

DA Form 1 – Development application details

Approved form (version 1.3 effective 28 September 2020) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) <i>(individual or company full name)</i>	Stewart Hicks
Contact name <i>(only applicable for companies)</i>	RPS Australia East Pty Ltd, Patrick Clifton
Postal address <i>(P.O. Box or street address)</i>	PO Box 1949
Suburb	Cairns
State	QLD
Postcode	4870
Country	Australia
Contact number	07 40311336
Email address <i>(non-mandatory)</i>	Patrick.clifton@rpsgroup.com.au
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	
Applicant's reference number(s) <i>(if applicable)</i>	PR151415

2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input checked="" type="checkbox"/> No – proceed to 3)	

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.

3.1) Street address and lot on plan

- Street address **AND** lot on plan (all lots must be listed), **or**
 Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		4	Stewart Street	Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	1	RP708742	Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

- Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

3.3) Additional premises

- Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
 Not required

4) Identify any of the following that apply to the premises and provide any relevant details

- In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

- On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*

Name of airport:

<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

5) Are there any existing easements over the premises?
Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

Yes – All easement locations, types and dimensions are included in plans submitted with this development application

No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect
a) What is the type of development? <i>(tick only one box)</i>
<input checked="" type="checkbox"/> Material change of use <input type="checkbox"/> Reconfiguring a lot <input type="checkbox"/> Operational work <input type="checkbox"/> Building work
b) What is the approval type? <i>(tick only one box)</i>
<input checked="" type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval <input type="checkbox"/> Preliminary approval that includes a variation approval
c) What is the level of assessment?
<input type="checkbox"/> Code assessment <input checked="" type="checkbox"/> Impact assessment <i>(requires public notification)</i>
d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i>
Sports Bar/Pub (Food and Drink Outlet), Off Road Tour Office and Associated Vehicle Storage
e) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms guide: Relevant plans.</i>
<input checked="" type="checkbox"/> Relevant plans of the proposed development are attached to the development application
6.2) Provide details about the second development aspect
a) What is the type of development? <i>(tick only one box)</i>
<input type="checkbox"/> Material change of use <input type="checkbox"/> Reconfiguring a lot <input type="checkbox"/> Operational work <input type="checkbox"/> Building work
b) What is the approval type? <i>(tick only one box)</i>
<input type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval <input type="checkbox"/> Preliminary approval that includes a variation approval
c) What is the level of assessment?
<input type="checkbox"/> Code assessment <input type="checkbox"/> Impact assessment <i>(requires public notification)</i>
d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i>
e) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>
<input type="checkbox"/> Relevant plans of the proposed development are attached to the development application
6.3) Additional aspects of development
<input type="checkbox"/> Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
<input checked="" type="checkbox"/> Not required

Section 2 – Further development details

7) Does the proposed development application involve any of the following?	
Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use			
Provide a general description of the proposed use	Provide the planning scheme definition <i>(include each definition in a new row)</i>	Number of dwelling units <i>(if applicable)</i>	Gross floor area (m ²) <i>(if applicable)</i>
Sports Bar	Food and Drink Outlet		693 (total)
Tour Office	Shop		
Vehicle Storage	Undefined		
8.2) Does the proposed use involve the use of existing buildings on the premises?			
<input checked="" type="checkbox"/> Yes			
<input type="checkbox"/> No			

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?	
9.2) What is the nature of the lot reconfiguration? <i>(tick all applicable boxes)</i>	
<input type="checkbox"/> Subdivision <i>(complete 10)</i>	<input type="checkbox"/> Dividing land into parts by agreement <i>(complete 11)</i>
<input type="checkbox"/> Boundary realignment <i>(complete 12)</i>	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road <i>(complete 13)</i>

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				
10.2) Will the subdivision be staged?				
<input type="checkbox"/> Yes – provide additional details below				
<input type="checkbox"/> No				
How many stages will the works include?				
What stage(s) will this development application apply to?				

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment

12.1) What are the current and proposed areas for each lot comprising the premises?

Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)

12.2) What is the reason for the boundary realignment?

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?

<input type="checkbox"/> Road work	<input type="checkbox"/> Stormwater	<input type="checkbox"/> Water infrastructure
<input type="checkbox"/> Drainage work	<input type="checkbox"/> Earthworks	<input type="checkbox"/> Sewage infrastructure
<input type="checkbox"/> Landscaping	<input type="checkbox"/> Signage	<input type="checkbox"/> Clearing vegetation
<input type="checkbox"/> Other – please specify: _____		

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)

<input type="checkbox"/> Yes – specify number of new lots: _____
<input type="checkbox"/> No

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$ _____

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Douglas Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

<input type="checkbox"/> Yes – a copy of the decision notice is attached to this development application
<input type="checkbox"/> The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
<input checked="" type="checkbox"/> No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- Clearing native vegetation
- Contaminated land (*unexploded ordnance*)
- Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- Fisheries – aquaculture
- Fisheries – declared fish habitat area
- Fisheries – marine plants
- Fisheries – waterway barrier works
- Hazardous chemical facilities
- Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- Infrastructure-related referrals – designated premises
- Infrastructure-related referrals – state transport infrastructure
- Infrastructure-related referrals – State transport corridor and future State transport corridor
- Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- Infrastructure-related referrals – near a state-controlled road intersection
- Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- Koala habitat in SEQ region – key resource areas
- Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- Ports – Brisbane core port land – environmentally relevant activity (ERA)
- Ports – Brisbane core port land – tidal works or work in a coastal management district
- Ports – Brisbane core port land – hazardous chemical facility
- Ports – Brisbane core port land – taking or interfering with water
- Ports – Brisbane core port land – referable dams
- Ports – Brisbane core port land – fisheries
- Ports – Land within Port of Brisbane’s port limits (*below high-water mark*)
- SEQ development area
- SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- SEQ regional landscape and rural production area or SEQ rural living area – community activity
- SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- SEQ regional landscape and rural production area or SEQ rural living area – combined use
- Tidal works or works in a coastal management district
- Reconfiguring a lot in a coastal management district or for a canal
- Erosion prone area in a coastal management district
- Urban design
- Water-related development – taking or interfering with water
- Water-related development – removing quarry material (*from a watercourse or lake*)
- Water-related development – referable dams
- Water-related development – levees (*category 3 levees only*)
- Wetland protection area

Matters requiring referral to the **local government:**

- Airport land
- Environmentally relevant activities (ERA) (*only if the ERA has been devolved to local government*)

<input type="checkbox"/> Heritage places – Local heritage places
Matters requiring referral to the Chief Executive of the distribution entity or transmission entity: <input type="checkbox"/> Infrastructure-related referrals – Electricity infrastructure
Matters requiring referral to: <ul style="list-style-type: none"> • The Chief Executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual <input type="checkbox"/> Infrastructure-related referrals – Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council: <input type="checkbox"/> Ports – Brisbane core port land
Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994: <input type="checkbox"/> Ports – Brisbane core port land (<i>where inconsistent with the Brisbane port LUP for transport reasons</i>) <input type="checkbox"/> Ports – Strategic port land
Matters requiring referral to the relevant port operator , if applicant is not port operator: <input type="checkbox"/> Ports – Land within Port of Brisbane’s port limits (<i>below high-water mark</i>)
Matters requiring referral to the Chief Executive of the relevant port authority: <input type="checkbox"/> Ports – Land within limits of another port (<i>below high-water mark</i>)
Matters requiring referral to the Gold Coast Waterways Authority: <input type="checkbox"/> Tidal works or work in a coastal management district (<i>in Gold Coast waters</i>)
Matters requiring referral to the Queensland Fire and Emergency Service: <input type="checkbox"/> Tidal works or work in a coastal management district (<i>involving a marina (more than six vessel berths)</i>)

18) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application		
<input checked="" type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (<i>if applicable</i>).		

PART 6 – INFORMATION REQUEST

19) Information request under Part 3 of the DA Rules
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application
<input type="checkbox"/> I do not agree to accept an information request for this development application
Note: <i>By not agreeing to accept an information request I, the applicant, acknowledge:</i>
<ul style="list-style-type: none"> • <i>that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties</i> • <i>Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.</i>
<i>Further advice about information requests is contained in the DA Forms Guide.</i>

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)			
<input type="checkbox"/> Yes – provide details below or include details in a schedule to this development application <input checked="" type="checkbox"/> No			
List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)		
<input type="checkbox"/> Yes – a copy of the receipted QLeave form is attached to this development application <input type="checkbox"/> No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid <input checked="" type="checkbox"/> Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)		
Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?
<input type="checkbox"/> Yes – show cause or enforcement notice is attached <input checked="" type="checkbox"/> No

23) Further legislative requirements			
Environmentally relevant activities			
23.1) Is this development application also taken to be an application for an environmental authority for an Environmentally Relevant Activity (ERA) under section 115 of the <i>Environmental Protection Act 1994</i> ?			
<input type="checkbox"/> Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below <input checked="" type="checkbox"/> No <i>Note: Application for an environmental authority can be found by searching "ESR/2015/1791" as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.</i>			
Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			
<input type="checkbox"/> Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.			
Hazardous chemical facilities			
23.2) Is this development application for a hazardous chemical facility ?			
<input type="checkbox"/> Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application <input checked="" type="checkbox"/> No <i>Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.</i>			

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- Yes – the development application involves premises in the koala habitat area in the koala priority area
- Yes – the development application involves premises in the koala habitat area outside the koala priority area
- No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.des.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000**?

- Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development
- No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

- Yes – the relevant template is completed and attached to this development application
- No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

- Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*
- No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
 No

Note: Contact the Department of Natural Resources, Mines and Energy at www.dnrme.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
 No

Note: Contact the Department of Environment and Science at www.des.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

- Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application
 No

Note: See guidance materials at www.dnrme.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- Yes – the following is included with this development application:
- Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - A certificate of title
- No

Note: See guidance materials at www.des.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- Yes – details of the heritage place are provided in the table below
 No

Note: See guidance materials at www.des.qld.gov.au for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
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Brothels

23.14) Does this development application involve a **material change of use for a brothel**?

- Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*
 No

Decision under section 62 of the Transport Infrastructure Act 1994

23.15) Does this development application involve new or changed access to a state-controlled road?

- Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
 No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.16) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

- Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered
- No

Note: See guidance materials at www.planning.dsdmip.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

Yes

Note: See the *Planning Regulation 2017* for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

Yes

Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

Yes

Not applicable

25) Applicant declaration

- By making this development application, I declare that all information in this development application is true and correct
- Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, *Planning Regulation 2017* and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment			
<i>Note: For completion by assessment manager if applicable</i>			
Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			

MATERIAL CHANGE OF USE - SPORTS BAR/PUB (FOOD AND DRINK OUTLET), OFF ROAD TOUR OFFICE AND ASSOCIATED VEHICLE STORAGE

Town Planning Report



PR151415
Version A
22 February 2022

REPORT

Document status

Version	Purpose of document	Authored by	Reviewed by	Approved by	Review date
A	Application Submission	Patrick Clifton	Patrick Clifton	Patrick Clifton	22/02/2022

Approval for issue

Patrick Clifton



22 February 2022

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SUMMARY

Table 1: Summary

Details			
Site Address:	4 Stewart Street, Daintree		
Real Property Description:	Lot 1 RP708742		
Site Area:	789m ²		
Regional Plan Land Use Designation:	Urban Footprint		
Zone:	Centre Zone		
Owner(s):	Stewart Nigel Hicks		
Proposal			
Brief Description/ Purpose of Proposal	Material Change of Use – Food and Drink Outlet, Tour Booking Office and Off Road Vehicle Storage.		
Application Details			
Aspect of Development	Preliminary approval	Development permit	
Material change of use	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Building Work	<input type="checkbox"/>	<input type="checkbox"/>	
Operational Work	<input type="checkbox"/>	<input type="checkbox"/>	
Reconfiguration of a Lot	<input type="checkbox"/>	<input type="checkbox"/>	
Assessment Category	<input type="checkbox"/> Code	<input checked="" type="checkbox"/> Impact	
Public Notification	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes: 15 BD	
Superseded Planning Scheme Application	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Referral Agencies			
Agency	Concurrence	Advice	Pre-lodgement response
State Assessment and Referral Agency	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Other			
Applicant contact person	Patrick Clifton Principal Planner D: +61 7 40311336 E: Patrick.clifton@rpsgroup.com.au		

1 INTRODUCTION

This report has been prepared on behalf of Stewart Hicks in support of a Development Application to Douglas Shire Council for a Development Permit for Material Change of Use for the purpose of a Food and Drink Outlet, Off Road Tour Office and associated Vehicle Storage on land located at 4 Stewart Street, Daintree, and described as Lot 1 on RP708742.

The application site is an existing developed lot with an area of 789m² and frontage to Stewart Street and Stewart Creek Road. The land is currently improved by a two storey building with a food and drink outlet on the ground floor and accommodation above, a single storey roofed patio used in association with the food and drink outlet, containing a kitchen area and tour desk, and a large shed with a floor area of in the order of 200m². The second floor balcony and part of the single storey covered area extends over the Stewart Street road reserve

Access to the site is provided from the Stewart Creek Road frontage to a service area located between the existing shed and the food and drink outlet.

The site is located within the Daintree Village centre and development is a mix of retail and residential uses. On the opposite side of Stewart Street are a number of retail tenancies and to the rear the site adjoins a residential use. To the north the site adjoins the Daintree Riverview Lodge and Van Park.

It is proposed to retain and refurbish the existing food and drink use, retain the upstairs accommodation, comprising three rooms, and to incorporate a new 4wd off road tour use at the site.

The 4wd off-road tours would be guided tours using Cam-am/Polaris type off road vehicles. The vehicles would be 2 or 4 seater vehicles and the tours would be operated on a self-drive basis only with appropriate driver instruction provided ahead of time. Tours would all be guided, and they would be based on 5 to 6 vehicles per tour. The format would be 2-3 short daily tours to a local property (subject to a secondary DA approval) and periodically tours of up to 2 days (one night). The intent is that the 2 day tours are conducted on the CREB track or other nearby approved locations and would be principally off road. The Food and Drink use would operate from 7:30am to midnight, 7 days per week and the Tours would operate from 8am to 4pm with all vehicles cleaned and stored by approximately 5:30pm.

As part of the off road tour use six vehicles would be stored on site within the existing shed, which would be upgraded to include new toilets and showers as part of the overall development. The vehicle storage areas would be available for client parking during the day when tours are operating.

The application is identified as being Impact Assessable and consideration is required to be given to the Strategic Framework of the Planning Scheme, the Planning Assessment Benchmarks and other relevant planning considerations, including those found in public submissions.

The proposed development is considered to be consistent with the Strategic Framework and Assessment Benchmarks contained within the Planning Scheme and is considered to be a suitable use of the site. The development is considered to be consistent in terms of scale and intensity to other forms of development in the locality and the site can contain the use without adverse impact on the amenity of the area. The application is submitted for approval subject to reasonable and relevant conditions.

2 SITE DETAILS

2.1 Site Particulars

The application site is a single town centre allotment located at 4 Stewart Street, Daintree, and described as Lot 1 on RP708742. The site contains an area of 789m² and has frontage to Stewart Street and Stewart Creek Road of approximately 30 metres and 26 metres, respectively.

The land is currently improved by a two storey building with a food and drink outlet on the ground floor and 4 bedroom accommodation above, a single storey roofed patio used in association with the food and drink outlet, containing a kitchen area and tour desk, and a large shed with a floor area of in the order of 200m². The second floor balcony and part of the single storey covered area extends over the Stewart Street road reserve. Access to the site is provided from the Stewart Creek Road frontage to a service and delivery area located between the existing shed and the food and drink use.

The site is provided with connectivity to the reticulated water supply, electricity distribution network and telecommunications. Wastewater disposal is provided by on-site effluent disposal.

The site is located within the Daintree Village centre and development is a mix of retail and residential uses. On the opposite side of Stewart Street are a number of retail tenancies and to the rear the site adjoins a residential use. To the north the site adjoins the Daintree Riverview Lodge and Van Park.

Both Stewart Street and Stewart Creek Road are fully constructed, and Council maintained roads with angle on-street parking provided at the Stewart Street frontage for 7 cars and unmarked parallel parking within the Stewart Creek Road reserve.

Key details of the subject site are as follows:

Table 2: Site Particulars

Site Particulars	
Site Address	4 Stewart Street, Daintree
Real Property Description	Lot 1 RP708742
Site Area	789m ²
Landowner(s)	Stewart Nigel Hicks

The site location and its extent are shown in **Figure 1**, **Figure 2**, and **Figure 3** below, respectively.

Certificate/s of title confirming site ownership details are included at **Appendix A**.



Figure 1 Site Location

Source: Queensland Globe



Figure 2 Stewart Street frontage



Figure 3 Stewart Creek Road frontage

2.2 Planning Context

The planning context of the site includes the following:

Table 3: Planning Context

Instrument	Designation
State Planning Policy Mapping	
Safety and Resilience to Hazards	Flood Hazard Level 1 – Queensland Floodplain Assessment Overlay
Infrastructure	State Controlled Road (Osborne Street/Stewart Street).
State Development Assessment Mapping System	
Native Vegetation Clearing	Category X on the regulated vegetation management map
State Transport	Area within 25m of a State-controlled road Area within 100m of a State-controlled road intersection
Far North Queensland Regional Plan 2009-2031	
Regional Plan designation	Urban Footprint
Douglas Shire Council Planning Scheme 2018	
Strategic framework designation	Rural Area/Tourism Node
Zoning	Centre Zone
Overlays	Acid Sulfate Soils Overlay – 5m-20m AHD; and, Bushfire Hazard Overlay – Potential Impact Buffer.

3 PROPOSAL

3.1 Overview

It is proposed to retain and refurbish the existing food and drink use, including the expansion of the dining facilities on the first floor, retain the upstairs accommodation, comprising three rooms, and to incorporate a new 4wd off road tour use at the site.

The 4wd off-road tours would be guided tours using Cam-am/Polaris type off road vehicles. The vehicles would be 2 or 4 seater vehicles and the tours would be operated on a self-drive basis only with appropriate driver instruction provided ahead of time. Tours would all be guided, and they would be based on 5-6 vehicles per tour. The format would be 2 to 3 short daily tours to a local property (subject to a secondary DA approval) and periodically tours of up to 2 days (one night). The intent is that the 2 to 3 day tours are conducted on the CREB track or other nearby approved locations and would be principally off road. The off-road tour use would operate from 8am to 4pm with all vehicles cleaned and stored away by approximately 5:30pm.

As part of the off road tour use six vehicles would be stored on site within the existing shed, which would be upgraded to include new toilets and showers as part of the overall development. Ancillary minor servicing and cleaning of the off-road vehicles would be undertaken on-site as part of the proposed development. The vehicles storage areas within the shed would be available for client/customed parking whilst the tours are operating.

The building upgrade works would involve the removal of the existing single storey height roof over the patio and its replacement with a new two storey height roofed structure. The new structure would cover the same area and would have a height of approximately 6.5 metres. The height of the new roofed structure would be consistent with the fascia height of the existing two storey building. This new covered area would contain the existing outdoor dining and an island bar and indoor bar area. To the Stewart Street frontage and on the footpath area beneath the awnings it is proposed to provide additional outdoor dining associated with the use. The footpath surface would be upgraded as part of the development. The ground floor of the existing two storey building would be refurbished to contain an improved kitchen, cold room and storage areas.

The first floor of the two storey building would be accessible via stairs from the ground floor dining area and from stairs from the rear of the building. This floor would continue to be used for accommodation purposes comprising three bedrooms with the verandah used in association with the accommodation only.

Vehicular access to the premises would be retained from Stewart Creek Road via the existing driveway and crossover.

Images of the proposed development are provided in Figure 4 and Figure 5, below.

Architectural proposal plans are included at **Appendix B**.

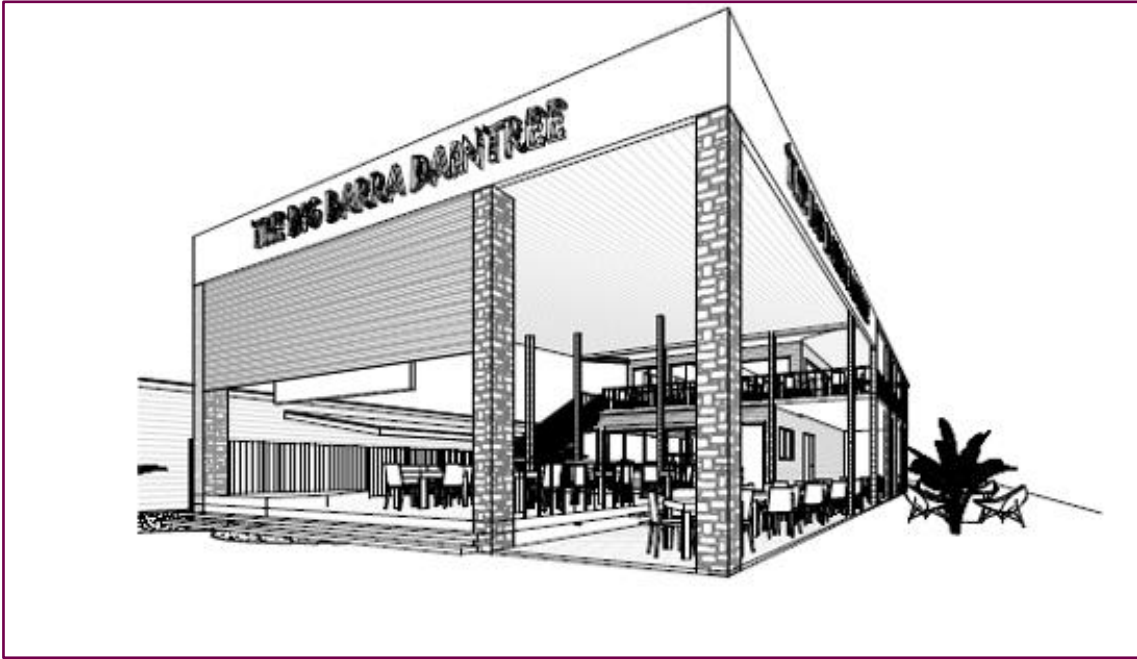


Figure 4 Perspective View

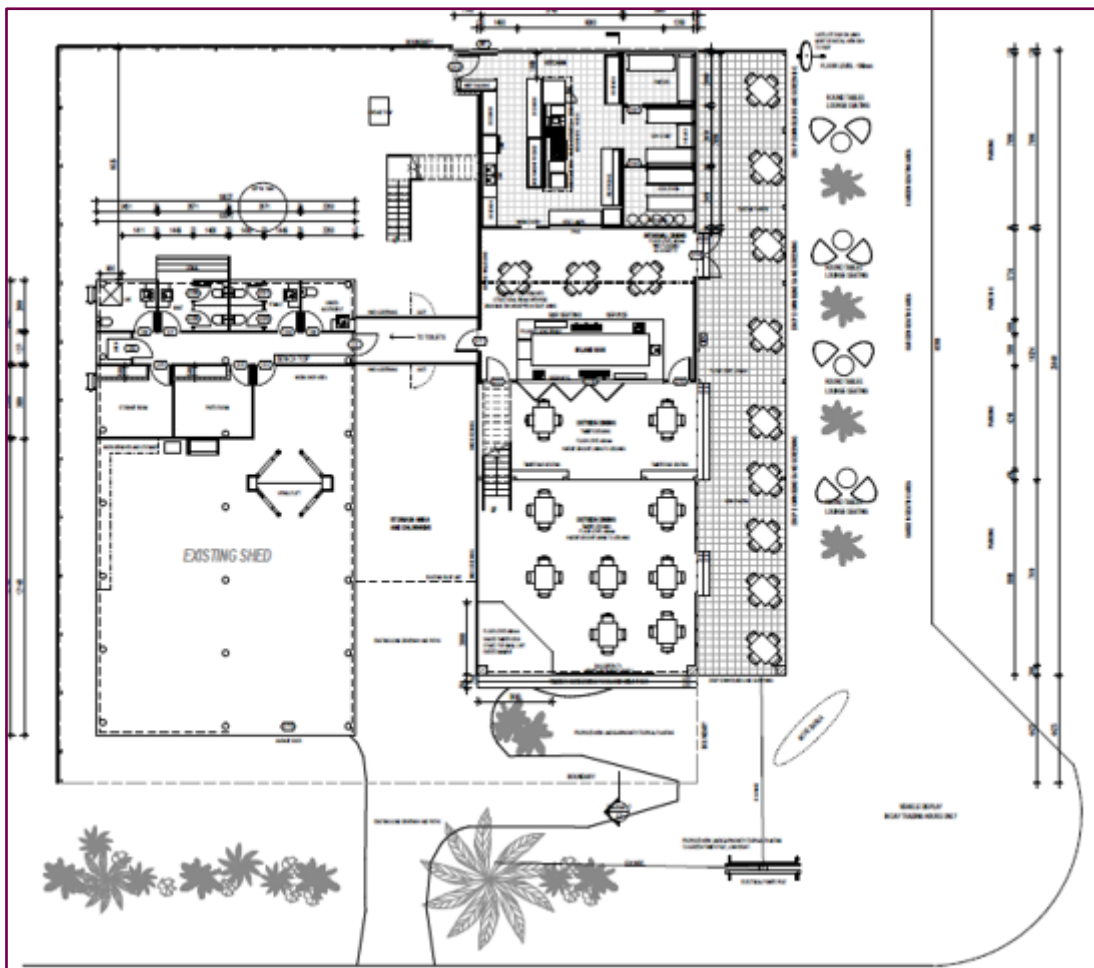


Figure 5 Site and Ground Floor Plan

The detail of the proposal is discussed further below.

3.2 Yield / Gross Floor Area

The proposal comprises

Table 4: Development Summary

Aspect	Proposal
Site Area	789m ²
Frontage	<ul style="list-style-type: none"> • Stewart Street – Approx. 30 metres • Stewart Creek Road – Approx. 26 metres
Height	As existing (two storey building)
Gross Floor Area	<ul style="list-style-type: none"> • Ground Floor Food and Drink Use – 230m²; • Shed/vehicle storage and amenities – 198m²; • First Floor Food and Drink Use – 192m²; • First Floor Private Rooms – 42m².
Site Cover	54.25% (excluding cover outside of the site boundary)
setbacks	<ul style="list-style-type: none"> • Front (east) – 0 metres; • Secondary Frontage (south)– 1.974 metres; • Rear (west) – 1.5 metres; • Side (north) – 0 metres.
Access	Existing driveway from Stewart Creek Road
Car Parking Spaces	Nil (client vehicle storage available in the shed)

4 LEGISLATIVE REQUIREMENTS

4.1 Assessment Manager

In accordance with Schedule 8 of the *Planning Regulation 2017*, the assessment manager for this application is Douglas Shire Council.

4.2 Categories of Assessment

The application involves the following:

- Retention and expansion of the existing food and drink use;
- The addition of a new off-road tour booking office (combined use of bar); and,
- The storage and minor maintenance of off-road vehicles associated with the tours.

The table below summarises the categorising instruments and categories of assessment applicable to this application.

Table 5: Categories of Assessment

Aspect of development	Categorising instrument	Category of assessment
Food and Drink Use (Centre Activity)	Table 5.6.a Centre Zone	Self-Assessable
Tour Booking Office (Shop/Centre Activity)	Table 5.6.a Centre Zone	Self-Assessable
Storage and Maintenance of Off-Road Vehicles (undefined use).	Table 5.6.a Centre Zone	Impact Assessable

4.3 Referrals

In accordance with Schedule 10 of the *Planning Regulation 2017*, the follow referrals apply.

Table 6: Schedule 10 Referral Matters

Schedule 10	Referral topic and reason	Referral Agency
10.9.4.2.4	Material change of use near a State transport corridor or a future State transport corridor	State Assessment and Referral Agency – Department of Transport and Main Roads.

4.4 Public Notification

This application requires public notification as it is subject to Impact Assessment. The public Notification Period is for 15 Business days and any properly made submissions received during the public notification period are required to be considered by Council, as the assessment Manager, in the determination of the application.

5 STATUTORY PLANNING ASSESSMENT

5.1 Overview

This section assesses the application against relevant assessment benchmarks.

As the application is subject to impact assessment, the assessment benchmarks, and the matters the assessment manager must have regard to, are those identified in section 45(5) of the Planning Act 2016 and sections 30 and 31 of the Planning Regulation 2017, These include:

- The Strategic Framework;
- The Assessment Benchmarks contained in the categorising instrument, to the extent the benchmarks are relevant to the proposed development;
- Any other relevant planning related matter.

5.2 State and Regional Assessment Benchmarks

5.2.1 State Planning Policy

The *Planning Regulation 2017* at Section 30(2)(a)(ii) requires the assessment manager to assess the application against the assessment benchmarks stated in the State Planning Policy, Part E, to the extent Part E of the State Planning Policy is not identified in the planning scheme as being appropriately integrated into the planning scheme.

It is understood that the Minister has identified that the State Planning Policy has been appropriately integrated into in the Douglas Shire Council Planning Scheme and consequently no further assessment is required in this instance.

5.2.2 Regional Plan

The *Planning Regulation 2017* at Section 30(2)(a)(i) requires the assessment manager to assess the application against the assessment benchmarks stated in the regional plan, to the extent the Regional Plan is not identified in the planning scheme as being appropriately integrated into the planning scheme.

The application site is identified in the Urban Footprint designation of the FNQ Regional Plan. Consistent with the State Planning Policies, it is understood that the Planning Scheme has been determined to appropriately advance the Regional Plan and, on that basis, no further assessment is required in this instance.

5.2.3 Development Assessment under Schedules 9 and 10 (SDAP)

Schedules 10 of the *Planning Regulation 2017* identifies the matters that the assessment manager and/or referral agency assessment must have regard to.

Table 7 Relevant SDAP State Codes

Schedule 10	Referral Topic	State Code
10.9.4.2.4	Infrastructure-related referrals Material change of use of premises near a State transport corridor or that is a future State transport corridor	State code 1 – Development in a state-controlled road environment

A response to the State Codes is included in **Appendix D**. The assessment concludes that the proposed development is able to satisfy the relevant Assessment Benchmarks contained in the SDAP Code.

5.3 Local Authority Assessment Benchmarks

This application is to be assessed against the Douglas Shire Council Planning Scheme 2018. The assessment benchmarks applicable under the Planning Scheme are addressed below.

5.3.1 Strategic Framework

As the application is subject to impact assessment, it is required to be considered against the Strategic Framework contained within the Planning Scheme. Relevant to the proposed development are considered to be those parts relating to the settlement pattern and economy.

Section 3.4 Theme 1 - Settlement pattern and its associated strategic outcomes seeks to concentrate new commercial and retail activity to defined town centres.

Section 3.8 Theme 5 – Economy, and in particular the elements that relate to tourism, notes that tourism is a significant employer and generator of economic activity within the Shire. It encourages the provision of tourist facilities and services based on the intrinsic and distinctive qualities of the Shire and which promote an efficient and sustainable tourism industry.

The specific outcomes sought for the economy in respect of tourism are to provide for development that contributes to the tourism industry and complements and promotes the Shire's natural assets. In particular, tourism development is to be consistent with, and sensitive to, the nature of tourism appropriate in different parts of the Shire. Specifically, tourist development in the Daintree Village, Cape Tribulation and other parts of the Shire should be, inter alia, of a scale appropriate to its location; limited in size and extent; and, generally based on the appreciation of the natural environment.

The proposal is for the improvement of the existing Food and Drink Outlet, within an established centre, and the provision of a tourist attraction based around the exploration and appreciation of the natural environment. It is considered to be of a scale consistent with the Daintree Centre and suitably located to access the natural environment on which it is based.

The proposed development is considered to be consistent with the Settlement Pattern and Economy Themes of the Strategic Framework.

5.3.2 Codes

The planning scheme codes applicable to the proposal, and compliance of the proposed development with the relevant assessment Benchmarks is identified below. A detailed assessment of the proposed development against the applicable Planning Scheme Code is attached at **Appendix E**.

Table 8: Planning Scheme Code Responses

Planning Scheme Codes	Applicability	Compliance
Zone Code		
Centre Zone Code	Applies	Consideration is required in respect of Performance Outcomes PO2 – Building Siting, PO4 – Acceptable Uses; and PO6 – Amenity. Refer below
Overlay Codes		
Acid Sulfate Soils Overlay Code	Applies	Complies with all applicable Acceptable Outcomes.
Bushfire Hazard Overlay Code	Applies	Complies with all applicable Acceptable Outcomes.
Development Codes		
Centre Activities Code	Applies	Consideration is required in respect of Performance Outcomes PO5 – Building Siting (refer to the Centre

Planning Scheme Codes	Applicability	Compliance
		Zone Code Assessment) and PO8 – Attractive Streetscape. Refer below.
Access, Parking and Servicing Code Code	Applies	Generally complies or is able to comply with the applicable Acceptable Outcomes. Detailed consideration is required in respect of Performance Outcome PO1, On-site parking provision. Refer below.
Environmental Performance Code	Applies	Complies or able to comply with all applicable Acceptable Outcomes.
Infrastructure Code Code	Applies	Generally complies or able to comply with the applicable Acceptable Outcomes.
Landscaping Code	Applies	Complies or able to comply with all applicable Acceptable Outcomes.
Vegetation Management Code	Not applicable	No trees are proposed to be removed.

5.3.3 Statement of Compliance – Benchmark Assessment

5.3.3.1 Centre Zone Code

Performance Outcome PO2 of the Centre Zone Code states:

PO2

The siting of buildings contributes to the use of the land, desired amenity and character of the area and protects the amenity of other land uses.

The associated Acceptable Outcomes, state:

AO2.1

Buildings and structures are setback to road frontages:

- (a) in accordance with the provisions of any applicable local plan;*
- (b) a minimum of 6 metres where no local plan applies or there are no particular provisions specified in the local plan for the site.*

AO2.3

Where adjoining land in any other zone, buildings are setback 3 metres or ¼ of the height of the building, whichever is the greater and are provided with an acoustic barrier in accordance with the recommendations of a qualified acoustic expert.

AO2.4

Setback areas are provided with a 2 metre landscaped strip capable of deep planting, which is kept clear of service equipment and storage areas:

- (a) adjacent to the road frontage in all areas not required for pedestrian or vehicular access for the setback area nominated in AO2.1(b) above;*
- (b) adjacent to the boundary with the other zone for the setback area nominated in AO2.3 above.*

The proposed development would retain the existing zero setback of the existing two storey building and would provide for the extension of the awning over the footpath for the full site frontage to Stewart Street. The proposed development and setback to Stewart Street would enhance the image of Stewart Street as the primary retail street in Daintree Village and would not adversely affect the amenity of any adjacent occupiers.

In respect of the side and rear boundaries, the site has common boundaries to the north and west with land in the Tourist Accommodation Zone. The existing buildings are setback 0 metres and 1.5 metres from these boundaries, respectively, and it is not proposed to change these setbacks as part of this development. The

proposed development would not change the impact that the buildings have on the current character and amenity of the area or the amenity of the adjoining occupiers. It is considered that the proposed development is consistent with Performance Outcome PO2 of the Centre Zone Code.

Performance Outcome PO4 of the Centre Zone Code states:

PO4

The establishment of uses is consistent with the outcomes sought for the Centre zone and protects the zone from the intrusion of inconsistent uses.

The proposed development would comprise:

- Refurbished existing Food and Drink Outlet;
- Retention of existing first floor accommodation;
- Incorporated Tour Booking Office for off road 4wd tours; and,
- Storage of vehicles associated with the 4wd tours.

The proposed uses are not considered to be identified in the list of inconsistent uses. In addition, the proposal would retain and enhance the existing centre activity and provide increased activity and vibrancy within the Daintree Centre, which would add to the viability of the Daintree Centre as a local centre and tourist destination. The proposal is considered to be consistent with Performance Outcome PO4 in that it furthers the outcomes sought for the centre zone and is not considered to introduce inconsistent uses.

