	Dysoxylum pettigrewian umi	25	20	1210	M	FG	Form typical for the species and from a ground-based inspection no obvious areas of concern	15 to 40	Re inspect in 12 months	Targets infrastructure
26	Syzygium monospernum	30	6	380	M	G	Form typical for the species and from a ground-based inspection no obvious areas of concern	15 to 40	Re inspect in 12 months	Targets infrastructure
27	Dysoxylum pettigrewian umi	30	20	1030	M	FG	This tree as is typical in this environment has hyper extended on overbalance crown	15 to 40	Re inspect in 12 months	Targets infrastructure

Australian Tree Contractors & Arboricultural Consultants

P O Box 1411, Noosaville DC Qld 4566 E: kurt@australianconsultarborist.com.au M: 0431586371

W: www.australianconsultarborist.com.au

Managing Trees in The Urban Environment



							potentially targeting the proposed infrastructure			
28	Dysoxylum pettigrewian umi	40	10	2000	M	P	This tree has poor structure and decay present and will target proposed infrastructure	2 to 5	Reduction to hard structure	Potentially targets the proposed infrastructure
29	Dysoxylum pettigrewian umi	30	15	1460	M	FG	This tree presents in reasonable form and does target proposed infrastructure	15 to 40	Re inspect in 12 months	Potentially targets the proposed infrastructure
30	Dysoxylum pettigrewian umi	25	9	900	M	FG	This tree presents in reasonable form and does target proposed infrastructure	15 to 40	Re inspect in 12 months	Potentially targets the proposed infrastructure
31	Dysoxylum pettigrewian umi	15	5	430	SM	G	Typical minimal taper high crown and buttressing	15 to 40	Re inspect in 12 months	Potentially targets the proposed infrastructure
32	Alstonia scholaris	30	10	480	M	FG	This tree as is typical in this environment has hyper extended on overbalance crown potentially targeting the proposed infrastructure	15 to 40	Crown weight reduction	Potentially targets the proposed infrastructure
33	Dysoxylum pettigrewian umi	35	14	800	M	PF	There is a previous failure and decay is present	5 to 15	Monitor, re inspect in 12 months, potential reduction	Potentially targets the proposed infrastructure
34	Alstonia scholaris	40	9	1600	S	FG	This tree has had a significant leader failure and the remaining section is off balance and if the remaining section failed it would impact the high ropes infrastructure	5 to 15	Aerial inspection and depending on n these findings potentially crown weight reduction	Potentially targets the proposed infrastructure
35	Dysoxylum pettigrewian umi	25	10	540	M	FG	There is an unbalanced phototropic growth present which again is typical in these light competitive situations, general health typical for the species	15 to 40	Crown reduction to assist in balancing the bias to aid protecting the proposed infrastructure. Re inspect in 12 months	Potentially targets the proposed infrastructure
36	Dysoxylum pettigrewian umi	30	10	0	M	F	This tree has totally taken over the host tree in a strangler type fashion, it does have a	15 to 40	Re inspect in 12 months	Potentially targets the proposed

Australian Tree Contractors & Arboricultural Consultants

P O Box 1411, Noosaville DC Qld 4566 E: kurt@australianconsultarborist.com.au M: 0431586371

W: www.australianconsultarborist.com.au

Managing Trees in The Urban Environment



							significant lean but will just need to be monitored			infrastructure
37	Toona australis	30	10	700	M	FG	This tree has a gall present mid trunk, and it is a minor structural concern the tree presents reasonable response growth to this concern. There is no significant	15 to 40	Re inspect in 12 months	Potentially targets the proposed infrastructure
38	Dysoxylum pectigrewianum	15	11	0	M	F	This tree has a bias towards the proposed infrastructure on sloping ground	15 to 40	Reduction balancing prune proactively for the cable	Potentially targets proposed infrastructure
39	Dysoxylum pectigrewianum	30	18	0	S	F	This tree from a ground-based inspection is difficult to definitively assess and will need an advance inspection method and potentially on the findings of this inspection will potentially require a crown reduction	5 to 10	Aerial inspection and potential crown reduction	Potentially targets proposed infrastructure
40	Syzygium monospernum	30	18	600	M	G	This tree targets the proposed cable and has a significant lean on sloping ground typical to this site, there is hyper extended leaders	15 To 40	Leader reduction to assist in balancing the lean to lessen the load on the basal system, re inspect in 12 months after these mitigation works	Targets potential infrastructure

Photos

Tree 1

Australian Tree Contractors & Arboricultural Consultants

P O Box 1411, Noosaville DC Qld 4566 E: kurt@australianconsultarborist.com.au M: 0431586371

W: www.australianconsultarborist.com.au

Managing Trees in The Urban Environment



Tree 2



Tree 3



Australian Tree Contractors & Arboricultural Consultants

P O Box 1411, Noosaville DC Qld 4566 E: kurt@australianconsultarborist.com.au M: 0431586371

W: www.australianconsultarborist.com.au

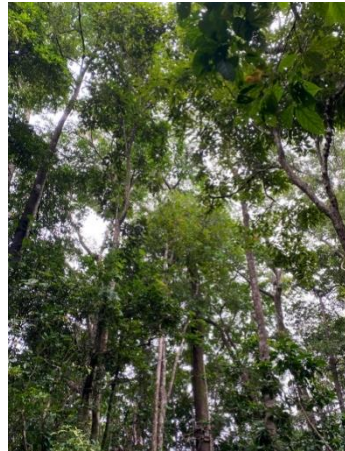
Managing Trees in The Urban Environment



Tree 4



Tree 5



Tree 6



Australian Tree Contractors & Arboricultural Consultants

P O Box 1411, Noosaville DC Qld 4566 E: kurt@australianconsultarborist.com.au M: 0431586371

W: www.australianconsultarborist.com.au

Managing Trees in The Urban Environment



Tree 7



Tree 8



Tree 9



Tree 10

Australian Tree Contractors & Arboricultural Consultants

P O Box 1411, Noosaville DC Qld 4566 E: kurt@australianconsultarborist.com.au M: 0431586371

W: www.australianconsultarborist.com.au

Managing Trees in The Urban Environment



Tree 11



Tree 12



Tree 13

Australian Tree Contractors & Arboricultural Consultants

P O Box 1411, Noosaville DC Qld 4566 E: kurt@australianconsultarborist.com.au M: 0431586371

W: www.australianconsultarborist.com.au

Managing Trees in The Urban Environment



Tree 14



Tree 15



Tree 16

Australian Tree Contractors & Arboricultural Consultants

P O Box 1411, Noosaville DC Qld 4566 E: kurt@australianconsultarborist.com.au M: 0431586371

W: www.australianconsultarborist.com.au

Managing Trees in The Urban Environment



Tree 17



Tree 18



Tree 19

Australian Tree Contractors & Arboricultural Consultants

P O Box 1411, Noosaville DC Qld 4566 E: kurt@australianconsultarborist.com.au M: 0431586371

W: www.australianconsultarborist.com.au

Managing Trees in The Urban Environment



Tree 20



Tree 21



Tree 22

Australian Tree Contractors & Arboricultural Consultants

P O Box 1411, Noosaville DC Qld 4566 E: kurt@australianconsultarborist.com.au M: 0431586371

W: www.australianconsultarborist.com.au

Managing Trees in The Urban Environment



Tree 23



Tree 24



Tree 25

Australian Tree Contractors & Arboricultural Consultants

P O Box 1411, Noosaville DC Qld 4566 E: kurt@australianconsultarborist.com.au M: 0431586371

W: www.australianconsultarborist.com.au

Managing Trees in The Urban Environment



Tree 26



Tree 27



Tree 28

Australian Tree Contractors & Arboricultural Consultants

P O Box 1411, Noosaville DC Qld 4566 E: kurt@australianconsultarborist.com.au M: 0431586371

W: www.australianconsultarborist.com.au

Managing Trees in The Urban Environment



Tree 29



Tree 30



Tree 31

Australian Tree Contractors & Arboricultural Consultants

P O Box 1411, Noosaville DC Qld 4566 E: kurt@australianconsultarborist.com.au M: 0431586371

W: www.australianconsultarborist.com.au

Managing Trees in The Urban Environment



Tree 32



Tree 33



Tree 34

Australian Tree Contractors & Arboricultural Consultants

P O Box 1411, Noosaville DC Qld 4566 E: kurt@australianconsultarborist.com.au M: 0431586371

W: www.australianconsultarborist.com.au

Managing Trees in The Urban Environment



Tree 35



Tree 36



Tree 37

Australian Tree Contractors & Arboricultural Consultants

P O Box 1411, Noosaville DC Qld 4566 E: kurt@australianconsultarborist.com.au M: 0431586371

W: www.australianconsultarborist.com.au

Managing Trees in The Urban Environment



Tree 38



Australian Tree Contractors & Arboricultural Consultants

P O Box 1411, Noosaville DC Qld 4566 E: kurt@australianconsultarborist.com.au M: 0431586371

W: www.australianconsultarborist.com.au

Managing Trees in The Urban Environment



Conclusion Statement

This is the initial inspection, and the weather conditions did hamper slightly the canopy inspection from a ground based Visual Tree Inspection perspective coupled with the generally dense canopy. By applying my over 30 years' experience and qualifications I am comfortable with our findings in this assessment.

Kind Regards

Kurt Brown DIP Arb Tafe East Coast TRAQ Cert ISA


Australian Tree Contractors & Arboricultural Consultants Pty LTD


Treetops Adventure Cape Tribulation


Canopy Tour - Redevelopment


ANNEXURE I - Aerial Imagery of Canopy Tour Redevelopment


Legend


 Canopy Tour


 Driveway


 Existing Buildings

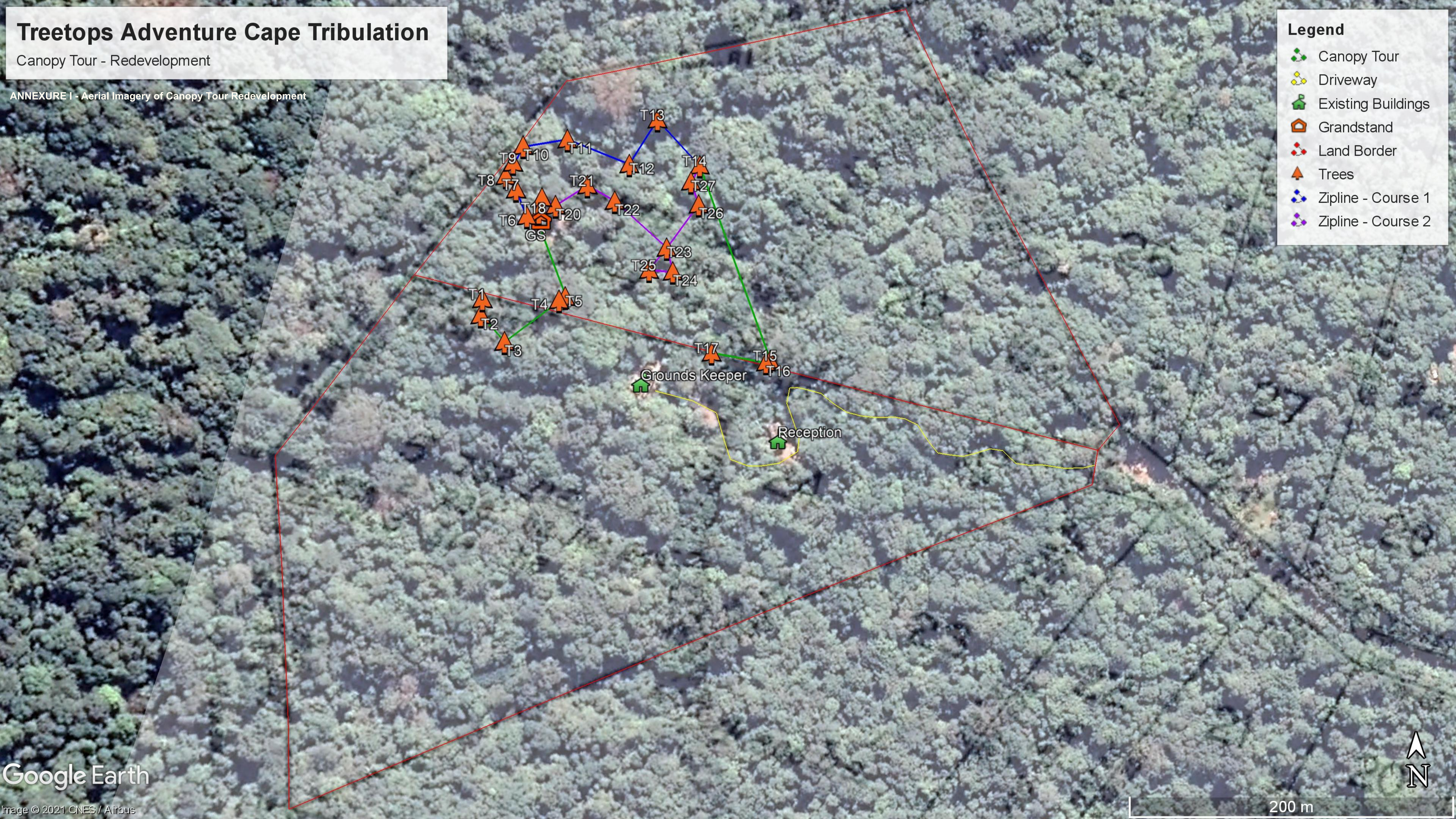
 Grandstand

 Land Border

 Trees

 Zipline - Course 1

 Zipline - Course 2

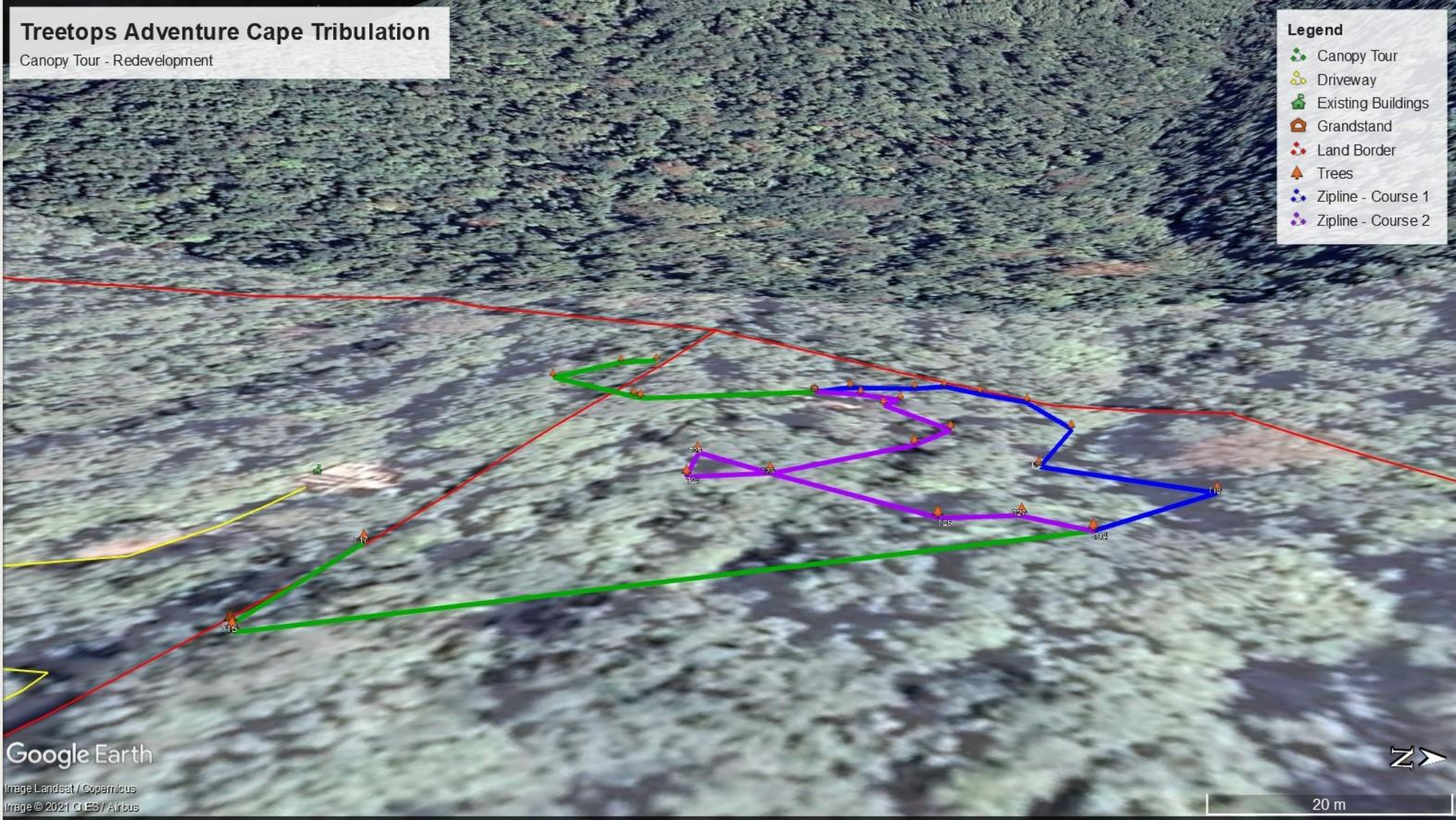


Treetops Adventure Cape Tribulation

Canopy Tour - Redevelopment

Legend

- Canopy Tour
- Driveway
- Existing Buildings
- Grandstand
- Land Border
- Trees
- Zipline - Course 1
- Zipline - Course 2



Google Earth

Image Landsat / Copernicus
Image © 2021 CNES / Airbus



20 m

Treetops Adventure Cape Tribulation

Canopy Tour - Redevelopment

Legend


- Canopy Tour
- Driveway
- Existing Buildings
- Grandstand
- Land Border
- Trees
- Zipline - Course 1
- Zipline - Course 2