Performance Outcome PO6 of the Centre Zone Code states:

PO6

Development does not lower the standard of amenity in terms of air, noise, odour, electrical interference and vibrations at any land use associated with:

- (a) An accommodation activity group, located outside the Centre zone;*
- (b) A sensitive land use activity group, located outside the Centre zone.*

The proposal would retain much of the existing uses that are currently offered on the site with the only additional use being the ancillary vehicle storage associated with the 4wd tours and the departure of the tours from the site. To the north and west is land within the Tourist Accommodation zone that contains tourist accommodation and a Dwelling House, respectively. These represent the nearest sensitive receivers. The impact from the vehicle storage and tour operation would be minimised by the hours of operation of these uses and would not be any greater than the impact from the lawful operation of the existing uses on the site.

The proposed development is considered to satisfy the Assessment Benchmarks established in the Centre Zone Code.

5.3.3.2 Centre Activities Code

Performance Outcome PO8 of the Centre Activities Code states:

PO8

Development results in an attractive streetscape that:

- (a) contributes to a high level of amenity for patrons and pedestrians;*
- (b) facilitates interactions between the public and private realm.*

The associated Acceptable Outcome states:

AO8.4

Where buildings are constructed up to a road frontage, a cantilever awning is to be provided over the footpath of the site, to the full frontage of the site, with a setback of 1 metre from the face of the kerb, and;

- (a) with a maximum height of 3 metres to the underside of the awning; or*
- (b) at a height consistent with, or stepping up or down to, the awning structures on buildings on adjoining sites.*

The proposed development would retain the existing verandah associated with the existing building and would provide a new two storey high covered area that extends over the footpath. Both the existing and proposed awning would extend a minimum of 3 metres over the footpath and the posts would be setback more than 1 metre from the face of the kerb. However, the new covered area would result in an awning of 6.5 metres in height over the footpath. Notwithstanding that the height exceeds the accepted 3 metres, the new awning has been designed to improve the appearance and street front presence of the site and to provide a transition between the old and new buildings. It also maximises interaction between the private and public realm. The proposal is considered to be consistent with the Performance Outcome.

5.3.3.3 Access, Parking and Servicing Code

Performance Outcome PO1 of the Access, Parking and Servicing Code states:

PO1

Sufficient on-site car parking is provided to cater for the amount and type of vehicle traffic expected to be generated by the use or uses of the site, having particular regard to:

- (a) the desired character of the area;*
- (b) the nature of the particular use and its specific characteristics and scale;*
- (c) the number of employees and the likely number of visitors to the site;*
- (d) the level of local accessibility;*
- (e) the nature and frequency of any public transport serving the area;*
- (f) whether or not the use involves the retention of an existing building and the previous requirements for car parking for the building;*
- (g) whether or not the use involves a heritage building or place of local significance;*
- (h) whether or not the proposed use involves the retention of significant vegetation.*

The associated Acceptable Outcome states:

AO1.1

The minimum number of on-site vehicle parking spaces is not less than the number prescribed in Table 9.4.1.3.b for that particular use or uses.

The existing development on the site provides ground floor food and drink use and 4 accommodation rooms on the first floor with a storage shed to the rear. The proposed development would provide an additional 15m² of ground floor food and drink use and only three accommodation rooms on the first floor.

The planning scheme established the following accepted on-site car parking rates for the existing and proposed development:

- Food and Drink Use – 1/50m² of dining area.
- Rooming Accommodation – Nil
- Transport Depot (Vehicle Storage) - Nil

Based on the additional dining area, the proposed development would generate the demand for one additional space, which is considered to be off-set by the reduction in the number of bedrooms on the first floor. On this basis, the proposed development would not result in an increased in car parking demand above that generated by the existing use of the site and would retain the existing character of the area.

It is considered that the proposed development complies with the Performance Outcome.

5.4 Infrastructure Charges

The proposed development is likely to attract an Infrastructure Charge in accordance with the Councils Adopted Infrastructure Charges Resolution (AICR). The Charge would be based on an amount per additional square metre of Gross Floor Area of the proposed Food and Drink Use and the new off-road tour use. As the site is not connected to the Councils Sewerage system, in accordance with the AICR, a discount of 35% is applicable to the calculated charge.

REPORT

The proposed development would result in an additional 15m² of Food and Drink use and approximately 160m² of the existing shed being used for the storage of the off-road vehicles. The Food and drink use attracts a charge of \$165.54/m² of additional floor area; however, there is no identifiable charge for the proposed off-road vehicle storage. Assuming the nearest applicable use of transport depot, a charge of \$49.24/m² would apply. Applying the charge rates to the proposed development, less the 35% discount, results in a charge of \$6,734.98.

6 CONCLUSION

This report has been prepared on behalf of Stewart Hicks in support of a Development Application to Douglas Shire Council for a Development Permit for Material Change of Use for the purpose of a Food and Drink Outlet, Off Road Tour Office and associated Vehicle Storage on land located at 4 Stewart Street, Daintree, and described as Lot 1 on RP708742.

The application site is an existing developed lot with an area of 789m² and frontage to Stewart Street and Stewart Creek Road. The land is currently improved by a two storey building with a food and drink outlet on the ground floor and 4 bedrooms of accommodation above, a single storey roofed patio used in association with the food and drink outlet, containing a kitchen area and tour desk, and a large shed with a floor area of in the order of 100m² located towards the rear of the site. The second floor balcony and part of the single storey covered area extends over the Stewart Street road reserve.

The site is located within the Daintree Village centre and development is a mix of retail and residential uses. On the opposite side of Stewart Street are a number of retail tenancies and to the rear the site adjoins a residential use. To the north the site adjoins the Daintree Riverview Lodge and Van Park.

It is proposed to retain and refurbish the existing food and drink use, retain three of bedrooms of the upstairs accommodation, and to incorporate a new 4wd off-road tour use at the site.

The 4wd off-road tours would be guided tours using Cam-am/Polaris type off road vehicles. The vehicles would be 2 or 4 seater vehicles and the tours would be operated on a self-drive basis only with appropriate driver instruction provided ahead of time. Tours would all be guided, and they would be based on 5 to 6 vehicles per tour. The format would be 2 to 3 short daily tours to a local property (subject to a secondary DA approval) and periodically tours of up to 2 days (one night). The intent is that the 2 day tours are conducted on the CREB track or other nearby approved locations and would be principally off road. As part of the off road tour use six vehicles would be stored on site within the existing shed, which would be upgraded to include new toilets and showers as part of the overall development.

The application is identified as being Impact Assessable and consideration is required to be given to the Strategic Framework of the Planning Scheme, the Planning Assessment Benchmarks and other relevant planning considerations, including those found in public submissions.

The proposed development is considered to be consistent with the Strategic Framework and Assessment Benchmarks contained within the Planning Scheme and is considered to be a suitable use of the site. The development is considered to be consistent in terms of scale and intensity to other forms of development in the locality and the site can contain the use without adverse impact on the amenity of the area. The application is submitted for approval, subject to reasonable and relevant conditions.

Appendix A

Certificate(S) of Title and Search Results



Department of Resources
ABN 59 020 847 551

Title Reference:	21215197	Search Date:	22/03/2021 12:07
Date Title Created:	19/07/1983	Request No:	36681985
Previous Title:	20318176		

ESTATE AND LAND

Estate in Fee Simple

LOT 1 REGISTERED PLAN 708742
Local Government: DOUGLAS

REGISTERED OWNER

Dealing No: 720471595 16/12/2020

STEWART NIGEL HICKS

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by Deed of Grant No. 20293058 (POR 93)
2. MORTGAGE No 720471596 16/12/2020 at 11:11
NATIONAL AUSTRALIA BANK LIMITED A.C.N. 004 044 937

ADMINISTRATIVE ADVICES

NIL

UNREGISTERED DEALINGS

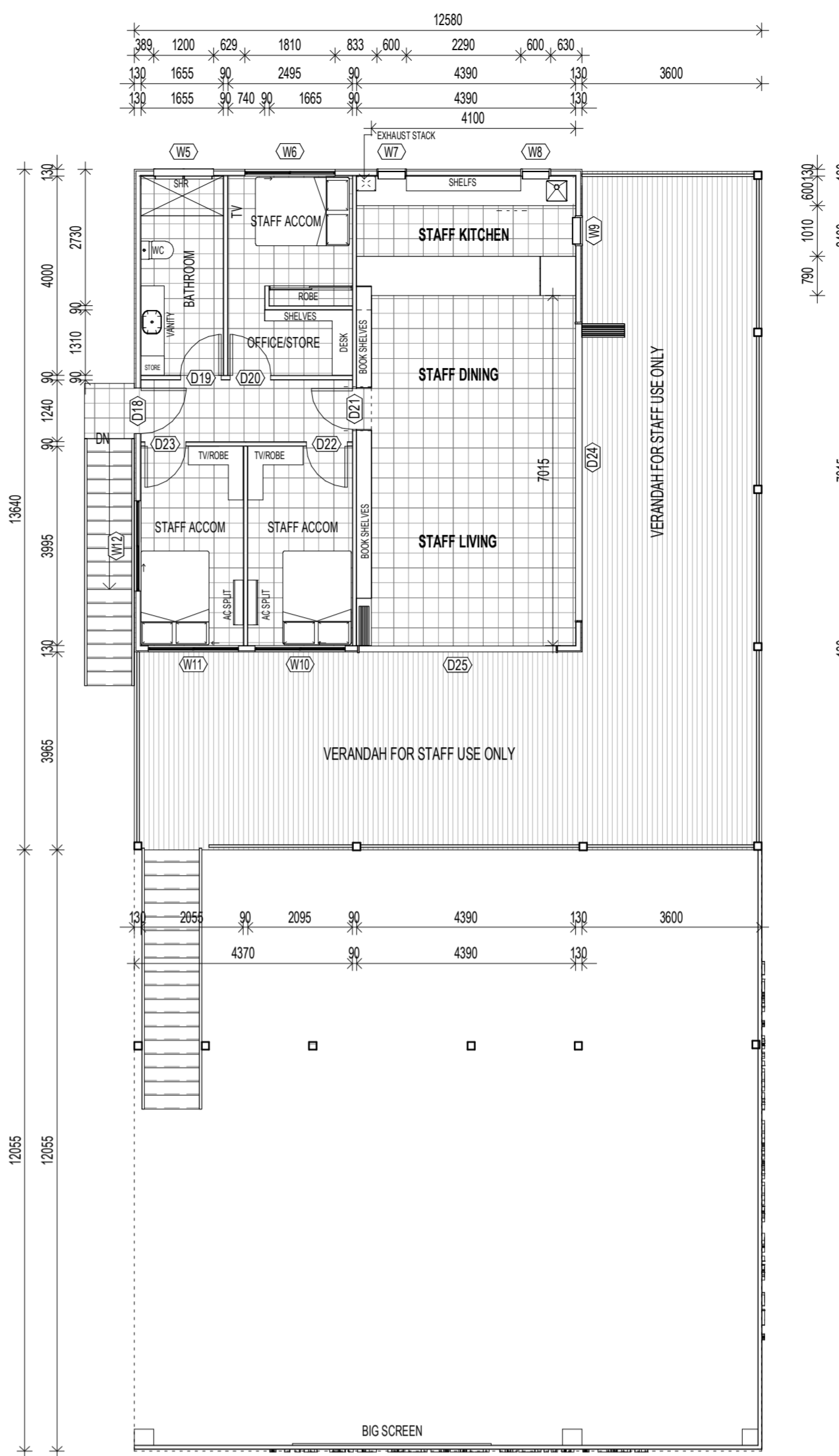
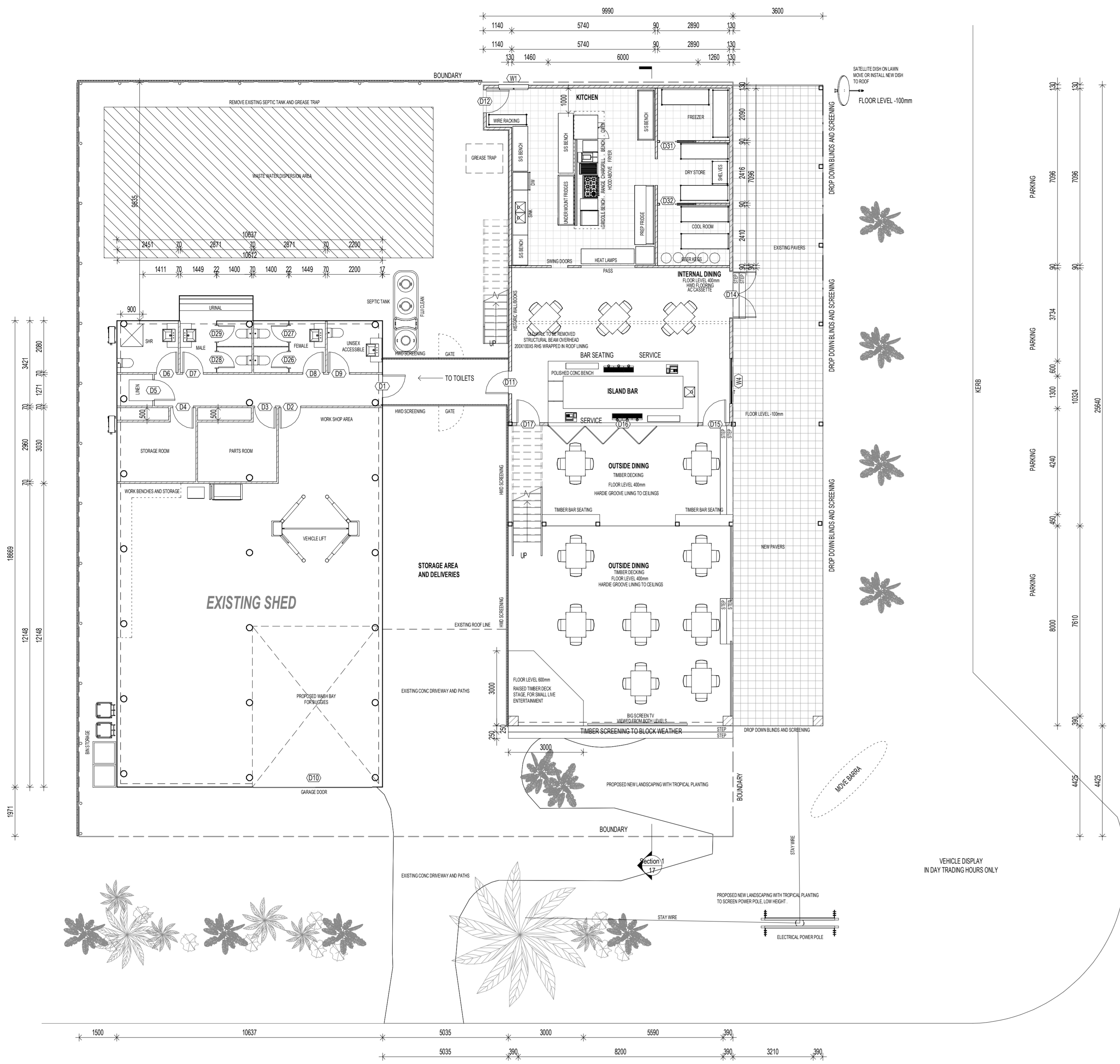
NIL

Caution - Charges do not necessarily appear in order of priority

** End of Current Title Search **

Appendix B

Proposal Plans



FLOOR AREAS

LEVEL 1	
EXTERNAL FRONT PAVED AREA UNDER COVER	93m ²
OUTSIDE OF BOUNDARY	
EXTERNAL DINING DECKED AREA	108m ²
SHED	198m ²
TOTAL EXTERNAL	399m²
INTERNAL COMMERCIAL KITCHEN	39m ²
INTERNAL DINING	83m ²
TOTAL INTERNAL	122m²
LEVEL 2	
EXTERNAL UPSTAIRS PATIO (OUTSIDE BOUNDARY)	50m ²
UPSTAIRS PATIO (INSIDE BOUNDARY)	36m ²
TOTAL EXTERNAL	86m²
INTERNAL	
INTERNAL DINING	86m ²
TOTAL INTERNAL	86m²
LEVEL 1 & 2 COMBINED	
TOTAL EXTERNAL	485m²
TOTAL INTERNAL	208m²
GRAND TOTAL	693m²
INC IN TOTAL OVER BOUNDARY	143m²
SITE COVER	
SHED	198m ²
LOWER EXT (INSIDE BOUNDARY)	108m ²
LOWER INTERNAL (INSIDE BOUNDARY)	122m ²
TOTAL SITE COVER	428m²
SITE AREA	789m ²
COVERAGE %	54.25%

WINDOW SCHEDULE - ULTRA SILVER ALUMINIUM FRAME, C2

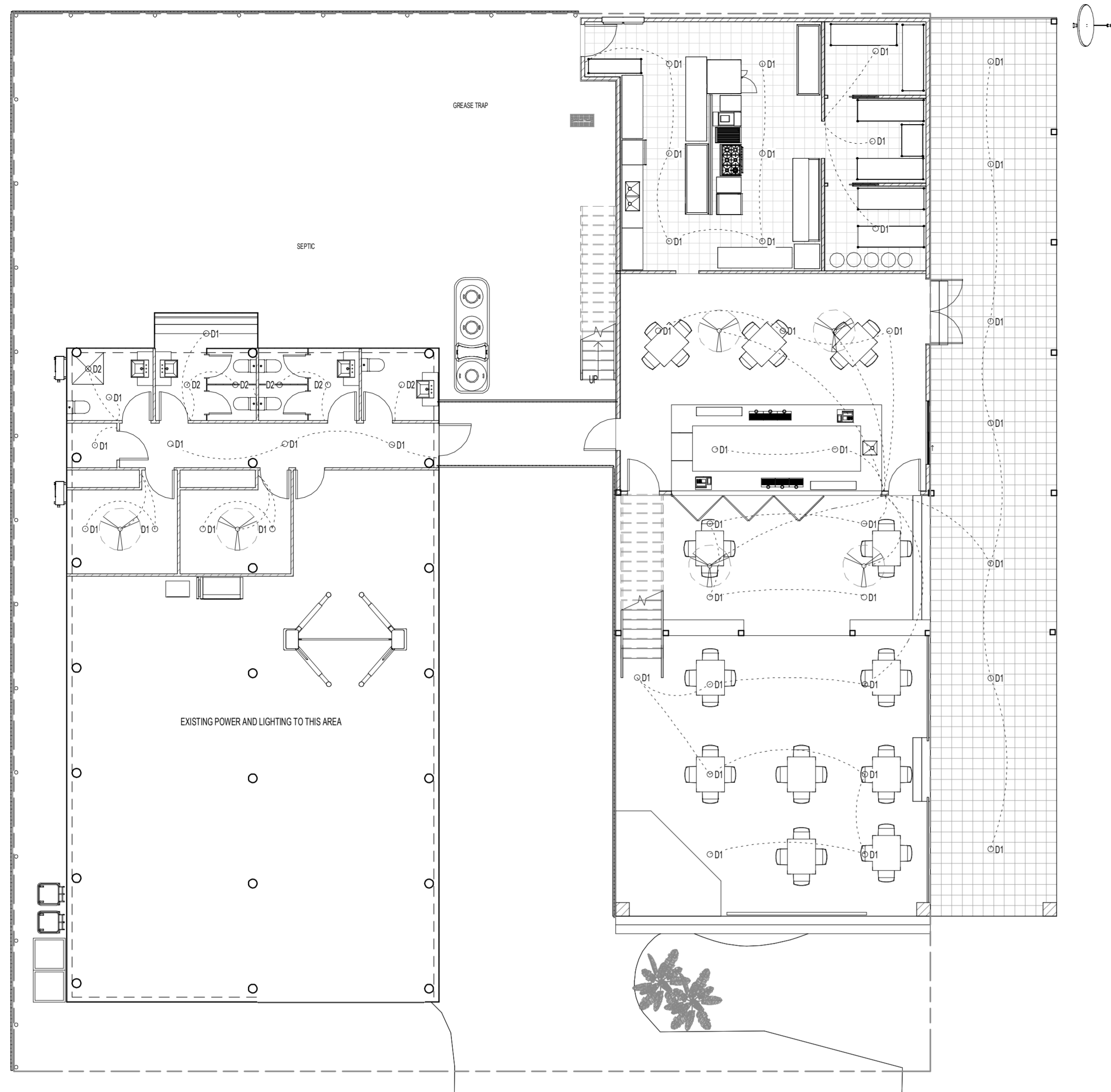
MARK	STYLE	HEIGHT	WIDTH	SPECIAL NOTES
1	2 BAY LOUVER	600	1200	
4	SGW OX	1200	1810	
5	2 BAY LOUVER	600	1200	
6	SGW OX	1200	1810	
7	1 BAY LOUVER	1510	600	
8	1 BAY LOUVER	1510	600	
9	1 BAY LOUVER	1510	600	
10	SGW OX	1200	1810	
11	SGW OX	1200	1810	
12	SGW OX	1200	1810	

DOOR SCHEDULE - Internal Doors

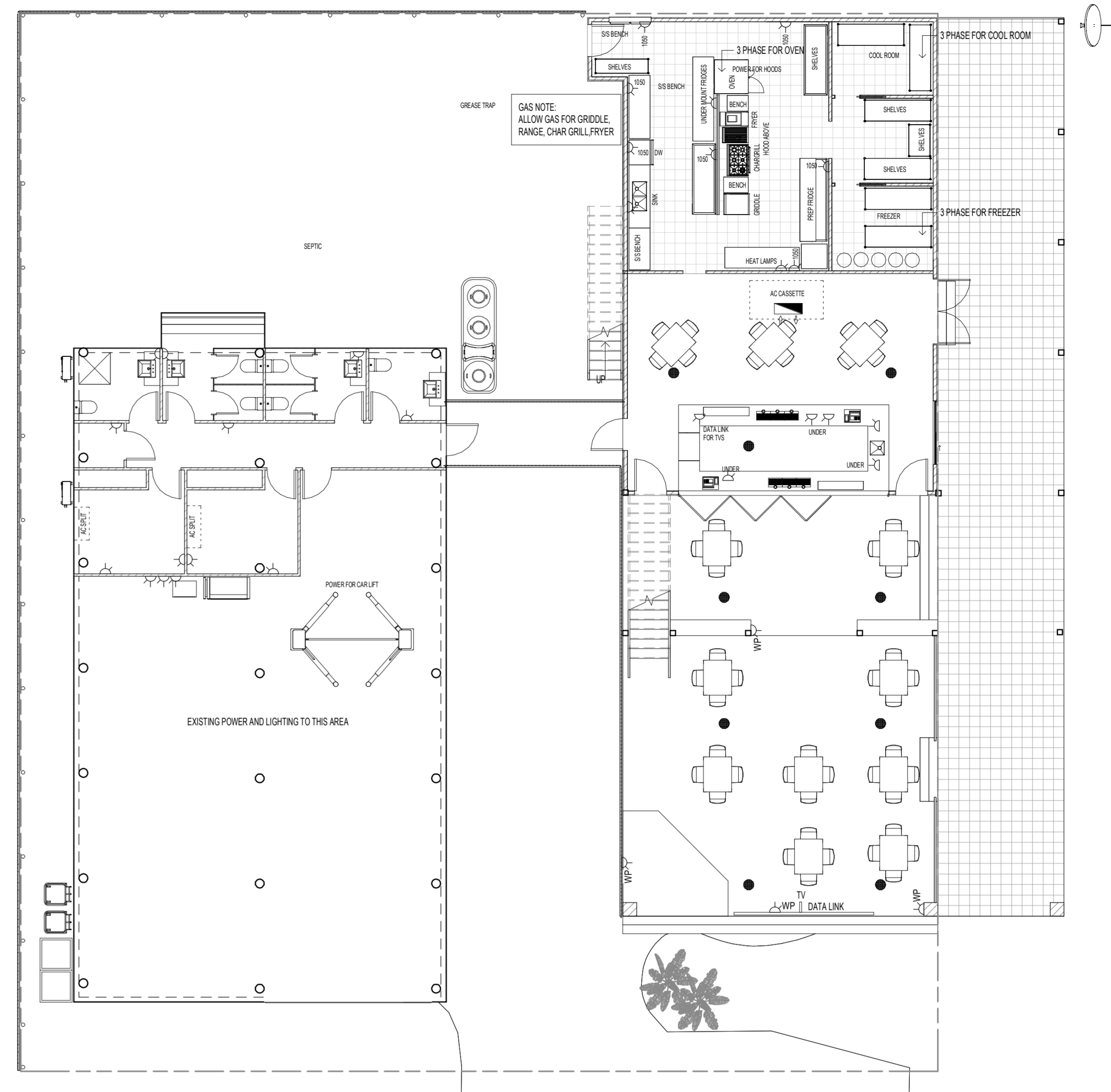
MARK	TYPE	ACTUAL DOOR SIZE HEIGHT	ACTUAL DOOR SIZE WIDTH	DESCRIPTION	DOOR MODEL & HARDWARE	DOOR COLOUR
2	INTERNAL DOOR STANDARD	2040	820		HUME STANDARD	TBA
3	INTERNAL DOOR STANDARD	2040	820		HUME STANDARD	TBA
4	INTERNAL DOOR STANDARD	2040	820		HUME STANDARD	TBA
5	INTERNAL DOOR STANDARD	2040	820		HUME STANDARD	TBA
6	INTERNAL DOOR STANDARD	2040	820		HUME STANDARD	TBA
7	INTERNAL DOOR STANDARD	2040	820		HUME STANDARD	TBA
8	INTERNAL DOOR STANDARD	2040	820		HUME STANDARD	TBA
9	INTERNAL DOOR STANDARD	2040	820		HUME STANDARD	TBA
19	INTERNAL DOOR STANDARD	2040	820		HUME STANDARD	TBA
20	INTERNAL DOOR STANDARD	2040	820		HUME STANDARD	TBA
21	INTERNAL DOOR STANDARD	2040	820		HUME STANDARD	TBA
22	INTERNAL DOOR STANDARD	2040	820		HUME STANDARD	TBA
23	INTERNAL DOOR STANDARD	2040	820		HUME STANDARD	TBA
26	TOILET SWING SYSTEM DOOR			SINGLE SWING		TBA
27	TOILET SWING SYSTEM DOOR			SINGLE SWING		TBA
28	TOILET SWING SYSTEM DOOR			SINGLE SWING		TBA
29	TOILET SWING SYSTEM DOOR			SINGLE SWING		TBA
31	720 LEAF CAVITY SLIDER	2040	820	720 CAVITY SLIDER	HUME STANDARD	TBA
32	720 LEAF CAVITY SLIDER	2040	820	720 CAVITY SLIDER	HUME STANDARD	TBA

DOOR SCHEDULE - External Aluminium

MARK	TYPE	HEIGHT	WIDTH	FRAME COLOUR	GLAZING	NOTES
1	SINGLE ALUMINIUM DOOR GLASS INSERT	2410	910	ULTRA SILVER	CLEAR	
11	SINGLE ALUMINIUM DOOR GLASS INSERT	2410	910	ULTRA SILVER	CLEAR	
12	SINGLE ALUMINIUM DOOR GLASS INSERT	2410	910	ULTRA SILVER	CLEAR	
14	DOUBLE LEAF STANDARD DOOR	2400	1900	ULTRA SILVER	CLEAR	
15	SINGLE ALUMINIUM DOOR GLASS INSERT	2410	910	ULTRA SILVER	CLEAR	
16	ALUMINIUM BI FOLD & LEAF	1510	6010	ULTRA SILVER	CLEAR	
17	SINGLE ALUMINIUM DOOR GLASS INSERT	2410	910	ULTRA SILVER	CLEAR	
18	SINGLE ALUMINIUM DOOR GLASS INSERT	2410	910	ULTRA SILVER	CLEAR	
24	7 LEAF ALUMINIUM BIFOLD DOOR	2410	6010	ULTRA SILVER	CLEAR	
25	5 LEAF ALUMINIUM BIFOLD DOOR 2610	2410	4010	ULTRA SILVER	CLEAR	



SERVICES- LIGHTING LOWER
1: 100



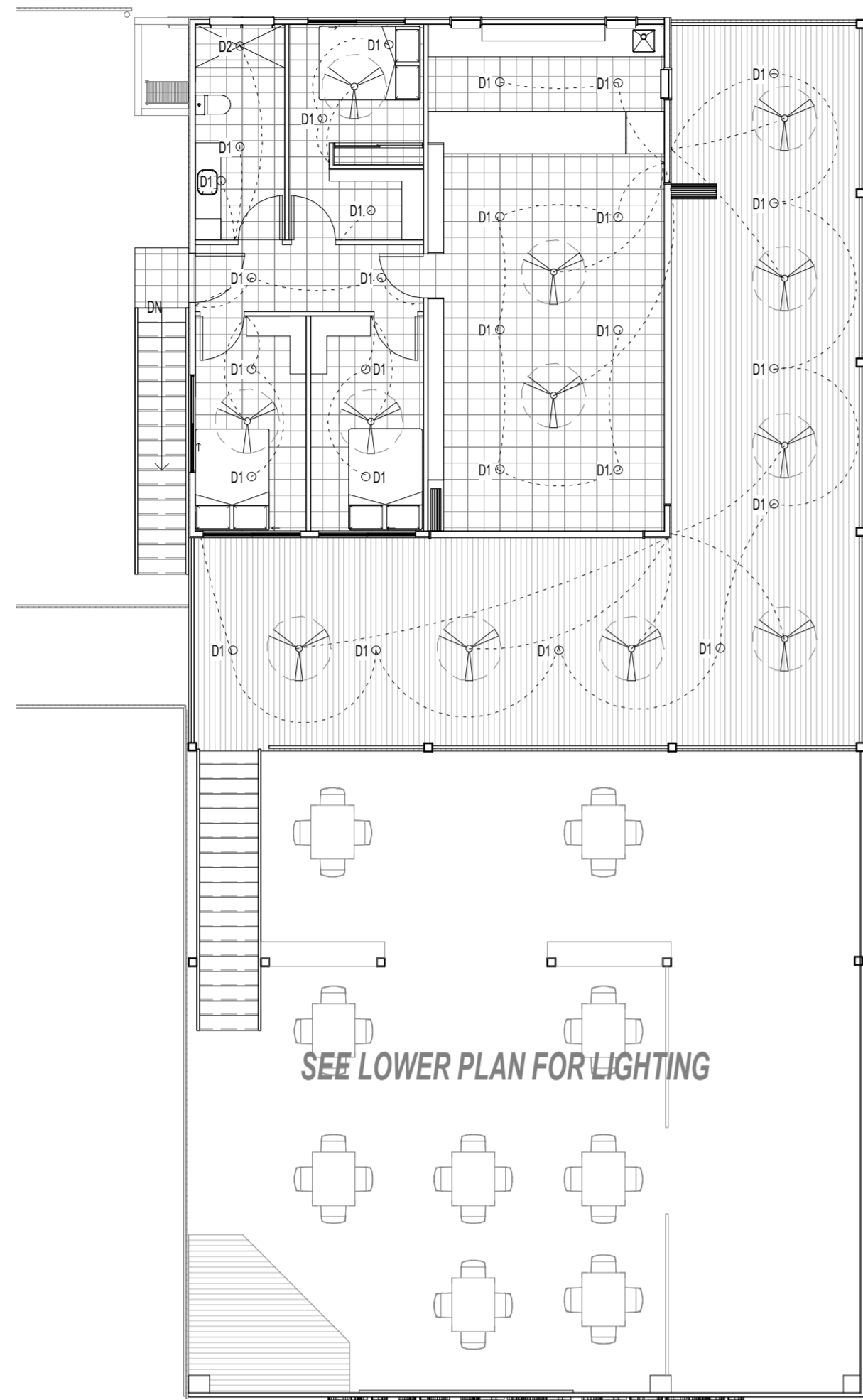
SERVICES- POWER AND COOLING LOWER
1: 100

LEGEND - LIGHT & POWER

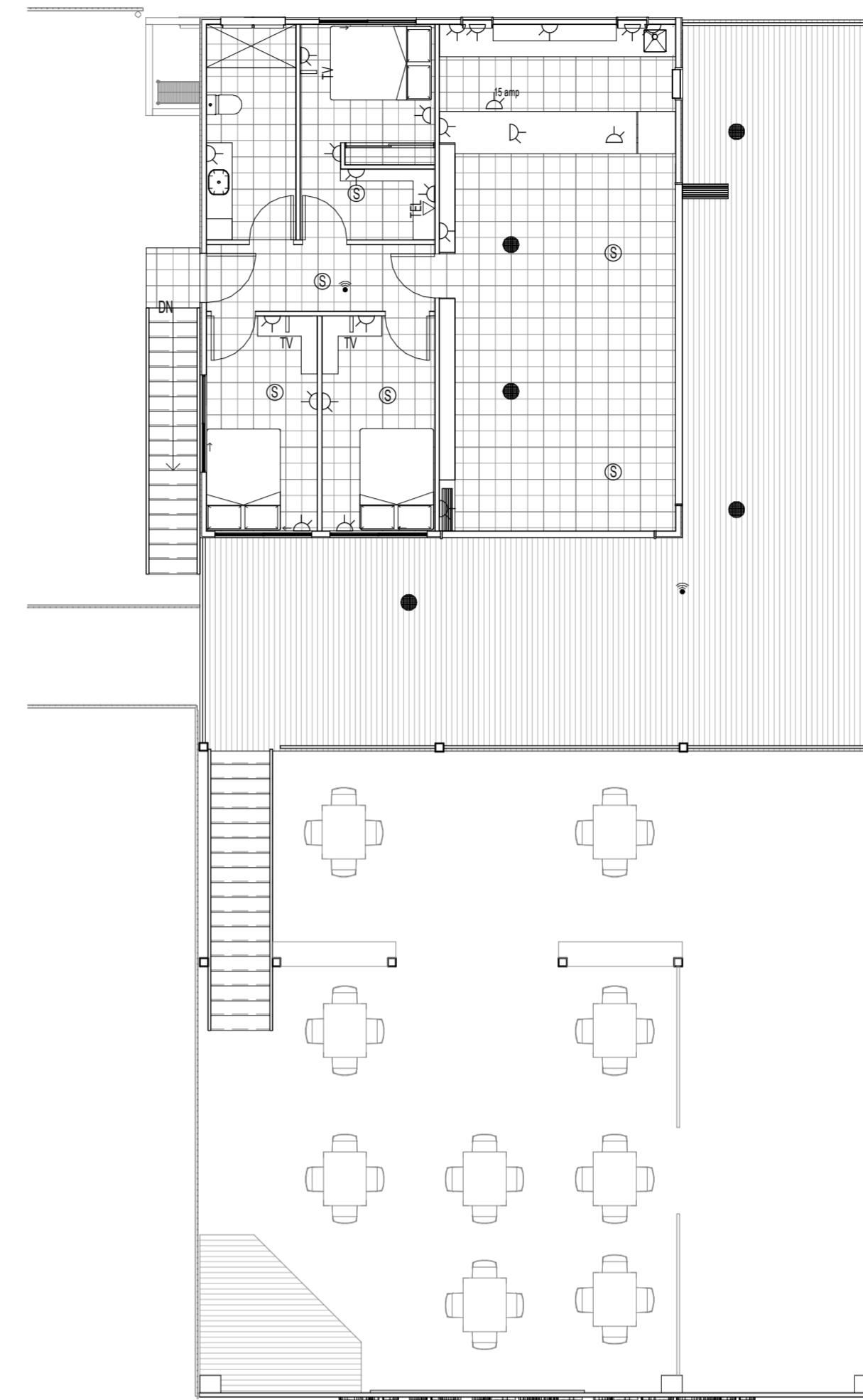
○D1	LED RECESSED DOWNLIGHT OR SIMILAR	⊕F1	FEATURE PIN SPOT	⊗FB	DOUBLE 10A GPO IN FLOOR BOX	⊕	1400 DIA. CEILING FAN	AC D1	AIRCONDITIONING CONDENSER : DAIKIN SAMS100LVMA9	PUMP 1 & 2	POOL PUMPS : ASTRAL VIRON P600
○D2	FAN / LIGHT COMBO WHITE IN PLASTER BOARD CEILING	⊕F2	LED WALL RECESSED FLOOR WASHER	HOOD	EXTRACT HOOD / LIGHT	⊕	METER BOX / SWITCHBOARD (INCLUDING GENERATOR INPUT)	AC D1	AIRCONDITIONING CONDENSER : DAIKIN 4MKS80LVMA9	SAND CATCHER	POOL SAND CATCHER : ASTRAL
○D3	LED RECESSED DOWNLIGHT WHITE IN PLASTER BOARD CEILING	⊕U1	LV GARDEN SPIKE LIGHT & TIMER	TV	TV / FOXTEL CABLE AERIAL POINT	⊕	ELECTRIC HOT WATER SERVICE	HEATER	POOL HEATER / COOLER : ASTRAL INVERTER HP283	---	INTERCOM SYSTEM AND GATE RELEASE
○P1	PENDANT HEAT LAMP	⊕	FEATURE POOL LIGHT	H	CONDUIT LINK FROM CABINET TO 1500 AFL UNO CONCEALED IN WALL	⊕	MANHOLE	FILTER	POOL SAND FILTER : ASTRAL FG905	●	CEILING MOUNTED SPEAKER
○P2	PENDANT LIGHT	⊕	DOUBLE 10A GPO AT 300 HEIGHT ABOVE FFL UNO	TE	TELEPHONE POINT	⊕	POWER SUPPLIED FOR ELECTRIC DROP DOWN BLIND			▼	CEILING MOUNTED WIFI BOOSTER
○P3	PENDANT LIGHT	⊕	DOUBLE 10A GPO CEILING MOUNTED	⊕	SMOKE DETECTOR						
○W1	EXTERNAL WALL LIGHT	⊕	DOUBLE 10A GPO WEATHERPROOF AT HEIGHT ABOVE FFL								
— L1	LED STRIP LIGHT	⊕	COOKER POINT POWER SUPPLY								

NOTE:
A MINIMUM 80% OF THE TOTAL FIXED INTERNAL LIGHTING WILL BE FITTED WITH ENERGY EFFICIENT LIGHTING AS DEFINED BY QDC PART MP 4.1 (MIN. 27 LUMENS PER WATT).
IF AIR CONDITIONERS ARE BEING INSTALLED THEY WILL HAVE A MINIMUM 4-STAR MINIMUM ENERGY PERFORMANCE STANDARD (MEPS) RATING.
ELECTRICIAN TO PROVIDE FORM 16 CERTIFICATE FOR ALL ABOVE ITEMS THAT HAVE BEEN COMPLIED WITH.
PROVIDE ADDITIONAL DOCUMENTATION FROM LIGHT MANUFACTURER CONFIRMING THE LIGHT FITTINGS ACHIEVE THE MINIMUM 27 LUMENS PER WATT.
ALL OVENS, RANGE HOODS, DISHWASHERS, HOT WATER SYSTEMS TO HAVE POWER SUPPLIED AS REQ IF NOT NOTED ON PLAN.