Treetops Adventure Cape Tribulation


Canopy Tour - Redevelopment


Legend


 Canopy Tour

 Driveway


 Existing Buildings

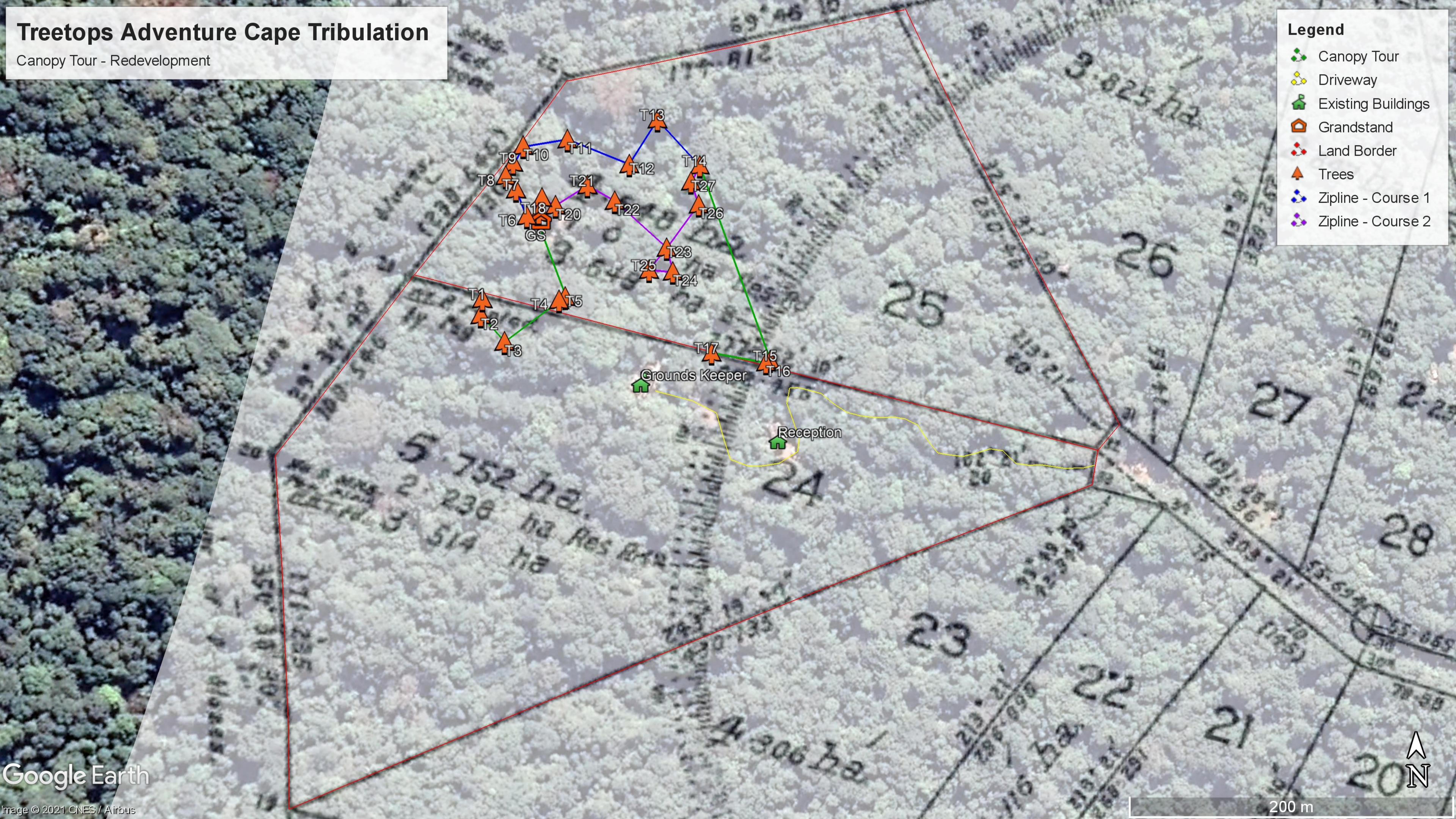
 Grandstand

 Land Border

 Trees

 Zipline - Course 1

 Zipline - Course 2



Treetops Adventure Cape Tribulation

Canopy Tour - Redevelopment

Legend

 Canopy Tour

 Land Border

 Zipline - Course 1

 Zipline - Course 2



Cape Tribulation

Avalon St

Cape Tribulation Rd

Google Earth

© 2021 Google
Image © 2021 CNES / Airbus







600 m

Treetops Adventure Cape Tribulation

Canopy Tour - Redevelopment

Legend

-  Canopy Tour
-  Land Border
-  Zipline - Course 1
-  Zipline - Course 2



Cape Tribulation

Cape Tribulation Rd

Google Earth

Image Landsat / Copernicus
© 2021 Google
Data SIO, NOAA, U.S. Navy, NGA, GEBCO
Image © 2021 CNES / Airbus



400 m

TREETOP ADVENTURE

141 CAMELOT CLOSE

CAPE TRIBULATION QLD 4873

DRAWING REGISTER	
DWG No.	CONTENT
2100-030-S01	COVER SHEET & DRAWING REGISTER NOTES SITE PLAN GENERAL ARRANGEMENT
2100-030-S02	
2100-030-S03	
2100-030-S04	
2100-030-S10	REACTIONS
2100-030-S30	TYPICAL DETAILS

FOR APPROVAL.

				ASSOCIATED CONSULTANT		CLIENT		TREETOP ADVENTURE CAPE TRIBULATION COVER SHEET & DRAWING REGISTER				<table><tr><td>DESIGNED</td><td>J.D.</td><td>SEP '21</td><td>CHECKED</td><td></td><td></td></tr><tr><td>DRAWN</td><td>D.S.</td><td>SEP '21</td><td>CHECKED</td><td></td><td></td></tr><tr><td colspan="6">APPROVED</td></tr><tr><td colspan="2">SCALE</td><td colspan="2">AS SHOWN</td><td colspan="2">DATUM</td></tr><tr><td colspan="6">THIS DRAWING IS TO BE READ AT A1 SIZE</td></tr></table>				DESIGNED	J.D.	SEP '21	CHECKED			DRAWN	D.S.	SEP '21	CHECKED			APPROVED						SCALE		AS SHOWN		DATUM		THIS DRAWING IS TO BE READ AT A1 SIZE						<div><div>WADE DESIGN ENGINEERS Structural Engineers GPO Box 2356 BRISBANE Qld 4001 AUSTRALIA p. + 61 7 3229 1183 e. office@wadeng.com.au</div></div>				DRAWING No. 2100-030-S01	
DESIGNED	J.D.	SEP '21	CHECKED																																																
DRAWN	D.S.	SEP '21	CHECKED																																																
APPROVED																																																			
SCALE		AS SHOWN		DATUM																																															
THIS DRAWING IS TO BE READ AT A1 SIZE																																																			
						TREETOP ADVENTURE AUSTRALIA										AMDT.		B																																	

GENERAL NOTES

1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS AND SPECIFICATION. ANY DISCREPENCIES AND VARIATIONS SHALL BE REFERRED TO THE SUPERINTENDENT BEFORE PROCEEDING WITH THE WORK.
2. ALL DIMENSIONS NOT SHOWN ON THESE DRAWINGS SHALL BE TAKEN FROM THE ARCHITECTURAL DRAWINGS AND/OR VERIFIED ON SITE.
3. THESE DRAWINGS MUST NOT BE SCALED.
4. WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH RELEVANT CURRENT AUSTRALIAN STANDARD CODES INCLUDING ALL AMENDMENTS.
5. SUBSTITUTIONS MUST BE APPROVED BY THE SUPERINTENDENT BUT SUCH APPROVAL IS NOT AN AUTHORIZATION FOR A VARIATION.
6. ALL NOTES SHOWN ON THE DRAWINGS ARE SELECTED NOTES AND ARE TO BE READ IN CONJUNCTION WITH THE SPECIFICATION.
7. ANY DISCREPENCIES OR OMISSIONS SHALL BE IMMEDIATELY REFERRED TO THE SUPERINTENDENT FOR RESOLUTION.
8. DIMENSIONS OF EXISTING STRUCTURES AND GROUND LEVELS ARE FOR INFORMATION ONLY AND SHALL BE VERIFIED ON SITE PRIOR TO CONSTRUCTION.
9. CONSTRUCTION DRAINAGE IS TO BE PROVIDED TO ENSURE PONDING ON THE AREA OF WORK DOES NOT OCCUR.

DESIGN LOADS

THE ZIPLINE AND ACTIVITY SAFETY LINE SYSTEM HAS BEEN DESIGNED TO WITHSTAND THE FOLLOWING LIVE LOADS IN ACCORDANCE WITH, OR EXCEEDING THE REQUIREMENTS OF, AS1170.1 2002, AS2316.2.1 & AS3533.1.

DESIGN PERSON	130kg
WIND LOADING:	
<div><div>•</div>IMPORTANCE LEVEL</div>	2
<div><div>•</div>DESIGN LIFE</div>	25 YEARS
<div><div>•</div>WIND REGIONS</div>	C
<div><div>•</div>ULTIMATE WIND SPEED</div>	Vdes, Ø = 57.5m/s
RESCUE LOAD	2 PEOPLE + EQUIPMENT = 270kg
DEFORMATION CHECK POINT LOAD	6kN

WIRE ROPES

1. USE RIGGING IN ACCORDANCE WITH THE FOLLOWING PROPREITARY SYSTEMS OR APPROVED EQUIVALENT:-

- ACTIVITY SAFETY LINES: ZAZA2 PBJ TECHNICAL SHEET 2019-01-28 ENG

- ZIPLINES <100m LONG: ZAZA2 PBJ2 TECHNICAL SHEET 2019-01-28 ENG

- ZIPLINES >100m LONG: ZAZA2 PBT TECHNICAL SHEET 2019-01-28 ENG
2. ALL ZIPLINES, ACTIVITY SAFETY LINES & TRANSFER CABLES ARE TO BE 12mm DIAMETER GALVANIZED 7x19 WSC WIRE ROPE (G2070) M.B.L.=98.9kN.
3. ALL CABLE TERMINATIONS TO BE MADE BY EXPERIENCED PERSONNEL USING THE TALURIT TALUCRIMP SYSTEM & INSTALLED IN ACCORDANCE WITH THE MANUFACTURER’S SPECIFICATION.
4. ZIPLINE SLOPE = 4.5%-5.0% [AS SPECIFIED BY CLIENT]. ZIPLINE SAG = 1%
5. ALL ZIPLINES ARE TO HAVE A PRESTRESS LESS THAN 10kN.
6. ACTIVITY EQUIPMENT SUPPORT LINES SHALL BE ONE OR MULTIPLE 10mm DIAMETER GALVANIZED 7x19 WSC WIRE ROPE (G1770) M.B.L.=64.1kN. WEIGHT OF ADULTS, EQUIPMENT AND ARRANGEMENT TO BE REVIEWED AND APPROVED BY ENGINEER.
7. ALL ACTIVITY EQUIPMENT LINES AND ACTIVITY SAFETY LINES TO BE PRE-TENSIONED TO A MAXIMUM OF 7.5kN. TYPE TO TREES ADVENTURE SPECIFICATIONS.
8. WHERE MULTIPLE LINES ARE REQUIRED FOR A SINGLE OBSTACLE THE SUM OF PRE-TENSIONS MUST NOT EXCEED 10kN.
9. ALL TIE BACK CABLES & BRACING CABLES ARE TO BE 12mm DIAMETER GALVANIZED 1x19 B STRAND WIRE ROPE (GR1570). [T.B.C.] ARRANGEMENT AND PLACEMENT OF BRACING TO BE DETERMINED & CHECKED BY ENGINEER.
10. ALL TIE BACK CABLES & BRACING CABLES ARE TO BE PRE-TENSIONED TO 5-15kN, TO BE CONFIRMED DURING CONSTRUCTION AND CHECKED BY ENGINEER.
11. SUPPLY, INSTALLATION, CARE & USE OF CABLES TO COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AS1666, AS2759 & AS3569.
12. CALIBRATED CABLE TENSION MEASURING DEVICES SHALL BE USED TO DETERMINE CABLE/LINE TENSIONS.
13. ANY SIGNIFICANT ALTERATIONS INVOLVING REMOVAL OF, ADDITION OF OR SIGNIFICANT RELOCATION OF ZIPLINES, STATIC LINES OR OBSTACLE LINES SHALL BE REVIEWED BY AN APPROPRIATELY QUALIFIED STRUCTURAL ENGINEER.

TREES

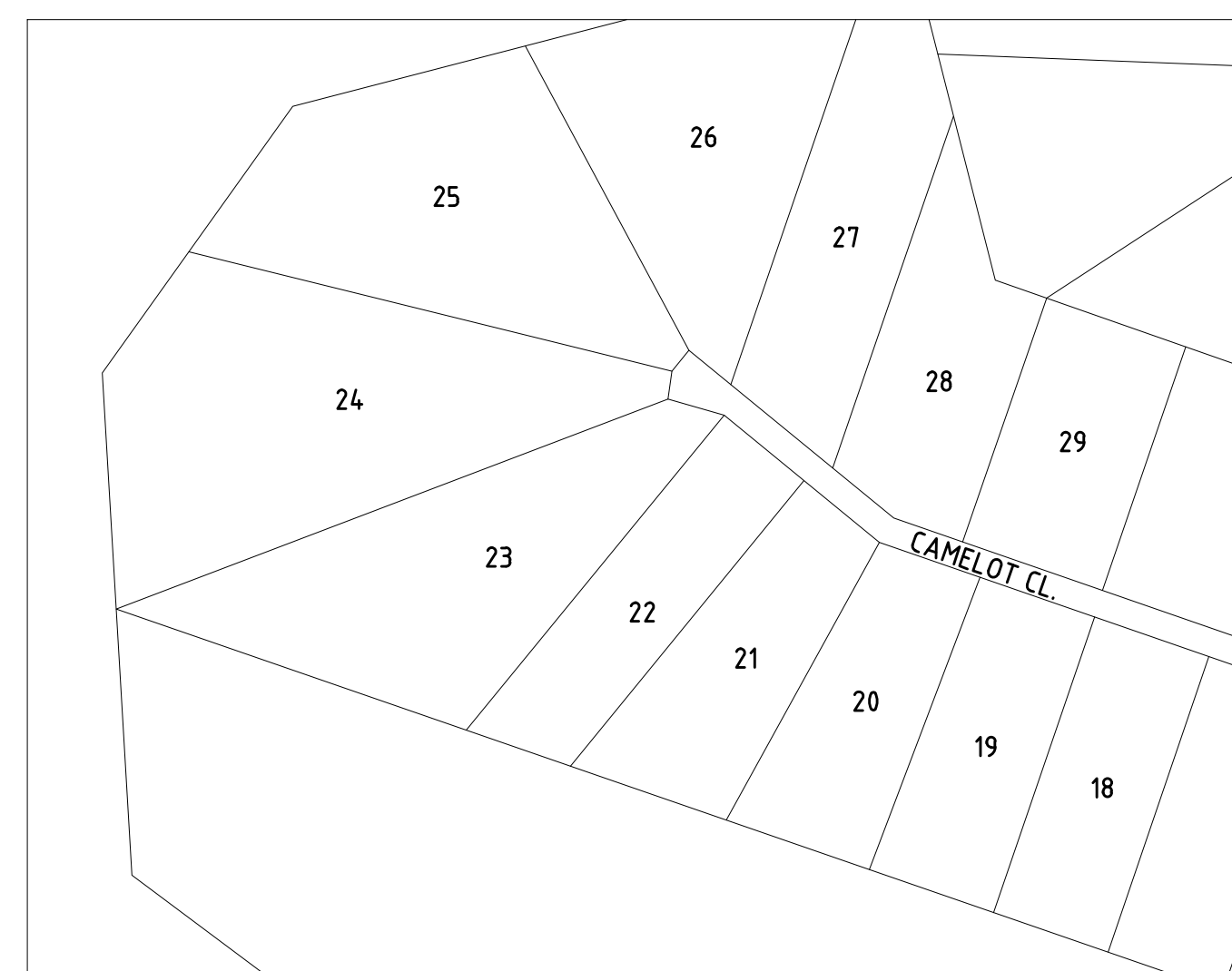
1. THE USE OF TREES TO SUPPORT ZIPLINES & ACTIVITY LINES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF AS2316.2.1 AND AS3533.1
2. ANY CHANGES TO THE LAYOUT INCLUDING USE OF ALTERNATE TREES SHALL BE DONE IN CONSULTATION WITH A SUITABLY QUALIFIED ARBORIST & STRUCTURAL ENGINEER.
3. TREES SHALL BE PROTECTED TO MINIMIZE DAMAGE FROM CABLES & PLATFORMS.
4. TREES TO BE ASSESSED IN ACCORDANCE WITH AS2316.2.1 BY A COMPETENT PERSON TO RESIST ALL REACTION LOADS.
5. TREES LESS THAN 600mm DBH MAY NEED TO BE GUY/BRACED IN CONSULTATION WITH A SUITABLY QUALIFIED ARBORIST AND ENGINEER. TO BE DETERMINED ON SITE DURING CONSTRUCTION.

OPERATIONAL REQUIREMENTS

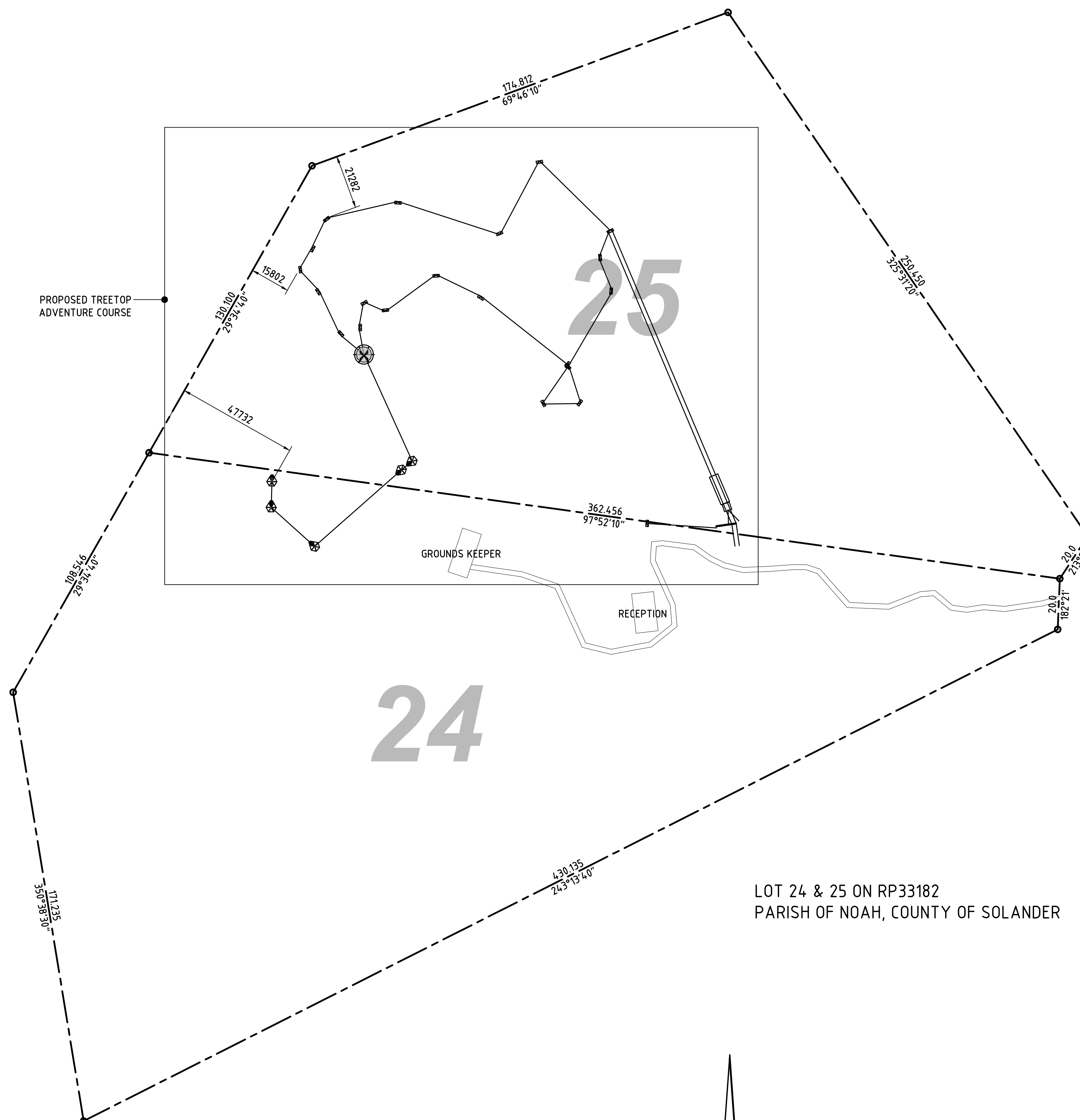
1. SMALL PLATFORMS – MAX CAPACITY 3 PEOPLE.
2. LARGE PLATFORM – MAX CAPACITY 14 PEOPLE, REFER TECRAFT PROJECTS DOCUMENTATION.
3. MAXIMUM 1 PERSON PER ZIPLINE.
4. MAXIMUM 1 PERSON PER ACTIVITY SAFETY LINE.
5. EXCEPTION TO THE 1 PERSON RULE IS FOR RESCUE SITUATION WHERE THE MAXIMUM IS ONE RESCUER AND THE PERSON BEING RESCUED.
6. MAXIMUM WIND SPEED FOR SAFE USE OF THE FACILITY IS 20m/s (72kph) GUST WIND SPEED.
7. USERS SHALL BE TETHERED TO SAFETY LINES WHILE USING THE COURSE WITH APPROVED HARNESSES IN ACCORDANCE WITH THE REQUIREMENTS OF AS3533.1 AND AS2316.2.1 AND THE KONG ZAZA2 CS SYSTEM OR APPROVED EQUIVALENT.

FOR APPROVAL.

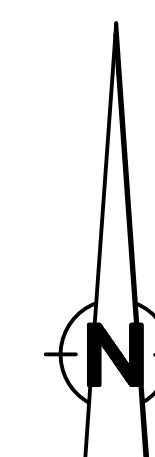
--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--



KEY PLAN
1:5000



SITE PLAN
1:1000

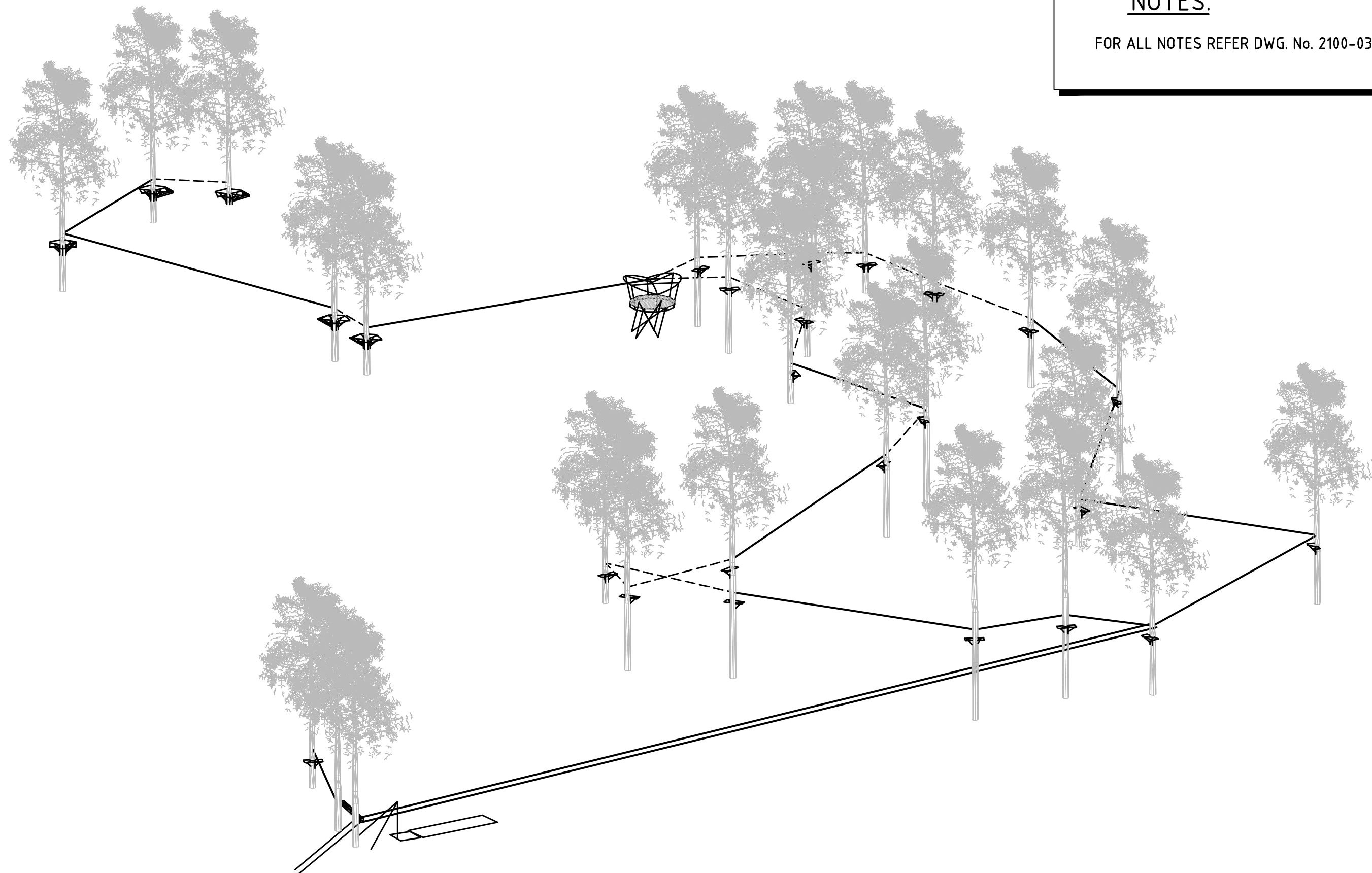
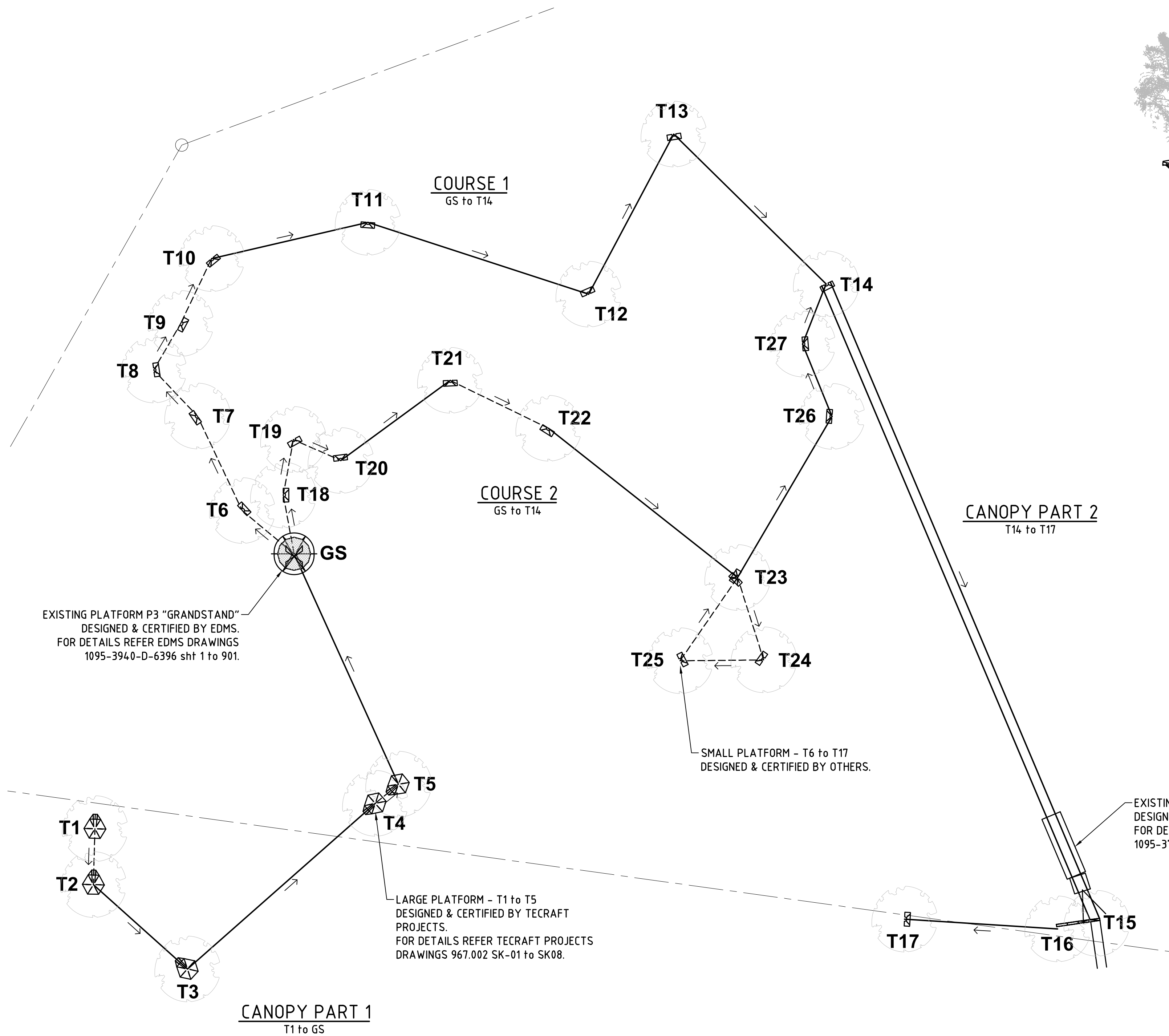


LOT 24 & 25 ON RP33182
PARISH OF NOAH, COUNTY OF SOLANDER

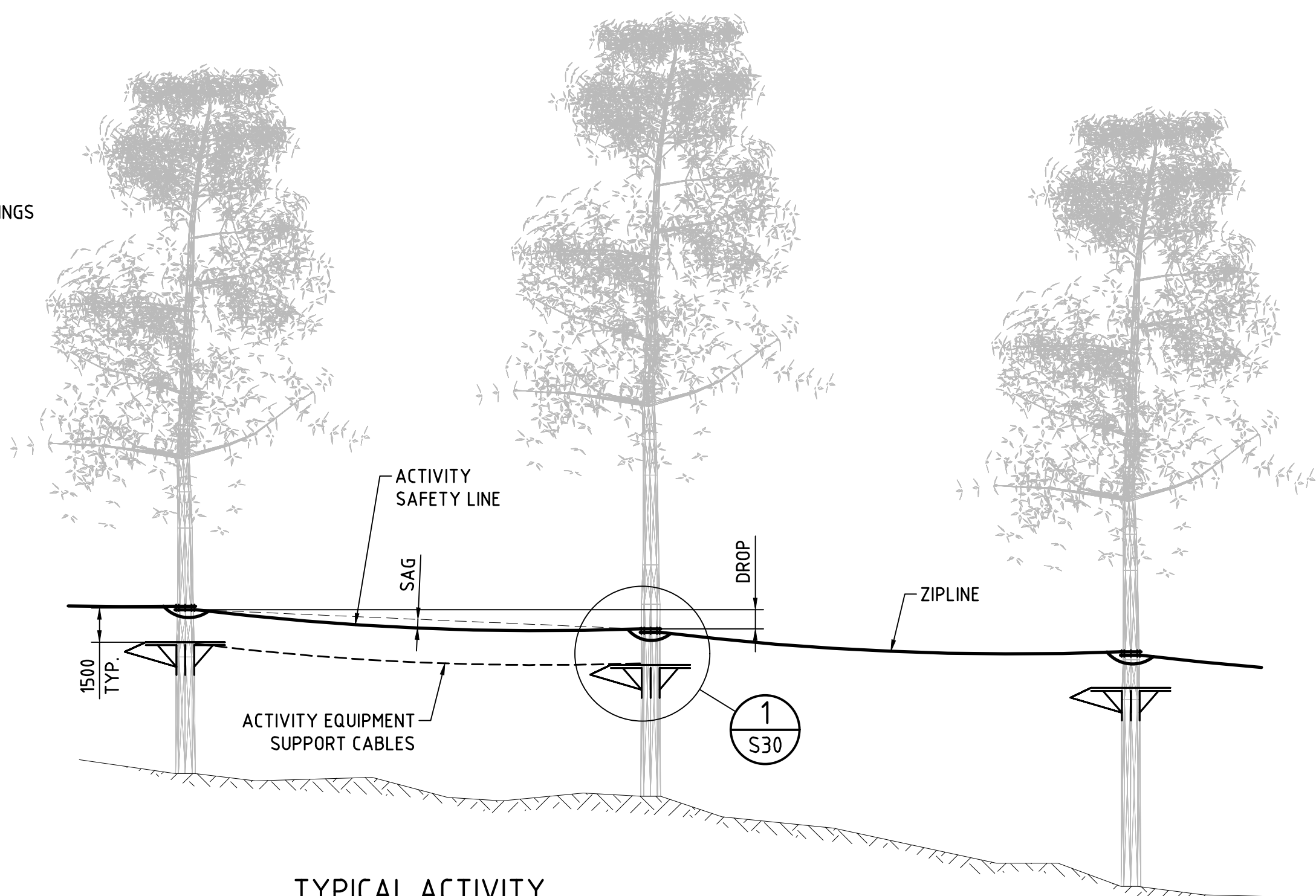
FOR APPROVAL.

				ASSOCIATED CONSULTANT	CLIENT	TREETOP ADVENTURE CAPE TRIBULATION SITE PLAN				<table><tr><td>DESIGNED</td><td>J.D.</td><td>SEP '21</td><td>CHECKED</td><td></td><td></td></tr><tr><td>DRAWN</td><td>D.S.</td><td>SEP '21</td><td>CHECKED</td><td></td><td></td></tr><tr><td>APPROVED</td><td colspan="5"></td></tr><tr><td>SCALE</td><td colspan="2">AS SHOWN</td><td colspan="2">DATUM</td><td></td></tr><tr><td colspan="5">THIS DRAWING IS TO BE READ AT A1 SIZE</td><td></td></tr></table>	DESIGNED	J.D.	SEP '21	CHECKED			DRAWN	D.S.	SEP '21	CHECKED			APPROVED						SCALE	AS SHOWN		DATUM			THIS DRAWING IS TO BE READ AT A1 SIZE						<div><p>WADE DESIGN ENGINEERS Structural Engineers GPO Box 2356 BRISBANE Qld 4001 AUSTRALIA p. +61 7 3229 1183 e. office@wadeng.com.au</p></div>	DRAWING No. 2100-030-S03	
DESIGNED	J.D.	SEP '21	CHECKED																																								
DRAWN	D.S.	SEP '21	CHECKED																																								
APPROVED																																											
SCALE	AS SHOWN		DATUM																																								
THIS DRAWING IS TO BE READ AT A1 SIZE																																											
B	MINOR REVISION			D.S.	13 OCT '21																																						
A	ISSUE FOR APPROVAL			D.S.	07 OCT '21																																						
NO.	REVISIONS			INITS.	DATE																																						
								AMDT.	B																																		

NOTES.
FOR ALL NOTES REFER DWG. No. 2100-030-S02.



AXONOMETRIC VIEW
N.T.S.



TYPICAL ACTIVITY
ELEVATION
1:200

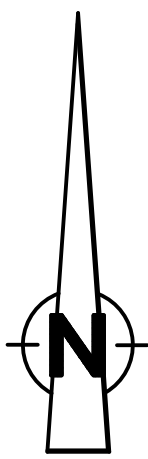
TYPICAL ZIPLINE
ELEVATION
1:200

LEGEND

- ACTIVITY
- ZIPLINE

GENERAL ARRANGEMENT

1:500



FOR APPROVAL.

J:\Jobs\2021\2100\030 - Treetops Adventure Cape Tribulation 967-002\DWG\2100-030-S04-B.dwg

NO.	REVISIONS	INITS.	DATE
B	PLATFORMS REVISED	D.S.	13 OCT '21
A	ISSUE FOR APPROVAL	D.S.	07 OCT '21

ASSOCIATED CONSULTANT

CLIENT

TREETOP
ADVENTURE
AUSTRALIA

TREETOP ADVENTURE CAPE TRIBULATION
GENERAL ARRANGEMENT

DESIGNED	J.D.	SEP '21	CHECKED	
DRAWN	D.S.	SEP '21	CHECKED	
APPROVED				
SCALE	AS SHOWN	DATUM		
THIS DRAWING IS TO BE READ AT A1 SIZE				

Wade
DESIGN ENGINEERS

WADE DESIGN ENGINEERS
Structural Engineers
GPO Box 2356
BRISBANE Qld 4001
AUSTRALIA
p. +61 7 3229 1183
e. office@wadeng.com.au

DRAWING No.

2100-030-S04

AMDT.

B

NOTES.
FOR ALL NOTES REFER DWG. No. 2100-030-S02.

NODE No.	LC No.	X-FORCE (kN)	Y-FORCE (kN)	Z-FORCE (kN)	HORIZONTAL RESULTANT	RESULTANT FORCE (3D)	X-MOMENT (kN-m)	Y-MOMENT (kN-m)	Z-MOMENT (kN-m)
REACTIONS T.B.C.									