LEGEND - ELECTRICAL
1: 100



SERVICES ELECTRICAL LIGHTING UPPER
1:100



SERVICES ELECTRICAL POWER & COOLING UPPER
1:100

LEGEND - LIGHT & POWER

○D1	LED RECESSED DOWNLIGHT OR SIMILAR	○F1	FEATURE PIN SPOT	⊠FB	DOUBLE 10A GPO IN FLOOR BOX	⊙	1400 DIA. CEILING FAN	AC 01	AIRCONDITIONING CONDENSER: DAIKIN S4MS102LVMA9	PUMP 1 & 2	POOL PUMPS: ASTRAL VIRON P600	<p>NOTE: A MINIMUM 80% OF THE TOTAL FIXED INTERNAL LIGHTING WILL BE FITTED WITH ENERGY EFFICIENT LIGHTING AS DEFINED BY QDC PART MP 4.1 (MIN. 27 LUMENS PER WATT). IF AIR CONDITIONERS ARE BEING INSTALLED THEY WILL HAVE A MINIMUM 4-STAR MINIMUM ENERGY PERFORMANCE STANDARD (MEPS) RATING. ELECTRICIAN TO PROVIDE FORM 16 CERTIFICATE FOR ALL ABOVE ITEMS THAT HAVE BEEN COMPLIED WITH. PROVIDE ADDITIONAL DOCUMENTATION FROM LIGHT MANUFACTURER CONFIRMING THE LIGHT FITTINGS ACHIEVE THE MINIMUM 27 LUMENS PER WATT. ALL OVENS, RANGE HOODS, DISHWASHERS, HOT WATER SYSTEMS TO HAVE POWER SUPPLIED AS REQ IF NOT NOTED ON PLAN.</p>
○D2	FAN / LIGHT COMBO WHITE IN PLASTER BOARD CEILING	○F2	LED WALL RECESSED FLOOR WASHER	HOOD	EXTRACT HOOD / LIGHT	⊙	METER BOX / SWITCHBOARD (INCLUDING GENERATOR INPUT)	AC 01	AIRCONDITIONING CONDENSER: DAIKIN 4MKS80LVMA9	SAND CATCHER	POOL SAND CATCHER: ASTRAL	
○D3	LED RECESSED DOWNLIGHT WHITE IN PLASTER BOARD CEILING	•	LV GARDEN SPIKE LIGHT & TIMER	TV	TV / FOXTEL CABLE AERIAL POINT	⊙	ELECTRIC HOT WATER SERVICE	HEATER	POOL HEATER / COOLER: ASTRAL INVERTER HP283	—	INTERCOM SYSTEM AND GATE RELEASE	
○P1	PENDANT HEAT LAMP	○U1	FEATURE POOL LIGHT	H	CONDUIT LINK FROM CABINET TO 1500 AFL UNO CONCEALED IN WALL	⊙(HW)	MANHOLE	HEATER	POOL HEATER / COOLER: ASTRAL INVERTER HP283	●	CEILING MOUNTED SPEAKER	
○P2	PENDANT LIGHT	⊙	SWITCH	TEL	TELEPHONE POINT	⊙(M)	POWER SUPPLIED FOR ELECTRIC DROP DOWN BLIND	FILTER	POOL SAND FILTER: ASTRAL FG365	▼	CEILING MOUNTED WIFI BOOSTER	
○P3	PENDANT LIGHT	⊙	DOUBLE 10A GPO AT 300 HEIGHT ABOVE FFL UNO	⊙	SMOKE DETECTOR							
○W1	EXTERNAL WALL LIGHT	⊙	DOUBLE 10A GPO CEILING MOUNTED									
— L1	LED STRIP LIGHT	⊙	DOUBLE 10A GPO WEATHERPROOF AT HEIGHT ABOVE FFL									
		⊙	COOKER POINT POWER SUPPLY									

LEGEND - ELECTRICAL
1:100

PLAN ISSUE:
**CONCEPT DESIGN
NOT FOR CONSTRUCTION**

**CERTIFIED AS
STRUCTURALLY ADEQUATE**

KFB Engineers Civil & Structural
138-42 Pines St, Cairns | PO Box 927, Cairns Q 4870
P: 07 4032402 | F: 07 4032052 | E: email@kfbeng.com.au

Date: _____ Signed: _____
Job No: _____ RPEQ No: _____

PROJECT: 12 STEWART STREET DAINTREE VILLAGE
PROJECT ADDRESS:
12 STEWART STREET
DAINTREE VILLAGE 4873
QUEENSLAND AUSTRALIA

SHEET **ELECTRICAL UPPER**

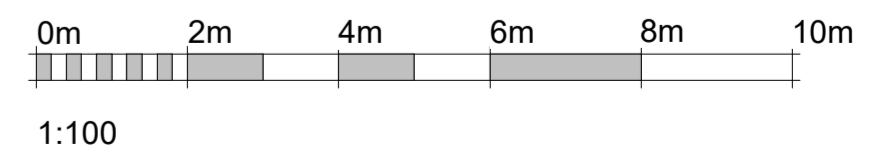
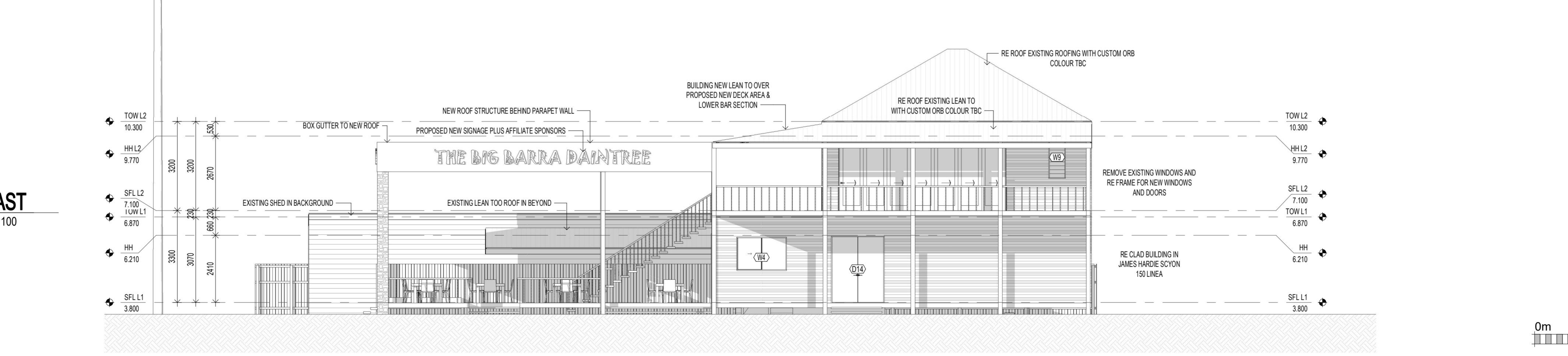
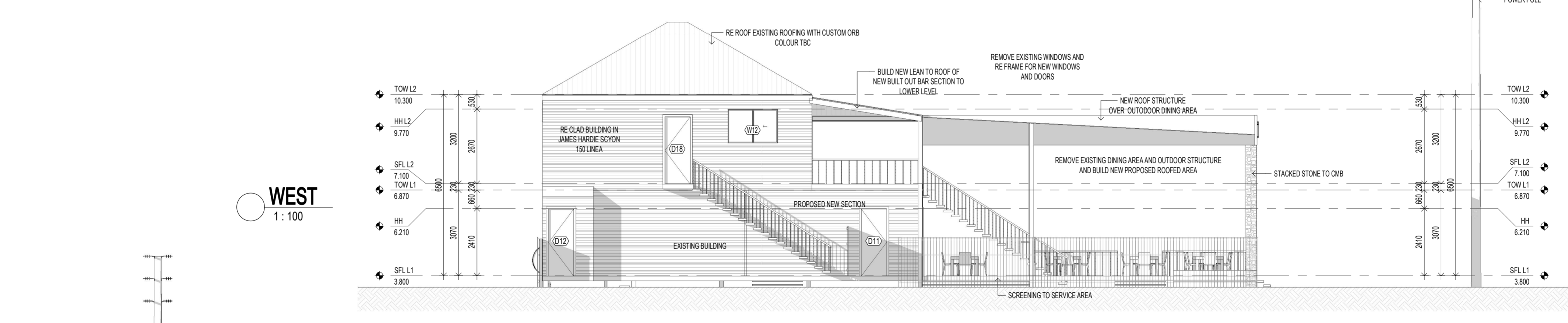
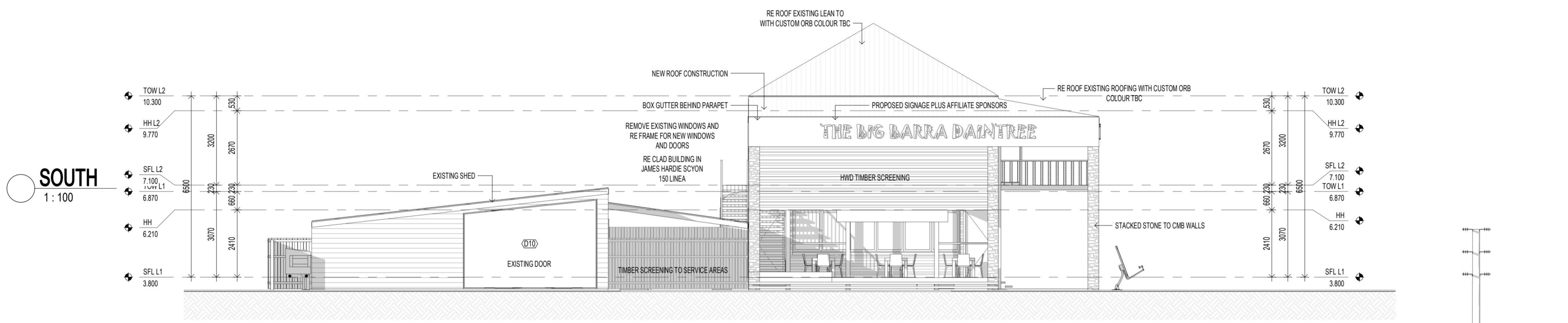
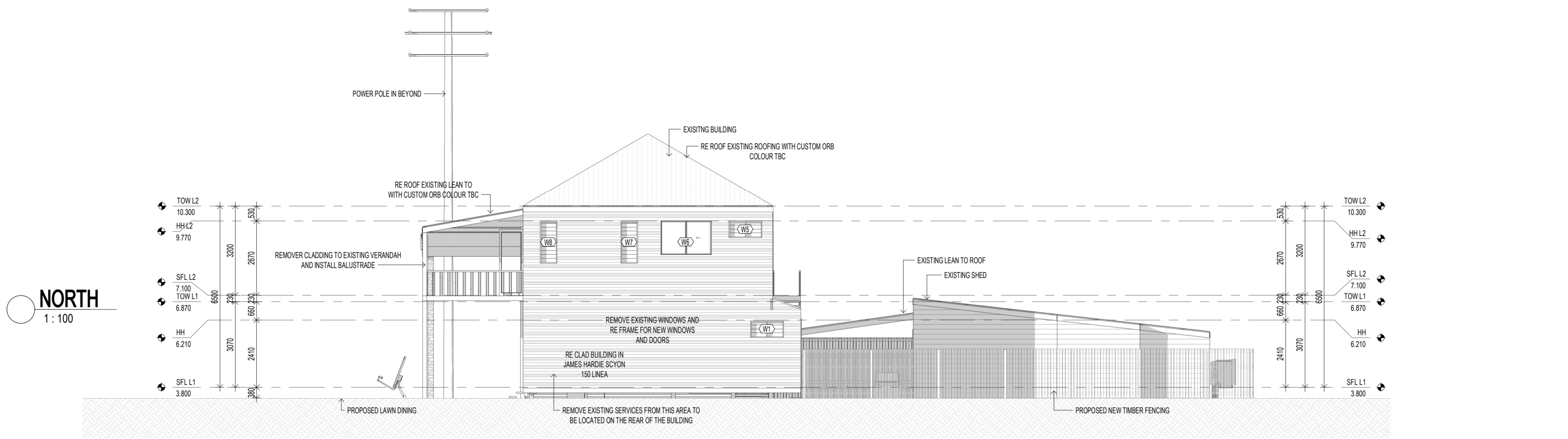
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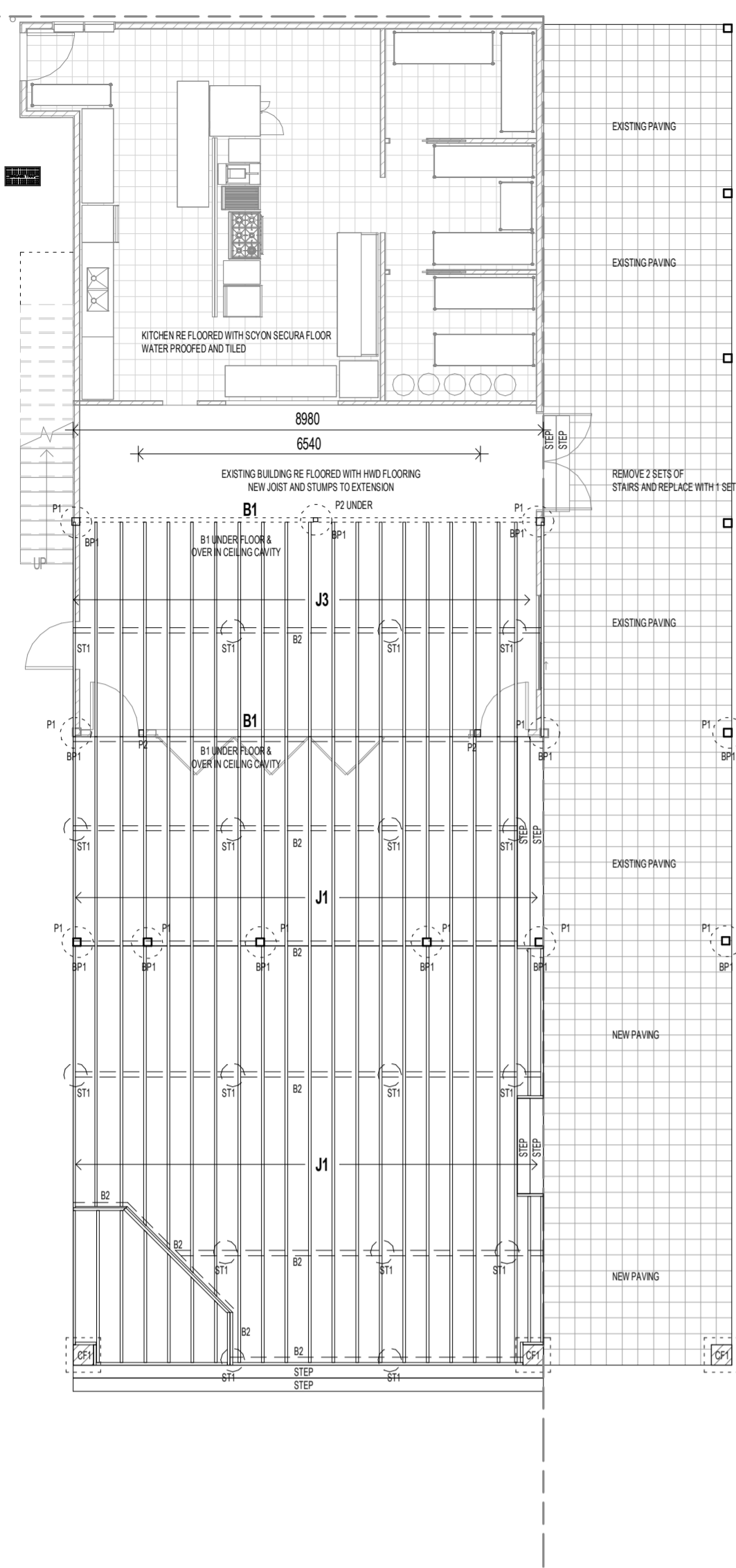
DESIGNER **RYAN FUDALA**

DRAWN **RYAN FUDALA**

SCALE **AS SHOWN @ A1**

SHEET **13** REV

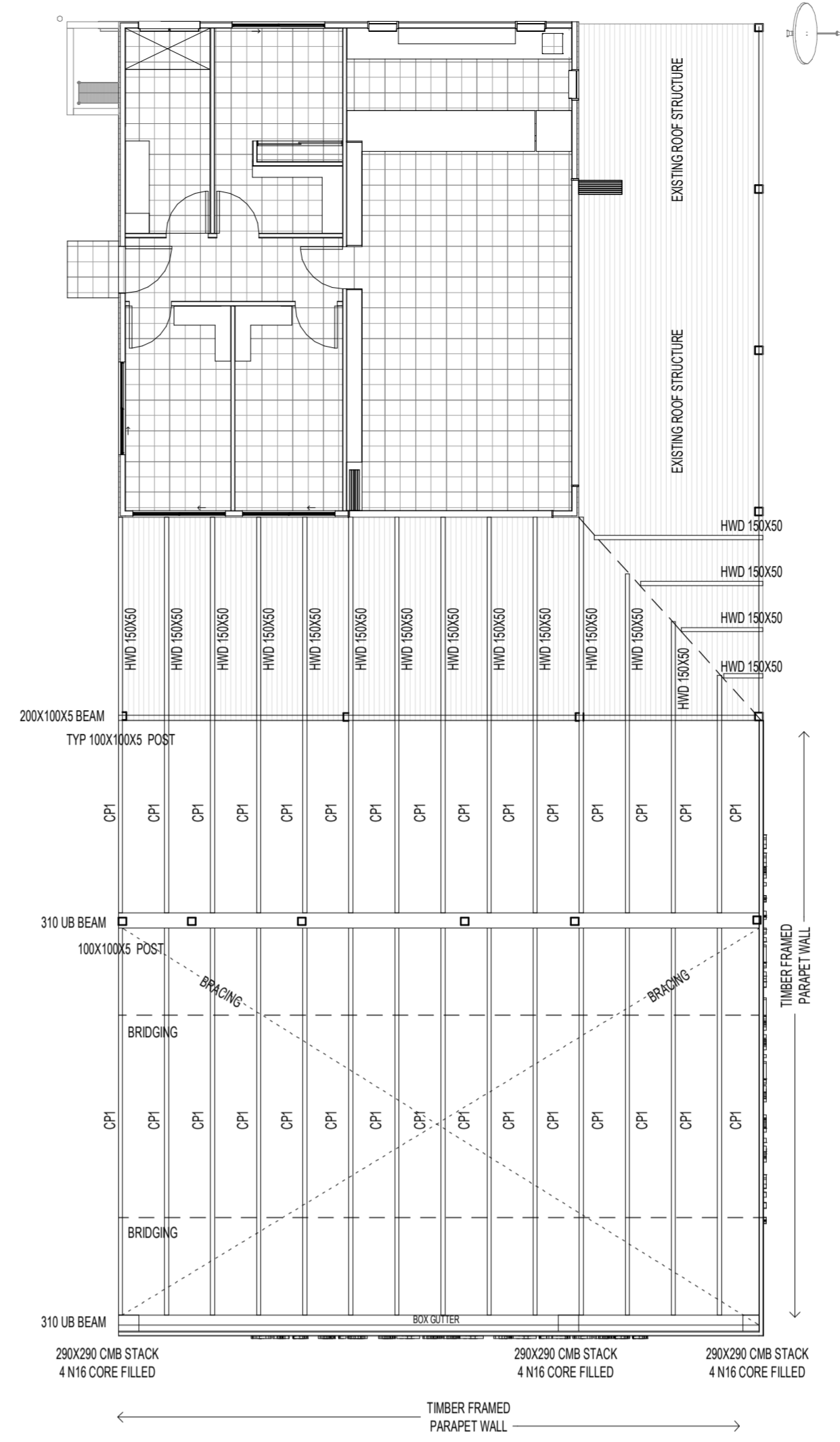




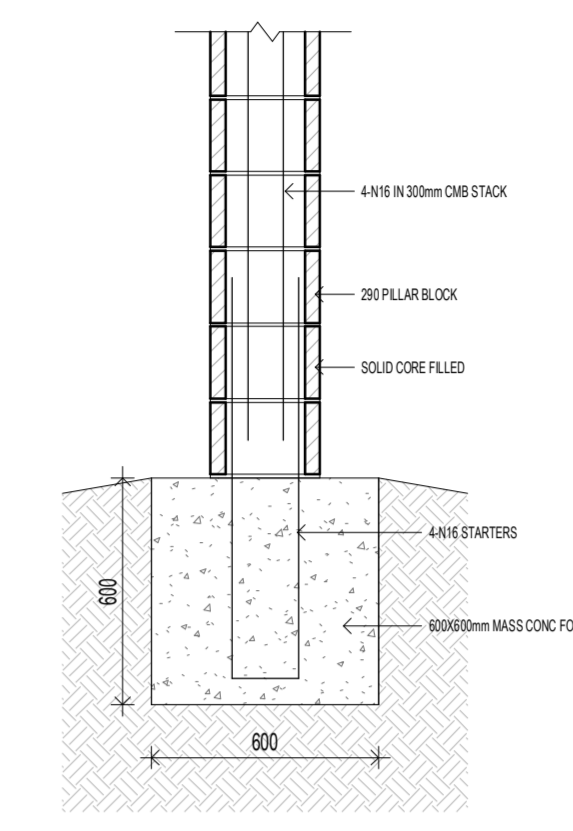
SUB FLOOR STRUCTURE LOWER
1:100



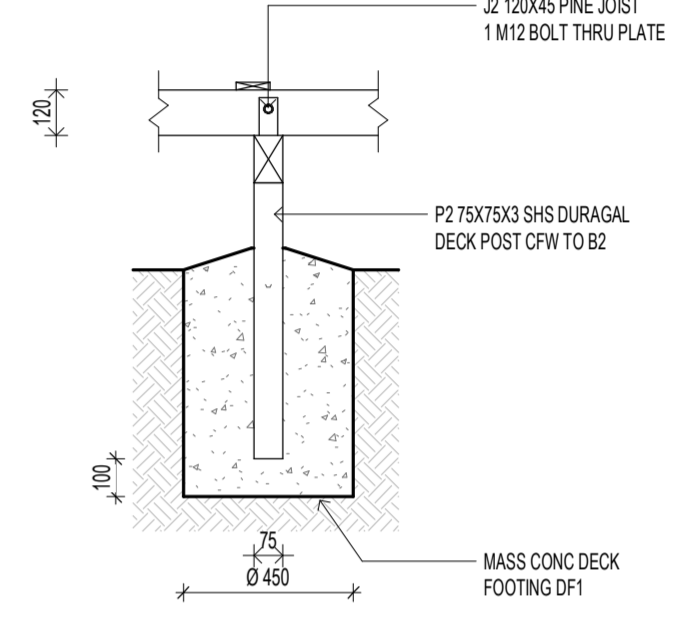
SUB FLOOR STRUCTURE UPPER
1:100



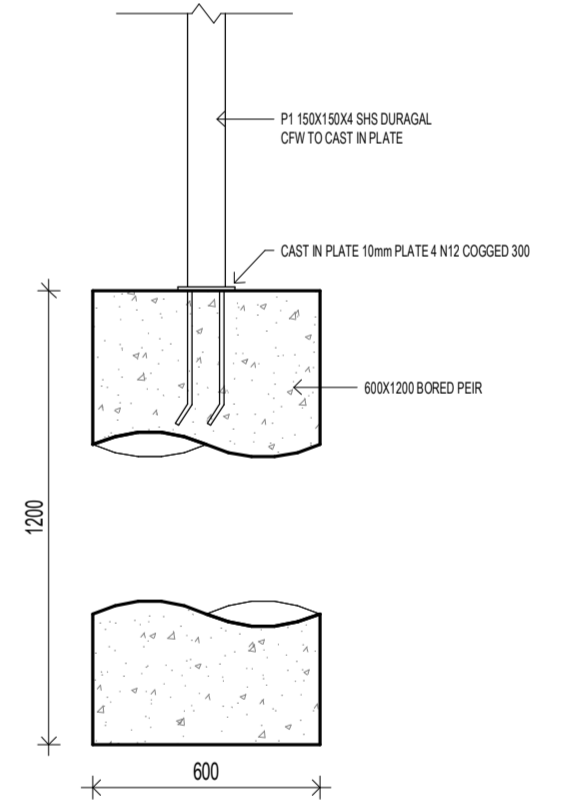
UPPER ROOFING STRUCTURE
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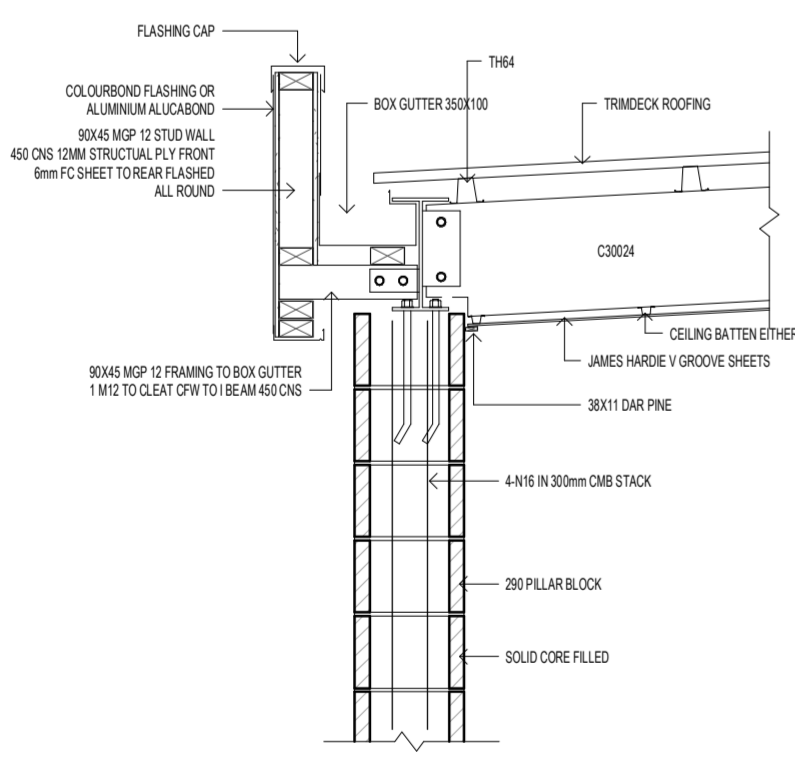
CF1



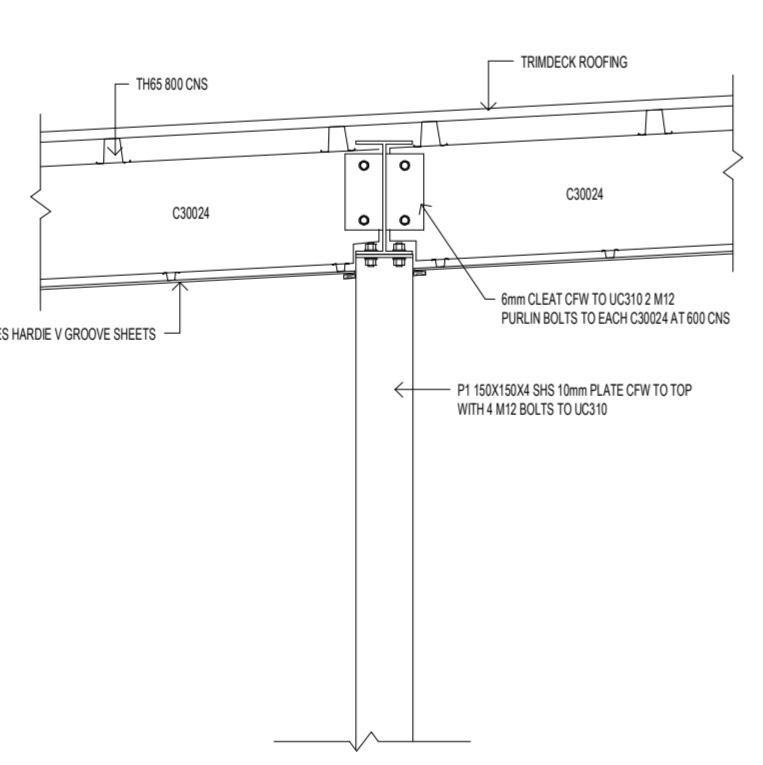
ST1



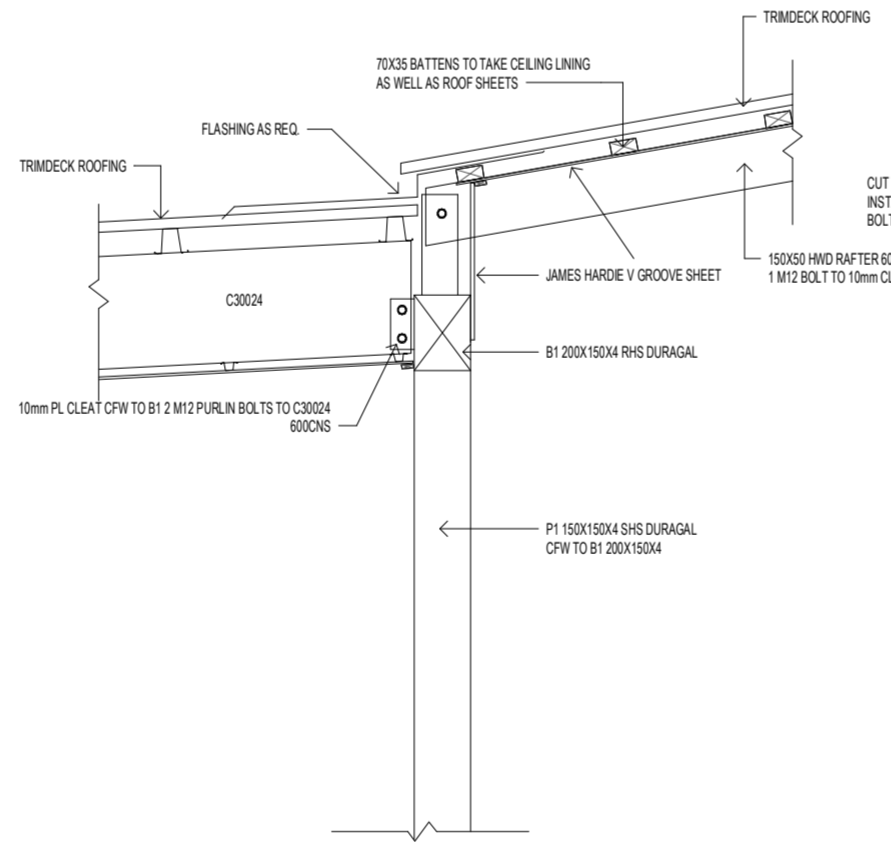
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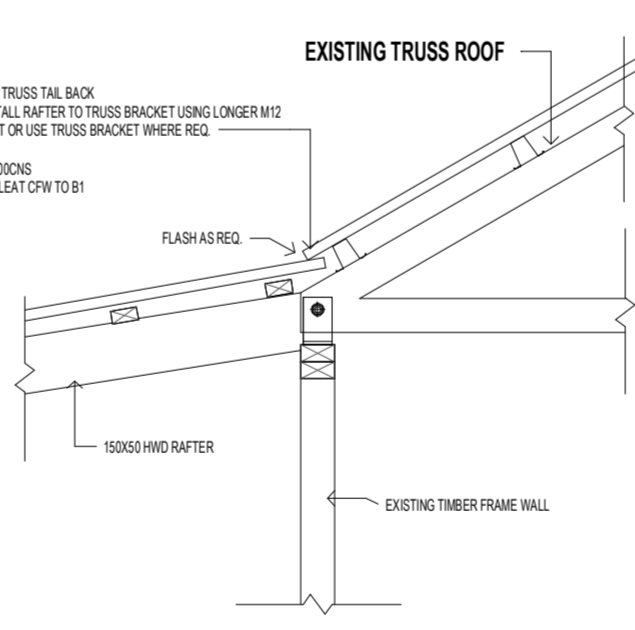
CF1 TO IB