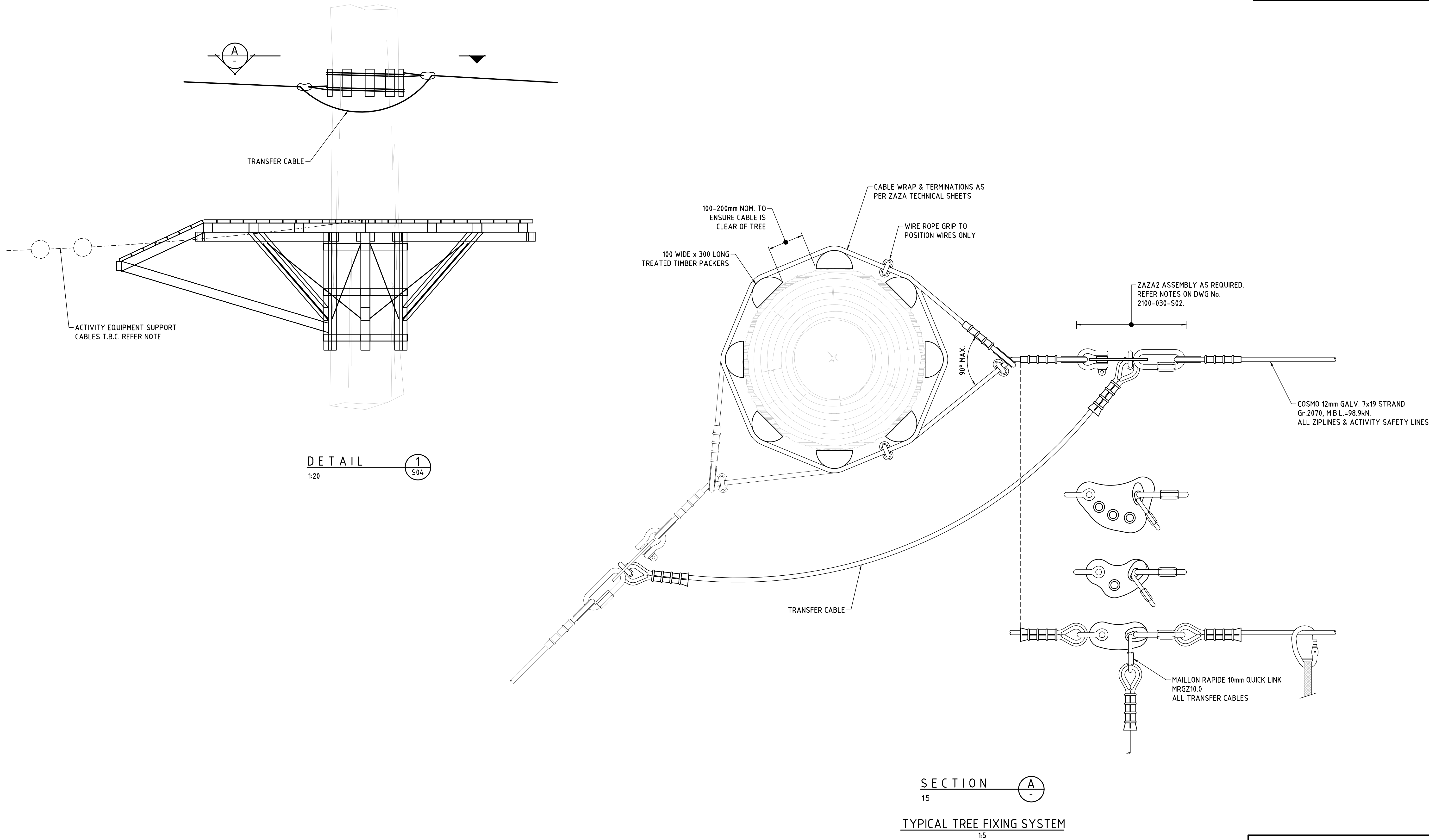
NODE No.	LC No.	X-FORCE (kN)	Y-FORCE (kN)	Z-FORCE (kN)	HORIZONTAL RESULTANT	RESULTANT FORCE (3D)	X-MOMENT (kN-m)	Y-MOMENT (kN-m)	Z-MOMENT (kN-m)
REACTIONS T.B.C.									

NODE No.	LC No.	X-FORCE (kN)	Y-FORCE (kN)	Z-FORCE (kN)	HORIZONTAL RESULTANT	RESULTANT FORCE (3D)	X-MOMENT (kN-m)	Y-MOMENT (kN-m)	Z-MOMENT (kN-m)
REACTIONS T.B.C.									

FOR APPROVAL.

NOTES.

FOR ALL NOTES REFER DWG. No. 2100-030-S02.



FOR APPROVAL.

						ASSOCIATED CONSULTANT			CLIENT			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE AUSTRALIA			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION			TREETOP ADVENTURE CAPE TRIBULATION</		
--	--	--	--	--	--	-----------------------	--	--	--------	--	--	------------------------------------	--	--	-----------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	------------------------------------	--	--	--------------------------------------	--	--

ANNEXURE K - 2 Frame Platform Plan

Calculation Sheet

Client/Project Treetops Adventure Cape Tribulation

Job No. 967.002 Page 1 of 1

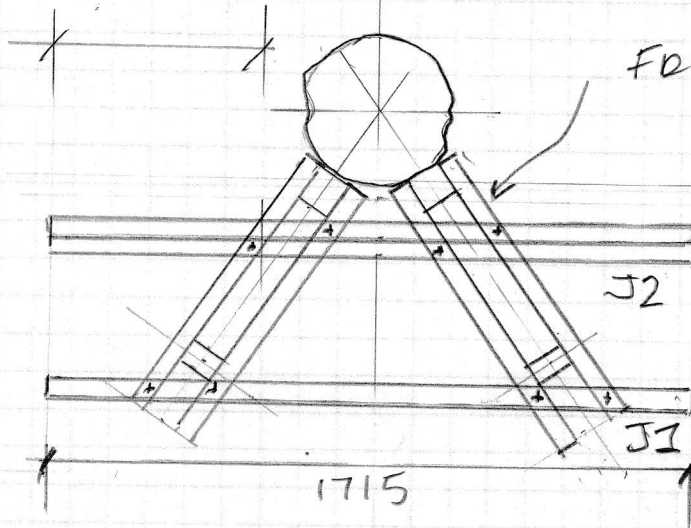
Subject Canopy Tour Redevelopment Adventure Park Platforms

Prepared by CGT Date 16/ 12 / 21

2 Frame Platform - Plan

Checked by DW Date 16/ 12 / 21

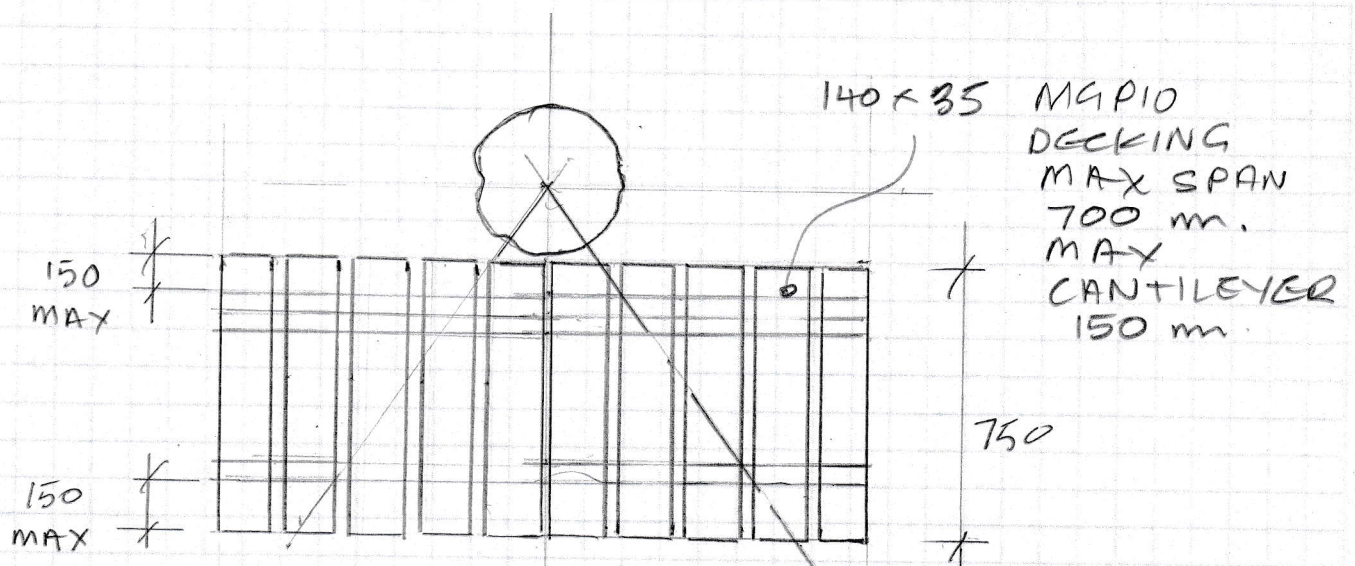
CANTILEYER
450 MAX SINGLE JOIST
900 MAX DOUBLE JOIST



FRAME REFER
DETAILS ON
967.002 SK-S15

+ M12 x 220 mm
CUPHEAD
BOLTS

FRAMING PLAN 1:20



140 x 35 MAPIO
DECKING
MAX SPAN
700 mm.
MAX
CANTILEYER
150 mm.

DECKING PLAN 1:20

Calculation Sheet

Client/Project Treetops Adventure Cape Tribulation

Job No. 967.002 Page 1 of 1

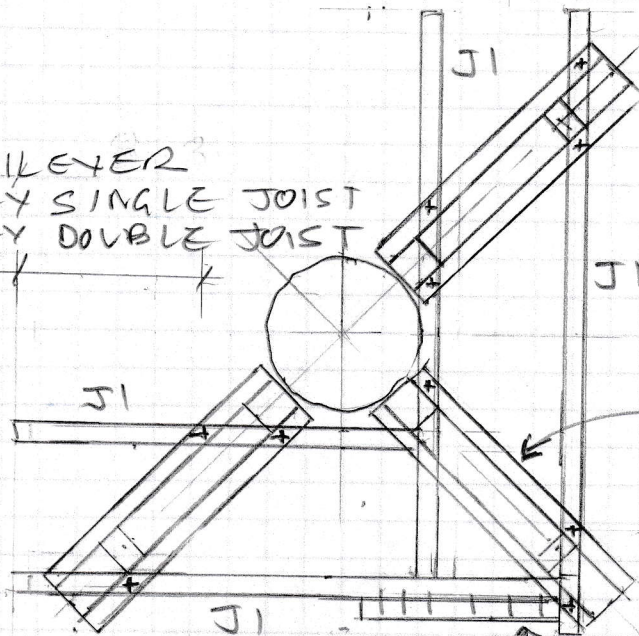
Subject Canopy Tour Redevelopment Adventure Park Platforms

Prepared by CGT Date 16/ 12/ 21

3 Frame Platform - Plan

Checked by DW Date 16/ 12/ 21

CANTILEVER
450 MAY SINGLE JOIST
900 MAY DOUBLE JOIST



Fix J1 AT 90°
JOIN TO J1
WITH 2 PRYDA
SPLIT JOIST
HANGERS,
6 35x315 mm
NAIL THROUGH
EACH LEG.

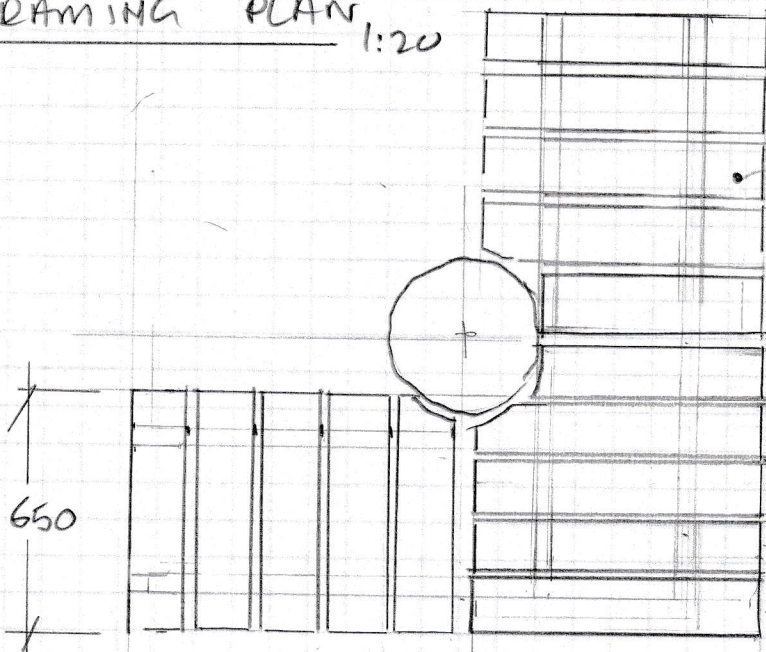
FRAMES REFER
DETAILS ON
967.002 SK-S15

+ M12x220 mm
CAPHEAD BOLTS

Fix ADDITIONAL
J1 SECTION
WITH MIN 6
75mm x 12 GAUGE
BUGLE SCREWS

140x35 MGPID
DECKING
MAX SPAN 700 mm
MAX CANTILEVER
150 mm

FRAMING PLAN 1:20



DECKING PLAN 1:20

Calculation Sheet

Client/Project Treetops Adventure Cape Tribulation

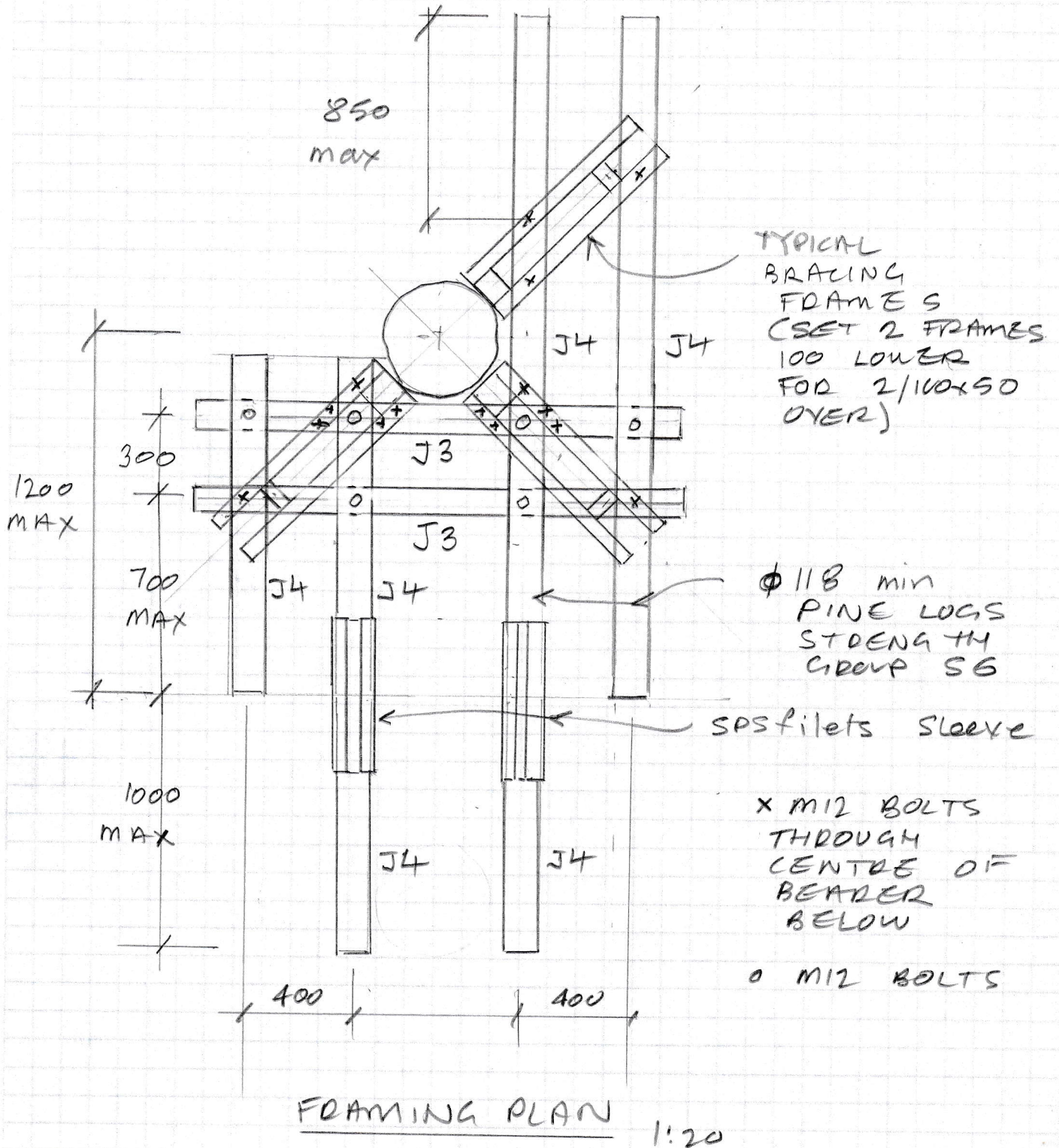
Job No. 967.002 Page 1 of 1

Subject Canopy Tour Redevelopment Adventure Park Platforms

Prepared by CGT Date 16/ 12/ 21

Flying Fox Platform - Plan of Framing

Checked by DW Date 16/ 12/ 21



Calculation Sheet

Client/Project Treetops Adventure Cape Tribulation

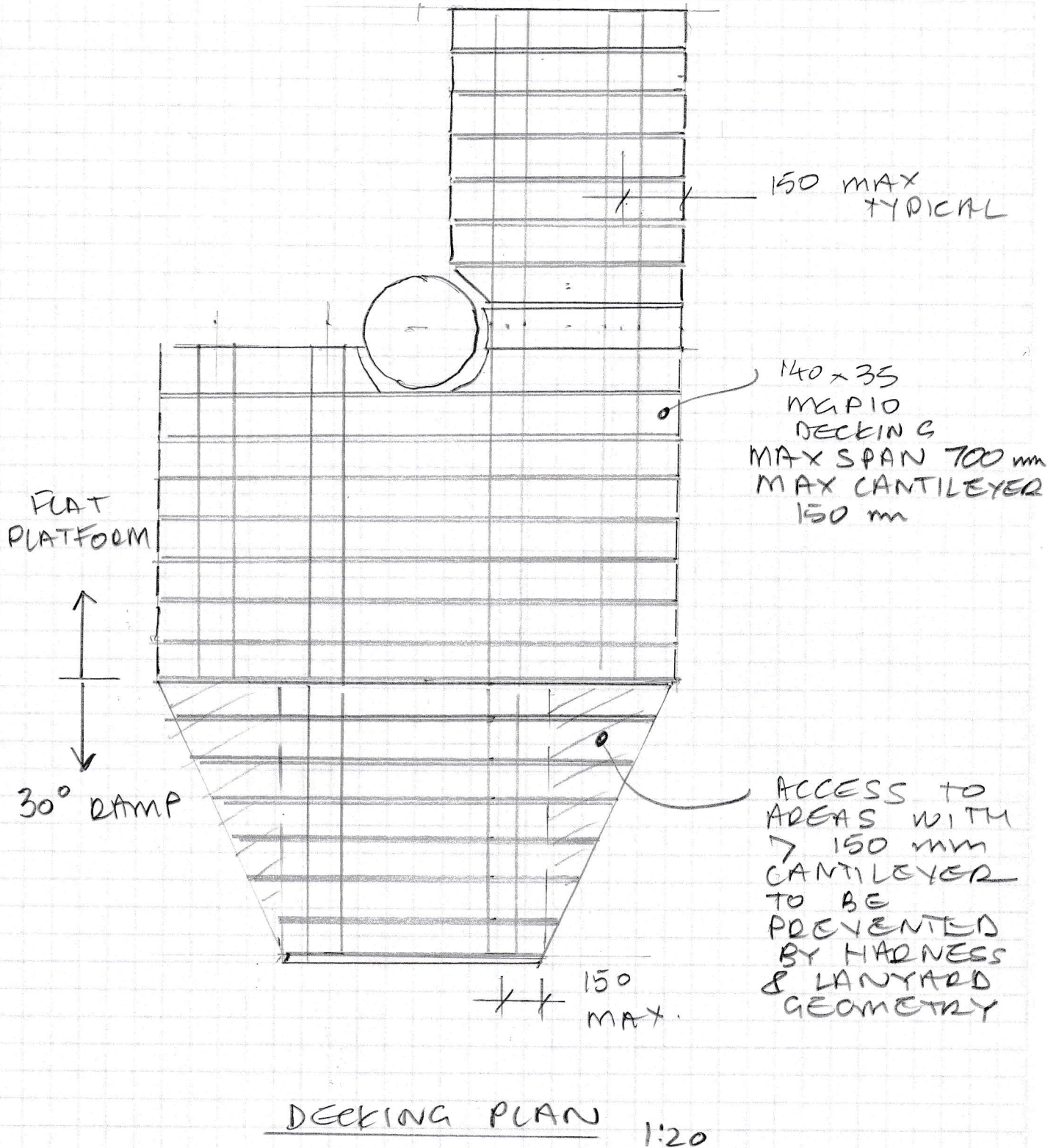
Job No. 967.002 Page 1 of 1

Subject Canopy Tour Redevelopment Adventure Park Platforms

Prepared by CGT Date 16/ 12 / 21

Flying Fox Platform - Plan of Decking

Checked by DW Date 16/ 12 / 21



Calculation Sheet

Client/Project Treetops Adventure Cape Tribulation

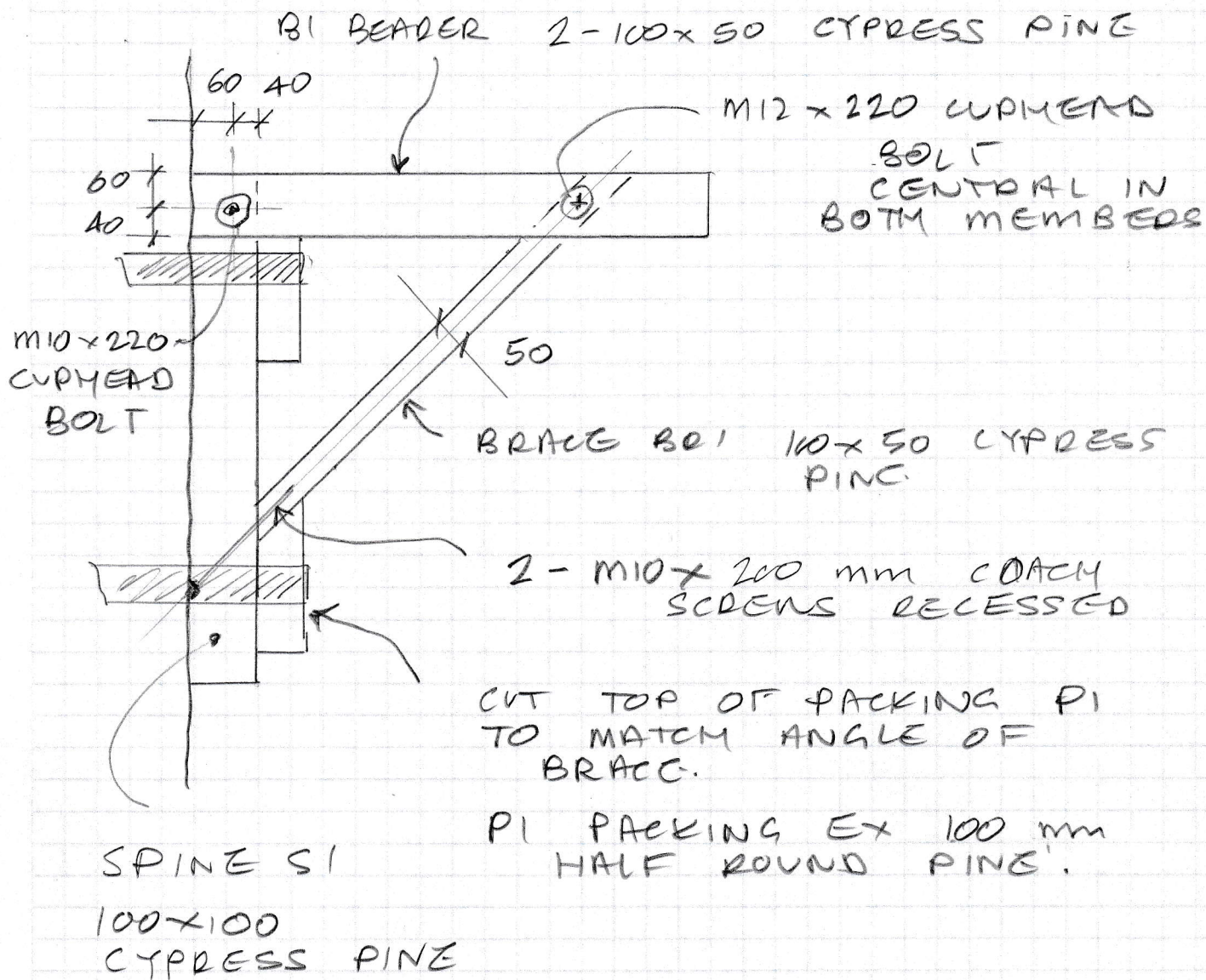
Job No. 967.002 Page 1 of 1

Subject Canopy Tour Redevelopment Adventure Park Platforms

Prepared by CGT Date 16/ 12 / 21

Details Sheet 1

Checked by DW Date 16/ 12 / 21



FRAME SECTION/DETAIL

1:10

SECURE TO TREE WITH

2/ 50 RATCHET STRAPS 2500 kg SWL

Calculation Sheet

Client/Project Treetops Adventure Cape Tribulation Job No. 967.002 Page 1 of 1
 Subject Canopy Tour Redevelopment Adventure Park Platforms Prepared by CGT Date 16/12/21
Platforms member schedule & notes Checked by DW Date 16/12/21

MEMBER SCHEDULE

ITEM	DESCRIPTION	COMMENT
DECKING	140x35 MGP10	FIX WITH 2/75X12 GAUGE BUGLE SCREWS OVER EACH JOIST
JOISTS J1	100x50 CYPRESS PINE F7	MAX SPAN 1715mm, MAX CANTILEVER 450mm
JOISTS J2	2/100X50 CYPRESS PINE F7	CANTILEVER > 450mm
JOISTS J3	100x100 CYPRESS PINE F7	
JOISTS J4	EX 120 DIA RADIATA PINE LOG STRENGTH GRADE S6 TRIMMED TO MIN 118mm DIA. TO SUIT SPSFILETS SLEEVES	
BEARERS B1	2/100x50 CYPRESS PINE F7	100 CLEAR BETWEEN
BRACE BR1	100x50 CYPRESS PINE F7	
SPINE S1	100X100 CYPRESS PINE F7	MAY BE TRIMMED BY UP TO 35MM AROUND TREE PROTRUSIONS, AS LONG AS NOT WITHIN 150mm OF BEARER OR BRACE CONNECTIONS

NOTES

ALL TIMBER H3 TREATED UNO.

MGP10 KILN DRIED.

CYPRESS PINE UNSEASONED & UNTREATED.

EX 120 DIA RADIATA PINE LOGS SHALL BE STRENGTH GROUP S6 MINIMUM, EQUIVALENT STRENGTH GRADE F11.

ALL STEEL FIXINGS AND COMPONENTS GALVANISED.

JOISTS J1 TO J4 TO BE BOLTED TO SPSFILETS PROPRIETARY SLEEVE TO BE FITTED NEATLY TO JOISTS J4 AND FIXED WITH 10/75mm 12 GAUGE BUGLE SCREWS TO EACH CONNECTING JOIST (20 TOTAL).

THIS DESIGN MAKES NO ASSESSMENT OF TREES TO WHICH PLATFORMS ARE ATTACHED.

TREES ADVENTURE SHALL TAKE FULL RESPONSIBILITY FOR ASSESSING AND VERIFYING TREES ARE SUITABLE TO SUPPORT PLATFORMS.

TECRAFT PROJECTS TAKES NO RESPONSIBILITY FOR TREES.

BY USE OF THIS DESIGN TREES ADVENTURE SHALL FULLY INDEMNIFY TECRAFT PROJECTS FOR ANY LOSS HARM OR DAMAGE ARISING FROM STRENGTH OR CONDITION OF TREES.



ANNEXURE L - Structural Computations

Tecraft Projects Pty Ltd
PO Box 2068. Hawthorn VIC 3122

967.002 FS02

STRUCTURAL COMPUTATIONS

JOB: TREETOPS ADVENTURE CAPE TRIBULATION
ADVENTURE PARK PLATFORMS

CLIENT: TREETOPS ADVENTURE AUSTRALIA PTY LTD

JOB NUMBER: 967.002

DATE: 16-12-2021

REFERENCE CODES:

AS/NZS 1170.0:2002	Structural Design Actions Part 0: General principles
AS/NZS 1170.1:2002	Structural Design Actions Part 1: Permanent, imposed and other actions
AS 1720.1:2010	Timber structures Part 1 Design methods
AS 4100 2020	Steel Structures

CALCULATIONS PREPARED BY:

Chris Tattersall,

Principal structural engineer,
MIEAust CPEng NPER RBP RPEQ

Registered professional Engineer (Vic) Area Civil, Registration no PE 0000936
Registered Professional Engineer Queensland Number 01886



CONTENTS

Item	Page No
Platform Design - Introduction	A1
Trees Adventure Sketches	A2-A5
SPSFILETS sleeve	A6
Loads	A7
Decking	
Moment capacity of decking	
Maximum spans	A8
Maximum cantilever	
Consider platform geometry & decking span	A9
2 Frame platforms	
3 frame platforms	
Flying fox platform	
Joists	A10
Maximum span of joist s	
Under point load	
Under UDL	A11
Maximum cantilever of joists	
Under point load	
Under UDL	A12
Consider geometry of joists	
Flying Fox Platform	A13
Φ118 Pine Logs (Circular)	
Bending strength	
Maximum span	A14
Point load	
UDL	
Maximum cantilever	
Point load	
For point load at landing point form flying fox	A15
Under UDL	
Consider 100x50 Cypress Pine on flat	
to support flying fox platform cantilever	A16
Bracing Frames	A17
Load width to typical frame	A18
Dead loads	



Live Loads	
Bearers	A19
Maximum -ve moment	
PL + w1	
w1 + w2	
+ve moment	A20
PL + w1	
w1 + w2	
Reaction to brace	
Brace	A21
Compression in brace	
Spine	
Reaction from bearer to spine (R2)	
Connections	A22
Brace to bearers	
Bolt capacities	A23
In brace	
In bearer	
Connection of brace to spine	A24
Connection of bearers to spine	A25
Consider M10 bolt	A26
Bolt capacity	
Under vertical loads	
For M10 bolt parallel to grain (in spine)	
Under horizontal load	A27
Review moment capacity of Spsfilets Sleeves	A28
Sleeve stresses (under maximum moment of timber section)	A29

Calculation Sheet

Client/Project Treetops Adventure Cape Tribulation Job No. 967.002 Page 91 of
Subject Canopy Tour Redevelopment Prepared by ect Date 7/12/21
Adventure Park Platforms. Checked by DW Date 16/12/21

INTRODUCTION

Three types of platforms are to be designed

- 2 Frame Platform (See pg A2)
- 3 Frame Platform (See pg A3)
- Flying Fox Platform (See pgs A4 - A6)

Pages A2 - A5 are preliminary design arrangements proposed by Treetops Adventure.

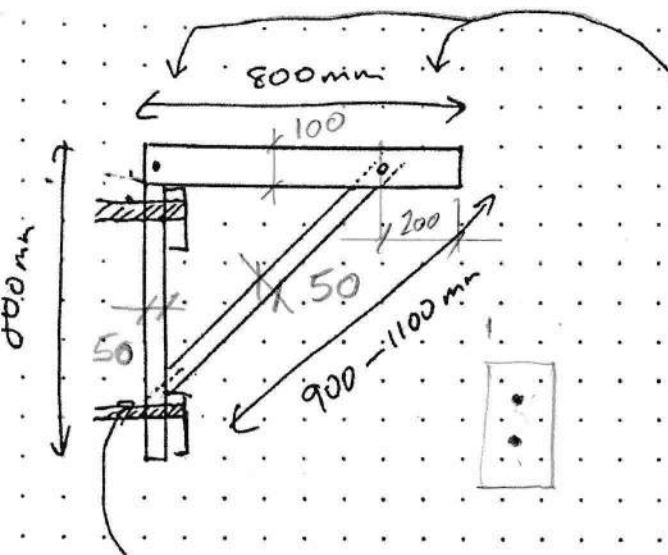
Sketch 967.002 SK-S10 Shts 1-4 shows recommended wales marked up on the original sketch details provided by Treetops Adventure.

TREETOPS 2 FRAME PLATFORM

JOB 967.002 Pg A2

ECT 7/12/21

DW 16/12/21



M12 x 220mm Cuphead bolt

All lengths are CYPRESS 100 x 50mm

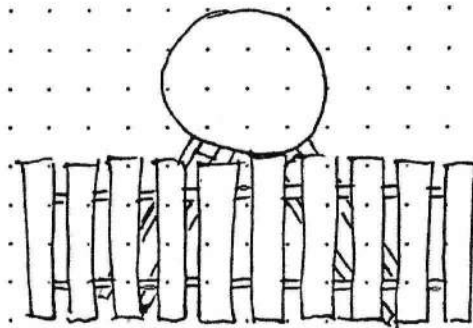
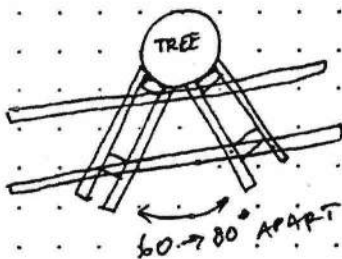
2 x 100mm HALF ROUND PINE TO PROVIDE RATCHET STRAP LOCATION

2 x 5m RATCHET STRAPS 2500KG LASHING CAPACITY

2 x M10 120mm coach screws recessed TO SECURE BRACING CYPRESS

DECKING LAYOUT

BIRDS EYE VIEW



JOISTS ARE CYPRESS 100 x 50mm

USUALLY 1715mm LONG TO EVENLY SPACE 10 QM ROUGHER HEADER 140 x 35mm WITH 35mm SPACING ABOUT 5mm OVERHANG AT EACH END

DECKING (ROUGHER HEADER) TO BE TRIMMED AROUND SHAPE OF TREE AS REQUIRED

SECURED WITH 75mm BUCKLES 4 PER BOARD

JOIST ARE BOLT WITH M12 x 220mm CUP HEAD BOLT AT EACH INTERSECTION (4 BOLTS PER JOIST)

TREETOPS 3 FRAME PLATFORM

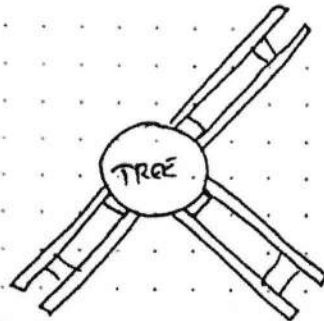
SAME FRAME DESIGN AS 2 FRAME.

JOB 967.002 Pg A3

DATE 7/12/21

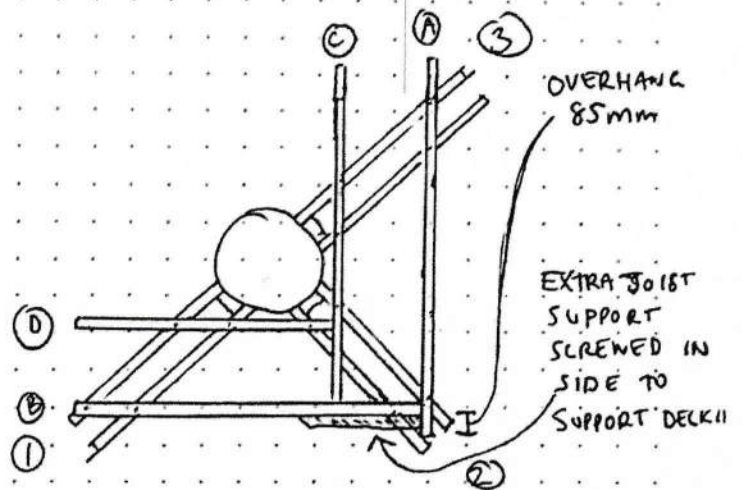
DW

16/12/21



3 FRAMES SPACED AT NO MORE THAN 90° FROM EACH OTHER.

STILL USING 2x50mm RATCHET STRAPS



4 JOISTS IN ABOVE CONFIGURATION

OUTSIDE JOISTS TO BE 90° IDEAL AND ABLE TO HAVE 3xM12 220mm ~~THICK~~ BOLTS. MUST BE SUPPORTED BY BOTH BEARERS ~~ON~~ ON THE ① AND ③ FRAME.

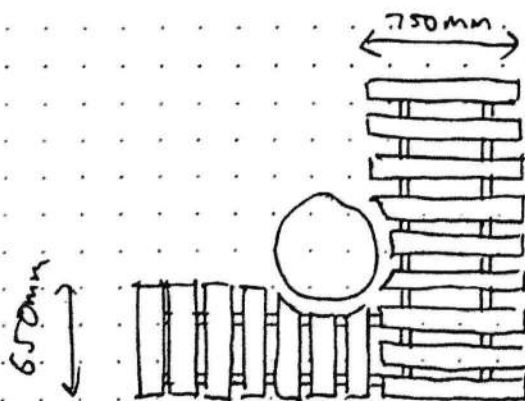
INSIDE JOISTS TO BE POSITIONED PARALLEL TO OUTSIDE JOISTS WITH MIN 50mm CLEARANCE TO TREE

JOIST A/B/D WILL HAVE 3 BOLTS.
JOIST C WILL HAVE 4 BOLTS.

JOISTS INSTALL IN ALPHABETICAL ORDER. A → D.