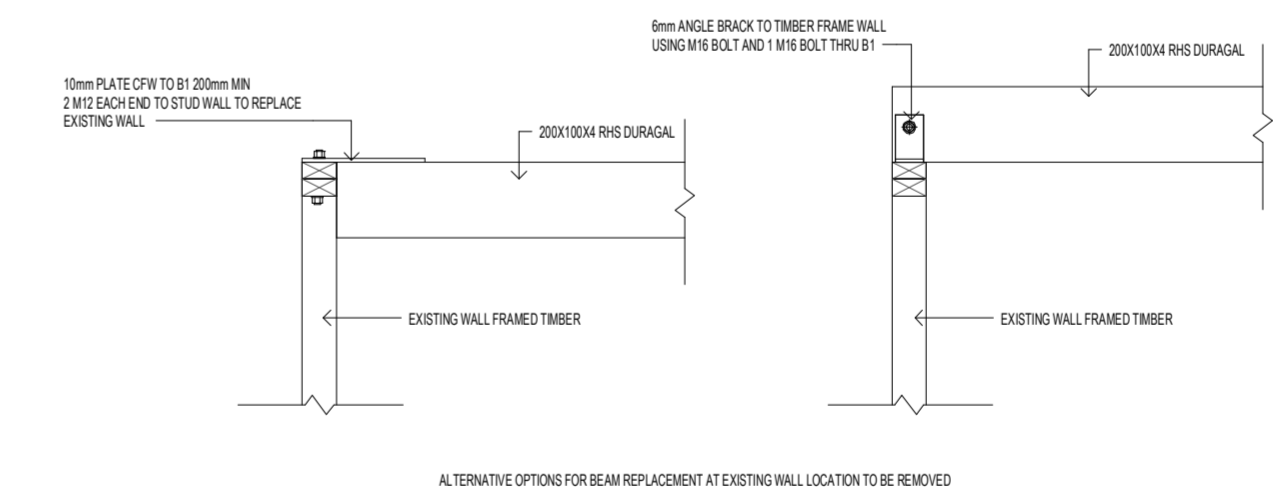
P1 TO IB



P1 TO B1



R1 TO TRUSS



B1 BEAM TO WALL LOCATION

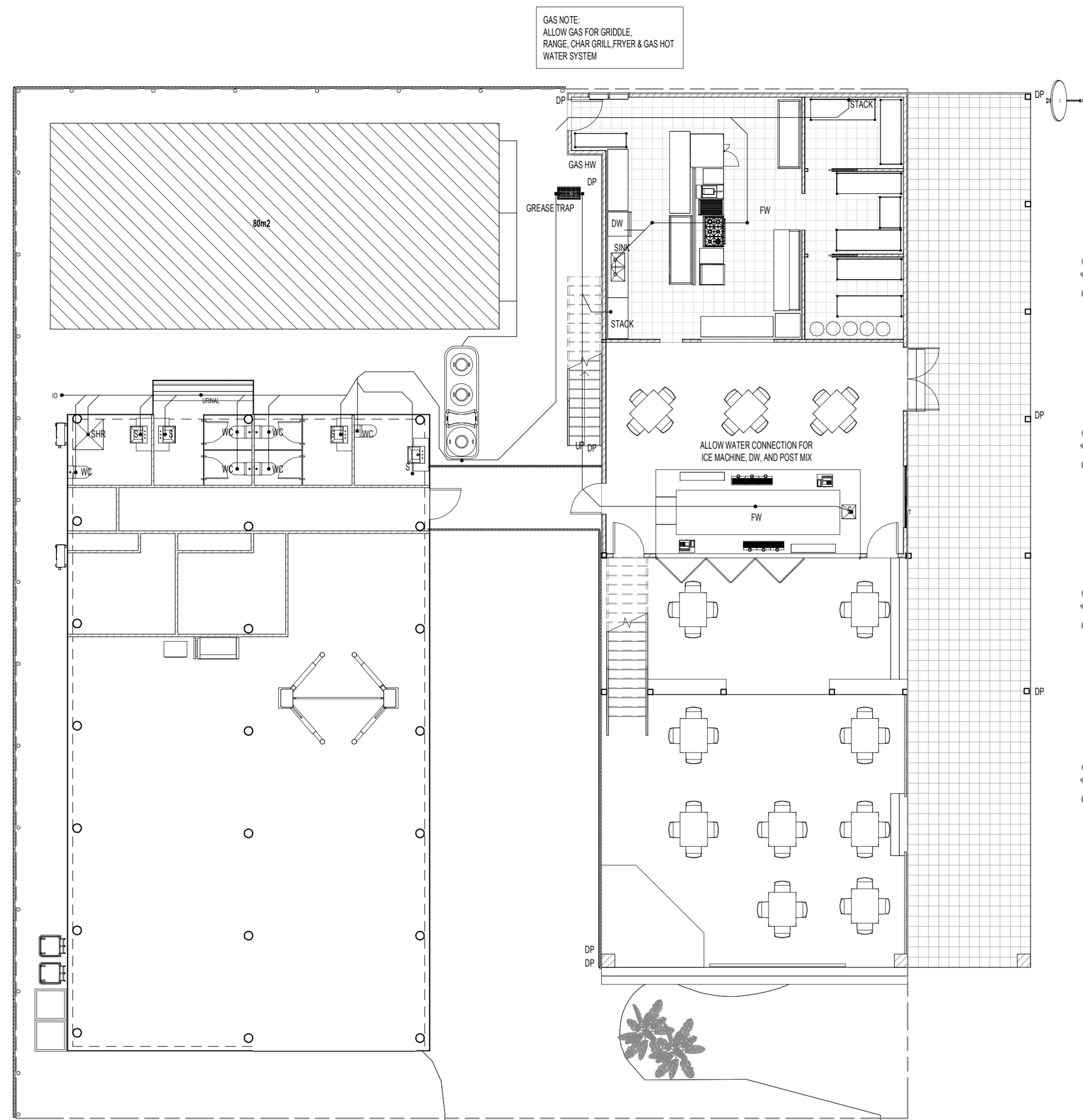
- STRUCTURAL MEMBERS**
- CP1 = C PURLIN 300X24
 - 310 UB = 310 UNIVERSAL BEAM
 - P1 = 150X150X5 SHS DURA GAL POST
 - P2 = 75X75X3 SHS DURA GAL POST
 - B1 = 200X100X5 RHS BEAM DURA GAL
 - B2 = 150X100X5 RHS BEAM DURA GAL
 - BRACING = STANDARD STRAP BRACING
 - BRIDGING = STANDARD PURLIN BRIDGING
 - PARAPET WALL = 300X45 MG12 LINED WITH FC SHEETING & FLASHED
 - J1 = HWD JOIST 150X30 DAR
 - J2 = PINE JOIST ROUGHER HEADER 120X45 TREATED H3
 - J3 = HYPAN LVL 45X170
 - R1 = HWD RAFTERS 150X30 DAR
 - BOX GUTTER = STAINLESS STEEL WITH TIMBER FRAMING

STRUCTURAL MEMBERS
1:1

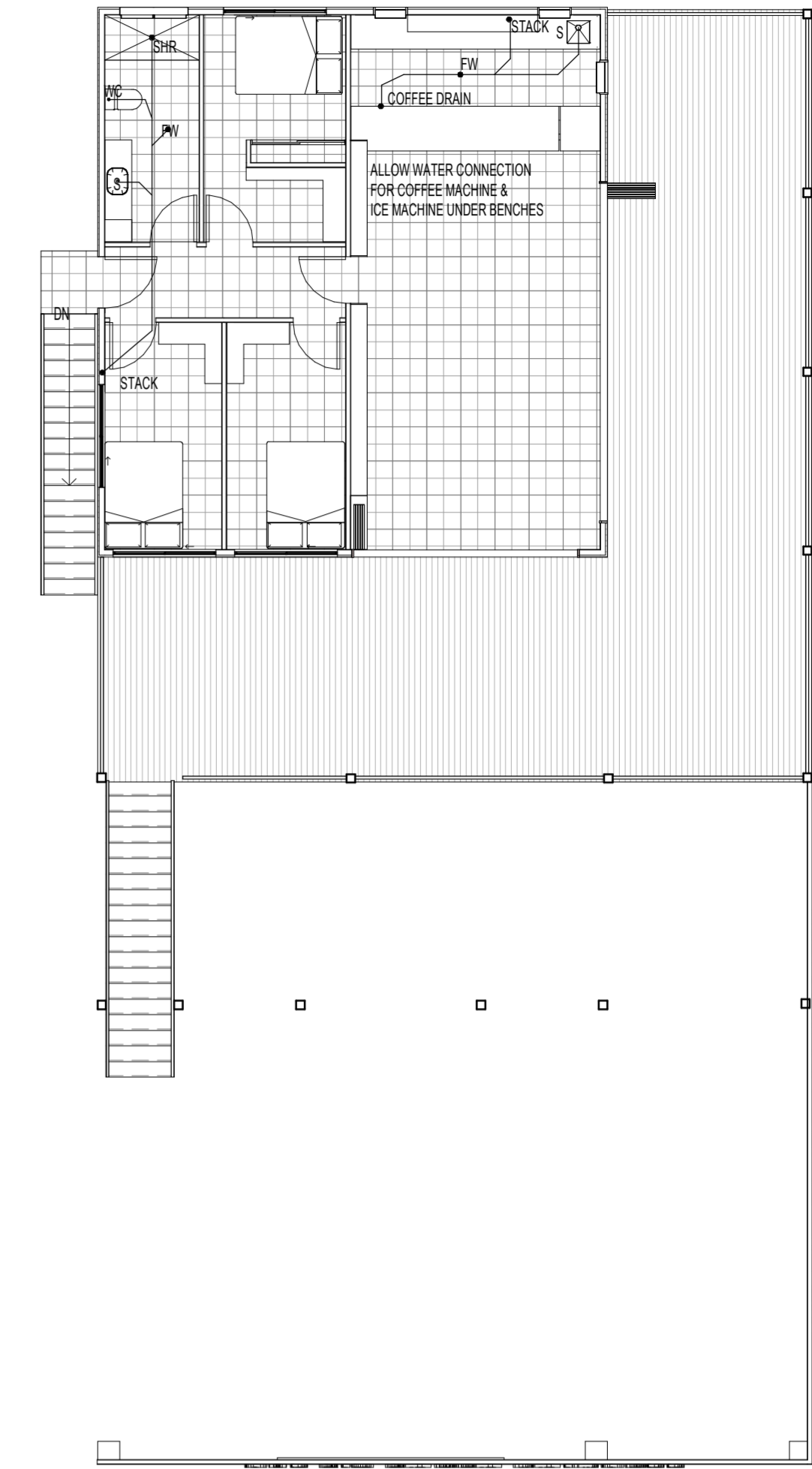
ULTIMATE & SERVICEABILITY LIMIT STATE DESIGN WIND PRESSURES

WIND CLASS	DESIGN GUST WIND SPEED (m/s)		DESIGN PRESSURES (Pa)			
	V ₁₀	V ₅	GREATER THAN 1.2m FROM CORNERS		UP TO 1.2m FROM CORNERS	
	U.S.	S.S.	U.S.	S.S.	U.S.	S.S.
C2	61	39	-2.68	+0.88	-4.02	-1.23

WIND CLASS
1:1



FLOOR PLAN - LEVEL 1 PLUMBING AND DRAINAGE
1 : 100



FLOOR PLAN- LEVEL 2 PLUMBING AND DRAINAGE
1 : 100

LEGEND - PLUMBING & DRAINAGE

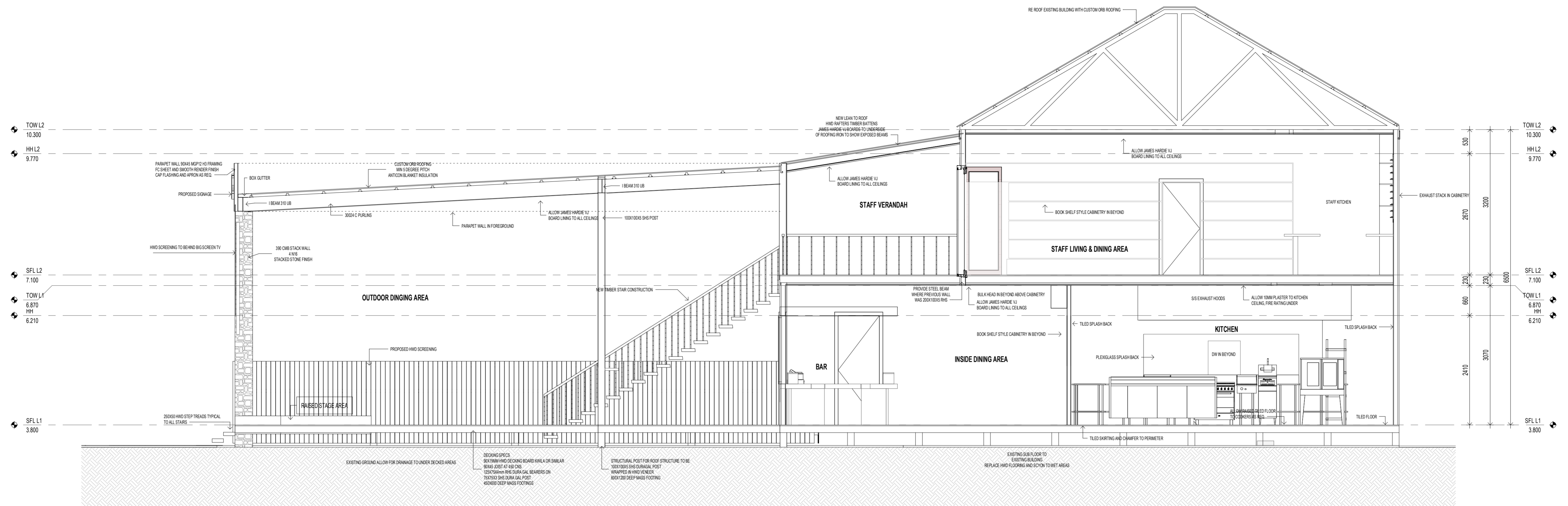
PLUMBING & DRAINAGE:		
BV	BACK VENT	STORM WATER PIT
DP	DOWN PIPE	STORM WATER PIPE TYP 90mm PVC UNO
GT	GULLY TRAP	SEWER LINE
FW	FLOOR WASTE	STORM WATER PIPE TYP 90mm PVC UNO FOR FUTURE IRRIGATION UNDER SLABS, CAPPED AT BOTH ENDS TO STOP DIRT/WATER INGRESS.
IC	INSPECTION CHAMBER	SEWER JUNCTION POINT AS NOTED
ID	INSPECTION OPENING	DOWN PIPE OR SEWER STACK AS NOTED
JU	JUMP UP	EXTERNAL WALL TAP
ORG	OVERFLOW RELIEF GULLY	FRIDGE CONNECTION COLD WATER ONLY
PJC	PLAN JUNCTION CAP	IRRIGATION FEED
SC	STOPCOCK	
SD	SEWER DRAIN	
SV	STOP VALVE	
SVD	STORM WATER DRAIN	
V	VENT PIPE	
WC	WATER CLOSET	
SHR	SHOWER WASTE	
TUB	BATH TUB WASTE	
B	BASIN	
STACK	PLUMBING STACK TO LOWER LEVEL	

NOTE: FLOATING VANITIES THROUGH OUT, RUN WATER AND WASTE INTO WALLS AS NOTED ON PLUMBING PLAN

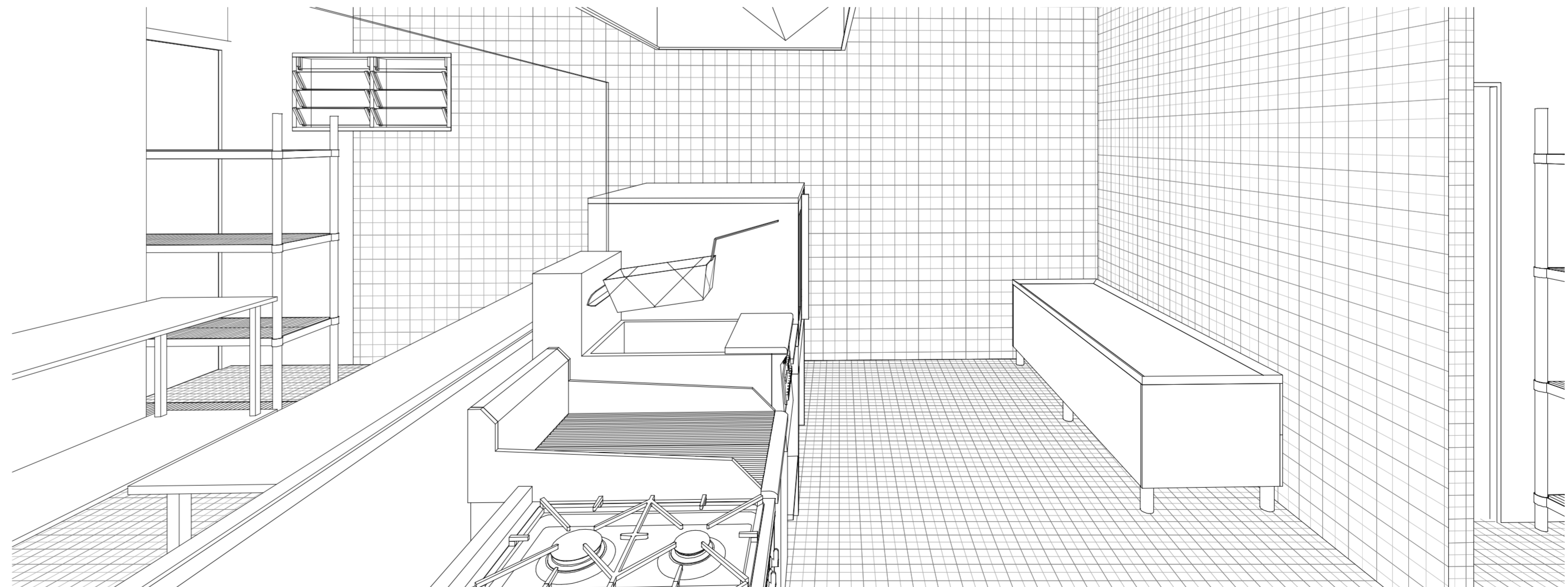
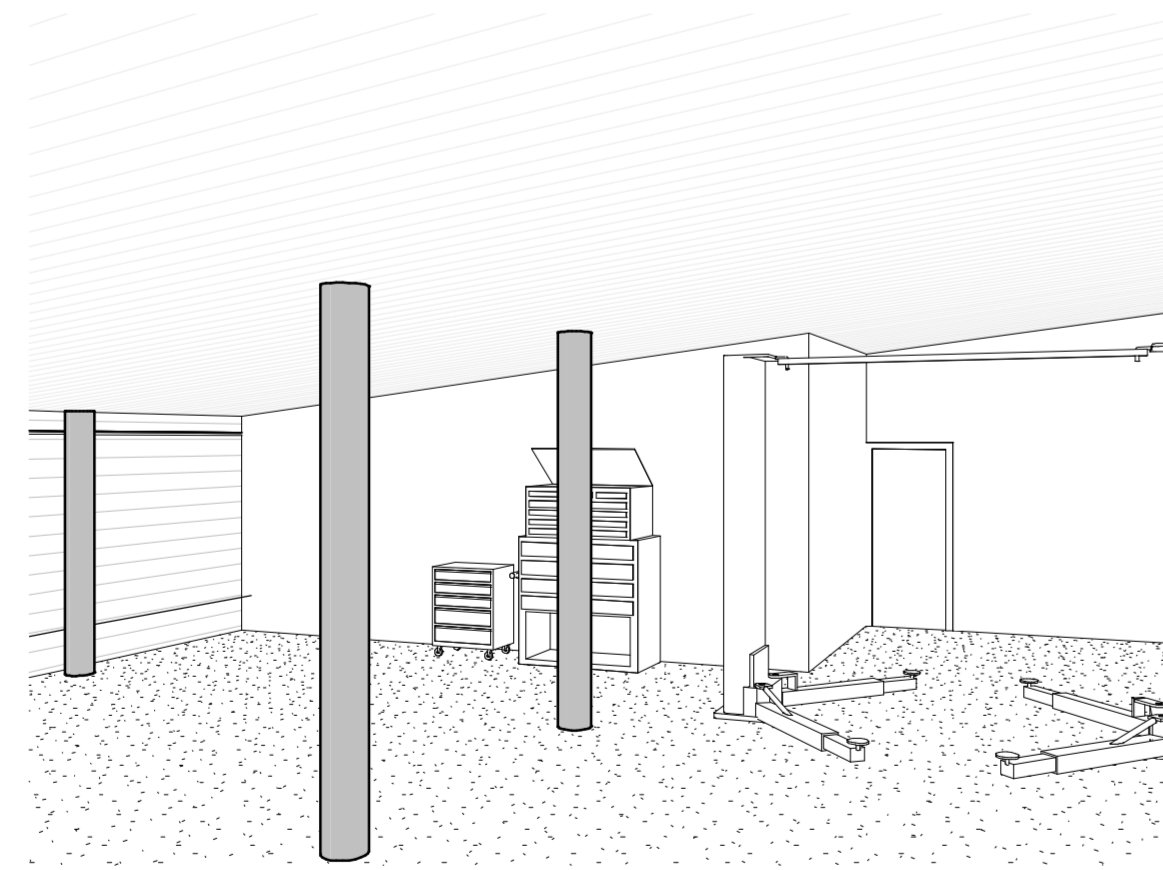
PLUMBING:

ALL SHOWER ROSES TO BE 3 STAR (WELS) RATED IN ACCORDANCE WITH AS/NZS 6400:2004 - 4 STAR WATER EFFICIENCY LABELING AND STANDARDS (WELS SCHEME RATED) DISTERS WILL BE INSTALLED TO ALL WATER CLOSETS (PREVIOUSLY 3-STAR WELS RATED). MINIMUM 3-STAR WELS RATED TAP WARE WILL BE INSTALLED TO ALL KITCHEN SINKS, BATHROOM BASINS AND LAUNDRY TROUGHS (NEW DWELLING ONLY). PLUMBER TO PROVIDE FORM 16 CERTIFICATE FOR ALL ABOVE ITEMS HAVE BEEN COMPLIED WITH

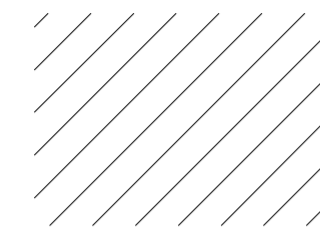
LEGEND - PLUMBING
1 : 50



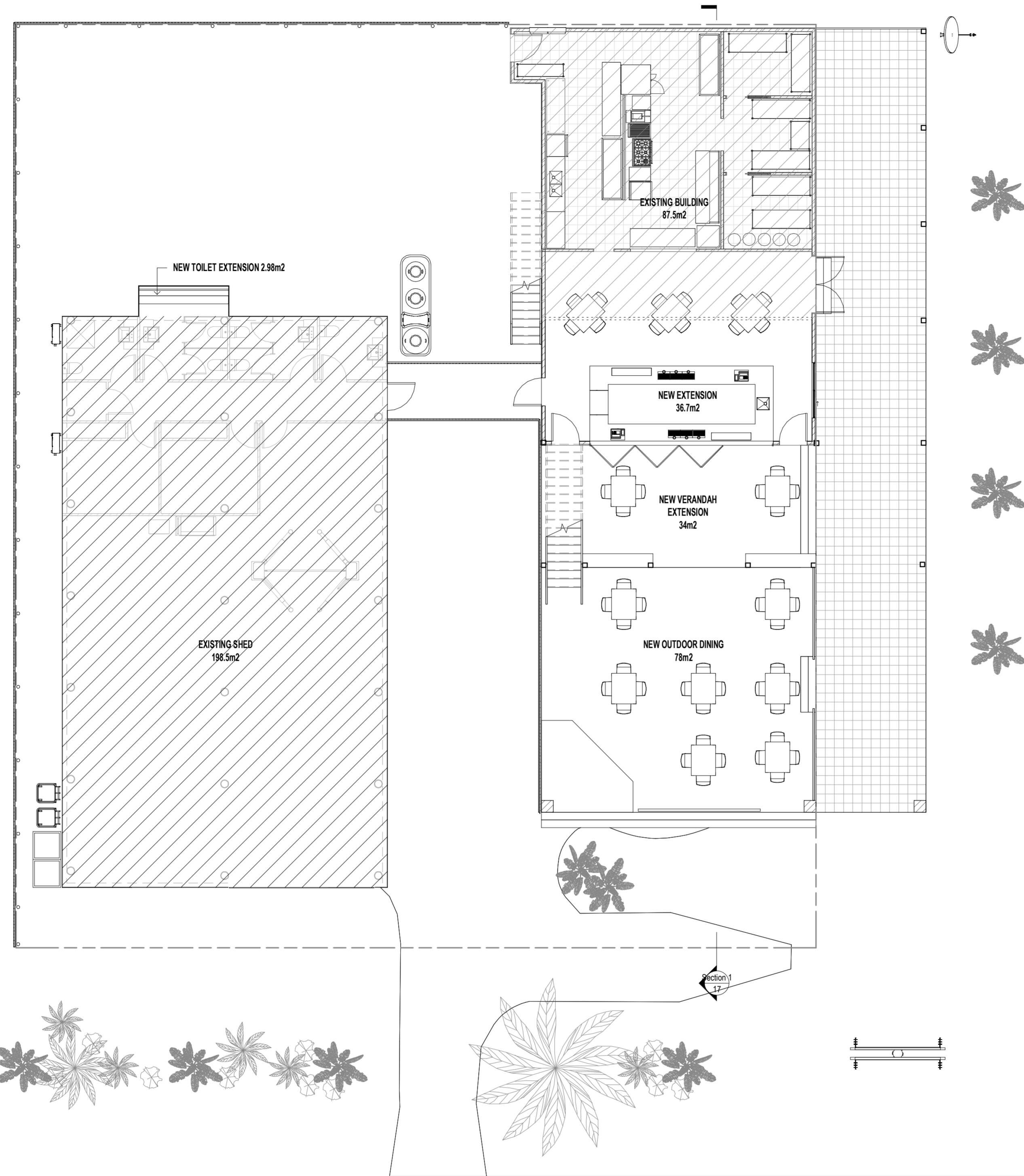
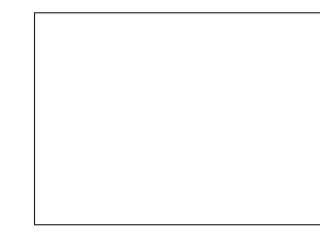
Section 1
1:50



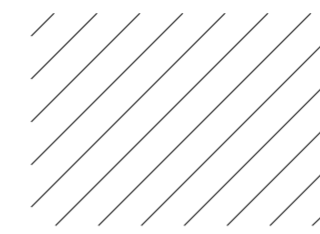
EXISTING BUILDING HATCHING



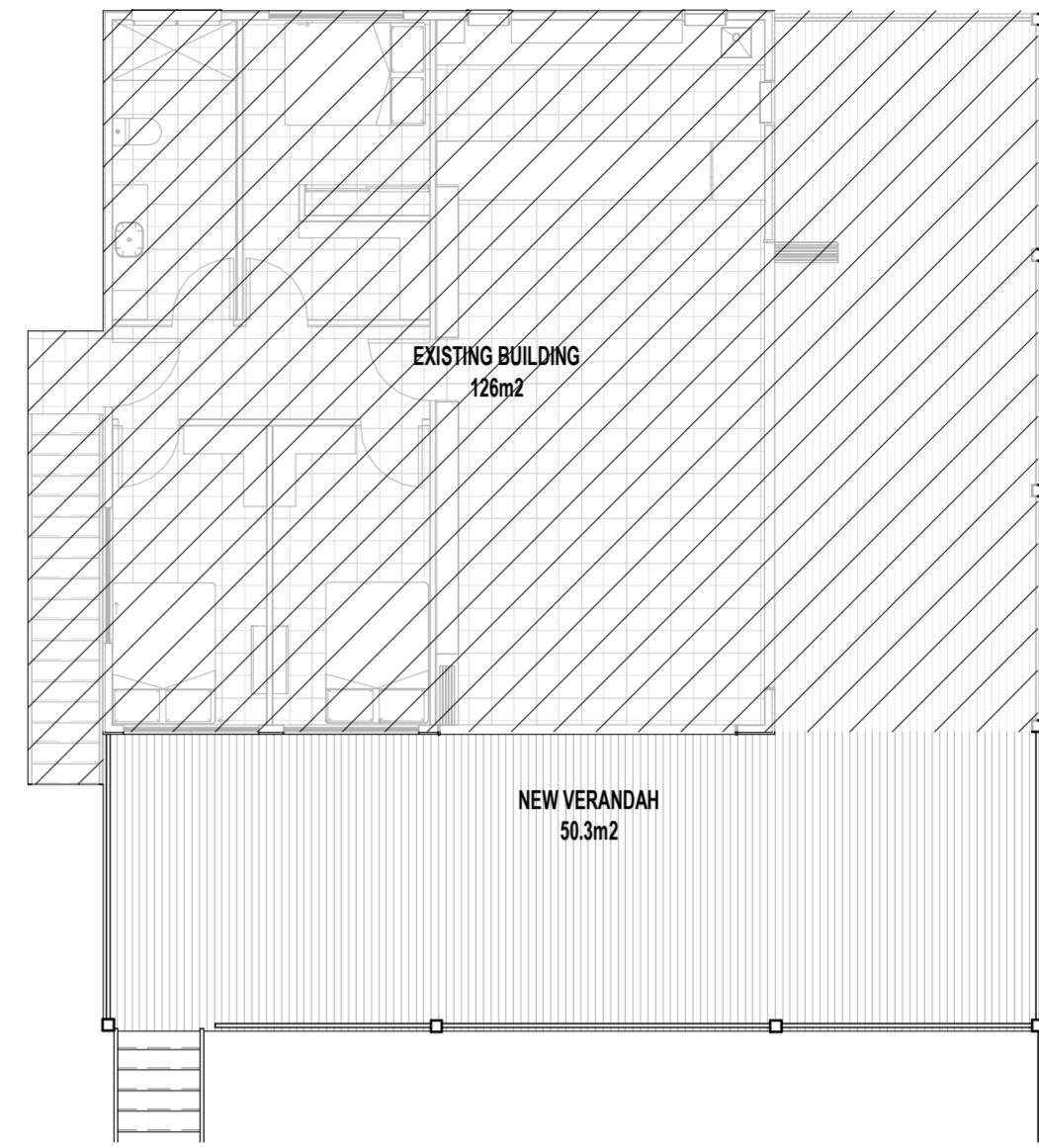
NEW BUILDING HATCHING



EXISTING BUILDING HATCHING



NEW BUILDING HATCHING

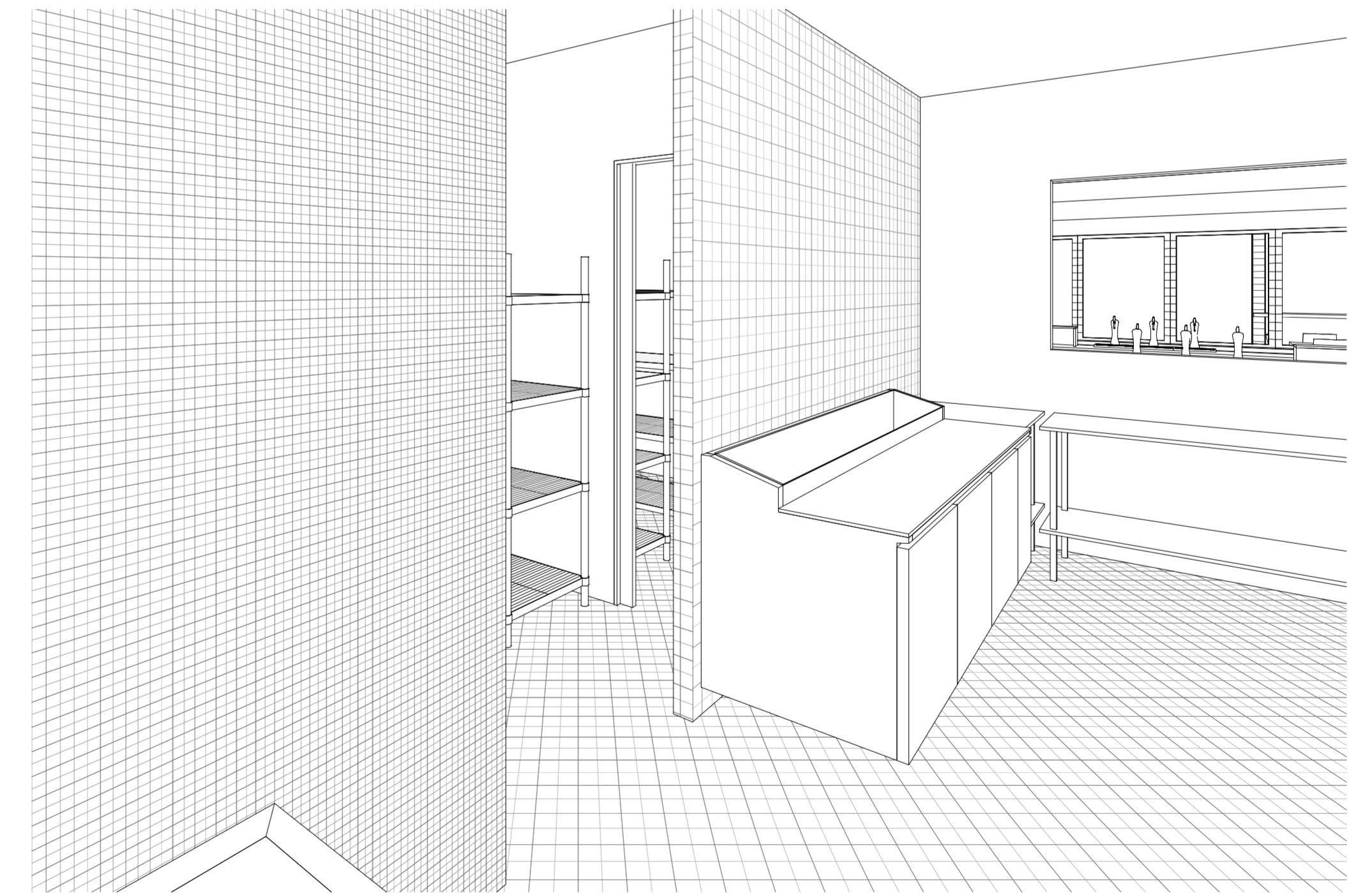
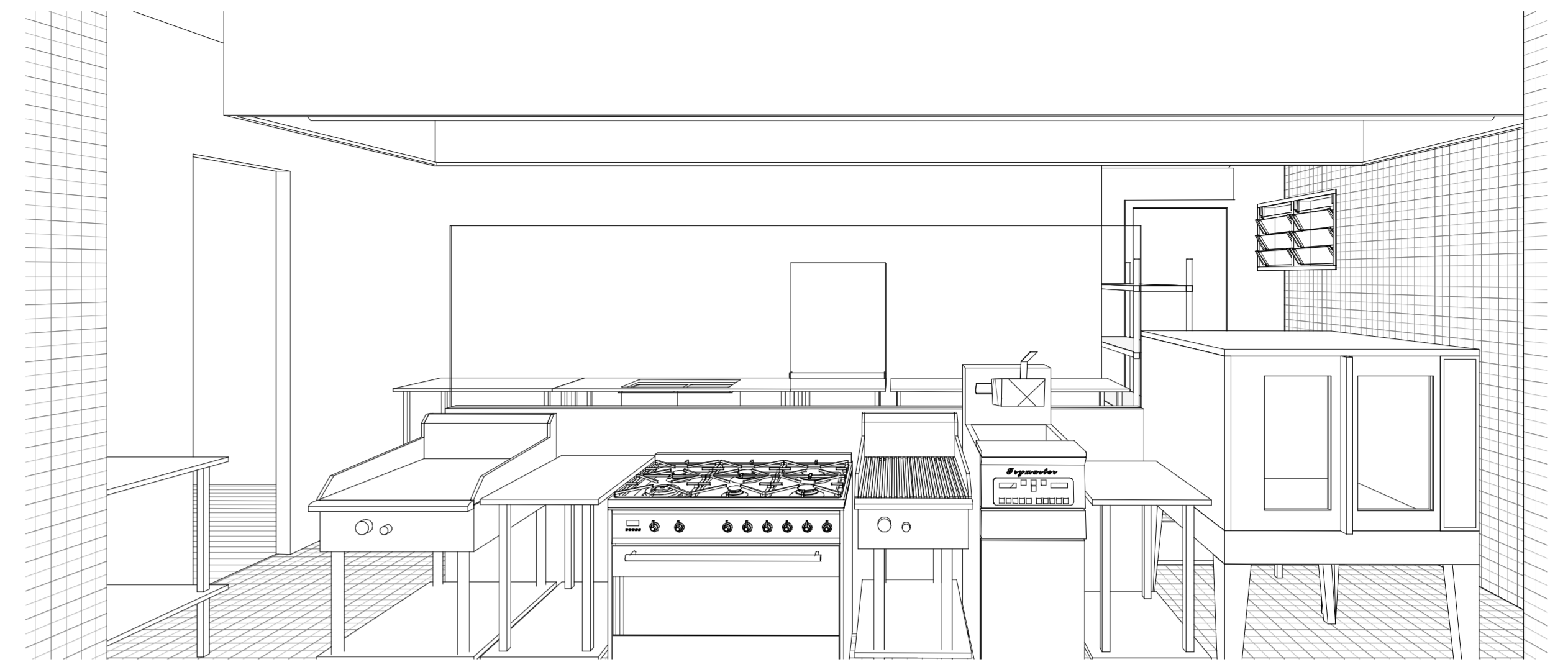
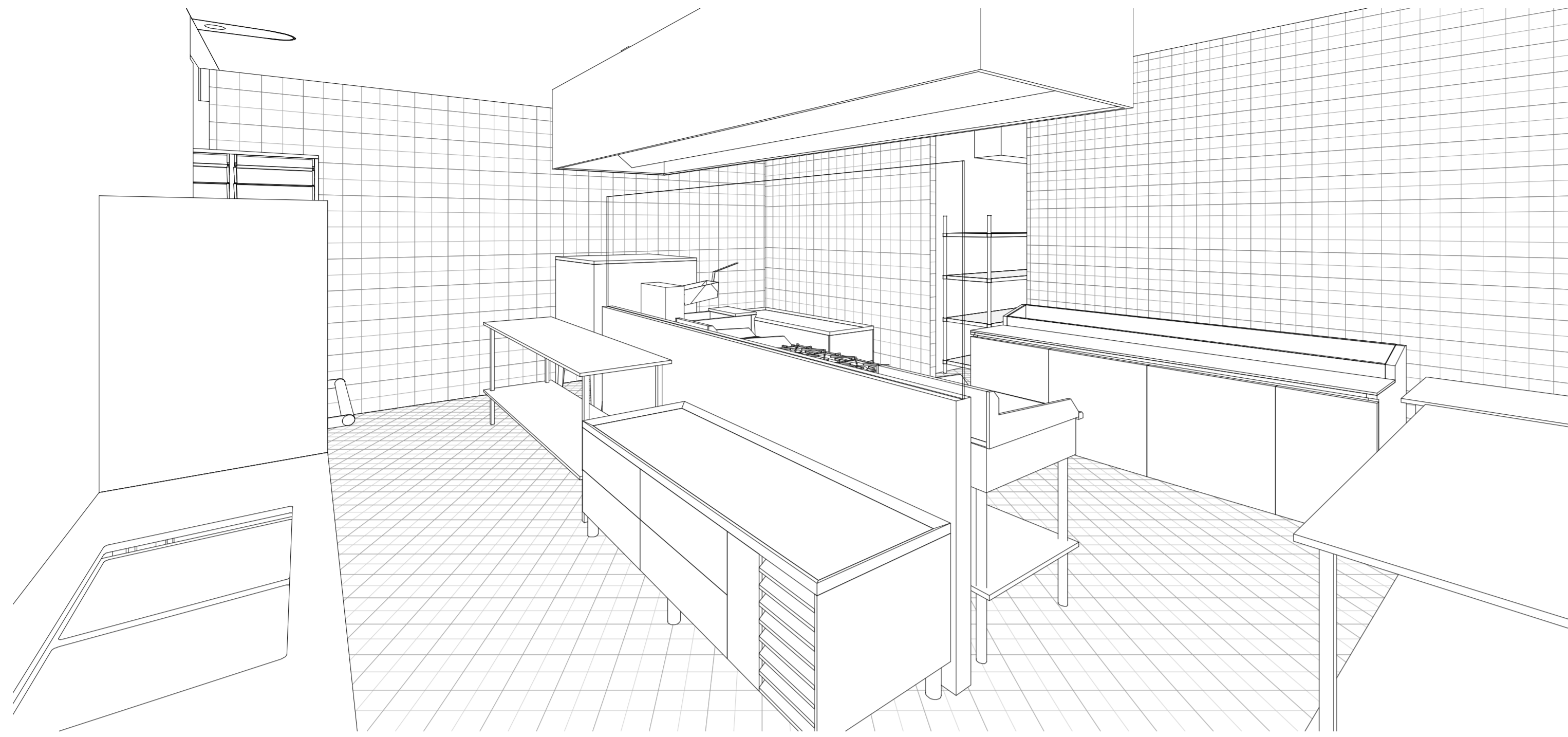