JOISTS CUT TO 1800mm AND CUT TO SIZE TO MATCH DECKING

DECKING CONFIGURATION



TREETOPS FLYING FOX PLATFORM

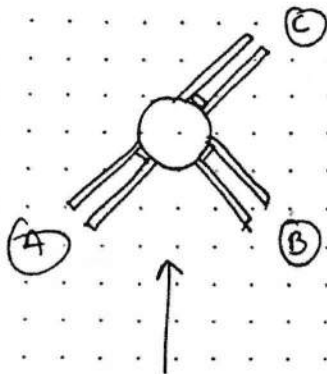
SAME 3 FRAMES AS USED BEFORE

JOB 967.002 Pg A4

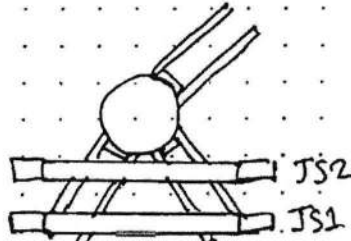
COA 7/12/21

DW 16/12/21

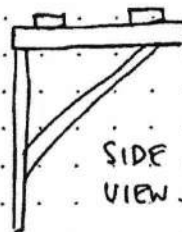
FRAMES A
(BEARERS)



DIRECTION OF
INCOMING ZIPLINE



2 x 100x50 ON FLATS
AS JOIST SUPPORTS:



SIDE
VIEW

FRAME INSTALL SIMILAR TO
3 FRAME SETUP

FRAME C TO BE 50mm
HIGHER THAN A + B TO
ALLOW FOR CYPRESS JOIST
SUPPORT.

THESE SUPPORTS ARE PINNED
WITH BUGLES TO PREVENT
MOVEMENT UNTIL LOG JOISTS
ARE BOLTED IN PLACE

JOIST SUPPORTS ARE
100x50mm CYPRESS

JS1 TO BE POSITIONED AT
THE END OF THE BEARERS.
JS2 TO BE POSITIONED 10mm
FROM TREE PARALLEL TO JS1

Ø118

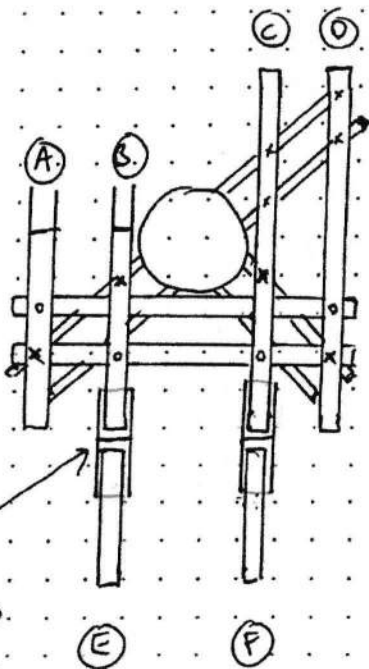


TOP JOIST LAYER IS
Ø 118mm PINE LOGS TO SUIT
PRE MANUFACTURED ANGLED LOG
BRACKETS FOR ZIPLINE RAMP AT
30°

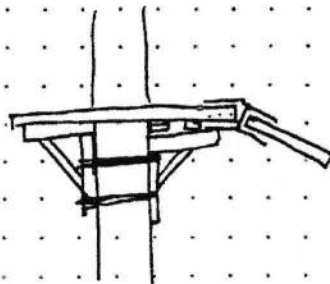
LOGS A + B ABOUT 1200mm
LOGS C + D ABOUT 2400mm
LOGS E + F ABOUT 1000mm

BOLTS USED 200mm / 220mm / 300mm
AS REQUIRED

BOLTS MARKED WITH 'X' GO THROUGH BEARER
BOLTS MARKED WITH 'O' ONLY GO THROUGH JS1 or 2



LOG
BRACKETS
FOR RAMP
KNOWN AS
'FLYING FOX
SLEEVES'



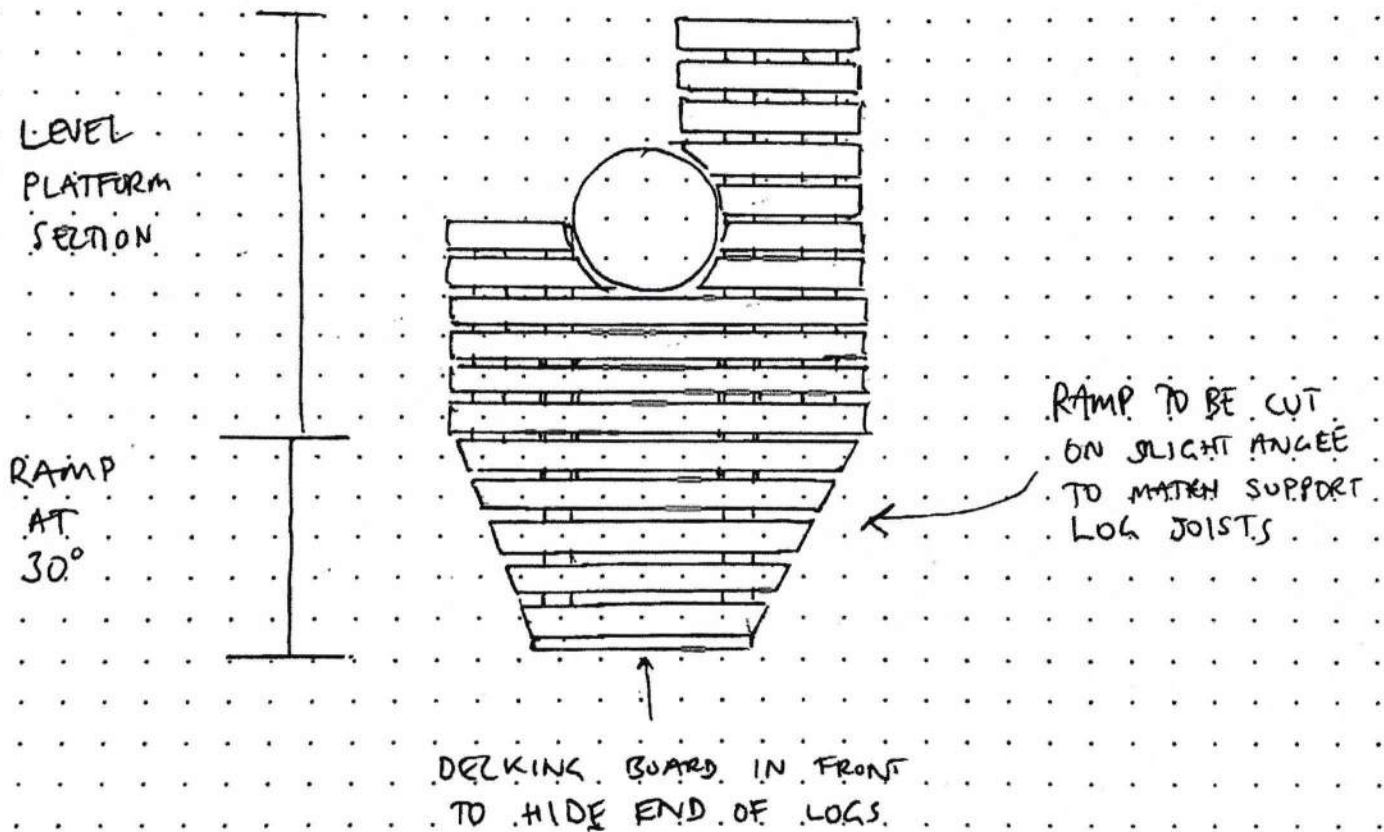
FLYING FOX SLEEVES
HAVE 10 x 75 BUGLES TO
ATTACH IT TO JOIST LOGS.
FOR EACH SIDE (20 SCREWS IN
TOTAL)

REFER PG A6

DATE 7/12/21

DW. 16/12/21

FLYING FOX DECKING LAYOUT



DECKING SECURED BY 2x 75mm BUCKETS
AT EVERY POINT. ROUGHER HEADER 140x35mm
INTERSECTS 118mm PINE LOG.

spstilet sleeve.

JOB 967.002

Pg A 6

et 7/12/21

DW

16/12/21



Loads

Platform with controlled access.
Design as a balcony used for floor type activity
AS 1170.1 table 3.1 C3

UDL 4.0 kPa

PL 1.8 kN

Floor DL 0.3 kPa

Decking 1035×850
= 30 kg/m^2
= 0.3 kPa

DECKING

Rougher Header Pine
140x35 MGP 10

Moment capacity of decking

$$M_d = \phi k_1 k_4 k_6 k_9 k_{12} f/b z$$

$$\phi = 0.90 \text{ (category 1)}$$

$$k_1 = 1.0 \text{ 5 minutes}$$

$$k_4 = 1.0 \text{ not seasoned}$$

$$k_6 = 0.9 \text{ North of } 25^\circ \text{ S}$$

$$k_9 = 1.0 \text{ 1 member}$$

$$f/b = 17 \quad 140 \times 35$$

$$M_d = 0.9 \times 1 \times 1 \times 0.9 \times 1 \times 17 \times 140 \times 35^2 / 6$$

$$= 0.394 \text{ kNm}$$

Maximum spans (as simple span)

For UDL $4 \times 1.5 \times 0.14 \times S^2 / 8 < 0.394 \times 10^6$

$\Rightarrow S \leq 1937 \text{ mm}$

For Point Load

$1.8 \times 1.5 \times S / 4 < 0.394$

$\Rightarrow S \leq 700 \text{ mm}$ (not considering self wt)

Consider deflection (although not considered critical)

$$\delta = \frac{1.8 \times 10^3 \times 700^3}{48 \times 10000 \times 140 \times 35^3} = 2.57 \text{ mm}$$

consider OK

Maximum cantilever for Docking

$P_{max} = 1.8 \text{ kN}$

$P^t = 1.8 \times 1.5 = 2.7 \text{ kN}$

$m^t = 2.7 \times C \text{ kNm}$

$m_d = 0.394 \text{ kNm}$ (see pg A7)

$\Rightarrow 0.394 > 2.7 C$

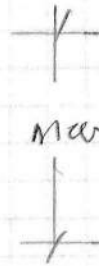
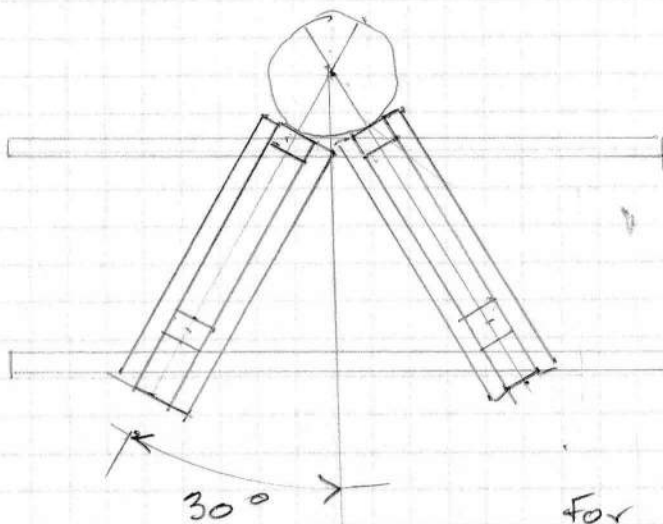
$\Rightarrow C < 0.145$

allow 150 mm
cantilever as

PL will not be applied right at the end.

Consider Platform Geometry & Decking Span

2 Frame Platform



max cis $\approx 580 < 700$

For 80° included angle

max cis < 580

\Rightarrow Decking span OK.

3 Frame Platform

From pg A3, overall length of decking boards = 750 \Rightarrow span < 700
OK.

Flying Fox Platform (Pgs A4-A6)

Same basic arrangement as
3 Frame Platform

\Rightarrow Span < 700
OK.

JOISTS

100 x 50 CYPRESS PINE. F7 UNSEASONED

$$M_d = \phi \times k_1 \times k_4 \times k_6 \times k_9 \times k_{12} f_{lb} Z$$

$\phi = 0.9$ Secondary member in structure other than houses

$k_1 = 1.0$ (5 minutes)

$k_4 = 1.0$ not partially seasoned

$k_6 = 0.9$ North of Latitude $25^\circ S$

$k_9 = 1.0$

$k_{12} = 1.0$

$f_{lb} = 18 \text{ MPa}$

$$Z = 50 \times 100^3 / 6$$

$$= 83333 \text{ mm}^3$$

$$M_d = 0.9 \times 1 \times 1 \times 0.9 \times 1 \times 1 \times 18 \times 83333$$

$$= 1.215 \text{ kNm}$$

Maximum Span of Joists

Under Point Load

$$P^t = 1.8 \times 1.5 = 2.7 \text{ kN}$$

$$w^t = 0.3 \times 1.2 \times 0.75/2 = 0.135 \text{ kN/m}$$

$$m^t = 2.7 \times S/4 + 0.135 \times S^2/8 < 1.215$$

$$\Rightarrow 0.0169 S^2 + 0.675 S - 1.215 = 0$$

$$\Rightarrow S = (-0.675 \pm \sqrt{0.675^2 + 4 \times 0.0169 \times 1.215}) / (2 \times 0.0169)$$

$$\Rightarrow S = 1.725 \text{ m}$$

Under UDL

Platform width = 750 mm max.

$$W_{LL}^* = 4.0 \times 1.5 \times .75 / 2$$

$$= 2.25 \text{ kN/m.}$$

$$W_{DL}^* = .3 \times 1.2 \times .75 / 2$$

$$= .135 \text{ kN/m}$$

$$W^* = 2.385 \text{ kN/m.}$$

$$m^* = 2.385 \times S^2 / 8 < 1.215$$

$$\Rightarrow S < 2.0 \text{ m}$$

$$\Rightarrow \text{Max span of } 100 \times 50 \text{ joists}$$

$$= \underline{1.725 \text{ m}}$$

Maximum Cantilever of Joists

Under Point Load

$$m^* = 2.7 \times C + \frac{.135 \times C^2}{2} < 1.215$$

$$\Rightarrow .0675 C^2 + 2.7C - 1.215 = 0$$

$$C = \frac{-2.7 \pm \sqrt{2.7^2 + 4 \times .0675 \times 1.215}}{2 \times .0675}$$

$$= .445 \text{ m. Allow } 450$$

$$\text{For 2 joists } .135 C^2 + 2.7C - 2.43 = 0$$

$$C = \frac{-2.7 \pm \sqrt{2.7^2 + 4 \times .135 \times 2.43}}{2 \times .135}$$

$$= .880 \text{ m. Allow } 900$$

under VDL

$$m^v = 2.385 \times c^2 / 2 < 1215$$

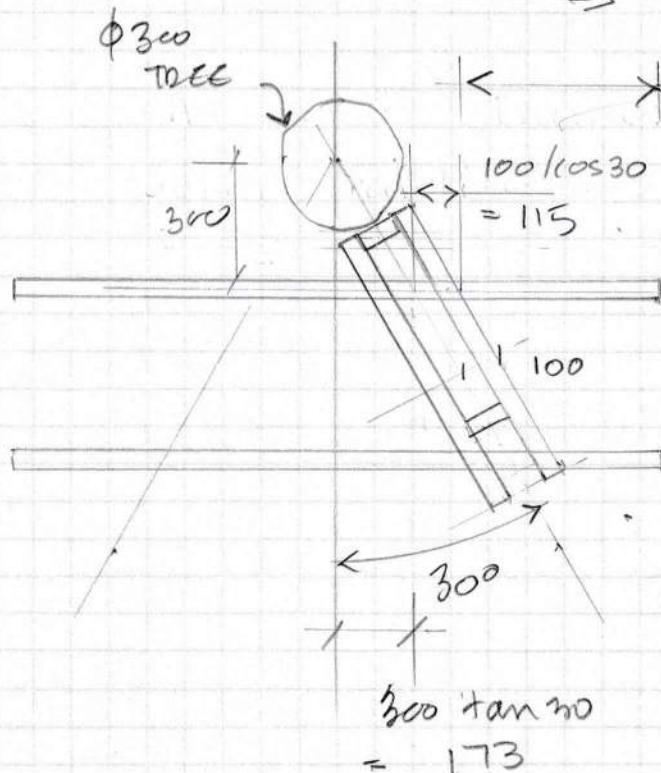
$$\Rightarrow c < 1.01 \text{ m}$$

\Rightarrow adopt maximum cantilever
per joist of 450 mm (as PL
will not be
right at end)

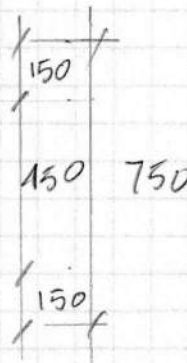
Consider geometry of joists

$$\text{Maximum length} = 1715$$

\Rightarrow Span will be ok.



$$\begin{aligned} \text{Cantilever} &= \frac{1715}{2} - 173 - 115 \\ &= 570 \end{aligned}$$



ie 2/100 x 50
Joists req'd for
cantilever 450-900

FLYING FOX PLATFORM

φ118 PINE LOGS (CIRCULAR)

Strength Group (App M Table H2.4)

Radiata Pine (Australia)

Unseasoned SG J4

Equivalent F grade (Table 6.1)

= F11

Bending Strength

$$M_d = \phi k_1 k_4 k_6 k_{12} k_{20} k_{21} k_{22} f_b z$$

$$\phi = 0.90$$

$$k_1 = 1.0 \quad 5 \text{ min}$$

$$k_4 = 1.0 \quad \text{unseasoned}$$

$$k_6 = 0.9 \quad \text{North of latitude } 25^\circ \text{S}$$

$$k_a = 1.0$$

$$k_{12} = 1.0 \quad (\text{fully restrained})$$

$$k_{20} = 0.786 \quad 175 + \frac{18}{25} \times 105 = 0.786$$

$$k_{21} = 0.75$$

$$k_{22} = 1.0$$

$$z = \pi \times 118^3 / 32$$

$$= 161304 \text{ mm}^3$$

$$f_b = 31 \text{ MPa}$$

$$M_d = 0.9 \times 1 \times 1 \times 0.9 \times 1 \times 1 \times 0.786 \times 0.75 \times 1 \times 161304 \times 31$$

$$= 20387 \text{ kNm}$$

Maximum span

For platform width supported

$$= 1.75/2 = 0.875 \text{ m}$$

Point Load $P^t = 1.8 \times 1.5 = 2.7 \text{ kN}$

$$w^t = 1.3 \times 1.2 \times 1.75/2 = 1.35 \text{ kN/m}$$

$$M^t = 2.7 \times S/4 + 1.35 \times S^2/8 < 2.387$$

$$\Rightarrow 0.169 S^2 + 0.675 S - 2.387 = 0$$

$$S = \frac{(-0.675 \pm \sqrt{0.675^2 + 4 \times 0.169 \times 2.387})}{2 \times 0.169}$$

$$= 3.26 \text{ m} \quad \text{OK}$$

UDL $2.385 \times S^2/8 < 2.387 \quad (\text{See pg A11})$

$$\Rightarrow S \leq 2.8 \text{ m} \quad \text{OK}$$

Maximum cantilever

Point Load (Typically for platform)

$$2.7 C + 1.35 \times C^2/2 < 2.387$$

$$\Rightarrow 0.675 C^2 + 2.7 C - 2.387 = 0$$

$$C = \frac{(-2.7 \pm \sqrt{2.7^2 + 4 \times 0.675 \times 2.387})}{2 \times 0.675}$$

$$= 0.865 \text{ m} \quad \text{OK}$$

UDL $2.385 \times C^2/8 < 2.387 \quad \text{Adopt } 850.$

cantilever to platform width is 850 mm
Design of platform

For Point load at landing point
from flying fox

Cable is central to platform,
Load is central to platform

⇒ Allow point load to be applied
to 2 logs

$$2.7C + .135 \times C^2 / 2 < 2.387 \times 2 = 4.77$$

$$\Rightarrow .0675 C^2 + 2.7C - 4.77 = 0$$

$$\Rightarrow C = \frac{-2.7 \pm \sqrt{2.7^2 + 4 \times .0675 \times 4.77}}{2 \times .0675}$$

$$= \underline{1.7 \text{ m}}$$

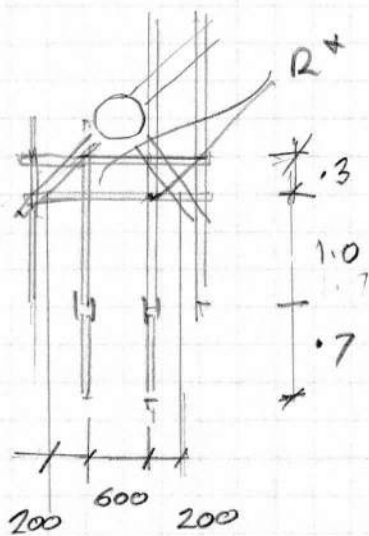
Under UDL Typically on platform

$$2.385 \times C^2 / 2 < 2.387$$

$$\Rightarrow C < 1.41 \text{ m} \quad \text{OK}$$

UDL not applied to cantilever
for flying fox. Landing as alien
is restricted.