FLOOR PLAN- EXISTING LEVEL 2

1 : 100

FLOOR PLAN - EXISTING LEVEL 1

1 : 100



Appendix C

On-site Sewerage Facility, Site and Soil Evaluation Report

ON SITE SEWERAGE FACILITY SITE AND SOIL EVALUATION REPORT

A: SITE EVALUATOR

Name: Shane Barnes

Signature:



Date: 03.05.2021

B: SITE INFORMATION (desk-top evaluation)

Location Details,

Locality: 12 Stewart Street, Daintree Village

Owner: Stewart Hicks

Phone No:

Survey Plan Details: RP7088742

Lot No: 1

Local Government: Parish:

County:

Site Plan Details Attached, Ref. No. or Description: Proposed Renovations

Refer to Site Plan

Soil Type from Soil Maps etc: N/A

Climate

Annual Rainfall: 1564 mm

Annual Potential Evapotranspiration: 2239 mm

Existing Water Supply Source:

Town Water Supply

Rainwater (Roof Collection)

Dam

Bore/Well

Other

SITE AND SOIL EVALUATION REPORT

C: SITE ASSESSMENT

Topography

Slope: **Minimal.**

Shape: **Flat**

Ground Cover: **grass**

Exposure: **Good**

Drainage Patterns: **Refer Site Plan**

Available Clearances: (Site Plan details attached)

Boundaries: **1 Meters minimum from All Boundaries**

Wells, Bores: **30M from Bore Available**

Embankments: **10-50 Meters Available**

Stands of Trees, Shrubs: **10 Meters Available**

Buildings: **1.5 Meters minimum from All Buildings**

Other: _____

Site History (Land Use): **Unknown**

Environmental Concerns: **Nil**

Site Stability:

Is expert Evaluation Necessary? **Yes / No**

If Yes, attach stability report and give details here of:

Author: _____ Designation: _____

Company: _____ Date: _____

Drainage Controls

Depth of Seasonal water table:

WINTER: **N/A** SUMMER: **N/A**

Need for groundwater cut-off drains? **Yes / No**

Need for surface water collection / cut-off drains? **Yes / No**

Availability of Reserve / Setback Areas

Reserve Area available for disposal: **0%** of design area:

Evaluator's Photographs attached **Yes / No (Available if required)**

SITE AND SOIL EVALUATION REPORT

D: SUBSOIL INVESTIGATION

Soil Profile Determination

Soil classification has been determined from site investigations carried out by H2O Consultants on site Permeameter test.

Soil Description: **Clay Loam**
Soil Category: **4**
Structure: **High**
Coarse Fragments: **Nil**
Measured Permeability **P1 = 1.2**

Indicative permeability: 1.2
Average K sat: 0.5 to 1.5 m/day
Design Irrigation Rate: 3.5mm/day
Design Loading Rate: 4mm/day

Estimated Soil Category:

Soil Category	Description	Tick One
1.	Gravels and Sand	
2.	Loamy Sand	
3.	Sandy Loams	
4.	Loams	
5.	Clay Loams	<input checked="" type="checkbox"/> 0.2m – 2.4m
6.	Light Clays	
7.	Medium to Heavy Clays	

Reasons for placing in Stated Soil Category: **On Site Test/Assessment**

Reasons for Design Loading Rate (DLR) recommendation:

Based on Test and have assumed DLR of 30 to AS 1547:2012 - Table 4.2A1

General Comments

Need for Groundwater Quality Protection: **Yes / No**

Type of Land Application Facility considered best suited to site:

Secondary Treatment Waste Water Treatment Plant with Absorption Beds.

Evaluator's preliminary assessment of minimum Land Application Area for the site:

78m² of 600mm Deep Absorption Bed

Estimated Daily Flow: **1,750 litres per day**

Caretakers Residence 3 Bed x 5 persons x 150 lit/day = 750 litres

And 40 Diners/Tour Groups per day @ 25 litre/person = 1000 litres

ADVANCED SECONDARY WASTEWATER TREATMENT PLANT AND ABSORPTION BED DISPOSAL

DISPOSAL SYSTEMS for EFFLUENT DOMESTIC PREMISES A.S 1547-2012 SIZING OF DISPOSAL AREA CALCULATIONS

1. ABSORPTION AREA OR TRENCH

$$A_w = Q / \text{LTAR}$$

A_w = wetted area in square meters

Q = daily flow in litres

DLR = Design Loading Rate in mm per day

$$A_w = 1750 / 30$$

$A_w = 58\text{m}^2$ of wetted area required

2. LENGTH OF TRENCH

$$L = A_w / B$$

L = trench length in meters

A_w = wetted area in square meters

B = trench width in meters

$$L = 58 / 0.6$$

300 meters (3 x 20m Long) of 600mm wide x 600mm deep absorption trench.

Or

15 meters long x 2.0m wide x 600mm deep Absorption Bed.

3. CONCLUSION

Areas are available on-site for this amount of absorption trenches plus 100% replacement

**THIS METHOD OF TREATMENT IS VIABLE
SETBACK DISTANCES MUST BE MAINTAINED, REFER TO OVERALL SITE
PLAN**

EXTRACT FROM AUSTRALIAN STANDARDS AS 1547.2012 FLOW RATES THROUGH FIXTURES.

TABLE H1
TYPICAL DOMESTIC WASTEWATER DESIGN FLOW ALLOWANCES – AUSTRALIA

Source	Typical wastewater design flows (L/person/day)	
	On-site roof water tank supply	Reticulated water supply
Residential premises	120	150

Source: Australian Bureau of Statistics. Water Account 2004/2005. Chapter 7 Figure 7.3

SEWERAGE TREATMENT PLANT

All sewerage treatment plants installed must have Chief Executive Approval from Queensland Department of Infrastructure and Planning. A list of approved treatment plants is available on their website. Due to the many systems available, we have indicated below the minimum requirements the treatment plant is to meet. The selection of brand and type of unit is up to the owner. However, the plant must be approved to supply the quality of effluent as required by this report.

Secondary Treated Effluent

Secondary quality effluent must meet the following effluent compliance characteristics:

- (a) 90% of the samples taken over the test period must have a BOD5 less than or equal to 20 g/m³ with no sample greater than 30g/m³
- (b) 90% of the samples taken over the test period must have a total suspended solid less or equal to 30 g/m³ with no sample greater than 45 g/m³
- (c) Where disinfection is provided 90% of the samples taken over the test period must have a thermotolerant coliform count (determined by either the most probable number or membrane filter technique) not exceeding 200 organisms per 100 ml with no sample exceeding 1000 organisms per 100 ml.
- (d) Where chlorination is the disinfection process, the total chlorine concentration must be greater than or equal to 0.5 g/m³ and less than 2.0 g/m³ in four out of five samples taken.

Advanced Secondary Treated Effluent

Advanced Secondary quality effluent must meet the following effluent compliance characteristics:

- (a) 90% of the samples taken over the test period must have a BOD5 less than or equal to 10 g/m³ with no sample greater than 20g/m³
- (b) 90% of the samples taken over the test period must have a total suspended solid less or equal to 10 g/m³ with no sample greater than 20 g/m³
- (c) Where disinfection is provided 90% of the samples taken over the test period must have a thermotolerant coliform count (determined by either the most

probable number or membrane filter technique) not exceeding 10 organisms per 100 ml with no sample exceeding 200 organisms per 100 ml.

- (d) Where chlorination is the disinfection process, the total chlorine concentration must be greater than or equal to 0.5 g/m³ and less than 2.0 g/m³ in four out of five samples taken.
- (e) Where the manufacturer has included nitrogen and/or phosphorous reduction in the treatment process, the effluent compliance criteria must be able to meet in addition to the above the following nutrient criteria:

(i) 90% of the samples, with 95% confidence limits taken over the test period shall have a total nitrogen concentration less than or equal to 10 mg/litre

(ii) 90% of the samples, with 95% confidence limits taken over the test period shall have a total phosphorous concentration less than or equal to 5 mg/litre

Minimum Setback Distances

Available Clearances:	Boundaries	2m	<input checked="" type="checkbox"/>
	Building Footings	2m	<input checked="" type="checkbox"/>
	Recreation Areas	4m	<input checked="" type="checkbox"/>
	Inground Swimming Pools	6m	<input checked="" type="checkbox"/>
	Inground Water Tank	6m	n/a

Setback distances for subsurface land application area			
Feature	Horizontal separation distance (meters)		
	Up Slope	Down Slope	Level
Distance from the edge of trench / bed excavation or subsurface irrigation distribution pipework to the nearest point of the feature			
Property boundaries, pedestrian paths, footings of buildings, walkways, recreation areas, retaining wall footings.	2	4	2
In ground swimming pools	6	6	6
In ground potable water tank	6	6	6

Setback distances for onsite sewerage facilities			
Feature	Primary Effluent	Secondary Effluent	Advanced Secondary Effluent
Top of bank of permanent water course. Top of bank of intermittent water course. Top of bank of a lake. Top water level of a surface water source used for agriculture, aquaculture or stock purposes. Easement boundary of unlined open stormwater drainage channel or drain. Bore or dam used or likely to be used for human and or domestic consumption.	50m	30m	10m
Unsaturated soil depth to a permanent water table (vertically)	0.3m	0.6m	1.2m

NOTICE TO LAND OWNER

OPERATION AND MAINTENANCE: GENERALLY

On-site sewerage treatment plants and the associated land application facilities are complex systems that are prone to failure if operated and maintained incorrectly. All on-site sewerage facilities require a high degree of user dedication in terms of operation and maintenance to ensure that the design performance of the facility is achieved for the expected life of the facility.

All on-site sewerage facilities or components of the facility have a finite life. For instance, septic tanks may have an expected life of 25 years, whilst the associated land application facility may have an expected life of 5 to 15 years depending on the nature of the specific site.

OPERATION & MAINTENANCE PROCEDURES

Operation and maintenance procedures are undertaken to a regular schedule appropriate to the nature and type of treatment and land application facility and in accordance with any manufacturer's instructions; and
Continuity of operation and maintenance is achieved throughout changes of ownership and/or changes in use or development of the site.

OPERATION

- Practice water conservation and avoid exceeding the hydraulic capacity of the facility.
- Minimise the input of cleaning agents, detergents, disinfectants, bleaches, alkalis, oil, petrol, acids, degreasers, photography chemicals, cosmetics, lotions, pesticides and herbicides into the facility.
- Not place materials such as disposal nappies, female napkins, paper towels, cigarette butts, bones and coffee grounds into the facility.
- Be observant regarding signs of unsatisfactory performance, including unusual odours, leaks from the facility or choking.
- Contact the service agent following observation of unsatisfactory performance or breakdown.
- Protect facility components from structural damage, such as from vehicles.
- Be familiar with safety procedures.
- Establish a time pattern of desludging.
- Keep the area in the vicinity of the on-site sewerage facility tidy to facilitate ease of operation and maintenance.
- Where appropriate, or required by a condition of approval, enter into an annual service contract with a service agent
- Retain copies of all service reports.

LAND APPLICATION SYSTEMS

Regular visual checking of correct system operation by households, and an annual inspection by service contractors should be undertaken. Signs of system failure include:

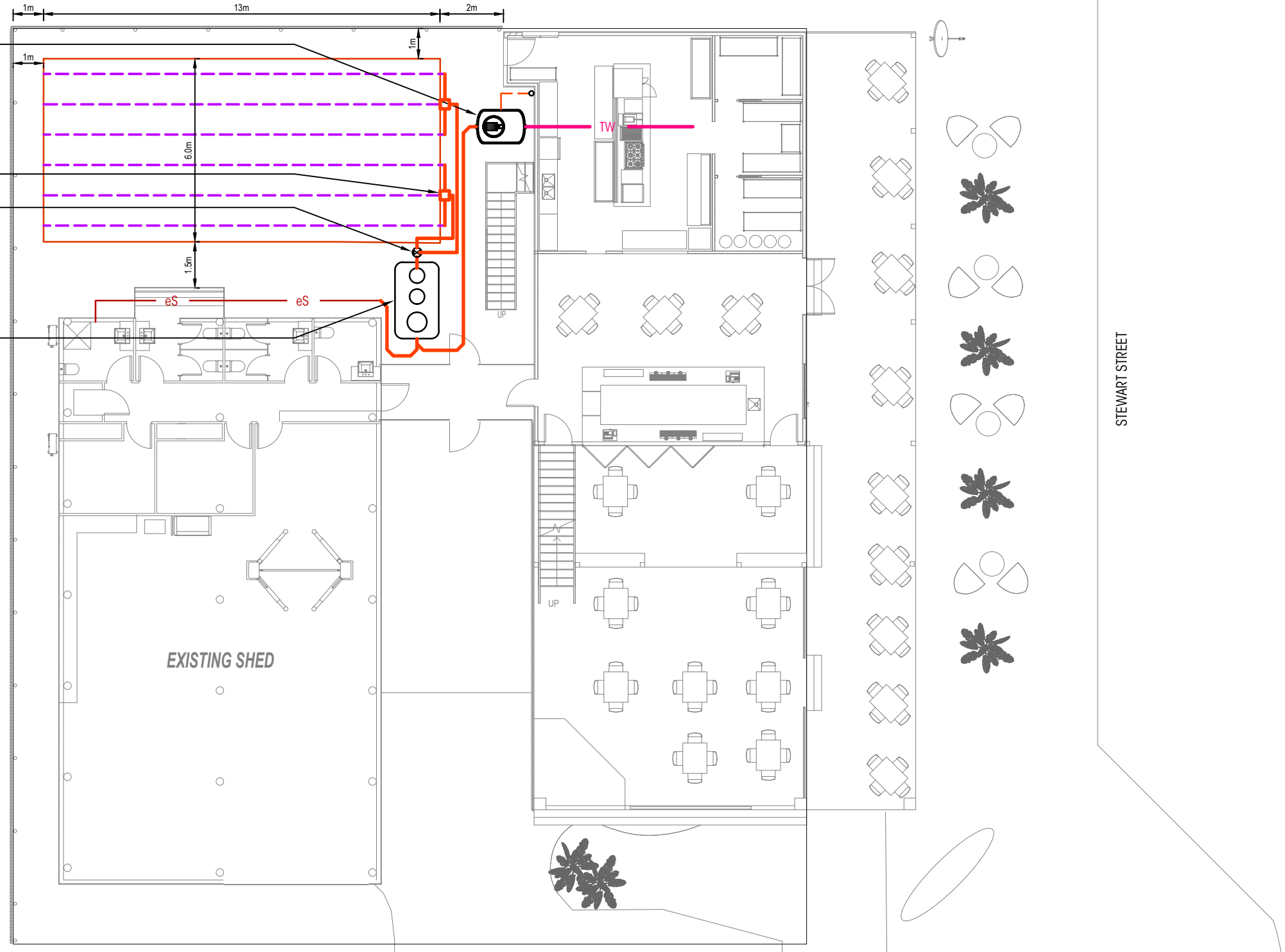
- Surface ponding and run-off of treated effluent;
- Degrading of soil structure (Sheet or Rill erosion, surface crusts, hard surface)
- Poor Vegetation growth; and
- Unusual odours

PROVIDE A HALGAN MGTS 1000 LITRE GREASE TRAP COLLECTING ALL KITCHEN WASTE. 100Ø VENT TO ATMOSPHERE.

300mm DISTRIBUTION BOX

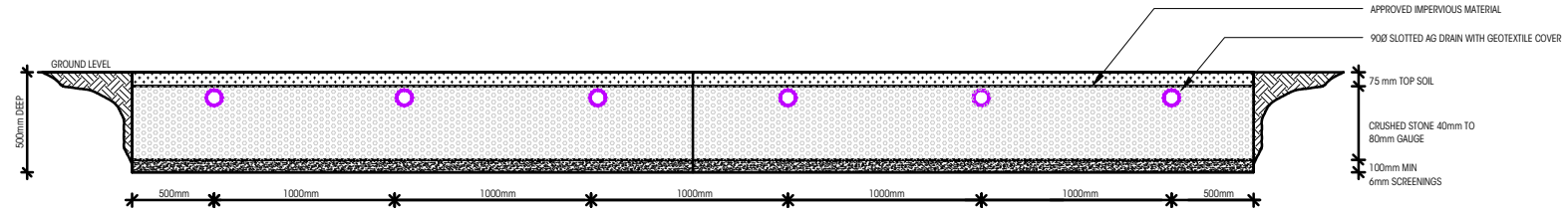
2 PORT K RAIN DISTRIBUTION VALVE

CONTRACTOR TO ALLOW TO PUMP OUT AND DECOMMISSION THE EXISTING SEPTIC TANK AND ABSORPTION TRENCHES IN ACCORDANCE WITH COUNCIL REQUIREMENTS AND INSTALL A FUJI CLEAN CE-1500EX TREATMENT SYSTEM . ALL WASTE TO BE DIRECTED TO THE TREATMENT SYSTEM.



STEWART STREET

EXISTING SHED



EVAPOTRANSPIRATION - ABSORPTION AREA DETAIL n.t.s

STEWART CREEK ROAD

DATE	REV	AMENDMENT	CHKD
19.05.2021	1	ISSUED FOR REVIEW	SB

HYDRAULIC ENGINEER

PROJECT
PROPOSED REFURBISHMENTS
 12 STEWART STREET
 DAINTREE VILLAGE, QLD 4873

CLIENT
 STEWART HICKS

DATE	APRIL 2021	DRAWN	SB
SCALE	NOT TO SCALE	CHECKED	SB
SHEET SIZE	A3	APPROVED	SB
CAD FILE	1Drive\Projects\21076 - 12 Stewart St - Daintree		

TITLE
HYDRAULIC SERVICES
 SITE PLAN
 EFFLUENT TREATMENT & DISPOSAL

PROJECT NO.	DRAWING NO.	REVISION
21076	H01	1

Appendix D

State Code Responses

State code 1: Development in a state-controlled road environment

Table 1.1 Development in general

Performance outcomes	Acceptable outcomes	Response
Buildings, structures, infrastructure, services and utilities		
PO1 The location of the development does not create a safety hazard for users of the state-controlled road .	AO1.1 Development is not located in a state-controlled road . AND AO1.2 Development can be maintained without requiring access to a state-controlled road .	Complies with AO1.1 No buildings or infrastructure would be located in a state-controlled road reserve. AND Complies with AO1.2 All buildings are able to be maintained without accessing the state controlled road reserve.
PO2 The design and construction of the development does not adversely impact the structural integrity or physical condition of the state-controlled road or road transport infrastructure .	No acceptable outcome is prescribed.	Complies with PO2 The development would be wholly contained within the site and would not involve construction activities that would adversely affect the structural integrity of the state-controlled road.
PO3 The location of the development does not obstruct road transport infrastructure or adversely impact the operating performance of the state-controlled road .	No acceptable outcome is prescribed.	Complies with PO3 The development would be wholly contained within the subject site.
PO4 The location, placement, design and operation of advertising devices, visible from the state-controlled road , do not create a safety hazard for users of the state-controlled	No acceptable outcome is prescribed.	Complies with PO4 The site does not have direct frontage to a state-controlled road.

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State code 1: Development in a state-controlled road environment

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Performance outcomes	Acceptable outcomes	Response
road.		
PO5 The design and construction of buildings and structures does not create a safety hazard by distracting users of the state-controlled road .	<p>AO5.1 Facades of buildings and structures fronting the state-controlled road are made of non-reflective materials.</p> <p>AND</p> <p>AO5.2 Facades of buildings and structures do not direct or reflect point light sources into the face of oncoming traffic on the state-controlled road.</p> <p>AND</p> <p>AO5.3 External lighting of buildings and structures is not directed into the face of oncoming traffic on the state-controlled road.</p> <p>AND</p> <p>AO5.4 External lighting of buildings and structures does not involve flashing or laser lights.</p>	<p>Not applicable</p> <p>The site frontage does not face a state-controlled road.</p>
PO6 Road, pedestrian and bikeway bridges over a state-controlled road are designed and constructed to prevent projectiles from being thrown onto the state-controlled road .	AO6.1 Road, pedestrian and bikeway bridges over the state-controlled road include throw protection screens in accordance with section 4.11 of the Design Criteria for Bridges and Other Structures Manual, Department of Transport and Main Roads, 2020.	<p>Not applicable</p> <p>No bridges are proposed.</p>
Landscaping		
PO7 The location of landscaping does not create a safety hazard for users of the state-controlled road .	<p>AO7.1 Landscaping is not located in a state-controlled road.</p> <p>AND</p> <p>AO7.2 Landscaping can be maintained without</p>	<p>Complies with AO7.1</p> <p>No landscaping is proposed within the state controlled road.</p> <p>AND</p>

Performance outcomes	Acceptable outcomes	Response
	requiring access to a state-controlled road . AND A07.3 Landscaping does not block or obscure the sight lines for vehicular access to a state-controlled road .	Complies with A07.2 All landscaping can be maintained without access to the state controlled road. AND Complies with A07.3 No sightlines would be affected by landscaping.
Stormwater and overland flow		
PO8 Stormwater run-off or overland flow from the development site does not create or exacerbate a safety hazard for users of the state-controlled road .	No acceptable outcome is prescribed.	Complies with PO8 Stormwater discharge would not be increased as a result of the proposed development.
PO9 Stormwater run-off or overland flow from the development site does not result in a material worsening of the operating performance of the state-controlled road or road transport infrastructure .	No acceptable outcome is prescribed.	Complies with PO9 Stormwater discharge would not be increased as a result of the proposed development.
PO10 Stormwater run-off or overland flow from the development site does not adversely impact the structural integrity or physical condition of the state-controlled road or road transport infrastructure .	No acceptable outcome is prescribed.	Complies with PO10 Stormwater discharge would not be increased as a result of the proposed development.
PO11 Development ensures that stormwater is lawfully discharged.	A011.1 Development does not create any new points of discharge to a state-controlled road . AND A011.2 Development does not concentrate flows to a state-controlled road . AND A011.3 Stormwater run-off is discharged to a	Complies with A011.1 Stormwater discharge would be to existing lawful points of discharge. AND Complies with A011.2 Stormwater discharge would not be increased as a

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State code 1: Development in a state-controlled road environment

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Performance outcomes	Acceptable outcomes	Response
	<p>lawful point of discharge.</p> <p>AND</p> <p>AO11.4 Development does not worsen the condition of an existing lawful point of discharge to the state-controlled road.</p>	<p>result of the proposed development.</p> <p>AND</p> <p>Complies with AO11.3</p> <p>Stormwater discharge would be to existing lawful points of discharge.</p> <p>AND</p> <p>Complies with AO11.4</p> <p>Stormwater discharge would not be increased as a result of the proposed development.</p>
Flooding		
<p>PO12 Development does not result in a material worsening of flooding impacts within a state-controlled road.</p>	<p>AO12.1 For all flood events up to 1% annual exceedance probability, development results in negligible impacts (within +/- 10mm) to existing flood levels within a state-controlled road.</p> <p>AND</p> <p>AO12.2 For all flood events up to 1% annual exceedance probability, development results in negligible impacts (up to a 10% increase) to existing peak velocities within a state-controlled road.</p> <p>AND</p> <p>AO12.3 For all flood events up to 1% annual exceedance probability, development results in negligible impacts (up to a 10% increase) to existing time of submergence of a state-controlled road.</p>	<p>Complies with AO12.1 - AO12.3</p> <p>The proposed development would not result in any increase in flooding.</p>
Drainage Infrastructure		

Performance outcomes	Acceptable outcomes	Response
PO13 Drainage infrastructure does not create a safety hazard for users in the state-controlled road .	AO13.1 Drainage infrastructure is wholly contained within the development site, except at the lawful point of discharge . AND AO13.2 Drainage infrastructure can be maintained without requiring access to a state-controlled road .	Complies with AO13.1 – AO13.2 The proposed development would not increase stormwater discharge with all stormwater management wholly contained within the subject site.
PO14 Drainage infrastructure associated with, or within, a state-controlled road is constructed, and designed to ensure the structural integrity and physical condition of existing drainage infrastructure and the surrounding drainage network.	No acceptable outcome is prescribed.	Complies with PO14 The proposed development would not result in an increase in stormwater discharge and all stormwater would be discharged through existing lawful points of discharge.

Table 1.2 Vehicular access, road layout and local roads

Performance outcomes	Acceptable outcomes	Response
Vehicular access to a state-controlled road or within 100 metres of a state-controlled road intersection		
PO15 The location, design and operation of a new or changed access to a state-controlled road does not compromise the safety of users of the state-controlled road .	No acceptable outcome is prescribed.	Not applicable No new or changed accesses are proposed.
PO16 The location, design and operation of a new or changed access does not adversely impact the functional requirements of the state-controlled road .	No acceptable outcome is prescribed.	Not applicable No new or changed accesses are proposed
PO17 The location, design and operation of a new or changed access is consistent with the future intent of the state-controlled road .	No acceptable outcome is prescribed.	Not applicable No new or changed accesses are proposed

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Performance outcomes	Acceptable outcomes	Response
<p>PO18 New or changed access is consistent with the access for the relevant limited access road policy:</p> <ol style="list-style-type: none"> LAR 1 where direct access is prohibited; or LAR 2 where access may be permitted, subject to assessment. 	No acceptable outcome is prescribed.	<p>Not applicable</p> <p>No new or changed accesses are proposed</p>
<p>PO19 New or changed access to a local road within 100 metres of an intersection with a state-controlled road does not compromise the safety of users of the state-controlled road.</p>	No acceptable outcome is prescribed.	<p>Not applicable</p> <p>No new or changed accesses are proposed</p>
<p>PO20 New or changed access to a local road within 100 metres of an intersection with a state-controlled road does not adversely impact on the operating performance of the intersection.</p>	No acceptable outcome is prescribed.	<p>Not applicable</p> <p>No new or changed accesses are proposed</p>
Public passenger transport and active transport		
<p>PO21 Development does not compromise the safety of users of public passenger transport infrastructure, public passenger services and active transport infrastructure.</p>	No acceptable outcome is prescribed.	<p>Not applicable</p> <p>There is no public transport infrastructure within the vicinity of the site.</p>
<p>PO22 Development maintains the ability for people to access public passenger transport infrastructure, public passenger services and active transport infrastructure.</p>	No acceptable outcome is prescribed.	<p>Not applicable</p> <p>There is no public transport infrastructure within the vicinity of the site.</p>
<p>PO23 Development does not adversely impact the operating performance of public passenger transport infrastructure, public passenger services and active transport infrastructure.</p>	No acceptable outcome is prescribed.	<p>Not applicable</p> <p>There is no public transport infrastructure within the vicinity of the site.</p>

Performance outcomes	Acceptable outcomes	Response
PO24 Development does not adversely impact the structural integrity or physical condition of public passenger transport infrastructure and active transport infrastructure .	No acceptable outcome is prescribed.	Not applicable There is no public transport infrastructure within the vicinity of the site.

Table 1.3 Network impacts

Performance outcomes	Acceptable outcomes	Response
PO25 Development does not compromise the safety of users of the state-controlled road network.	No acceptable outcome is prescribed.	Complies with PO25 The proposed development would not result in an increased traffic generation that would adversely affect the operation of the road network.
PO26 Development ensures no net worsening of the operating performance of the state-controlled road network.	No acceptable outcome is prescribed.	Complies with PO26 The proposed development would not result in an increased traffic generation that would adversely affect the operation of the road network.
PO27 Traffic movements are not directed onto a state-controlled road where they can be accommodated on the local road network.	No acceptable outcome is prescribed.	Complies with PO27 The site is accessed from Stewart Creek Road, which is a local road.
PO28 Development involving haulage exceeding 10,000 tonnes per year does not adversely impact the pavement of a state-controlled road .	No acceptable outcome is prescribed.	Not applicable The development would not involve haulage.
PO29 Development does not impede delivery of planned upgrades of state-controlled roads .	No acceptable outcome is prescribed.	Complies with PO29 The site is not within the vicinity of planned road upgrades.

Performance outcomes	Acceptable outcomes	Response
PO30 Development does not impede delivery of corridor improvements located entirely within the state-controlled road corridor .	No acceptable outcome is prescribed.	Complies with PO30 The site is not within the vicinity of planned road upgrades.

Table 1.4 Filling, excavation, building foundations and retaining structures

Performance outcomes	Acceptable outcomes	Response
PO31 Development does not create a safety hazard for users of the state-controlled road or road transport infrastructure .	No acceptable outcome is prescribed.	Not applicable No fill or excavation is proposed.
PO32 Development does not adversely impact the operating performance of the state-controlled road .	No acceptable outcome is prescribed.	Not applicable No fill or excavation is proposed.
PO33 Development does not undermine, damage or cause subsidence of a state-controlled road .	No acceptable outcome is prescribed.	Not applicable No fill or excavation is proposed.
PO34 Development does not cause ground water disturbance in a state-controlled road .	No acceptable outcome is prescribed.	Not applicable No fill or excavation is proposed.
PO35 Excavation, boring, piling, blasting and fill compaction do not adversely impact the physical condition or structural integrity of a state-controlled road or road transport infrastructure .	No acceptable outcome is prescribed.	Not applicable No fill or excavation is proposed.
PO36 Filling and excavation associated with the construction of new or changed access do not compromise the operation or capacity of existing drainage infrastructure for a state-controlled road .	No acceptable outcome is prescribed.	Not applicable No fill or excavation is proposed.

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State code 1: Development in a state-controlled road environment

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Table 1.5 Environmental emissions

Statutory note: Where a **state-controlled road** is co-located in the same transport corridor as a railway, the development should instead comply with Environmental emissions in State code 2: Development in a railway environment.

Performance outcomes	Acceptable outcomes	Response
Reconfiguring a lot		
Involving the creation of 5 or fewer new residential lots adjacent to a state-controlled road or type 1 multi-modal corridor		
<p>PO37 Development minimises free field noise intrusion from a state-controlled road.</p>	<p>AO37.1 Development provides a noise barrier or earth mound which is designed, sited and constructed:</p> <ol style="list-style-type: none"> 1. to achieve the maximum free field acoustic levels in reference table 2 (item 2.1); 2. in accordance with: <ol style="list-style-type: none"> a. Chapter 7 integrated noise barrier design of the Transport Noise Management Code of Practice: Volume 1 (Road Traffic Noise), Department of Transport and Main Roads, 2013; b. Technical Specification-MRTS15 Noise Fences, Transport and Main Roads, 2019; c. Technical Specification-MRTS04 General Earthworks, Transport and Main Roads, 2020. <p>OR</p> <p>AO37.2 Development achieves the maximum free field acoustic levels in reference table 2 (item 2.1) by alternative noise attenuation measures where it is not practical to provide a noise barrier or earth mound.</p> <p>OR</p>	<p>Not applicable</p> <p>The application is for Material Change of Use.</p>

Performance outcomes	Acceptable outcomes	Response
	<p>AO37.3 Development provides a solid gap-free fence or other solid gap-free structure along the full extent of the boundary closest to the state-controlled road.</p>	
<p>Involving the creation of 6 or more new residential lots adjacent to a state-controlled road or type 1 multi-modal corridor</p>		
<p>PO38 Reconfiguring a lot minimises free field noise intrusion from a state-controlled road.</p>	<p>AO38.1 Development provides noise barrier or earth mound which is designed, sited and constructed:</p> <ol style="list-style-type: none"> 1. to achieve the maximum free field acoustic levels in reference table 2 (item 2.1); 2. in accordance with: <ol style="list-style-type: none"> a. Chapter 7 integrated noise barrier design of the Transport Noise Management Code of Practice: Volume 1 (Road Traffic Noise), Department of Transport and Main Roads, 2013; b. Technical Specification-MRTS15 Noise Fences, Transport and Main Roads, 2019; c. Technical Specification-MRTS04 General Earthworks, Transport and Main Roads, 2020. <p>OR</p> <p>AO38.2 Development achieves the maximum free field acoustic levels in reference table 2 (item 2.1) by alternative noise attenuation measures where it is not practical to provide a noise barrier or earth mound.</p>	<p>Not applicable</p> <p>The application is for Material Change of Use.</p>
<p>Material change of use (accommodation activity)</p>		

Performance outcomes	Acceptable outcomes	Response
Ground floor level requirements adjacent to a state-controlled road or type 1 multi-modal corridor		
<p>PO39 Development minimises noise intrusion from a state-controlled road in private open space.</p>	<p>AO39.1 Development provides a noise barrier or earth mound which is designed, sited and constructed:</p> <ol style="list-style-type: none"> 1. to achieve the maximum free field acoustic levels in reference table 2 (item 2.2) for private open space at the ground floor level; 2. in accordance with: <ol style="list-style-type: none"> a. Chapter 7 integrated noise barrier design of the Transport Noise Management Code of Practice: Volume 1 (Road Traffic Noise), Department of Transport and Main Roads, 2013; b. Technical Specification-MRTS15 Noise Fences, Transport and Main Roads, 2019; c. Technical Specification-MRTS04 General Earthworks, Transport and Main Roads, 2020. <p>OR</p> <p>AO39.2 Development achieves the maximum free field acoustic level in reference table 2 (item 2.2) for private open space by alternative noise attenuation measures where it is not practical to provide a noise barrier or earth mound.</p>	<p>Not applicable</p> <p>The application is not for an accommodation activity.</p>
<p>PO40 Development (excluding a relevant residential building or relocated building) minimises noise intrusion from a state-</p>	<p>AO40.1 Development (excluding a relevant residential building or relocated building) provides a noise barrier or earth mound which is designed, sited and constructed:</p>	<p>Not applicable</p> <p>The application is not for an accommodation activity.</p>

Performance outcomes	Acceptable outcomes	Response
<p>controlled road in habitable rooms at the facade.</p>	<p>1. to achieve the maximum building façade acoustic level in reference table 1 (item 1.1) for habitable rooms;</p> <p>2. in accordance with:</p> <ul style="list-style-type: none"> a. Chapter 7 integrated noise barrier design of the Transport Noise Management Code of Practice: Volume 1 (Road Traffic Noise), Department of Transport and Main Roads, 2013; b. Technical Specification-MRTS15 Noise Fences, Transport and Main Roads, 2019; c. Technical Specification-MRTS04 General Earthworks, Transport and Main Roads, 2020. <p>OR</p> <p>AO40.2 Development (excluding a relevant residential building or relocated building) achieves the maximum building façade acoustic level in reference table 1 (item 1.1) for habitable rooms by alternative noise attenuation measures where it is not practical to provide a noise barrier or earth mound.</p>	
<p>PO41 Habitable rooms (excluding a relevant residential building or relocated building) are designed and constructed using materials to achieve the maximum internal acoustic level in reference table 3 (item 3.1).</p>	<p>No acceptable outcome is provided.</p>	<p>Not applicable</p> <p>The application is not for an accommodation activity.</p>
<p>Above ground floor level requirements (accommodation activity) adjacent to a state-controlled road or type 1 multi-modal corridor</p>		
<p>PO42 Balconies, podiums, and roof decks include:</p>	<p>No acceptable outcome is provided.</p>	<p>Not applicable</p>

Performance outcomes	Acceptable outcomes	Response
1. a continuous solid gap-free structure or balustrade (excluding gaps required for drainage purposes to comply with the Building Code of Australia); 2. highly acoustically absorbent material treatment for the total area of the soffit above balconies, podiums, and roof decks.		The application is not for an accommodation activity.
PO43 Habitable rooms (excluding a relevant residential building or relocated building) are designed and constructed using materials to achieve the maximum internal acoustic level in reference table 3 (item 3.1).	No acceptable outcome is provided.	Not applicable The application is not for an accommodation activity.
Material change of use (other uses)		
Ground floor level requirements (childcare centre, educational establishment, hospital) adjacent to a state-controlled road or type 1 multi-modal corridor		
PO44 Development: 1. provides a noise barrier or earth mound that is designed, sited and constructed: a. to achieve the maximum free field acoustic level in reference table 2 (item 2.3) for all outdoor education areas and outdoor play areas ; b. in accordance with: i. Chapter 7 integrated noise barrier design of the Transport Noise Management Code of Practice: Volume 1 (Road Traffic Noise), Department of Transport and Main Roads, 2013; ii. Technical Specification-MRTS15 Noise Fences, Transport and Main Roads, 2019;	No acceptable outcome is provided.	Not applicable The application is not for a childcare centre, educational establishment, or hospital.

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Performance outcomes	Acceptable outcomes	Response
<p>iii. Technical Specification-MRTS04 General Earthworks, Transport and Main Roads, 2020; or</p> <p>2. achieves the maximum free field acoustic level in reference table 2 (item 2.3) for all outdoor education areas and outdoor play areas by alternative noise attenuation measures where it is not practical to provide a noise barrier or earth mound.</p>		
<p>PO45 Development involving a childcare centre or educational establishment:</p> <p>1. provides a noise barrier or earth mound that is designed, sited and constructed:</p> <p>2. to achieve the maximum building facade acoustic level in reference table 1 (item 1.2);</p> <p>3. in accordance with:</p> <ul style="list-style-type: none"> a. Chapter 7 integrated noise barrier design of the Transport Noise Management Code of Practice: Volume 1 (Road Traffic Noise), Department of Transport and Main Roads, 2013; b. Technical Specification-MRTS15 Noise Fences, Transport and Main Roads, 2019; c. Technical Specification-MRTS04 General Earthworks, Transport and Main Roads, 2020; or <p>4. achieves the maximum building facade acoustic level in reference table 1 (item 1.2) by alternative noise attenuation measures where it is not practical to provide a noise barrier or earth mound.</p>	<p>No acceptable outcome is provided.</p>	<p>Not applicable</p> <p>The application is not for a childcare centre, educational establishment, or hospital.</p>

Performance outcomes	Acceptable outcomes	Response
<p>PO46 Development involving:</p> <ol style="list-style-type: none"> indoor education areas and indoor play areas; or sleeping rooms in a childcare centre; or patient care areas in a hospital achieves the maximum internal acoustic level in reference table 3 (items 3.2-3.4). 	No acceptable outcome is provided.	<p>Not applicable</p> <p>The application is not for a childcare centre, educational establishment, or hospital.</p>
<p>Above ground floor level requirements (childcare centre, educational establishment, hospital) adjacent to a state-controlled road or type 1 multi-modal corridor</p>		
<p>PO47 Development involving a childcare centre or educational establishment which have balconies, podiums or elevated outdoor play areas predicted to exceed the maximum free field acoustic level in reference table 2 (item 2.3) due to noise from a state-controlled road are provided with:</p> <ol style="list-style-type: none"> a continuous solid gap-free structure or balustrade (excluding gaps required for drainage purposes to comply with the Building Code of Australia); highly acoustically absorbent material treatment for the total area of the soffit above balconies or elevated outdoor play areas. 	No acceptable outcome is provided.	<p>Not applicable</p> <p>The application is not for a childcare centre, educational establishment, or hospital.</p>
<p>PO48 Development including:</p> <ol style="list-style-type: none"> indoor education areas and indoor play areas in a childcare centre or educational establishment; or sleeping rooms in a childcare centre; or patient care areas in a hospital located above ground level, is designed and constructed to achieve the maximum internal 	No acceptable outcome is provided.	<p>Not applicable</p> <p>The application is not for a childcare centre, educational establishment, or hospital.</p>

Performance outcomes	Acceptable outcomes	Response
acoustic level in reference table 3 (items 3.2-3.4).		
Air, light and vibration		
<p>PO49 Private open space, outdoor education areas and outdoor play areas are protected from air quality impacts from a state-controlled road.</p>	<p>AO49.1 Each dwelling or unit has access to a private open space which is shielded from a state-controlled road by a building, solid gap-free fence, or other solid gap-free structure.</p> <p>OR</p> <p>AO49.2 Each outdoor education area and outdoor play area is shielded from a state-controlled road by a building, solid gap-free fence, or other solid gap-free structure.</p>	<p>Not applicable</p> <p>The application does not involve a dwelling, outdoor education or outdoor play area.</p>
<p>PO50 Patient care areas within hospitals are protected from vibration impacts from a state-controlled road or type 1 multi-modal corridor.</p>	<p>AO50.1 Hospitals are designed and constructed to ensure vibration in the patient treatment area does not exceed a vibration dose value of 0.1m/s^{1.75}.</p> <p>AND</p> <p>AO50.2 Hospitals are designed and constructed to ensure vibration in the ward of a patient care area does not exceed a vibration dose value of 0.4m/s^{1.75}.</p>	<p>Not applicable</p> <p>The application does not involve a hospital.</p>

Performance outcomes	Acceptable outcomes	Response
<p>PO51 Development is designed and sited to ensure light from infrastructure within, and from users of, a state-controlled road or type 1 multi-modal corridor, does not:</p> <ol style="list-style-type: none"> 1. intrude into buildings during night hours (10pm to 6am); 2. create unreasonable disturbance during evening hours (6pm to 10pm). 	No acceptable outcomes are prescribed.	

Table 1.6: Development in a future state-controlled road environment

Performance outcomes	Acceptable outcomes	Response
<p>PO52 Development does not impede delivery of a future state-controlled road.</p>	<p>AO52.1 Development is not located in a future state-controlled road.</p> <p>OR ALL OF THE FOLLOWING APPLY:</p> <p>AO52.2 Development does not involve filling and excavation of, or material changes to, a future state-controlled road.</p> <p>AND</p> <p>AO52.3 The intensification of lots does not occur within a future state-controlled road.</p> <p>AND</p> <p>AO52.4 Development does not result in the landlocking of parcels once a future state-controlled road is delivered.</p>	<p>Not applicable</p> <p>The application snite is not within a future state-controlled road environment.</p>
<p>PO53 The location and design of new or changed access does not create a safety hazard for users of a future state-controlled road.</p>	<p>AO53.1 Development does not include new or changed access to a future state-controlled road.</p>	<p>Not applicable</p> <p>The application snite is not within a future state-controlled road environment.</p>

Performance outcomes	Acceptable outcomes	Response
PO54 Filling, excavation, building foundations and retaining structures do not undermine, damage or cause subsidence of a future state-controlled road .	No acceptable outcome is prescribed.	Not applicable The application snite is not within a future state-controlled road environment.
PO55 Development does not result in a material worsening of stormwater, flooding, overland flow or drainage impacts in a future state-controlled road or road transport infrastructure .	No acceptable outcome is prescribed.	Not applicable The application snite is not within a future state-controlled road environment.
PO56 Development ensures that stormwater is lawfully discharged.	AO56.1 Development does not create any new points of discharge to a future state-controlled road . AND AO56.2 Development does not concentrate flows to a future state-controlled road . AND AO56.3 Stormwater run-off is discharged to a lawful point of discharge . AND AO56.4 Development does not worsen the condition of an existing lawful point of discharge to the future state-controlled road .	Not applicable The application snite is not within a future state-controlled road environment.

Appendix E

Planning Scheme Code Responses

6.2.1 Centre zone code

6.2.1.1 Application

- (1) This code applies to assessing development in the Centre zone.
- (2) When using this code, reference should be made to Part 5.

6.2.1.2 Purpose

- (1) The purpose of the Centre zone code is to provide for a mix of land uses and activities.
 - (a) These uses include, but are not limited to, business, retail, professional, administrative, community, entertainment, cultural and residential activities.
 - (b) Centres are found at a variety of scales based on their location and surrounding activities.
- (2) The local government purpose of the code is to:
 - (a) implement the policy direction set in the Strategic Framework, in particular:
 - (i) Theme 1 : Settlement pattern, Element 3.4.3 Activity Centres.
 - (ii) Theme 4 : Strong communities and identity, Element 3.7.4 Sense of place, community and identity, Element 3.7.6 Arts and Culture
 - (iii) Theme 5 : Economy, Element 3.8.2 – Economic growth and diversification, Element 3.8.3 Tourism.
 - (b) provide for a mix of uses and level of economic and social activity to serve community needs.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) Development creates a range of retail, commercial, community and residential uses.
 - (b) Development is consistent with any location specific provisions contained within a Local Plan.
 - (c) Development provides activation and surveillance at ground level where adjoining roads or other public spaces.
 - (d) Development is integrated and coordinated both within the site and in relation to surrounding land uses and activities.
 - (e) Development provides a built form that establishes a cohesive streetscape and continuous pedestrian connections and shelters.
 - (f) Development is sensitively designed and managed to mitigate impacts on surrounding sensitive land uses.
 - (g) Development has access to infrastructure and services.

6.2.1.3 Criteria for assessment

Table 6.2.1.3.a - Centre zone – assessable development

Performance outcomes	Acceptable outcomes	Compliance
For self-assessable and assessable development		

Performance outcomes	Acceptable outcomes	Compliance
<p>PO1</p> <p>The height of all buildings is in keeping with the character of the surrounding residential neighbourhoods and must not adversely affect the amenity of the neighbourhood.</p>	<p>AO1</p> <p>The maximum height of buildings and structures is:</p> <p>(a) in accordance with the provisions of any applicable local plan;</p> <p>(b) if no local plan applies, not more than 8.5 metres and two storeys in height.</p> <p>Note - Height is inclusive of the roof height.</p>	<p>Complies with AO1</p> <p>The maximum height of the refurbished development would not exceed the existing maximum height, which is below 8.5 metres.</p>
<p>PO2</p> <p>The siting of buildings contributes to the use of the land, desired amenity and character of the area and protects the amenity of other land uses.</p>	<p>AO2.1</p> <p>Buildings and structures are setback to road frontages:</p> <p>(a) in accordance with the provisions of any applicable local plan;</p> <p>(b) a minimum of 6 metres where no local plan applies or there are no particular provisions specified in the local plan for the site.</p>	<p>Complies with PO2</p> <p>The proposed development would retain the existing zero setback of the existing two storey building and would provide for the extension of the awning over the footpath for the full site frontage to Stewart Street.</p> <p>The proposed development and setback to Stewart Street would enhance the image of Stewart Street as the primary retail street and would not adversely affect the amenity of any adjacent occupiers.</p> <p>The setback to Stewart Creek Road would remain unchanged as a result of this development.</p>
	<p>AO2.2</p> <p>Where adjoining land in the Industry zone, buildings are setback:</p> <p>(a) 0 metres from the side and rear boundaries; or</p> <p>(b) 2.5 metres or ¼ of the height of the building, whichever is the greater; and</p> <p>(c) not any distance between 0 metres and 2.5 metres.</p>	<p>Not applicable</p> <p>The site does not adjoin land in the industry zone.</p>
	<p>AO2.3</p> <p>Where adjoining land in any other zone, buildings are</p>	<p>Complies with PO2</p> <p>The site has common boundaries to the north and west</p>

Performance outcomes	Acceptable outcomes	Compliance
	<p>setback 3 metres or ¼ of the height of the building, whichever is the greater and are provided with an acoustic barrier in accordance with the recommendations of a qualified acoustic expert.</p>	<p>with land in the Tourist Accommodation Zone. The existing buildings are setback 0 metres and 1.5 metres from these boundaries, respectively, and it is not proposed to change these setbacks as part of this development. The proposed development would not change the impact that the buildings have on the current character and amenity of the area or the amenity of the adjoining occupiers.</p>
	<p>AO2.4</p> <p>Setback areas are provided with a 2 metre landscaped strip capable of deep planting, which is kept clear of service equipment and storage areas:</p> <p>(a) adjacent to the road frontage in all areas not required for pedestrian or vehicular access for the setback area nominated in AO2.1(b) above;</p> <p>(b) adjacent to the boundary with the other zone for the setback area nominated in AO2.3 above.</p>	<p>Complies with PO2</p> <p>Refer above.</p>
<p>PO3</p> <p>The site coverage of buildings ensures that there is sufficient space available to cater for services, landscaping and on-site parking.</p>	<p>AO3</p> <p>Site coverage does not exceed 80%, unless otherwise specified in a Local plan.</p>	<p>Complies with AO3</p> <p>Site cover would be 54.25%</p>
<p>For assessable development</p>		
<p>PO4</p> <p>The establishment of uses is consistent with the outcomes sought for the Centre zone and protects the zone from the intrusion of inconsistent uses.</p>	<p>AO4</p> <p>Inconsistent uses as identified in Table 6.2.1.3.b are not established in the Centre zone.</p>	<p>Complies with AO4</p> <p>The proposed development would comprise:</p> <ol style="list-style-type: none"> 1. Refurbished existing Food and Drink Outlet; 2. Incorporated Tour Booking Office for off road 4wd tours; and, 3. Storage of vehicles associated with the 4wd

Performance outcomes	Acceptable outcomes	Compliance
		<p>tours.</p> <p>The proposed uses are not considered to be identified in the list of inconsistent uses. In addition, the proposal would retain and enhance the existing centre activity and provide increased activity and vibrancy within the Daintree Centre, which would add to the viability of the Daintree Centre as a local centre and tourist destination. The proposal is considered to be consistent with the Performance Outcome in that it furthers the outcomes sought for the centre zone and is not considered to introduce inconsistent uses.</p>
<p>PO5</p> <p>Development provides a range of convenient goods and services for the daily needs of discrete residential communities.</p>	<p>AO5</p> <p>Development complies with the requirements specified in a local plan.</p>	<p>Complies with PO5</p> <p>The site is not subject to a local plan; however, Daintree Village is developing as a discrete tourist destination and the proposed development is considered to enhance and further that centre offer.</p>
<p>PO6</p> <p>Development does not lower the standard of amenity in terms of air, noise, odour, electrical interference and vibrations at any land use associated with the:</p> <p>(a) the Accommodation activity group, located outside the Centre zone;</p> <p>(b) the Sensitive land use activity group, located outside the Centre zone.</p>	<p>AO6</p> <p>No acceptable outcomes are prescribed.</p>	<p>Complies with PO6</p> <p>The proposal would retain much of the existing uses that are currently offered on the site with the only additional use being the ancillary vehicle storage associated with the 4wd tours and the departure of the tours from the site.</p> <p>To the north and west is land within the Tourist Accommodation zone that contains tourist accommodation and a Dwelling House, respectively. These represent the nearest sensitive receivers.</p> <p>The impact from the vehicle storage and tour operation would be minimised by the hours of operation of these uses and would not be any greater than the impact from the lawful operation of the existing uses on the site.</p>

Performance outcomes	Acceptable outcomes	Compliance
PO7 Reconfiguration of land results in: (a) a practical layout for centre land use activities, generally consisting of regular rectangular-shaped lots. (b) lots no less than 600m ² in area	A07 No acceptable outcomes are prescribed.	Not applicable No lot reconfiguration is proposed.

Table 6.2.1.3.b — Inconsistent uses within the Centre zone.

Inconsistent uses		
<ul style="list-style-type: none"> • Air services • Animal husbandry • Animal keeping • Aquaculture • Brothel • Cemetery • Crematorium • Cropping • Detention facility • Environment facility • Extractive industry • High impact industry • Intensive animal industry • Intensive horticulture 	<ul style="list-style-type: none"> • Major electrical infrastructure • Major sport and entertainment facility • Marine industry, except where located within subprecinct 1b Waterfront North in the Port Douglas / Craiglie Local Plan. • Medium impact industry • Motor sport facility • Outstation • Permanent plantation 	<ul style="list-style-type: none"> • Relocatable home park • Renewable energy facility, being a wind farm • Resort complex • Retirement facility • Roadside stall • Rural industry • Rural workers accommodation • Special industry • Tourist park • Transport depot • Utility installation • Winery

Note – This table does not imply that all other uses not listed in the table are automatically consistent uses within the zone. Assessable development must still demonstrate consistency through the assessment process.

8.2.1 Acid sulfate soils overlay code

8.2.1.1 Application

- (1) This code applies to assessing a material change of use, reconfiguring a lot, operational work or building work within the Acid sulfate soils overlay, if:
 - (a) self-assessable or assessable development where the code is identified as being applicable in the Assessment criteria for the Overlay Codes contained in the Levels of Assessment Tables in section 5.6;
 - (b) impact assessable development.
- (2) Land in the Acid sulphate soils overlay is identified on the Acid sulfate soils overlay map in Schedule 2 and includes the following sub-categories:
 - (a) Land at or below the 5m AHD sub-category;
 - (b) Land above the 5m AHD and below the 20m AHD sub-category.
- (3) When using this code, reference should be made to Part 5.

8.2.1.2 Purpose

- (1) The purpose of the acid sulfate soils overlay code is to:
 - (a) implement the policy direction in the Strategic Framework, in particular:
 - (i) Theme 2: Environment and landscape values, Element 3.5.4 Coastal zones.
 - (ii) Theme 3: Natural resource management, Element 3.6.2 land and catchment management, Element 3.6.3 Primary production, forestry and fisheries.
 - (2) enable an assessment of whether development is suitable on land within the Acid sulfate soils overlay sub-categories.
-
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) Development ensures that the release of any acid and associated metal contaminant is avoided by not disturbing acid sulfate soils when excavating, removing soil or extracting ground water or filling land;
 - (b) Development ensures that disturbed acid sulphate soils, or drainage waters, are treated and, if required, on-going management practices are adopted that minimise the potential for environmental harm from acid sulfate soil and protect corrodible assets from acid sulfate soil.

8.2.1.3 Criteria for assessment

Table 8.2.1.3.a – Acid sulphate soils overlay code –assessable development

Performance outcomes	Acceptable outcomes	Compliance
For assessable development		
<p>PO1</p> <p>The extent and location of potential or actual acid sulfate soils is accurately identified.</p>	<p>AO1.1</p> <p>No excavation or filling occurs on the site.</p> <p>or</p> <p>AO1.2</p> <p>An acid sulfate soils investigation is undertaken.</p> <p>Note - Planning scheme policy SC 6.12– Potential and actual acid sulfate soils provides guidance on preparing an acid sulfate soils investigation.</p>	<p>Complies with AO1.1</p> <p>No excavation or filling is proposed as part of the development.</p>
<p>PO2</p> <p>Development avoids disturbing potential acid sulfate soils or actual acid sulfate soils, or is managed to avoid or minimise the release of acid and metal contaminants.</p>	<p>AO2.1</p> <p>The disturbance of potential acid sulfate soils or actual acid sulfate soils is avoided by:</p> <ul style="list-style-type: none"> (a) not excavating, or otherwise removing, soil or sediment identified as containing potential or actual acid sulfate soils; (b) not permanently or temporarily extracting groundwater that results in the aeration of previously saturated acid sulfate soils; (c) not undertaking filling that results in: (d) actual acid sulfate soils being moved below the water table; (e) previously saturated acid sulfate soils being aerated. <p>or</p>	<p>Complies with AO2.1</p> <p>No excavation or filling is proposed as part of the development.</p>

Performance outcomes	Acceptable outcomes	Compliance
	<p>AO2.2</p> <p>The disturbance of potential acid sulfate soils or actual acid sulfate soils is undertaken in accordance with an acid sulfate soils management plan and avoids the release of metal contaminants by:</p> <ul style="list-style-type: none"> (a) neutralising existing acidity and preventing the generation of acid and metal contaminants; (b) preventing the release of surface or groundwater flows containing acid and metal contaminants into the environment; (c) preventing the in situ oxidisation of potential acid sulfate soils and actual acid sulfate soils through ground water level management; (d) appropriately treating acid sulfate soils before disposal occurs on or off site; (e) documenting strategies and reporting requirements in an acid sulfate soils environmental management plan. <p>Note - Planning scheme policy SC 6.12 – Acid sulfate soils provides guidance on preparing an acid sulfate soils management plan.</p>	
<p>PO3</p> <p>No environmental harm is caused as a result of exposure to potential acid sulfate soils or actual acid sulfate soils.</p>	<p>AO3</p> <p>No acceptable outcomes are prescribed.</p>	<p>Complies with PO3</p> <p>No excavation or filling is proposed as part of the development.</p>

8.2.2 Bushfire hazard overlay code

Note - Land shown on the bushfire hazard overlay map is designated as the bushfire prone area for the purposes of section 12 of the Building Regulations 2006. The bushfire hazard area (bushfire prone area) includes land covered by the high and medium hazard areas as well as the buffer area category on the overlay map.

8.2.2.1 Application

- (1) This code applies to assessing a material change of use, reconfiguring a lot, operational works or building work in the Bushfire hazard overlay, if:
 - (a) self-assessable or assessable where the code is identified as being applicable in the Assessment criteria for the Overlay Codes contained in the Levels of Assessment Tables in section 5.6;
 - (b) impact assessable development.
- (2) Land in the Bushfire hazard overlay is identified on the Bushfire hazard overlay map in Schedule 2 and includes the following sub-categories:
 - (a) Medium bushfire risk sub-category;
 - (b) High bushfire risk sub-category;
 - (c) Very high bushfire risk sub-category;
 - (d) Potential impact buffer sub-category.
- (3) When using this code, reference should be made to Part 5.

8.2.2.2 Purpose

- (1) The purpose of the Bushfire overlay code is to:
 - (a) implement the policy direction in the Strategic Framework, in particular:
 - (i) Theme 1 Settlement pattern: Element 3.4.7 Mitigation of hazards;
 - (ii) Theme 6 Infrastructure and transport: Element 3.9.2 Energy.
 - (b) enable an assessment of whether development is suitable on land within the Bushfire risk overlay sub-categories.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development avoids the establishment or intensification of vulnerable activities within or near areas that are subject to bushfire hazard;
 - (b) development is designed and located to minimise risks to people and property from bushfires;
 - (c) bushfire risk mitigation treatments are accommodated in a manner that avoids or minimises impacts on the natural environment and ecological processes;
 - (d) development involving the manufacture or storage of hazardous materials does not increase the risk to public safety or the environment in a bushfire event;
 - (e) development contributes to effective and efficient disaster management response and recovery capabilities.

Note - A site based assessment may ground-truth the extent of hazardous vegetation and extent and nature of the bushfire hazard area (bushfire prone area). Such assessments should be undertaken using the methodology set out in Planning scheme policy SC6.9 - Natural Hazards.

8.2.2.3 Criteria for assessment

Table 8.2.2.3.a – Bushfire hazard overlay code –assessable development

Performance outcomes	Acceptable outcomes	Compliance
For self-assessable and assessable development		
Compatible development		
<p>PO1</p> <p>A vulnerable use is not established or materially intensified within a bushfire hazard area (bushfire prone area) unless there is an overriding need or other exceptional circumstances.</p> <p>Note - See the end of this code for examples of vulnerable uses.</p>	<p>AO1</p> <p>Vulnerable uses are not established or expanded.</p> <p>Note – Where, following site inspection and consultation with Council, it is clear that the mapping is in error in identifying a premises as being subject to a medium, high, very high bushfire hazard or potential impact buffer sub-category, Council may supply a letter exempting the need for a Bushfire Management Plan.</p> <p>Note – Where the assessment manager has not previously approved a Bushfire Management Plan (either by condition of a previous development approval), the development proponent will be expected to prepare such a plan.</p> <p>Note – Planning scheme policy SC6.9 - Natural hazards, provides a guide to the preparation of a Bushfire Management Plan.</p>	<p>Complies with AO1</p> <p>The proposed development does not involve any vulnerable uses.</p>
<p>PO2</p> <p>Emergency services and uses providing community support services are able to function effectively during and immediately after a bushfire hazard event.</p>	<p>AO2</p> <p>Emergency Services and uses providing community support services are not located in a bushfire hazard sub-category and have direct access to low hazard evacuation routes.</p>	<p>Not applicable</p> <p>No emergency services and uses are proposed.</p>
<p>PO3</p> <p>Development involving hazardous materials manufactured or stored in bulk is not located in bushfire hazard sub-category.</p>	<p>AO3</p> <p>The manufacture or storage of hazardous material in bulk does not occur within bushfire hazard sub-category.</p>	<p>Not applicable</p> <p>The proposed use would not involve the storage or manufacture of hazardous materials in bulk.</p>
Development design and separation from bushfire hazard – reconfiguration of lots		

Performance outcomes	Acceptable outcomes	Compliance
<p>PO4.1</p> <p>Where reconfiguration is undertaken in an urban area or is for urban purposes or smaller scale rural residential purposes, a separation distance from hazardous vegetation is provided to achieve a radiant heat flux level of 29kW/m² at the edge of the proposed lot(s).</p> <p>Note - "Urban purposes" and "urban area" are defined in the <i>Sustainable Planning Regulations 2009</i>. Reconfiguration will be taken to be for rural residential purposes where proposed lots are between 2000m² and 2ha in area. "Smaller scale" rural residential purposes will be taken to be where the average proposed lot size is 6000m² or less.</p> <p>Note - The radiant heat levels and separation distances are to be established in accordance with method 2 set out in AS3959-2009.</p>	<p>AO4.1</p> <p>No new lots are created within a bushfire hazard sub-category.</p> <p>or</p>	<p>Not applicable</p> <p>No reconfiguration is proposed.</p>
<p>PO4.2</p> <p>Where reconfiguration is undertaken for other purposes, a building envelope of reasonable dimensions is provided on each lot which achieves radiant heat flux level of 29kW/m² at any point.</p>	<p>AO4.2</p> <p>Lots are separated from hazardous vegetation by a distance that:</p> <p>(a) achieves radiant heat flux level of 29kW/m² at all boundaries; and</p> <p>(b) is contained wholly within the development site.</p> <p>Note - Where a separation distance is proposed to be achieved by utilising existing cleared developed areas external to the site, certainty must be established (through tenure or other means) that the land will remain cleared of hazardous vegetation.</p> <p>For staged developments, temporary separation distances, perimeter roads or fire trails may be absorbed as part of subsequent stages.</p> <p>Note - The achievement of a cleared separation distance may not be achievable where other provisions within the planning scheme require protection of certain ecological, slope, visual or character features or functions.</p>	<p>Not applicable</p> <p>No reconfiguration is proposed.</p>
<p>PO5</p> <p>Where reconfiguration is undertaken in an urban area or is for urban purposes, a constructed perimeter road with</p>	<p>AO5.1</p> <p>Lot boundaries are separated from hazardous vegetation by a public road which:</p>	<p>Not applicable</p> <p>No reconfiguration is proposed.</p>

Performance outcomes	Acceptable outcomes	Compliance
<p>reticulated water supply is established between the lots and the hazardous vegetation and is readily accessible at all times for urban fire fighting vehicles.</p> <p>The access is available for both fire fighting and maintenance/defensive works.</p>	<p>(a) has a two lane sealed carriageway;</p> <p>(b) contains a reticulated water supply;</p> <p>(c) is connected to other public roads at both ends and at intervals of no more than 500m;</p> <p>(d) accommodates geometry and turning radii in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines;</p> <p>(e) has a minimum of 4.8m vertical clearance above the road;</p> <p>(f) is designed to ensure hydrants and water access points are not located within parking bay allocations; and</p> <p>(g) incorporates roll-over kerbing.</p> <p>AO5.2</p> <p>Fire hydrants are designed and installed in accordance with AS2419.1 2005, unless otherwise specified by the relevant water entity.</p> <p>Note - Applicants should have regard to the relevant standards set out in the reconfiguration of a lot code and works codes in this planning scheme.</p>	<p>Not applicable</p> <p>No reconfiguration is proposed.</p>
<p>PO6</p> <p>Where reconfiguration is undertaken for smaller scale rural residential purposes, either a constructed perimeter road or a formed, all weather fire trail is established between the lots and the hazardous vegetation and is readily accessible at all times for the type of fire fighting vehicles servicing the area.</p> <p>The access is available for both fire fighting and maintenance/hazard reduction works.</p>	<p>AO6</p> <p>Lot boundaries are separated from hazardous vegetation by a public road or fire trail which has:</p> <p>(a) a reserve or easement width of at least 20m;</p> <p>(b) a minimum trafficable (cleared and formed) width of 4m capable of accommodating a 15 tonne vehicle and which is at least 6m clear of vegetation;</p> <p>(c) no cut or fill embankments or retaining walls adjacent to the 4m wide trafficable path;</p>	<p>Not applicable</p> <p>No reconfiguration is proposed.</p>

Performance outcomes	Acceptable outcomes	Compliance
	<ul style="list-style-type: none"> (d) a minimum of 4.8m vertical clearance; (e) turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines; (f) a maximum gradient of 12.5%; (g) a cross fall of no greater than 10 degrees; (h) drainage and erosion control devices in accordance with the standards prescribed in a planning scheme policy; (i) vehicular access at each end which is connected to the public road network at intervals of no more than 500m; (j) designated fire trail signage; (k) if used, has gates locked with a system authorised by Queensland Fire and Emergency Services; and (l) if a fire trail, has an access easement that is granted in favour of Council and Queensland Fire and Emergency Services. 	
<p>PO7</p> <p>Where reconfiguration is undertaken for other purposes, a formed, all weather fire trail is provided between the hazardous vegetation and either the lot boundary or building envelope, and is readily accessible at all times for the type of fire fighting vehicles servicing the area.</p> <p>However, a fire trail will not be required where it would not serve a practical fire management purpose.</p>	<p>AO7</p> <p>Lot boundaries are separated from hazardous vegetation by a public road or fire trail which has:</p> <ul style="list-style-type: none"> (a) a reserve or easement width of at least 20m; (b) a minimum trafficable (cleared and formed) width of 4m capable of accommodating a 15 tonne vehicle and which is at least 6m clear of vegetation; (c) no cut or fill embankments or retaining walls adjacent to the 4m wide trafficable path; (d) a minimum of 4.8m vertical clearance; (e) turning areas for fire-fighting appliances in 	<p>Not applicable</p> <p>No reconfiguration is proposed.</p>

Performance outcomes	Acceptable outcomes	Compliance
	<p>accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines;</p> <ul style="list-style-type: none"> (f) a maximum gradient of 12.5%; (g) a cross fall of no greater than 10 degrees; (h) drainage and erosion control devices in accordance with the standards prescribed in a planning scheme policy; (i) vehicular access at each end which is connected to the public road network; (j) designated fire trail signage; (k) if used, has gates locked with a system authorised by Queensland Fire and Emergency Services; and (l) if a fire trail, has an access easement that is granted in favour of Council and Queensland Fire and Emergency Services. 	
<p>PO8</p> <p>The development design responds to the potential threat of bushfire and establishes clear evacuation routes which demonstrate an acceptable or tolerable risk to people.</p>	<p>AO8</p> <p>The lot layout:</p> <ul style="list-style-type: none"> (a) minimises the length of the development perimeter exposed to, or adjoining hazardous vegetation; (b) avoids the creation of potential bottle-neck points in the movement network; (c) establishes direct access to a safe assembly /evacuation area in the event of an approaching bushfire; and (d) ensures roads likely to be used in the event of a fire are designed to minimise traffic congestion. <p>Note - For example, developments should avoid finger-like or hour-glass subdivision patterns or substantive vegetated corridors between lots.</p> <p>In order to demonstrate compliance with the performance outcome, a</p>	<p>Not applicable</p> <p>No reconfiguration is proposed.</p>