Consider 100x50 F7 cyprien pine
on flat to support Flying box
platform cantilever



$$\text{Allow } R^* = \frac{1.8}{2} \times 1.5 \times \frac{1.3}{3}$$

$$= 5.85 \text{ kN}$$

$$M^* = 5.85 \times 0.2$$

$$= 1.17 \text{ kNm}$$

For 100x50 F7

$$\phi M_d = 1.9 \times 1.1 \times 1.9 \times 1.1 \times 1.8$$

$$\times 100 \times 50^2 / 6$$

$$= 1.607 \text{ kNm} \quad \text{not acceptable} \quad (\text{See pg A10})$$

For 2/100x50 F7

$$\phi M_d = 1.215 \times 2 = 2.43$$

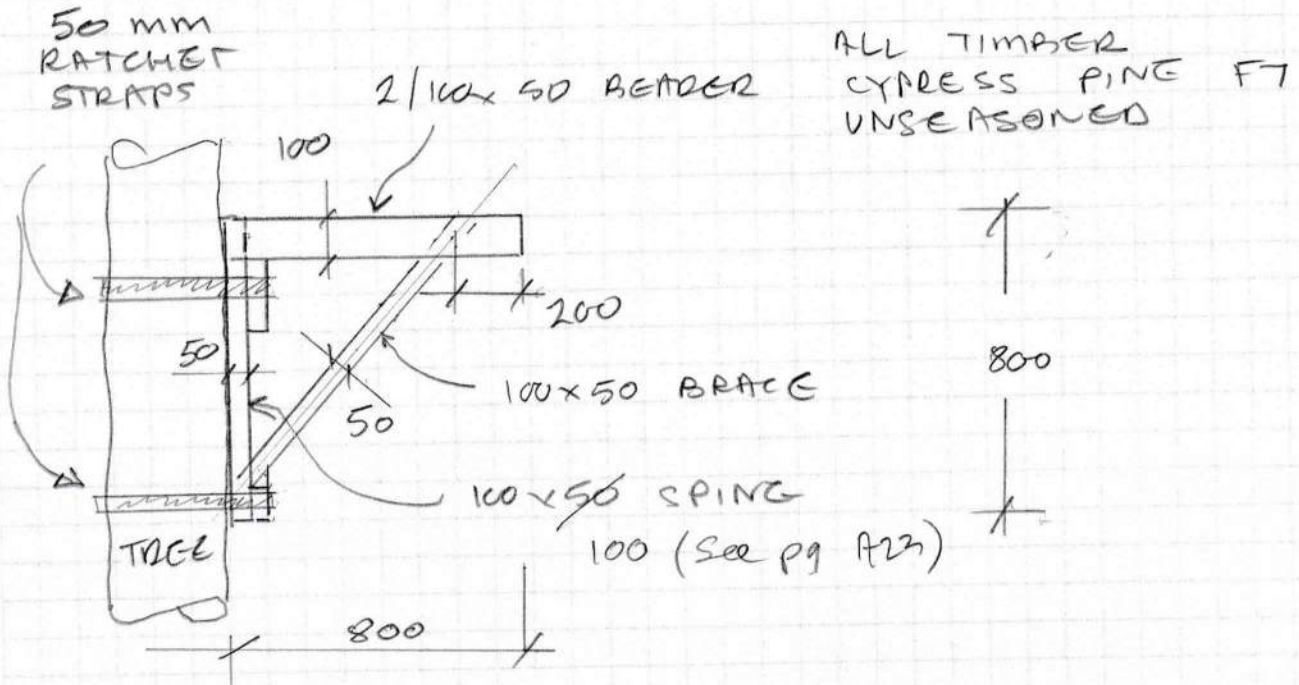
\Rightarrow Adopt 2/100x50

as cantilever by supports

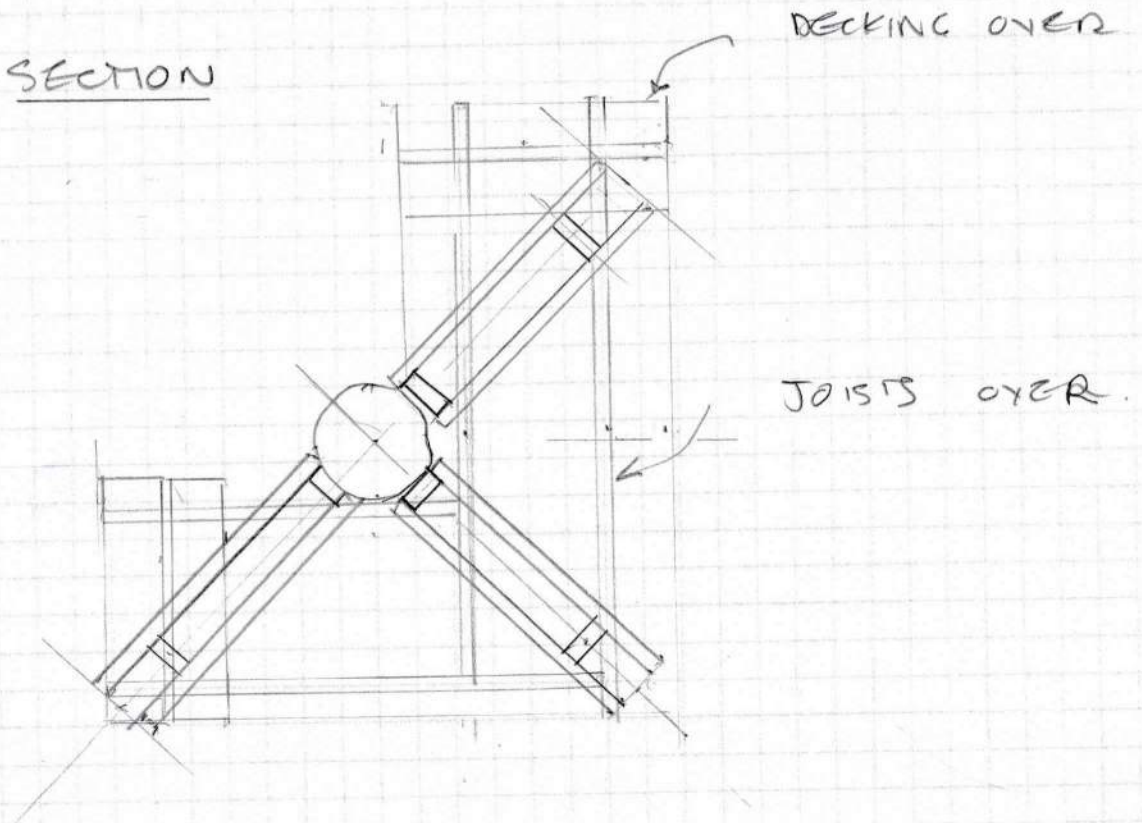
Ensure Rear of cantilever is

bolted down directly to bracing frame

BRACING FRAMES



SECTION

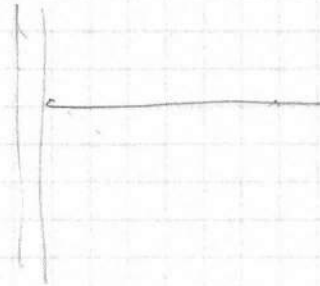
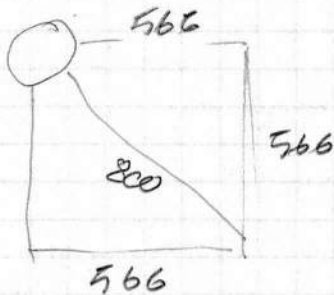


PLAN

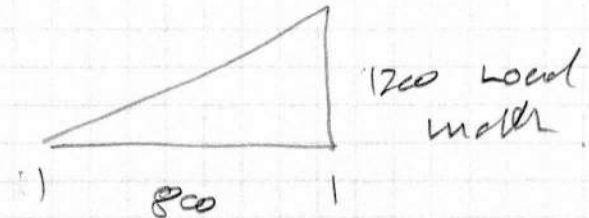
Calculation Sheet

Client/Project _____ Job No. 967002 Page A18 of _____
 Subject _____ Prepared by CEX Date 9/12/21
 Checked by DW Date 16/12/21

Load mddn to typical Frame



Seng 0 - 1200



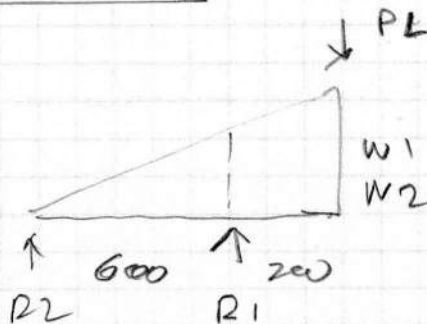
Dead loads

$$\begin{aligned} \text{Decking} & 0.035 \times 850 = 0.3 \text{ kPa} \\ + \text{Joists} & 0.1 \times 0.5 \times 850 / 1.5 = 0.1 \text{ kPa} \\ & \underline{0.4 \text{ kPa}} \end{aligned}$$

Live Loads

$$\begin{aligned} \text{VDL} & 4.0 \text{ kPa} \\ \text{PL} & 1.8 \text{ kPa} \end{aligned}$$

Beams



$$w_1 \text{ dead load} = 1.4 \times 1.2 = 1.68 \text{ kN/m}$$

$$w_2 \text{ live load} = 4 \times 1.2 = 4.8 \text{ kN/m}$$

$$PL \text{ Point Load} = 1.8 \text{ kN}$$

Maximum -ve moment

$PL + w_1$

$$0.36 \square 1.68$$

$$M^+ = 1.8 \times 1.5 \times 1.2 + \frac{0.36 \times 0.2^2}{2} \times 1.2 + \frac{0.12 \times 0.2^2}{3} \times 1.2$$

$$= 1.55 \text{ kNm} \quad 0.0106$$

on $2/100 \times 50 \text{ FT}$

$$M_d = 2.43 \text{ kNm} \quad \underline{\underline{OK}}$$

$w_1 + w_2$

$$0.36 \square 1.68$$

w_1

$$3.6 \square 4.8$$

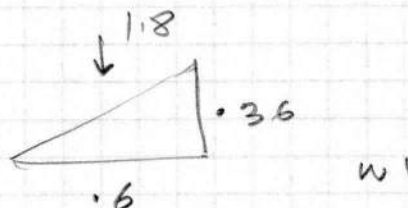
w_2

$$M^+ = \left(\frac{0.36 \times 1.2^2}{2} + \frac{0.12 \times 1.2^2}{3} \right) \times 1.2 + \left(\frac{3.6 \times 1.2^2}{2} + \frac{1.2 \times 1.2^2}{3} \right) \times 1.5$$

$$= 1.200 \text{ kNm} \quad M_d = 2.43 \quad \underline{\underline{OK}}$$

the moment.

PL + W1



$$m' = \frac{1.8 \times 1.5 \times 0.6}{4} + \frac{0.128 \times 0.36 \times 0.6 \times 0.6 \times 1.2}{2}$$

$$= 0.35 \text{ kNm} \quad \text{OK}$$

W1 + W2

$$m' = \frac{0.128 \times 0.36 \times 0.6 \times 0.6 \times 1.2}{2} + \frac{0.128 \times 0.36 \times 0.6 \times 0.6 \times 1.5}{2}$$

$$= 0.134 \text{ kNm} \quad \text{OK}$$

Reaction to brace

Working

DL $0.48 \times 0.8 / 2 \times 1.8 \times 2/3 / 0.6 = 0.28$

PL 1.8

LL $4.8 \times 2.8 \text{ kN}$

$$R'_{\text{max}} = (0.28 \times 1.2 + 2.8 \times 1.5)$$

$$= 4.6 \text{ kN} \quad \text{Vertical}$$

Compression

$$= 4.6 \times 1.414$$

$$= 6.5 \text{ kN}$$

BRACE

Compression in brace

$$l = 600 \times 1.414$$

$$= 850$$

$$N_c = 6.5 \text{ kN}$$

$$N_{dc} = \phi k_1 k_4 k_6 k_{12} f'_c A_c$$

$$\phi = 0.9$$

$$k_1 = 1.0 \quad 5 \text{ min}$$

$$k_4 = 1.0$$

$$k_6 = 0.9$$

$$S_4 = 850 / 50 = 17$$

$$P_c = 1.08$$

$$k_{12}$$

$$= 1.5 \cdot 0.05 \times 18.36$$

$$P_{S_4} = 18.36$$

$$= 0.58$$

$$f'_c = 13 \text{ MPa}$$

$$N_{dc} = 0.9 \times 1 \times 1 \times 0.9 \times 0.58 \times 13 \times 100 \times 50$$

$$= 30.5 \text{ kN} > 6.5 \quad \underline{\underline{OK}}$$

Spine

OK by inspection

Reaction from Bearer to Spine (R2)

$$DL \quad R_2 = \frac{0.48 \times 1.8}{2} - 0.28 = -0.08 \text{ kN}$$

Sensy 0,

$$PL \quad R_2 = 1.8 \text{ kN}$$

$$LL \quad R_2 = \frac{3.6 \times 0.6}{2} \times \frac{1}{3}$$

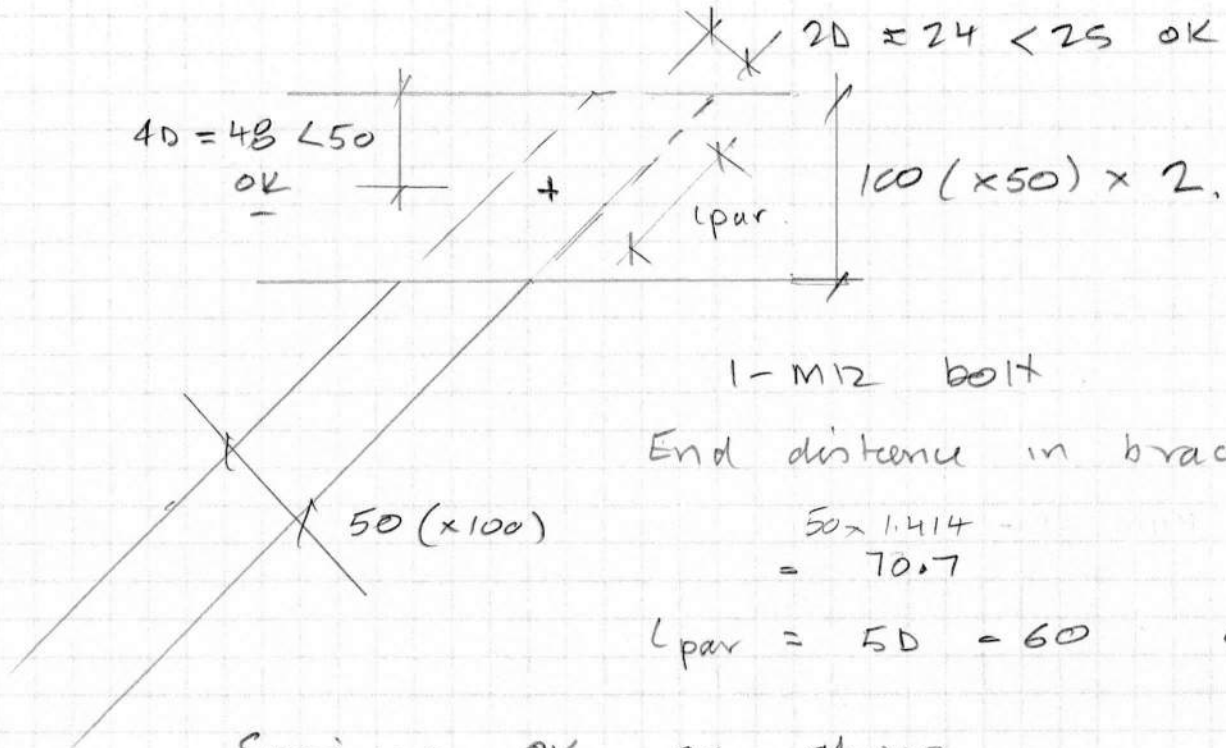
$$= 0.36$$



ie 1.8 kN critical

Connections

Brace to Beams



Spacings OK as above

Unseasoned cypress pine J3

Joint Type A & B of table 4.10 A

& type 2 of 4.7 A

$$\alpha_{skp} = 2 \alpha_{kp}$$

$$\alpha_{skl} = 2 \alpha_{kl}$$

$$b_{eff} = 100 \text{ or } 2 \times 50 = 100$$

Bolt Capacity

In Brace

Parallel to grain 100 mm timber J3

$$Q_{k1} = 10200, Q_{sk1} = 2Q_{k1} = 20400 \text{ N}$$

$$N_{dj} = \phi k_1 k_{1b} k_{17} N Q_{sk}$$

$$\phi = 0.80 \quad \text{Primary structural joint.}$$

$$k_1 = 1.00 \quad 5 \text{ min}$$

$$k_{1b} = 1.00$$

$$k_{17} = 1.0 \quad n_a < 4$$

$$N_{dj} = 0.8 \times 1 \times 1 \times 20400$$

$$= 16320 \text{ kN} > N_c^d = 6.5 \text{ kN} \quad (\text{Pg A19}) \quad \underline{\underline{OK}}$$