Performance outcomes	Acceptable outcomes	Compliance
	<p>bushfire management plan prepared by a suitably qualified person may be required. The bushfire management plan should be developed in accordance with the Public Safety Business Agency (PSBA) guideline entitled "Undertaking a Bushfire Protection Plan.</p> <p>Advice from the Queensland Fire and Emergency Services (QFES) should be sought as appropriate</p>	
<p>PO9</p> <p>Critical infrastructure does not increase the potential bushfire hazard.</p>	<p>AO9</p> <p>Critical or potentially hazardous infrastructure such as water supply, electricity, gas and telecommunications are placed underground.</p>	<p>Not applicable</p> <p>No reconfiguration is proposed.</p>
<p>Development design and separation from bushfire hazard – material change of use</p>		
<p>PO10</p> <p>Development is located and designed to ensure proposed buildings or building envelopes achieve a radiant heat flux level at any point on the building or envelope respectively, of:</p> <p>(e) 10kW/m² where involving a vulnerable use; or</p> <p>(f) 29kW/m² otherwise.</p> <p>The radiant heat flux level is achieved by separation unless this is not practically achievable.</p> <p>Note - The radiant heat levels and separation distances are to be established in accordance with method 2 set out in AS3959-2009.</p>	<p>AO10</p> <p>Buildings or building envelopes are separated from hazardous vegetation by a distance that:</p> <p>(a) achieves a radiant heat flux level of at any point on the building or envelope respectively, of 10kW/m² for a vulnerable use or 29kW/m² otherwise; and</p> <p>(b) is contained wholly within the development site.</p> <p>Note - Where a separation distance is proposed to be achieved by utilising existing cleared developed areas external to the site, certainty must be established (through tenure or other means) that the land will remain cleared of hazardous vegetation.</p> <p>For staged developments, temporary separation distances, perimeter roads or fire trails may be absorbed as part of subsequent stages.</p> <p>Note - The achievement of a cleared separation distance may not be achievable where other provisions within the planning scheme require protection of certain ecological, slope, visual or character features or functions.</p>	<p>Complies with AO10</p> <p>The site is identified within the potential impact buffer and is significantly removed from any hazardous vegetation.</p>
<p>PO11</p> <p>A formed, all weather fire trail is provided between the hazardous vegetation and the site boundary or building</p>	<p>AO11</p> <p>Development sites are separated from hazardous vegetation by a public road or fire trail which has:</p>	<p>Not applicable</p> <p>A fire trail would not serve a practical fire management purpose in this instance.</p>

Performance outcomes	Acceptable outcomes	Compliance
<p>envelope, and is readily accessible at all times for the type of fire fighting vehicles servicing the area.</p> <p>However, a fire trail will not be required where it would not serve a practical fire management purpose.</p> <p>Note - Fire trails are unlikely to be required where a development site involves less than 2.5ha</p>	<ul style="list-style-type: none"> (a) a reserve or easement width of at least 20m; (b) a minimum trafficable (cleared and formed) width of 4m capable of accommodating a 15 tonne vehicle and which is at least 6m clear of vegetation; (c) no cut or fill embankments or retaining walls adjacent to the 4m wide trafficable path; (d) a minimum of 4.8m vertical clearance; (e) turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines; (f) a maximum gradient of 12.5%; (g) a cross fall of no greater than 10 degrees; (h) drainage and erosion control devices in accordance with the standards prescribed in a planning scheme policy; (i) vehicular access at each end which is connected to the public road network which is connected to the public road network at intervals of no more than 500m; (j) designated fire trail signage; (k) if used, has gates locked with a system authorised by Queensland Fire and Emergency Services; and (l) if a fire trail, has an access easement that is granted in favour of Council and Queensland Fire and Emergency Services. 	
All development		
<p>PO12</p> <p>All premises are provided with vehicular access that enables safe evacuation for occupants and easy access</p>	<p>AO12</p> <p>Private driveways:</p>	<p>Complies with AO12</p> <p>The driveway does not exceed 60 metres, has a width</p>

Performance outcomes	Acceptable outcomes	Compliance
<p>by fire fighting appliances.</p>	<ul style="list-style-type: none"> (a) do not exceed a length of 60m from the street to the building; (b) do not exceed a gradient of 12.5%; (c) have a minimum width of 3.5m; (d) have a minimum of 4.8m vertical clearance; (e) accommodate turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines; and (f) serve no more than 3 dwellings or buildings. 	<p>in excess of 3.5 metres and is on level ground.</p>
<p>PO13 Development outside reticulated water supply areas includes a dedicated static supply that is available solely for fire fighting purposes and can be accessed by fire fighting appliances.</p>	<p>AO13 A water tank is provided within 10m of each building (other than a class 10 building) which:</p> <ul style="list-style-type: none"> (a) is either below ground level or of non-flammable construction; (b) has a take off connection at a level that allows the following dedicated, static water supply to be left available for access by fire fighters: <ul style="list-style-type: none"> (i) 10,000l for residential buildings <p>Note – A minimum of 7,500l is required in a tank and the extra 2,500l may be in the form of accessible swimming pools or dams.</p> <ul style="list-style-type: none"> (ii) 45,000l for industrial buildings; and (iii) 20,000l for other buildings; (c) includes shielding of tanks and pumps in accordance with the relevant standards; (d) includes a hardstand area allowing medium rigid vehicle (15 tonne fire appliance) access within 6m of the tank; (e) is provided with fire brigade tank fittings – 50mm 	<p>Not applicable The site is serviced by reticulated water supply.</p>

Performance outcomes	Acceptable outcomes	Compliance
	<p>ball valve and male camlock coupling and, if underground, an access hole of 200mm (minimum) to accommodate suction lines; and</p> <p>(f) is clearly identified by directional signage provided at the street frontage.</p>	
<p>PO14 Landscaping does not increase the potential bushfire risk.</p>	<p>AO14 Landscaping uses species that are less likely to exacerbate a bushfire event and does not increase fuel loads within separation areas.</p>	<p>Not applicable No additional landscaping is proposed as part of this application.</p>
<p>PO15 The risk of bushfire and the need to mitigate that risk is balanced against other factors (such as but not limited to, biodiversity or scenic amenity).</p>	<p>AO15 Bushfire risk mitigation treatments do not have a significant impact on the natural environment or landscape character of the locality where this has value.</p>	<p>Not applicable No bushfire risk mitigation treatments are proposed.</p>

9.3.3 Centre activities code

9.3.3.1 Application

- (1) This code applies to assessing development for:
- (a) for Centre activities; and
 - (b) all development in a Centre zone, if:
 - (i) if assessable development where the code is an applicable code identified in the assessment criteria column of a table of assessment; or
 - (ii) impact assessable.
- (2) When using this code, reference should be made to Part 5.

9.3.3.2 Purpose

- (1) The purpose of the Centre activities code is to facilitate the timely establishment of centre activities within the Centre zone.
- (2) The purpose of the code will be achieved through the following overall outcomes;
- (a) within the Centre zone, to ensure that centre activities:
 - (i) facilitates the timely establishment of specified uses that require only minor building work to an existing premises;
 - (ii) has a scale, intensity and operation of the use of premises that is consistent with existing floor space and infrastructure.

9.3.3.3 Criteria for assessment

Table 9.3.3.3.a – Centre activities code – assessable development

Performance outcomes	Acceptable outcomes	Compliance
For self-assessable and assessable development		
Change of use within existing buildings or facilities		
PO1 Development that involves a change of use within an existing building ensures: <ul style="list-style-type: none"> (a) changes to floor space of the centre activity is minor; (b) the appropriate design and amenity standards for the centre activity is 	AO1 The centre activity: <ul style="list-style-type: none"> (a) is a use listed in Schedule 1, Table SC1.1.1.2 – Centre Activities; (b) is not a use listed in Schedule 1, Table SC1.1.1.2 – Large format retail activities; 	Complies with PO1 The proposed development would involve the following uses: <ul style="list-style-type: none"> • Food and Drink Outlet (existing); • Incorporated Tour Booking Office; and, • Associated vehicle storage.

Performance outcomes	Acceptable outcomes	Compliance
maintained.	<ul style="list-style-type: none"> (c) is located within the Centre zone; (d) is for a tenancy change only; (e) involves only minor building work to an existing building; (f) complies with the car parking requirements specified in (g) Table 9.4.1.3.b in the Access, parking and servicing code. <p>Note - The whole development means the entire building or activity on a site (or sites) where shared parking areas are utilised</p>	<p>The proposal would involve an increase in the total floor space of approximately 15m², which is considered to be very minor. The proposed development utilises the existing buildings on the site and provides an improved street presence and an improvement to the existing streetscape.</p> <p>The proposed development is considered to be consistent with the Performance Outcome.</p>
PO2 Building plant or equipment cannot be viewed from public places.	AO2.1 Plant or equipment is not located on roofs; or	Complies with AO2.1 No plant or equipment is proposed to be located in the roof.
	AO2.2 Where plant or equipment is placed on roofs, it is appropriately screened from the streetscape behind a parapet or similar design feature.	Complies with AO2.1 No plant or equipment is proposed to be located in the roof.
PO3 Development is located: <ul style="list-style-type: none"> (a) within an existing Centre zone; (b) a building containing an existing centre activity; (c) on a site identified as being suitable for Centre activities in a Local plan. 	AO3 No acceptable outcomes are prescribed.	Complies with PO3 The site is within the Centre zone.
PO4	AO4	Not applicable

Performance outcomes	Acceptable outcomes	Compliance
<p>A centre activity is only established outside an appropriately identified area where:</p> <ul style="list-style-type: none"> (a) community need is demonstrated for the centre; (b) the centre activity does not compromise the establishment of consolidated activity centres with distinct roles and functions across the Far North Queensland Region; (c) the centre activity does not compromise the established hierarchy of activity centres in the Far North Queensland Region; (d) the centre activity does not compromise the character and amenity of surrounding areas. <p>Note – An appropriately identified area is defined in PO3 of this code. Note – Refer to the Far North Queensland Regional Plan to determine the distinct roles and functions, and the established hierarchy of activity centres in Far North Queensland.</p>	<p>No acceptable outcomes are prescribed.</p>	<p>The site is within the centre zone.</p>
<p>PO5</p> <p>The siting of buildings contributes to the desired amenity and character of the area and protect the amenity of other land uses.</p>	<p>AO5.1</p> <p>Buildings setbacks to road frontages are:</p> <ul style="list-style-type: none"> (a) in accordance with the provisions of any applicable Local plan; (b) a minimum of 6 metres where no Local plan applies or there are no particular provisions specified in the Local pan for the site 	<p>Complies with PO5</p> <p>The proposed development would retain the existing zero setback of the existing two storey building and would provide for the extension of the awning over the footpath for the full site frontage to Stewart Street.</p> <p>The proposed development and setback to Stewart Street would enhance the image of Stewart Street as the primary retail street and would not adversely affect the amenity of any adjacent occupiers.</p> <p>The setback to Stewart Creek Road would remain unchanged as a result of this development.</p> <p>The completed development is considered to be consistent with the Performance Outcome and</p>

Performance outcomes	Acceptable outcomes	Compliance
		would make a positive contribution to the desired amenity and character of the area without impact on the adjoining occupiers.
	<p>AO5.2</p> <p>Where adjoining land in the Industry Zone, buildings are setback:</p> <ul style="list-style-type: none"> (a) 0 metres from the side and rear boundaries; or (b) 2.5 metres or ¼ of the height of the building, which ever if the greater; and (c) not any distance between 0 metres and 2.5 metres. 	<p>Not applicable</p> <p>The site does not adjoin land in the Industry Zone.</p>
	<p>AO5.3</p> <p>Where adjoining land in any other zone, buildings are setback 3.0 metres or ¼ of the height of the building, whichever if the greater and are provided with an acoustic barrier in accordance with the recommendations of a qualified acoustic expert.</p>	<p>Complies with PO5</p> <p>The site has common boundaries to the north and west with land in the Tourist Accommodation Zone. The existing buildings are setback 0 metres and 1.5 metres from these boundaries, respectively, and it is not proposed to change these setbacks as part of this development. The proposed development would not change the impact that the buildings have on the current character and amenity of the area or the amenity of the adjoining occupiers.</p>
	<p>AO5.4</p> <p>Setback areas are provided with a 2 metre landscaped strip capable of deep planting, which is kept clear of service equipment and storage areas:</p> <ul style="list-style-type: none"> (a) adjacent to the road frontage in all areas not required for pedestrian or vehicular access for the setback area nominated in AO5.1(b) above; (b) adjacent to the boundary with the other zone for 	<p>Complies with PO5</p> <p>Refer above.</p>

Performance outcomes	Acceptable outcomes	Compliance
	the setback area nominated in AO5.3 above.	
PO6 The site coverage of buildings ensures that there is sufficient space available to cater for services, landscaping and on-site parking.	AO6 Site coverage does not exceed 50%, unless otherwise specified in a Local plan.	Not applicable Complies with the requirements of the Centre Zone Code.
PO7 Building façades are articulated and finished in ways that respond to the attractive elements of surrounding buildings, and enhances existing streetscape character.	AO7 Building facades are articulated and finished with design elements such as: <ul style="list-style-type: none"> (a) variations in plane shape, such as curves, steps, recesses or projections; (b) variations in treatment and patterning of windows, sun protection devices, or other elements of the façade; (c) elements of finer scale, than the main structural framing. 	Complies with AO7 The proposed development would provide for the retention and refurbishment of the existing older building alongside a modern addition that presents an open façade to the street to enhance the streetscape character and respond to the tropical environment.
PO8 Development results in an attractive streetscape that: <ul style="list-style-type: none"> (a) contributes to a high level of amenity for patrons and pedestrians; (b) facilitates interactions between the public and private realm. 	AO8.1 Ground floor levels of buildings incorporate activities that are likely to foster casual, social or business interaction for extended periods (such as Shops, Food and drink outlets and the like).	Complies with AO8.1 The ground floor would incorporate a Food and Drink Outlet with the dining area fronting Stewart Street.
	AO8.2 Where a building has frontage to a public street or other public or semi public space, an active frontage is provided which includes a minimum of 75% of the façade consisting of transparent or semi-transparent windows or glazed doors.	Complies with AO8.2 The active frontage would comprise greater than 75% of the façade.
	AO8.3	Complies with AO8.3

Performance outcomes	Acceptable outcomes	Compliance
	<p>Frontages to public streets or other public or semi public spaces are articulated with vertical elements that emphasise a finer-grain and human scale to the building frontage.</p>	<p>The proposed development would retain the existing verandah associated with the existing building to maintain the human scale. This would be blended with a modern two storey high covered area that provides an improved street presence and open street front reflective of modern tropical architecture.</p>
	<p>AO8.4</p> <p>Where buildings are constructed up to a road frontage, a cantilever awning is to be provided over the footpath of the site, to the full frontage of the site, with a setback of 1 metre from the face of the kerb, and;</p> <ul style="list-style-type: none"> (a) with a maximum height of 3 metres to the underside of the awning; or (b) at a height consistent with, or stepping up or down to, the awning structures on buildings on adjoining sites. 	<p>Complies with PO8</p> <p>The proposed development would retain the existing verandah associated with the existing building and would provide a new two storey high covered area that extends over the footpath. Both the existing and proposed awning would extend a minimum of 3 metres over the footpath and the posts would be setback more than 1 metres from the face of the kerb. However, the new covered area would result in an awning of 6.5 metres in height over the footpath.</p> <p>Notwithstanding that the height exceeds the accepted 3 metres, the new awning has been designed to improve the appearance and street front presence of the site and to provide a transition between the old and new buildings. It also maximises interaction between the private and public realm.</p> <p>The proposal is considered to be consistent with the Performance Outcome.</p>
<p>PO9</p> <p>Development provides for the site to be landscaped in a manner that is consistent with the function, location and setting of the development.</p>	<p>AO9.1</p> <p>A minimum of 10% of the site is set aside for landscape planting</p>	<p>Complies with AO9.1</p> <p>More than 10% of the site would be provided for landscaping.</p>
	<p>AO9.2</p> <p>Landscaping is provided in accordance with the</p>	<p>Complies with AO9.1, where applicable.</p> <p>A 1.8 metre high screen fence would be provided</p>

Performance outcomes	Acceptable outcomes	Compliance
	<p>following:</p> <ul style="list-style-type: none"> (a) a mixture of shade trees and low planting is provided along street frontages where buildings are setback from the frontage; (b) shade trees are provided in car parks; (c) a landscaped area is provided between the centre activity, associated car parking and any adjacent residential use or zone which: <ul style="list-style-type: none"> (i) has a minimum width of 3 metres and is not used for storage or mechanical plant; (ii) is planted with a variety of hardy screening shrubs and trees; (iii) incorporates a minimum 1.8 metre high solid screen fence. <p>Note – Additional fencing requirements beyond the minimum standard may be required for acoustic and lighting attenuation purposes in accordance with AO5.3.</p>	to the side and rear boundary.
Additional requirements for adult stores		
<p>PO10</p> <p>An adult store is located to satisfy reasonable community expectations in relation to location and accessibility.</p>	<p>AO10</p> <p>The distance between the boundary of the land occupied by a sensitive land use and the entrance of a proposed adult store is:</p> <ul style="list-style-type: none"> (a) more than 200 metres according to the shortest route a person may lawfully take on foot; (b) more than 100 metres measured in a straight line. 	<p>Not applicable</p> <p>No adult stores are proposed.</p>
<p>PO11</p> <p>The presentation of adult stores satisfies reasonable</p>	<p>AO11.1</p> <p>The display window of the adult store is completely</p>	<p>Not applicable</p>

Performance outcomes	Acceptable outcomes	Compliance
community expectations.	screened to prevent viewing into the interior of the development where goods are displayed.	No adult stores are proposed.
	AO11.2 Signage associated with the adult store that is visible external to the development is not sexually suggestive or potentially offensive in either graphical or written form.	Not applicable No adult stores are proposed.
	AO11.3 External signage associated with an adult store has a cumulative total of 5m ² .	Not applicable No adult stores are proposed.
	AO11.4 Signage (other than required by A11.3) is limited to the following types: <ul style="list-style-type: none"> (a) below awning sign; (b) fascia sign; (c) window sign. 	Not applicable No adult stores are proposed.

9.4.1 Access, parking and servicing code

9.4.1.1 Application

- (1) This code applies to assessing:
 - (a) operational work which requires a compliance assessment as a condition of a development permit; or
 - (b) a material change of use or reconfiguring a lot if:
 - (i) self-assessable or assessable development where this code is identified in the assessment criteria column of the table of assessment;
 - (ii) impact assessable development, to the extent relevant.
- (2) When using this code, reference should be made to Part 5.

9.4.1.2 Purpose

- (1) The purpose of the Access, parking and servicing code is to assess the suitability of access, parking and associated servicing aspects of a development.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) sufficient vehicle parking is provided on-site to cater for all types of vehicular traffic accessing and parking on-site, including staff, guests, patrons, residents and short term delivery vehicles;
 - (b) sufficient bicycle parking and end of trip facilities are provided on-site to cater for customer and service staff;
 - (c) on-site parking is provided so as to be accessible and convenient, particularly for any short term uses;
 - (d) development provides walking and cycle routes through the site which link the development to the external walking and cycling network;
 - (e) the provision of on-site parking, loading / unloading facilities and the provision of access to the site do not impact on the efficient function of street network or on the area in which the development is located;
 - (f) new vehicular access points are safely located and are not in conflict with the preferred ultimate streetscape character and local character and do not unduly disrupt any current or future on-street parking arrangements.

9.4.1.3 Criteria for assessment

Table 9.4.1.3.a – Access, parking and servicing code –assessable development

Performance outcomes	Acceptable outcomes	Compliance
For self-assessable and assessable development		
<p>PO1 Sufficient on-site car parking is provided to cater for the amount and type of vehicle traffic expected to be</p>	<p>AO1.1 The minimum number of on-site vehicle parking spaces is not less than the number prescribed in Table</p>	<p>Complies with PO1 The existing development on the site provides ground floor food and drink use and 4 accommodation rooms</p>

Performance outcomes	Acceptable outcomes	Compliance
<p>generated by the use or uses of the site, having particular regard to:</p> <p>(a) the desired character of the area;</p> <p>(b) the nature of the particular use and its specific characteristics and scale;</p> <p>(c) the number of employees and the likely number of visitors to the site;</p> <p>(d) the level of local accessibility;</p> <p>(e) the nature and frequency of any public transport serving the area;</p> <p>(f) whether or not the use involves the retention of an existing building and the previous requirements for car parking for the building</p> <p>(g) whether or not the use involves a heritage building or place of local significance;</p> <p>(h) whether or not the proposed use involves the retention of significant vegetation.</p>	<p>9.4.1.3.b for that particular use or uses.</p> <p>Note - Where the number of spaces calculated from the table is not a whole number, the number of spaces provided is the next highest whole number.</p>	<p>on the first floor with a storage shed to the rear.</p> <p>The proposed development would provide an additional 15m² of ground floor food and drink use and only three accommodation rooms on the first floor.</p> <p>The planning scheme established the following accepted on-site car parking rates for the existing and proposed development:</p> <ul style="list-style-type: none"> • Food and Drink Use – 1/50m² of dining area. • Rooming Accommodation – Nil • Transport Depot (Vehicle Storage (nil) <p>Based on the additional dining area, the proposed development would generate the demand for one additional space, which is considered to be off-set by the reduction in the number of bedrooms on the first floor.</p> <p>The proposed development would not result in an increased in car parking demand above that generated by the existing use of the site and would retain the existing character of the area.</p> <p>It is considered that the proposed development complies with the Performance Outcome.</p>
	<p>AO1.2</p> <p>Car parking spaces are freely available for the parking of vehicles at all times and are not used for external storage purposes, the display of products or rented/sub-leased.</p>	<p>Not applicable</p> <p>Consistent with the existing development, no car parking is proposed.</p>
	<p>AO1.3</p> <p>Parking for motorcycles is substituted for ordinary vehicle parking to a maximum level of 2% of total ordinary vehicle parking.</p>	<p>Not applicable</p> <p>No motorcycle parking is proposed.</p>

Performance outcomes	Acceptable outcomes	Compliance
	<p>AO1.4</p> <p>For parking areas exceeding 50 spaces parking, is provided for recreational vehicles as a substitute for ordinary vehicle parking to a maximum of 5% of total ordinary vehicle parking rate.</p>	<p>Not applicable</p> <p>The car parking provision would not exceed 50 spaces.</p>
<p>PO2</p> <p>Vehicle parking areas are designed and constructed in accordance with relevant standards.</p>	<p>AO2</p> <p>Vehicle parking areas are designed and constructed in accordance with Australian Standard:</p> <ul style="list-style-type: none"> (a) AS2890.1; (b) AS2890.3; (c) AS2890.6. 	<p>Not applicable</p> <p>Consistent with the existing development no car parking is proposed.</p>
<p>PO3</p> <p>Access points are designed and constructed:</p> <ul style="list-style-type: none"> (a) to operate safely and efficiently; (b) to accommodate the anticipated type and volume of vehicles (c) to provide for shared vehicle (including cyclists) and pedestrian use, where appropriate; (d) so that they do not impede traffic or pedestrian movement on the adjacent road area; (e) so that they do not adversely impact upon existing intersections or future road or intersection improvements; (f) so that they do not adversely impact current and future on-street parking arrangements; (g) so that they do not adversely impact on existing services within the road reserve adjacent to the site; 	<p>AO3.1</p> <p>Access is limited to one access cross over per site and is an access point located, designed and constructed in accordance with:</p> <ul style="list-style-type: none"> (a) Australian Standard AS2890.1; (b) Planning scheme policy SC6.5 – FNQROC Regional Development Manual - access crossovers. 	<p>Complies with AO3.1</p> <p>Access would be via the existing single crossover and no additional crossovers are proposed.</p>
	<p>AO3.2</p> <p>Access, including driveways or access crossovers:</p> <ul style="list-style-type: none"> (a) are not placed over an existing: <ul style="list-style-type: none"> (i) telecommunications pit; (ii) stormwater kerb inlet; (iii) sewer utility hole; (iv) water valve or hydrant. 	<p>Complies with AO3.2</p> <p>Access would be via the existing single crossover and no additional crossovers are proposed.</p>

Performance outcomes	Acceptable outcomes	Compliance
<p>(h) so that they do not involve ramping, cutting of the adjoining road reserve or any built structures (other than what may be necessary to cross over a stormwater channel).</p>	<p>(b) are designed to accommodate any adjacent footpath;</p> <p>(c) adhere to minimum sight distance requirements in accordance with AS2980.1.</p>	
	<p>AO3.3</p> <p>Driveways are:</p> <p>(a) designed to follow as closely as possible to the existing contours, but are no steeper than the gradients outlined in Planning scheme policy SC6.5 – FNQROC Regional Development Manual;</p> <p>(b) constructed such that where there is a grade shift to 1 in 4 (25%), there is an area with a grade of no more than 1 in 6 (16.6%) prior to this area, for a distance of at least 5 metres;</p> <p>(c) on gradients greater than 1 in 6 (16.6%) driveways are constructed to ensure the cross-fall of the driveway is one way and directed into the hill, for vehicle safety and drainage purposes;</p> <p>(d) constructed such that the transitional change in grade from the road to the lot is fully contained within the lot and not within the road reserve;</p> <p>(e) designed to include all necessary associated drainage that intercepts and directs storm water runoff to the storm water drainage system.</p>	<p>Complies with AO3.3</p> <p>Access would be via the existing single crossover and no additional crossovers are proposed.</p>
	<p>AO3.4</p> <p>Surface construction materials are consistent with the current or intended future streetscape or character of the area and contrast with the surface construction materials of any adjacent footpath.</p>	<p>Complies with AO3.4</p> <p>Access would be via the existing single crossover and no additional crossovers are proposed.</p>
<p>PO4</p>	<p>AO4</p>	<p>Not applicable</p>

Performance outcomes	Acceptable outcomes	Compliance
Sufficient on-site wheel chair accessible car parking spaces are provided and are identified and reserved for such purposes.	The number of on-site wheel chair accessible car parking spaces complies with the rates specified in AS2890 Parking Facilities.	Consistent with the existing development, no car parking is proposed.
<p>PO5</p> <p>Access for people with disabilities is provided to the building from the parking area and from the street.</p>	<p>A05</p> <p>Access for people with disabilities is provided in accordance with the relevant Australian Standard.</p>	<p>Complies with A05</p> <p>The proposed development has been designed to accommodate access from the on-street parking for persons with disabilities.</p>
<p>PO6</p> <p>Sufficient on-site bicycle parking is provided to cater for the anticipated demand generated by the development.</p>	<p>A06</p> <p>The number of on-site bicycle parking spaces complies with the rates specified in Table 9.1.4.3.b.</p>	<p>Able to comply with A06</p> <p>The proposed development, at the rate of one space per 100m² would be required to provide 5 bicycle parking spaces. These are able to be accommodated on-site if considered necessary and Council are invited to attach a condition to any approval granted if considered necessary.</p>
<p>PO7</p> <p>Development provides secure and convenient bicycle parking which:</p> <p>(a) for visitors is obvious and located close to the building's main entrance;</p> <p>(b) for employees is conveniently located to provide secure and convenient access between the bicycle storage area, end-of-trip facilities and the main area of the building;</p> <p>(c) is easily and safely accessible from outside the site.</p>	<p>A07.1</p> <p>Development provides bicycle parking spaces for employees which are co-located with end-of-trip facilities (shower cubicles and lockers);</p>	<p>Not applicable</p> <p>No end of trip facilities are required.</p>
	<p>A07.2</p> <p>Development ensures that the location of visitor bicycle parking is discernible either by direct view or using signs from the street.</p>	<p>Able to comply with A07.2</p> <p>Bicycle parking is able to be accommodated on-site if considered necessary and Council are invited to attach a condition to any approval granted if considered necessary</p>
	<p>A07.3</p> <p>Development provides visitor bicycle parking which does not impede pedestrian movement.</p>	<p>Able to comply with A07.3</p> <p>Bicycle parking is able to be accommodated on-site if considered necessary and Council are invited to attach a condition to any approval granted if considered necessary</p>

Performance outcomes	Acceptable outcomes	Compliance
<p>PO8</p> <p>Development provides walking and cycle routes through the site which:</p> <ul style="list-style-type: none"> (a) link to the external network and pedestrian and cyclist destinations such as schools, shopping centres, open space, public transport stations, shops and local activity centres along the safest, most direct and convenient routes; (b) encourage walking and cycling; (c) ensure pedestrian and cyclist safety. 	<p>AO8</p> <p>Development provides walking and cycle routes which are constructed on the carriageway or through the site to:</p> <ul style="list-style-type: none"> (a) create a walking or cycle route along the full frontage of the site; (b) connect to public transport and existing cycle and walking routes at the frontage or boundary of the site. 	<p>Complies with AO8</p> <p>The proposed development would provide an improved frontage that would enhance the existing footpath experience.</p>
<p>PO9</p> <p>Access, internal circulation and on-site parking for service vehicles are designed and constructed:</p> <ul style="list-style-type: none"> (a) in accordance with relevant standards; (b) so that they do not interfere with the amenity of the surrounding area; (c) so that they allow for the safe and convenient movement of pedestrians, cyclists and other vehicles. 	<p>AO9.1</p> <p>Access driveways, vehicle manoeuvring and on-site parking for service vehicles are designed and constructed in accordance with AS2890.1 and AS2890.2.</p>	<p>Complies with AO9.1</p> <p>Access would be via the existing single crossover and no additional crossovers are proposed. The existing crossover provides access and manoeuvring for the required service vehicles.</p>
	<p>AO9.2</p> <p>Service and loading areas are contained fully within the site.</p>	<p>Complies with AO9.2</p> <p>The service and delivery bay is located within the site.</p>
	<p>AO9.3</p> <p>The movement of service vehicles and service operations are designed so they:</p> <ul style="list-style-type: none"> (a) do not impede access to parking spaces; (b) do not impede vehicle or pedestrian traffic movement. 	<p>Complies with AO9.3</p> <p>The site would be serviced using the existing and accepted servicing arrangements from Stewart Creek Road.</p>
<p>PO10</p> <p>Sufficient queuing and set down areas are provided to accommodate the demand generated by the</p>	<p>AO10.1</p> <p>Development provides adequate area on-site for vehicle queuing to accommodate the demand</p>	<p>Not applicable</p> <p>No vehicle queueing is required.</p>

Performance outcomes	Acceptable outcomes	Compliance
development.	<p>generated by the development where drive through facilities or drop-off/pick-up services are proposed as part of the use, including, but not limited to, the following land uses:</p> <ul style="list-style-type: none"> (a) car wash; (b) child care centre; (c) educational establishment where for a school; (d) food and drink outlet, where including a drive-through facility; (e) hardware and trade supplies, where including a drive-through facility; (f) hotel, where including a drive-through facility; (g) service station. 	
	<p>AO10.2 Queuing and set-down areas are designed and constructed in accordance with AS2890.1.</p>	<p>Not applicable No vehicle queueing is required.</p>

9.4.3 Environmental performance code

9.4.3.1 Application

(1) This code applies to assessing:

- (a) building work for outdoor lighting;
- (b) a material change of use or reconfiguring a lot if:
 - (i) assessable development where the code is identified in the assessment criteria column of a table of assessment; or
 - (ii) impact assessable development, to the extent relevant.

Note – Where for the purpose of lighting a tennis court in a Residential zone, a compliance statement prepared by a suitably qualified person must be submitted to Council with the development application for building work.

(2) When using this code, reference should be made to Part 5.

9.4.3.2 Purpose

(1) The purpose of the Environmental performance code is to ensure development is designed and operated to avoid or mitigate impacts on sensitive receiving environments.

(2) The purpose of the code will be achieved through the following overall outcomes:

- (a) activities that have potential to cause an adverse impact on amenity of adjacent and surrounding land, or environmental harm is avoided through location, design and operation of the development;
- (b) sensitive land uses are protected from amenity related impacts of lighting, odour, airborne particles and noise, through design and operation of the development;
- (c) stormwater flowing over, captured or discharged from development sites is of a quality adequate to enter receiving waters and downstream environments;
- (d) development contributes to the removal and ongoing management of weed species.

9.4.3.3 Criteria for assessment

Table 9.4.3.3.a – Environmental performance code – assessable development

Performance outcomes	Acceptable outcomes	Compliance
Lighting		
PO1 Lighting incorporated within development does not cause an adverse impact on the amenity of adjacent	AO1.1 Technical parameters, design, installation, operation and maintenance of outdoor lighting comply with the requirements of Australian standard AS4282-1997	Able to comply with AO1.1 All external lighting would comply with the relevant Australian Standards.

Performance outcomes	Acceptable outcomes	Compliance
uses and nearby sensitive land uses.	Control of the obtrusive effects of outdoor lighting.	
	AO1.2 Development that involves flood lighting is restricted to a type that gives no upward component of light where mounted horizontally.	Not applicable No flood lighting is proposed.
	AO1.3 Access, car parking and manoeuvring areas are designed to shield nearby residential premises from impacts of vehicle headlights.	Complies with AO1.3 All vehicle access areas would be between buildings and would be shielded from adjacent uses.
Noise		
PO2 Potential noise generated from the development is avoided through design, location and operation of the activity. Note – Planning Scheme Policy SC6.4 – Environmental management plans provides guidance on preparing a report to demonstrate compliance with the purpose and outcomes of the code.	AO2.1 Development does not involve activities that would cause noise related environmental harm or nuisance; or	Complies with AO2.1 No activities are proposed that are intended to cause environmental harm or nuisance.
	AO2.2 Development ensures noise does not emanate from the site through the use of materials, structures and architectural features to not cause an adverse noise impact on adjacent uses.	Complies with AO2.2 The design of the development and the location of the buildings would direct noise towards the street frontages and away from the adjoining uses.
	AO2.3 The design and layout of development ensures car parking areas avoid noise impacting directly on adjacent sensitive land uses through one or more of the following: (a) car parking is located away from adjacent sensitive	Complies with AO2.3 All vehicle parking and manoeuvring areas would be separated from common boundaries with adjoining uses or would be indoors.