In Beener 2x50 mm timber J3

$$Q_{sk1} = 20400 \text{ N}$$

$$Q_{kp} = 6600 \text{ N}$$

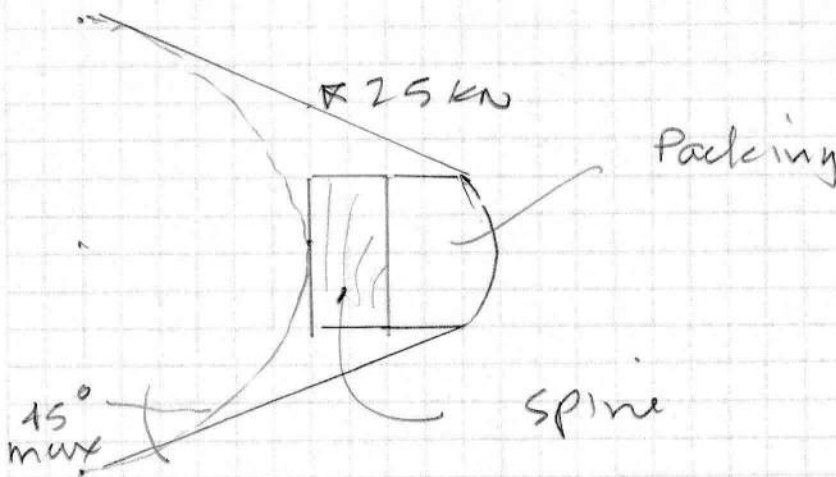
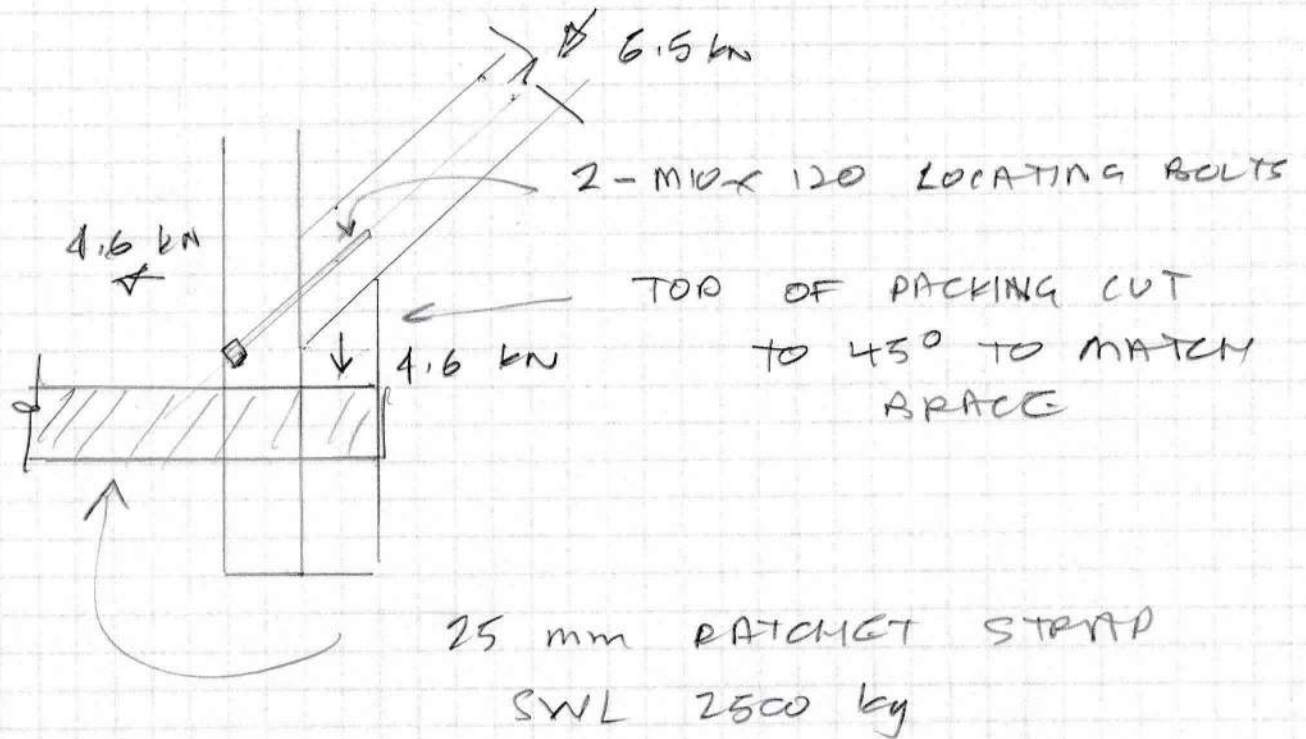
$$Q_{skp} = 2 \times 6600 \\ = 13200$$

For load at 45° to grain

$$Q_{sk} = \frac{20400 \times 13200}{20400 \sin^2 45 + 13200 \sin^2 45} \\ = 16028 \text{ N}$$

$$N_{dj} = 0.8 \times 1 \times 1 \times 2 \times 16028 = 25644 \text{ N} > 6.5 \text{ kN} \quad \underline{\underline{OK}}$$

Connection of brace to spine



Horizontal component - compression OK

Vertical component -

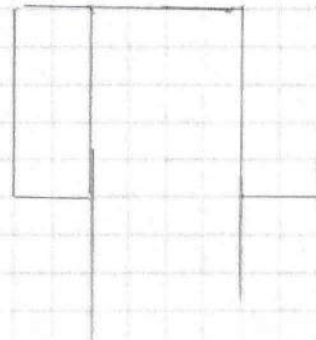
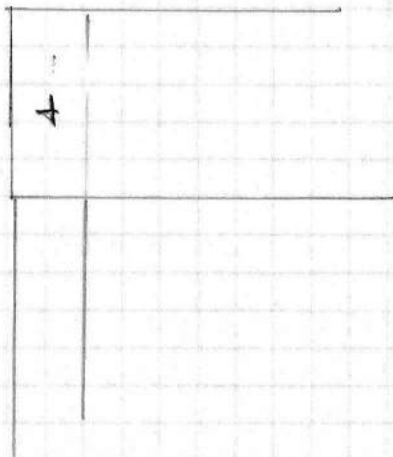
By bearing on packing & Enchir
Timber to timber $\mu = 0.5$

$$\begin{aligned} \text{Capacity} &= 2 \times 25 \times \cos 45^\circ \times 0.5 \\ &= 17.7 \text{ kN} \geq 4.6 \text{ kN} \end{aligned}$$

OK

Connection of Beams to Spine

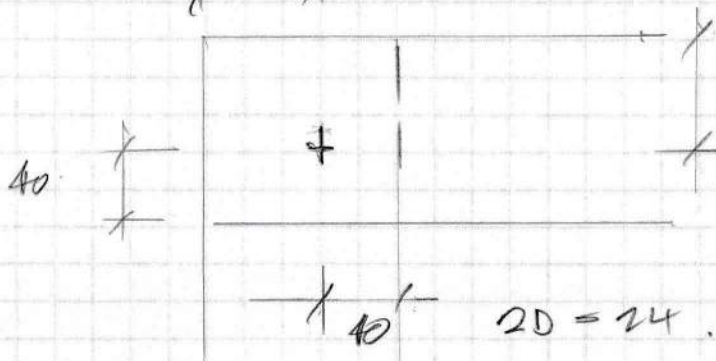
25
* *



For 100x50 Spine end distance
required on beam
= 50 = 60

End distance available = 25
not acceptable

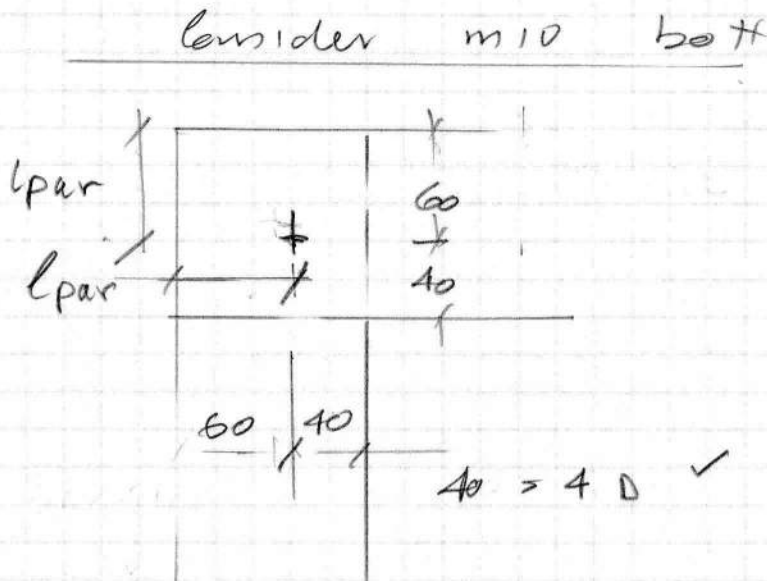
Consider M12 bolt with 100x100 spine
60x 50 = 60



→ From brace
 $T^* = 4.6 \text{ kN}$ (Pg A18)

20 = 24, 40 = 48 \Rightarrow not satisfactory
in Spine.

↓ C^* from beam = $1.8 \times 1.5 = 2.7 \text{ kN}$
(Pg A19)



$L_{par} = 80 = 80$ but not
less than $60 = 60$
for unseasoned timber.
Capacity reduced by $\frac{60}{80} = .75$

Bolt Capacity

Under Vertical Load

Joint type A & B

$$Q_{skp} = 2Q_{kp}$$

$$Q_{sk1} = 2Q_{k1}$$

$$b_{eff} = 100 \times 2 \times 50 = 100$$

For MID bolt parallel to grain (in spine)

$$Q_{k1} = 7100 \text{ N}$$

$$Q_{sk1} = 14200$$

reduced end
distance

$$N_{dj} = 0.8 \times 1 \times 1 \times 14200 \times .75$$

$$= 8520 \text{ N.} > 2.7 \text{ kN}$$

Calculation Sheet

Client/Project _____ Job No. 967.002 Page 927 of _____
Subject _____ Prepared by cut Date 9/12/21
Checked by DW Date 16/12/21

For M10 bolt perpendicular to grain
(in beams)

$$\alpha_{skp} = 5220$$

$$\alpha_{skl} = 10440$$

$$\text{edge dist} = 60 > 40$$

$$N_{dj} = 1.8 \times 1 \times 1 \times 1 \times 10440 \\ = 8352 \text{ N} > 2.7 \text{ OK}$$

Under Horizontal load

M10 bolt perpendicular to grain (in spine)

$$\alpha_{skp} = 5220$$

$$\alpha_{skl} = 10440$$

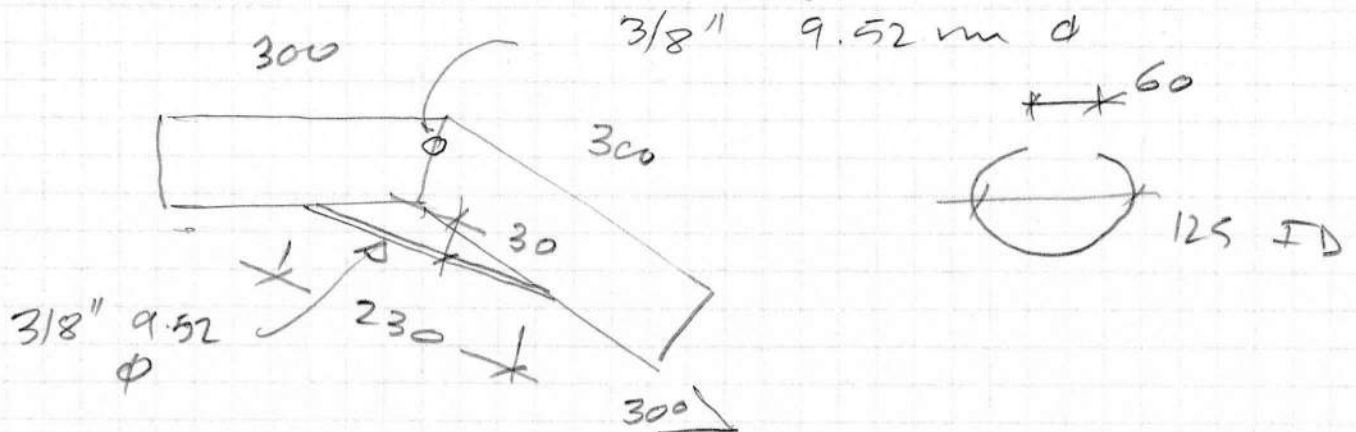
$$N_{dj} = 1.8 \times 1 \times 1 \times 1 \times 10440 \\ = 8352 \text{ N} > 4.6 \text{ kN OK}$$

M10 bolt parallel to grain (in beams)

$$N_{dj} = 1.8 \times 1 \times 1 \times 1 \times 10440 \times 0.75$$

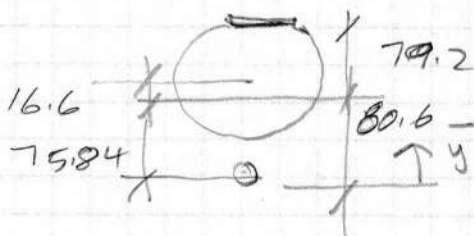
$$= 6.26 > 4.6 \text{ kN} \quad \begin{array}{l} \text{Reduced} \\ \text{end distance} \end{array} \quad \text{OK}$$

Review moment capacity of SPS Holes Sleeves



3 mm steel

$$\pi \times 125 \times 3 = 1178$$



$$\begin{aligned} A_{\text{net}} &= \pi \times 125 (-60) \times 3 & 998 \\ &+ \pi \times 9.52^2 / 4 & 71.2 \\ &= 1069 \text{ mm}^2 \end{aligned}$$

$$\begin{aligned} \bar{y} &= \left\{ \frac{71.2 \times 9.52}{2} + \frac{1178 \times (30 + 4.76)}{2} + 62.5 \right\} \\ &= \frac{60 \times 3 \times (125 + 30 + 4.76)}{1069} & 159.8 \\ &= 80.6 \text{ mm} \end{aligned}$$

$$\begin{aligned} I &= \frac{\pi \times 9.52^4}{64} + \frac{\pi}{64} (131^4 - 125^4) - \frac{60 \times 3^3}{12} \\ &+ 71.2 \times 75.84^2 + 1178 \times 16.6^2 - 60 \times 3 \times 79.2^2 \\ &= 403 + 2.472 \times 10^6 - 135 + 409 \times 10^6 + 324609 \\ &= 1.129 \times 10^6 \\ &= 2.1077 \times 10^6 \text{ mm}^4 \end{aligned}$$

$$I_y \text{ top} = 26223$$

$$I_y \text{ bottom} = 25767$$

Calculation Sheet

Client/Project _____ Job No. 967.002 Page 129 of _____

Subject _____ Prepared by ce Date 9/12/21

Checked by DW Date 16/12/21

Sleeve stress
Under maximum moment of timber
section

$$M_d = 2.387 \times 10^6 \text{ Nmm}$$

$$f_b = \frac{2.387 \times 10^6}{125767}$$

$$= 92 \text{ MPa} \quad \underline{\underline{OK}}$$

⇒ Accept sleeve connectors

**Form 15—Compliance certificate
for building design or
specification**

Version 4 – July 2017

NOTE: This is to be used for the purposes of section 10 of the *Building Act 1975* and/or section 46 of the *Building Regulation 2006*.

RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the Queensland Development Code (QDC). A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.

1. Property description

This section need only be completed if details of street address and property description are applicable.

E.g. in the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.

The description must identify all land the subject of the application.

The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb/locality and postcode)

141R Camelot Close

Cape Tribulation

Postcode 4873

Lot and plan details (attach list if necessary)

Lot 9, Lot 25

In which local government area is the land situated?

Cairns Regional Council.

**2. Description of
component/s certified**

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Trees Adventure Cape Tribulation – Adventure Park Platforms

This certification applies only to the platforms shown on the sketches.

This design makes no assessment of trees to which platforms are attached.

Trees Adventure shall take full responsibility for assessing and verifying trees are suitable to support platforms.

Tecraft Projects takes no responsibility for trees.

By use of this design trees adventure shall fully indemnify Tecraft Projects for any loss harm or damage arising from strength or condition of trees.

3. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

The design has been prepared in accordance with the following standards

AS/NZS 1170.0:2002 Structural Design Actions

Part 0: General principles

AS/NZS 1170.1:2002 Structural Design Actions

Part 1: Permanent, imposed and other actions

AS 1720.1:2010 Timber structures

Part 1 Design methods

AS 4100 2020 Steel Structures

NCC 2019 - Volume 1 Section B

Reference documentation
Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

967.002 SK-S11 No Rev	Adventure Park Platforms 2 Frame Platform – Plan
967.002 SK-S12 No Rev	Adventure Park Platforms 3 Frame Platform – Plan
967.002 SK-S13 Rev A	Adventure Park Platforms Flying Fox Platform – Plan of framing
967.002 SK-S14 Rev A	Adventure Park Platforms Flying Fox Platform – Plan of decking
967.002 SK-S15 Rev A	Adventure Park Platforms Details Sheet 1
967.002 SK-S16 Rev A	Adventure Park Platforms Platforms member schedule & notes
967.002 FS02 + Comps	Computations pages A1-A29
All at checked date 16/12/21	

LOCAL GOVERNMENT USE ONLY

Date received		Reference Number/s	
---------------	--	--------------------	--

4. Building certifier reference number	Building certifier reference number <div></div>	
5. Competent person details A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect. If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help. If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.	Name (in full) <div>Christopher Guy Tattersall</div> <div> Company name (if applicable) <div>Tecraft Projects Pty Ltd</div> </div> <div> Contact person <div>Chris Tattersall</div> </div> <div> Phone no. (business hours) <div></div> </div> <div> Mobile no. <div>+61 409 334 441</div> </div> <div> Fax no. <div></div> </div> Email address <div>Chris.tattersall@tecrafterprojects.com.au</div> Postal address <div>PO Box 2068,</div> <div>Hawthorn Victoria</div> <div>Postcode 3122</div> Licence or registration number (if applicable) <div>RPEQ Registered Professional Engineer Queensland Number 01886</div>	
6. Signature of competent person This certificate must be signed by the individual assessed by the building certifier as competent.	<div> Signature <div></div> </div> <div> Date <div>16/12/2021</div> </div>	

The *Building Act 1975* is administered by the Department of Housing and Public Works