Performance outcomes	Acceptable outcomes	Compliance
	<p>land uses;</p> <p>(b) car parking is enclosed within a building;</p> <p>(c) a noise ameliorating fence or structure is established adjacent to car parking areas where the fence or structure will not have a visual amenity impact on the adjoining premises;</p> <p>(d) buffered with dense landscaping.</p> <p>Editor's note - The Environmental Protection (Noise) Policy 2008, Schedule 1 provides guidance on acoustic quality objectives to ensure environmental harm (including nuisance) is avoided.</p>	
Airborne particles and other emissions		
<p>PO3</p> <p>Potential airborne particles and emissions generated from the development are avoided through design, location and operation of the activity.</p> <p>Note – Planning Scheme Policy SC6.4 – Environmental management plans provides guidance on preparing a report to demonstrate compliance with the purpose and outcomes of the code.</p>	<p>AO3.1</p> <p>Development does not involve activities that will result in airborne particles or emissions being generated; or</p>	<p>Complies with AO3.1</p> <p>The proposed use would be operated to ensure that airborne particles are not emitted to the environment. Including through the use of extraction and filtration systems in the kitchens.</p>
	<p>AO3.2</p> <p>The design, layout and operation of the development activity ensures that no airborne particles or emissions cause environmental harm or nuisance.</p> <p>Note - examples of activities which generally cause airborne particles include spray painting, abrasive blasting, manufacturing activities and car wash facilities. Examples of emissions include exhaust ventilation from basement or enclosed parking structures, air conditioning/refrigeration ventilation and exhaustion. The Environmental Protection (Air) Policy 2008, Schedule 1 provides guidance on air quality objectives to ensure environmental harm (including nuisance) is avoided.</p>	<p>Complies with AO3.2</p> <p>The proposed use would be operated to ensure that airborne particles are not emitted to the environment. Including through the use of extraction and filtration systems in the kitchens</p>
Odours		

Performance outcomes	Acceptable outcomes	Compliance
<p>PO4</p> <p>Potential odour causing activities associated with the development are avoided through design, location and operation of the activity.</p> <p>Note – Planning Scheme Policy SC6.4 – Environmental management plans provides guidance on preparing a report to demonstrate compliance with the purpose and outcomes of the code.</p>	<p>AO4.1</p> <p>The development does not involve activities that create odorous emissions; or</p>	<p>Complies with AO4.1</p> <p>The proposed use would be operated to ensure that odours are not emitted to the environment. Including through the use of extraction and filtration systems in the kitchens.</p>
	<p>AO4.2</p> <p>The use does not result in odour that causes environmental harm or nuisance with respect to surrounding land uses.</p>	<p>Complies with AO4.1</p> <p>The proposed use would be operated to ensure that odours are not emitted to the environment. Including through the use of extraction and filtration systems in the kitchens.</p>
<p>Waste and recyclable material storage</p>		
<p>PO5</p> <p>Waste and recyclable material storage facilities are located and maintained to not cause adverse impacts on adjacent uses.</p> <p>Note – Planning Scheme Policy SC6.4 – Environmental management plans provides guidance on preparing a report to demonstrate compliance with the purpose and outcomes of the code.</p>	<p>AO5.1</p> <p>The use ensures that all putrescent waste is stored in a manner that prevents odour nuisance and is disposed of at regular intervals.</p>	<p>Complies with AO5.1</p> <p>Putrescent waste would be stored in an appropriately sized commercial receptacle, which would be disposed of by a licensed contractor at regular intervals.</p>
	<p>AO5.2</p> <p>Waste and recyclable material storage facilities are located, designed and maintained to not cause an adverse impact on users of the premises and adjacent uses through consideration of:</p> <ul style="list-style-type: none"> (a) the location of the waste and recyclable material storage areas in relation to the noise and odour generated; (b) the number of receptacles provided in relation to the collection, maintenance and use of the receptacles; (c) the durability of the receptacles, sheltering and potential impacts of local climatic conditions; (d) the ability to mitigate spillage, seepage or leakage 	<p>Complies with AO5.2</p> <p>The waste and recyclable material storage facility would be located adjacent the rear boundary and accessed from Stewart Creek Road.</p>

Performance outcomes	Acceptable outcomes	Compliance
	<p>from receptacles into adjacent areas and sensitive receiving waters and environments.</p> <p>Editor's note - the Environmental Protection (Waste Management) Policy 2008 provides guidance on the design of waste containers (receptacles) to ensure environmental harm (including nuisance) is avoided.</p>	
Sensitive land uses		
<p>PO6</p> <p>Sensitive land use activities are not established in areas which will receive potentially incompatible impacts on amenity from surrounding, existing development activities and land uses.</p>	<p>AO6.1</p> <p>Sensitive land use activities are not established in areas that will be adversely impacted upon by existing land uses, activities and potential development possible in an area; or</p>	<p>Not applicable</p> <p>The proposal does not involve a sensitive land use.</p>
	<p>AO6.2</p> <p>Sensitive land activities are located in areas where potential adverse amenity impacts mitigate all potential impacts through layout, design, operation and maintenance.</p>	<p>Not applicable</p> <p>The proposal does not involve a sensitive land use.</p>
Stormwater quality		
<p>PO7</p> <p>The quality of stormwater flowing over, through or being discharged from development activities into watercourses and drainage lines is of adequate quality for downstream environments, with respect to:</p> <p>(a) the amount and type of pollutants borne from the activity;</p> <p>(b) maintaining natural stream flows</p>	<p>AO7.1</p> <p>Development activities are designed to ensure stormwater over roofed and hard stand areas is directed to a lawful point of discharge.</p>	<p>Complies with AO7.1</p> <p>The existing stormwater management regime would be maintained by the proposed development.</p>
	<p>AO7.2</p> <p>Development ensures movement of stormwater over the site is not impeded or directed through potentially polluting activities.</p>	<p>Complies with AO7.2</p> <p>The existing stormwater management regime would be maintained by the proposed development.</p>

Performance outcomes	Acceptable outcomes	Compliance
<p>(c) the amount and type of site disturbance; (d) site management and control measures.</p>	<p>A07.3</p> <p>Soil and water control measures are incorporated into the activity's design and operation to control sediment and erosion potentially entering watercourses, drainage lines and downstream receiving waters.</p> <p>Note - Planning scheme policy - FNQROC Regional Development Manual provides guidance on soil and water control measures to meet the requirements of the Environmental Protection Act 1994. During construction phases of development, contractors and builders are to have consideration in their work methods and site preparation for their environmental duty to protect stormwater quality.</p>	<p>Complies with A07.3</p> <p>The existing stormwater management regime would be maintained by the proposed development.</p>
Pest plants (for material change of use on vacant land over 1,000m²)		
<p>PO8</p> <p>Development activities and sites provide for the removal of all pest plants and implement ongoing measures to ensure that pest plants do not reinfest the site or nearby sites.</p>	<p>A08.1</p> <p>The land is free of declared pest plants before development establishes new buildings, structures and practices; or</p>	<p>Not applicable</p> <p>The site is not a vacant site.</p>
<p>Editor's note - This does not remove or replace all land owner's obligations or responsibilities under the Land Protection (Pest and Stock Route Management) Act 2002.</p>	<p>A08.2</p> <p>Pest plants detected on a development site are removed in accordance with a management plan prepared by an appropriately qualified person prior to construction of buildings and structures or earthworks.</p> <p>Note - A declaration from an appropriately qualified person validates the land being free from pest plants. Declared pest plants include locally declared and State declared pest plants.</p>	<p>Not applicable</p> <p>The site is not a vacant site.</p>

9.4.5 Infrastructure works code

9.4.5.1 Application

- (1) This code applies to assessing:
 - (a) operational work which requires an assessment as a condition of a development permit or is assessable development if this code is identified in the assessment criteria column of a table of assessment;
 - (b) a material change of use or reconfiguring a lot if:
 - (i) assessable development where this code is identified in the assessment criteria column of the table of assessment;
 - (ii) impact assessable development, to the extent relevant.

Note – The Filling and excavation code applies to operational work for filling and excavation.

- (2) When using this code, reference should be made to Part 5.

9.4.5.2 Purpose

- (1) The purpose of the Infrastructure works code is to ensure that development is safely and efficiently serviced by, and connected to, infrastructure.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) the standards of water supply, waste water treatment and disposal, stormwater drainage, local electricity supply, telecommunications, footpaths and road construction meet the needs of development and are safe and efficient;
 - (b) development maintains high environmental standards;
 - (c) development is located, designed, constructed and managed to avoid or minimise impacts arising from altered stormwater quality or flow, wastewater discharge, and the creation of non-tidal artificial waterways;
 - (d) the integrity of existing infrastructure is maintained;
 - (e) development does not detract from environmental values or the desired character and amenity of an area.

9.4.5.3 Criteria for assessment

Table 9.4.5.3.a – Infrastructure works code –assessable development

Performance outcomes	Acceptable outcomes	Compliance
For self-assessable and assessable development		
Works on a local government road		

Performance outcomes	Acceptable outcomes	Compliance
<p>PO1</p> <p>Works on a local government road do not adversely impact on footpaths or existing infrastructure within the road verge and maintain the flow, safety and efficiency of pedestrians, cyclists and vehicles.</p>	<p>AO1.1</p> <p>Footpaths/pathways are located in the road verge and are provided for the hierarchy of the road and located and designed and constructed in accordance with Planning scheme policy SC5 – FNQROC Regional Development Manual.</p>	<p>Complies with AO1.1</p> <p>The proposal would involve the upgrade of the footpath at the site frontage with the footpath works being designed and constructed to satisfy the FNQROC manual standards.</p>
	<p>AO1.2</p> <p>Kerb ramp crossovers are constructed in accordance with Planning scheme policy SC 5 – FNQROC Regional Development Manual.</p>	<p>Not applicable</p> <p>No kerb ramps or crossovers are proposed.</p>
	<p>AO1.3</p> <p>New pipes, cables, conduits or other similar infrastructure required to cross existing footpaths:</p> <ul style="list-style-type: none"> (a) are installed via trenchless methods; or (b) where footpath infrastructure is removed to install infrastructure, the new section of footpath is installed to the standard detailed in the Planning scheme policy SC5 – FNQROC Regional Development Manual, and is not less than a 1.2 metre section. 	<p>Able to comply with AO1.3</p> <p>Where any works are required in the road reserve the footpath would be reinstated to the FNQROC manual standards.</p>
	<p>AO1.4</p> <p>Where existing footpaths are damaged as a result of development, footpaths are reinstated ensuring:</p> <ul style="list-style-type: none"> (a) similar surface finishes are used; (b) there is no change in level at joins of new and existing sections; (c) new sections are matched to existing in terms of dimension and reinforcement. 	<p>Able to comply with AO1.4</p> <p>The proposed footpath at the frontage to Stewart Street would be upgraded and reinstated in accordance with the FNQROC Manual standards.</p>

Performance outcomes	Acceptable outcomes	Compliance
	<p>AO1.5</p> <p>Decks, verandahs, stairs, posts and other structures located in the road reserve do not restrict or impede pedestrian movement on footpaths or change the level of the road verges.</p>	<p>Complies with AO1.5</p> <p>The proposed new awning would not impede the pedestrian movement on the footpath to Stewart Street and it is not proposed to change the level of the road reserve as part of this development.</p>
Accessibility structures		
<p>PO2</p> <p>Development is designed to ensure it is accessible for people of all abilities and accessibility features do not impact on the efficient and safe use of footpaths.</p> <p>Note – Accessibility features are those features required to ensure access to premises is provided for people of all abilities and include ramps and lifts.</p>	<p>AO2.1</p> <p>Accessibility structures are not located within the road reserve.</p>	<p>Complies with AO2.1</p> <p>No new accessibility structures would be located in the road reserve.</p>
	<p>AO2.2</p> <p>Accessibility structures are designed in accordance with AS1428.3.</p>	<p>Able to comply with AO2.2</p> <p>The new works, in accordance with the Building Code of Australia, would be required to satisfy the accessibility requirements to achieve building approval. The assessment of the accessibility requirements and compliance would be achieved during the building application and approval process.</p>
	<p>AO2.3</p> <p>When retrofitting accessibility features in existing buildings, all structures and changes in grade are contained within the boundaries of the lot and not within the road reserve.</p>	<p>Complies with AO2.3</p> <p>All new access structures would be contained within the lot and not the road reserve.</p>
Water supply		
<p>PO3</p> <p>An adequate, safe and reliable supply of potable, fire fighting and general use water is provided.</p>	<p>AO3.1</p> <p>The premises is connected to Council's reticulated water supply system in accordance with the Design Guidelines set out in Section D6 of the Planning</p>	<p>Complies with AO3.1</p> <p>The site is connected to the Council's reticulated water supply.</p>

Performance outcomes	Acceptable outcomes	Compliance
	<p>scheme policy SC5 – FNQROC Regional Development Manual;</p> <p>or</p> <p>AO3.2</p> <p>Where a reticulated water supply system is not available to the premises, on site water storage tank/s with a minimum capacity of 10,000 litres of stored water, with a minimum 7,500 litre tank, with the balance from other sources (e.g. accessible swimming pool, dam etc.) and access to the tank/s for fire trucks is provided for each new house or other development. Tank/s are to be fitted with a 50mm ball valve with a camlock fitting and installed and connected prior to occupation of the house and sited to be visually unobtrusive.</p>	
Treatment and disposal of effluent		
<p>PO4</p> <p>Provision is made for the treatment and disposal of effluent to ensure that there are no adverse impacts on water quality and no adverse ecological impacts as a result of the system or as a result of increasing the cumulative effect of systems in the locality.</p>	<p>AO4.1</p> <p>The site is connected to Council’s sewerage system and the extension of or connection to the sewerage system is designed and constructed in accordance with the Design Guidelines set out in Section D7 of the Planning scheme policy SC5 – FNQROC Regional Development Manual;</p> <p>or</p> <p>AO4.2</p> <p>Where not in a sewerage scheme area, the proposed disposal system meets the requirements of Section 33 of the <i>Environmental Protection Policy (Water) 1997</i> and the proposed on site effluent disposal system is designed in accordance with the <i>Plumbing and Drainage Act (2002)</i>.</p>	<p>Complies with AO4.2</p> <p>The site would be serviced by an on-site effluent disposal system as set out in Appendix 3.</p>

Performance outcomes	Acceptable outcomes	Compliance
Stormwater quality		
<p>PO5</p> <p>Development is planned, designed, constructed and operated to avoid or minimise adverse impacts on stormwater quality in natural and developed catchments by:</p> <ul style="list-style-type: none"> (a) achieving stormwater quality objectives; (b) protecting water environmental values; (c) maintaining waterway hydrology. 	<p>AO5.1</p> <p>A connection is provided from the premises to Council’s drainage system;</p> <p>or</p> <p>AO5.2</p> <p>An underground drainage system is constructed to convey stormwater from the premises to Council’s drainage system in accordance with the Design Guidelines set out in Sections D4 and D5 of the Planning scheme policy SC5 – FNQROC Regional Development Manual.</p>	<p>Complies with AO5.1</p> <p>The existing stormwater management regime would be maintained as part of the proposed development and all stormwater would be directed to a lawful point of discharge.</p>
	<p>AO5.3</p> <p>A stormwater quality management plan is prepared, and provides for achievable stormwater quality treatment measures meeting design objectives listed in Table 9.4.5.3.b and Table 9.4.5.3.c, reflecting land use constraints, such as:</p> <ul style="list-style-type: none"> (a) erosive, dispersive and/or saline soil types; (b) landscape features (including landform); (c) acid sulfate soil and management of nutrients of concern; (d) rainfall erosivity. 	<p>Complies with AO5.3</p> <p>The existing stormwater management regime would be maintained as part of the proposed development and all storm water would be directed to a lawful point of discharge.</p>
	<p>AO5.4</p> <p>Erosion and sediment control practices are designed, installed, constructed, monitored, maintained, and carried out in accordance with an erosion and sediment control plan.</p>	<p>Complies with AO5.4</p> <p>The existing stormwater management regime would be maintained as part of the proposed development and all storm water would be directed to a lawful point of discharge.</p>

Performance outcomes	Acceptable outcomes	Compliance
	<p>AO5.5</p> <p>Development incorporates stormwater flow control measures to achieve the design objectives set out in Table 9.4.5.3.b and Table 9.4.5.3.c, including management of frequent flows, peak flows, and construction phase hydrological impacts.</p> <p>Note – Planning scheme policy SC5 – FNQROC Regional Development Manual provides guidance on soil and water control measures to meet the requirements of the <i>Environmental Protection Act 1994</i>.</p> <p>Note – During construction phases of development, contractors and builders are to have consideration in their work methods and site preparation for their environmental duty to protect stormwater quality.</p>	<p>Complies with AO5.5</p> <p>The existing stormwater management regime would be maintained as part of the proposed development and all stormwater would be directed to a lawful point of discharge.</p>
Non-tidal artificial waterways		
<p>PO6</p> <p>Development involving non-tidal artificial waterways is planned, designed, constructed and operated to:</p> <ul style="list-style-type: none"> (a) protect water environmental values; (b) be compatible with the land use constraints for the site for protecting water environmental values; (c) be compatible with existing tidal and non-tidal waterways; (d) perform a function in addition to stormwater management; (e) achieve water quality objectives. 	<p>AO6.1</p> <p>Development involving non-tidal artificial waterways ensures:</p> <ul style="list-style-type: none"> (a) environmental values in downstream waterways are protected; (b) any ground water recharge areas are not affected; (c) the location of the waterway incorporates low lying areas of the catchment connected to an existing waterway; (d) existing areas of ponded water are included. 	<p>Not applicable</p> <p>No waterways are proposed as part of the development.</p>
	<p>AO6.2</p> <p>Non-tidal artificial waterways are located:</p> <ul style="list-style-type: none"> (a) outside natural wetlands and any associated buffer 	<p>Not applicable</p> <p>No waterways are proposed as part of the development.</p>

Performance outcomes	Acceptable outcomes	Compliance
	<p>areas;</p> <p>(b) to minimise disturbing soils or sediments;</p> <p>(c) to avoid altering the natural hydrologic regime in acid sulfate soil and nutrient hazardous areas.</p>	
	<p>AO6.3</p> <p>Non-tidal artificial waterways located adjacent to, or connected to a tidal waterway by means of a weir, lock, pumping system or similar ensures:</p> <p>(a) there is sufficient flushing or a tidal range of >0.3 m; or</p> <p>(b) any tidal flow alteration does not adversely impact on the tidal waterway; or</p> <p>(c) there is no introduction of salt water into freshwater environments.</p>	<p>Not applicable</p> <p>No waterways are proposed as part of the development.</p>
	<p>AO6.4</p> <p>Non-tidal artificial waterways are designed and managed for any of the following end-use purposes:</p> <p>(a) amenity (including aesthetics), landscaping or recreation; or</p> <p>(b) flood management, in accordance with a drainage catchment management plan; or</p> <p>(c) stormwater harvesting plan as part of an integrated water cycle management plan; or</p> <p>(d) aquatic habitat.</p>	<p>Not applicable</p> <p>No waterways are proposed as part of the development.</p>
	<p>AO6.5</p> <p>The end-use purpose of the non-tidal artificial waterway is designed and operated in a way that</p>	<p>Not applicable</p> <p>No waterways are proposed as part of the development.</p>

Performance outcomes	Acceptable outcomes	Compliance
	protects water environmental values.	
	<p>AO6.6</p> <p>Monitoring and maintenance programs adaptively manage water quality to achieve relevant water quality objectives downstream of the waterway.</p>	<p>Not applicable</p> <p>No waterways are proposed as part of the development.</p>
	<p>AO6.7</p> <p>Aquatic weeds are managed to achieve a low percentage of coverage of the water surface area, and pests and vectors are managed through design and maintenance.</p>	<p>Not applicable</p> <p>No waterways are proposed as part of the development.</p>
Wastewater discharge		
<p>PO7</p> <p>Discharge of wastewater to waterways, or off site:</p> <p>(a) meets best practice environmental management;</p> <p>(b) is treated to:</p> <p>(i) meet water quality objectives for its receiving waters;</p> <p>(ii) avoid adverse impact on ecosystem health or waterway health;</p> <p>(iii) maintain ecological processes, riparian vegetation and waterway integrity;</p> <p>(iv) offset impacts on high ecological value waters.</p>	<p>AO7.1</p> <p>A wastewater management plan is prepared and addresses:</p> <p>(a) wastewater type;</p> <p>(b) climatic conditions;</p> <p>(c) water quality objectives;</p> <p>(d) best practice environmental management.</p>	<p>Not applicable</p> <p>No waste water would be discharged to waterways or off-site.</p>
	<p>AO7.2</p> <p>The waste water management plan is managed in accordance with a waste management hierarchy that:</p> <p>(a) avoids wastewater discharge to waterways; or</p> <p>(b) if wastewater discharge cannot practicably be avoided, minimises wastewater discharge to waterways by re-use, recycling, recovery and treatment for disposal to sewer, surface water and</p>	<p>Not applicable</p> <p>No waste water would be discharged to waterways or off-site.</p>

Performance outcomes	Acceptable outcomes	Compliance
	ground water.	
	<p>A07.3</p> <p>Wastewater discharge is managed to avoid or minimise the release of nutrients of concern so as to minimise the occurrence, frequency and intensity of algal blooms.</p>	<p>Not applicable</p> <p>No waste water would be discharged to waterways or off-site.</p>
	<p>A07.4</p> <p>Development in coastal catchments avoids or minimises and appropriately manages soil disturbance or altering natural hydrology and:</p> <p>(a) avoids lowering ground water levels where potential or actual acid sulfate soils are present;</p> <p>(b) manages wastewater so that:</p> <ul style="list-style-type: none"> (i) the pH of any wastewater discharges is maintained between 6.5 and 8.5 to avoid mobilisation of acid, iron, aluminium and other metals; (ii) holding times of neutralised wastewater ensures the flocculation and removal of any dissolved iron prior to release; (iii) visible iron floc is not present in any discharge; (iv) precipitated iron floc is contained and disposed of; (v) wastewater and precipitates that cannot be contained and treated for discharge on site are removed and disposed of through trade waste or another lawful method. 	<p>Not applicable</p> <p>No waste water would be discharged to waterways or off-site.</p>
Electricity supply		

Performance outcomes	Acceptable outcomes	Compliance
<p>PO8</p> <p>Development is provided with a source of power that will meet its energy needs.</p>	<p>AO8.1</p> <p>A connection is provided from the premises to the electricity distribution network;</p> <p>or</p> <p>AO8.2</p> <p>The premises is connected to the electricity distribution network in accordance with the Design Guidelines set out in Section D8 of the Planning scheme policy SC5 – FNQROC Regional Development Manual.</p> <p>Note - Areas north of the Daintree River have a different standard.</p>	<p>Complies with AO8.1</p> <p>The site is connected to the electricity distribution network.</p>
<p>PO9</p> <p>Development incorporating pad-mount electricity infrastructure does not cause an adverse impact on amenity.</p>	<p>AO9.1</p> <p>Pad-mount electricity infrastructure is:</p> <p>(a) not located in land for open space or sport and recreation purposes;</p> <p>(b) screened from view by landscaping or fencing;</p> <p>(c) accessible for maintenance.</p>	<p>Not applicable</p> <p>No padmount infrastructure is proposed.</p>
	<p>AO9.2</p> <p>Pad-mount electricity infrastructure within a building, in a Town Centre is designed and located to enable an active street frontage.</p> <p>Note – Pad-mounts in buildings in activity centres should not be located on the street frontage.</p>	<p>Not applicable</p> <p>No padmount infrastructure is proposed.</p>
<p>Telecommunications</p>		
<p>PO10</p> <p>Development is connected to a telecommunications</p>	<p>AO10</p> <p>The development is connected to telecommunications</p>	<p>Complies with AO10</p> <p>The site is connected to the telecommunications</p>

Performance outcomes	Acceptable outcomes	Compliance
service approved by the relevant telecommunication regulatory authority.	infrastructure in accordance with the standards of the relevant regulatory authority.	infrastructure.
PO11 Provision is made for future telecommunications services (e.g. fibre optic cable).	AO11 Conduits are provided in accordance with Planning scheme policy SC5 – FNQROC Regional Development Manual.	Complies with AO11 The site is connected to the telecommunications infrastructure.
Road construction		
PO12 The road to the frontage of the premises is constructed to provide for the safe and efficient movement of: <ul style="list-style-type: none"> (a) pedestrians and cyclists to and from the site; (b) pedestrians and cyclists adjacent to the site; (c) vehicles on the road adjacent to the site; (d) vehicles to and from the site; (e) emergency vehicles. 	AO12.1 The road to the frontage of the site is constructed in accordance with the Design Guidelines set out in Sections D1 and D3 of the Planning scheme policy SC5 – FNQROC Regional Development Manual, for the particular class of road, as identified in the road hierarchy.	Complies with AO12.1 Both Stewart Street and Stewart Creek Road are constructed and council maintained roads.
	AO12.2 There is existing road, kerb and channel for the full road frontage of the site.	Complies with PO12 The Stewart Street frontage is provided with kerb and channel; however, the Stewart Creek Road frontage is a grassed swale consistent with the order of road and the road design. Both roads provide for the safe and efficient movement of all forms of anticipated traffic.
	AO12.3 Road access minimum clearances of 3.5 metres wide and 4.8 metres high are provided for the safe passage of emergency vehicles.	Complies with AO12.3 Both Stewart Street and Stewart Creek Road are constructed and council maintained roads that provide the required dimensions.
Alterations and repairs to public utility services		

Performance outcomes	Acceptable outcomes	Compliance
<p>PO13</p> <p>Infrastructure is integrated with, and efficiently extends, existing networks.</p>	<p>AO13</p> <p>Development is designed to allow for efficient connection to existing infrastructure networks.</p>	<p>Complies with AO13</p> <p>The site is a previously developed site with connectivity to the accessible infrastructure networks.</p>
<p>PO14</p> <p>Development and works do not affect the efficient functioning of public utility mains, services or installations.</p>	<p>AO14.1</p> <p>Public utility mains, services and installations are not required to be altered or repaired as a result of the development;</p> <p>or</p> <p>AO14.2</p> <p>Public utility mains, services and installations are altered or repaired in association with the works so that they continue to function and satisfy the relevant Design Guidelines set out in Section D8 of the Planning scheme policy SC5 – FNQROC Regional Development Manual.</p>	<p>Complies with AO14.1</p> <p>No alterations or repairs are understood to be required.</p>
<p>Construction management</p>		
<p>PO15</p> <p>Work is undertaken in a manner which minimises adverse impacts on vegetation that is to be retained.</p>	<p>AO15</p> <p>Works include, at a minimum:</p> <ul style="list-style-type: none"> (a) installation of protective fencing around retained vegetation during construction; (b) erection of advisory signage; (c) no disturbance, due to earthworks or storage of plant, materials and equipment, of ground level and soils below the canopy of any retained vegetation; (d) removal from the site of all declared noxious weeds. 	<p>Able to comply with AO15</p> <p>Existing trees to be retained are able to be protected during the construction phase.</p>

Performance outcomes	Acceptable outcomes	Compliance
<p>PO16</p> <p>Existing infrastructure is not damaged by construction activities.</p>	<p>AO16</p> <p>Construction, alterations and any repairs to infrastructure is undertaken in accordance with the Planning scheme policy SC5 – FNQROC Regional Development Manual.</p> <p>Note - Construction, alterations and any repairs to State-controlled roads and rail corridors are undertaken in accordance with the Transport Infrastructure Act 1994.</p>	<p>Able to comply with AO16</p> <p>All repairs and alterations, if required, would be undertaken to the FNQROC Manual standards.</p>
<p>For assessable development</p>		
<p>High speed telecommunication infrastructure</p>		
<p>PO17</p> <p>Development provides infrastructure to facilitate the roll out of high speed telecommunications infrastructure.</p>	<p>AO17</p> <p>No acceptable outcomes are prescribed.</p>	<p>Complies with PO17</p> <p>High Speed telecommunications infrastructure is able to be accommodated at the development when available.</p>
<p>Trade waste</p>		
<p>PO18</p> <p>Where relevant, the development is capable of providing for the storage, collection treatment and disposal of trade waste such that:</p> <p>(a) off-site releases of contaminants do not occur;</p> <p>(b) the health and safety of people and the environment are protected;</p> <p>(c) the performance of the wastewater system is not put at risk.</p>	<p>AO18</p> <p>No acceptable outcomes are prescribed.</p>	<p>Not applicable</p> <p>No waste would be discharged to the Council's Sewerage system.</p>

Performance outcomes	Acceptable outcomes	Compliance
Fire services in developments accessed by common private title		
<p>PO19</p> <p>Hydrants are located in positions that will enable fire services to access water safely, effectively and efficiently.</p>	<p>AO19.1</p> <p>Residential streets and common access ways within a common private title places hydrants at intervals of no more than 120 metres and at each intersection. Hydrants may have a single outlet and be situated above or below ground.</p>	<p>Not applicable</p> <p>No common private title is proposed.</p>
	<p>AO19.2</p> <p>Commercial and industrial streets and access ways within a common private title serving commercial properties such as factories and warehouses and offices are provided with above or below ground fire hydrants located at not more than 90 metre intervals and at each intersection. Above ground fire hydrants have dual-valved outlets.</p>	<p>Not applicable</p> <p>No common private title is proposed.</p>
<p>PO20</p> <p>Hydrants are suitable identified so that fire services can locate them at all hours.</p> <p>Note – Hydrants are identified as specified in the Department of Transport and Main Roads Technical Note: ‘Identification of street hydrants for fire fighting purposes’ available under ‘Publications’.</p>	<p>AO20</p> <p>No acceptable outcomes are prescribed.</p>	<p>Not applicable</p> <p>No common private title is proposed.</p>

9.4.6 Landscaping code

9.4.6.1 Application

- (1) This code applies to assessing:
 - (a) operational work which requires a compliance assessment as a condition of a development permit; or
 - (b) a material change of use or reconfiguring a lot if:
 - (i) assessable development where this code is identified in the assessment criteria column of the table of assessment;
 - (ii) impact assessable development, to the extent relevant.
- (2) When using this code, reference should be made to Part 5.

9.4.6.2 Purpose

- (1) The purpose of the Landscaping code is to assess the landscaping aspects of a development.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) The tropical, lush landscape character of the region is retained, promoted and enhanced through high quality landscape works;
 - (b) The natural environment of the region is enhanced;
 - (c) The visual quality, amenity and identity of the region is enhanced;
 - (d) Attractive streetscapes and public places are created through landscape design;
 - (e) As far as practical, existing vegetation on site is retained, and protected during works and integrated with the built environment;
 - (f) Landscaping is provided to enhance the tropical landscape character of development and the region;
 - (g) Landscaping is functional, durable, contributes to passive energy conservation and provides for the efficient use of water and ease of ongoing maintenance;
 - (h) Landscaping takes into account utility service protection;
 - (i) Weed species and invasive species are eliminated from development sites;
 - (j) Landscape design enhances personal safety and incorporates CPTED principles.

9.4.6.3 Criteria for assessment

Table 9.4.6.3.a – Landscaping code –assessable development

Performance outcomes	Acceptable outcomes	Compliance
For self-assessable and assessable development		

Performance outcomes	Acceptable outcomes	Compliance
Landscaping design		
<p>PO1</p> <p>Development provides landscaping that contributes to and creates a high quality landscape character for the site, street and local areas of the Shire by: (</p> <ul style="list-style-type: none"> (a) promoting the Shire’s character as a tropical environment; (b) softening the built form of development; (c) enhancing the appearance of the development from within and outside the development and makes a positive contribution to the streetscape; (d) screening the view of buildings, structures, open storage areas, service equipment, machinery plant and the like from public places, residences and other sensitive development; (e) where necessary, ensuring the privacy of habitable rooms and private outdoor recreation areas; (f) contributing to a comfortable living environment and improved energy efficiency, by providing shade to reduce glare and heat absorption and re-radiation from buildings, parking areas and other hard surfaces; (g) ensuring private outdoor recreation space is useable; (h) providing long term soil erosion protection; (i) providing a safe environment; (j) integrating existing vegetation and other natural features of the premises into the 	<p>AO1</p> <p>Development provides landscaping:</p> <ul style="list-style-type: none"> (a) in accordance with the minimum area, dimensions and other requirements of applicable development codes; (b) that is designed and planned in a way that meets the guidelines for landscaping outlined in Planning Scheme Policy SC6.7 – Landscaping; (c) that is carried out and maintained in accordance with a landscaping plan that meets the guidelines for landscaping outlined in Planning Scheme Policy SC6.7 – Landscaping. <p>Note - Planning scheme policy SC6.7 – Landscaping provides guidance on meeting the outcomes of this code. A landscape plan submitted for approval in accordance with the Planning policy is one way to achieve this outcome.</p>	<p>Complies with AO1</p> <p>Refer to the assessment against the other relevant codes.</p>

Performance outcomes	Acceptable outcomes	Compliance
development; (k) not adversely affecting vehicular and pedestrian sightlines and road safety		
For assessable development		
PO2 Landscaping contributes to a sense of place, is functional to the surroundings and enhances the streetscape and visual appearance of the development.	AO2.1 No acceptable outcomes are specified. Note - Landscaping is in accordance with the requirements specified in Planning scheme policy SC6.7 – Landscaping.	Complies with AO2.1 Landscape improvements would be limited to the streetfront landscaping, which would complement the design and add to an improved streetscape and visual appearance.
	AO2.2 Tropical urbanism is incorporated into building design. Note – ‘Tropical urbanism’ includes many things such as green walls, green roofs, podium planting and vegetation incorporated into the design of a building	Complies with AO2.2 The proposed development is considered to reflect tropical urbanism with the retention of the existing building to maintain the vernacular of the area whilst providing a modern addition consistent with approaches to climatic design.
PO3 Development provides landscaping that is , as far as practical, consistent with the existing desirable landscape character of the area and protects trees, vegetation and other features of ecological, recreational, aesthetic and cultural value.	AO3.1 Existing vegetation on site is retained and incorporated into the site design, wherever possible, utilising the methodologies and principles outline in AS4970-2009 Protection of Trees on Development Sites.	Complies with AO3.1 Where possible the existing vegetation would be retained.
	AO3.2 Mature vegetation on the site that is removed or damaged during development is replaced with advanced species	Not applicable No mature vegetation is proposed to be removed.
	AO3.3 Where there is an existing landscape character in a	Not applicable The street does not have a formal landscape

Performance outcomes	Acceptable outcomes	Compliance
	street or locality which results from existing vegetation, similar species are incorporated into new development	character.
	AO3.4 Street trees are species which enhance the landscape character of the streetscape, with species chosen from the Planning scheme policy SC6.7 – Landscaping.	Not applicable No street trees are proposed.
PO4 Plant species are selected with consideration to the scale and form of development, screening, buffering, streetscape, shading and the locality of the area.	AO4 Species are selected in accordance with Planning scheme policy SC6.7 – Landscaping.	Able to comply with AO4 Any new planting is able to be selected in accordance with the Planning Scheme Policy.
PO5 Shade planting is provided in car parking areas where uncovered or open, and adjacent to driveways and internal roadways.	AO5 Species are selected in accordance with Planning scheme policy SC6.7 – Landscaping.	Not applicable No shade planting is required.
PO6 Landscaped areas are designed in order to allow for efficient maintenance.	AO6.1 A maintenance program is undertaken in accordance with Planning scheme policy SC6.7 – Landscaping.	Able to comply with AO6.1 Maintenance would be a regular part of facilities and building management.
	AO6.2 Tree maintenance is to have regard to the 'Safe Useful Life Expectancy of Trees (SULE). Note – It may be more appropriate to replace trees with a SULE of less than 20 years (as an example), and replant with younger healthy species	Able to comply with AO6.2 Maintenance would be a regular part of facilities and building management.
PO7 Podium planting is provided with appropriate species for long term survival and ease of maintenance, with	AO7.1 Podium planting beds are provided with irrigation and are connected to stormwater infrastructure to permit	Not applicable No podium is proposed.

Performance outcomes	Acceptable outcomes	Compliance
beds capable of proper drainage.	flush out.	
	A07.2 Species of plants are selected for long term performance designed to suit the degree of access to podiums and roof tops for maintenance.	Not applicable No podium is proposed.
PO8 Development provides for the removal of all weed and invasive species and implement on-going measures to ensure that weeds and invasive species do not reinfest the site and nearby premises	A08 Weed and invasive species detected on a development site are removed in accordance with a management plan prepared by an appropriately qualified person.	Not applicable No weed and invasive species have been identified in the site.
PO9 The landscape design enhances personal safety and reduces the potential for crime and vandalism	A09 No acceptable outcomes are specified. Note - Planning scheme policy SC6.3 – Crime prevention through environmental design (CPTED) provides guidance on meeting this outcome.	Complies with A09 Landscaping would be kept to a minimum to reduce opportunities for crime.
PO10 The location and type of plant species does not adversely affect the function and accessibility of services and facilities and service areas.	A010 Species are selected in accordance with Planning scheme policy SC6.7 – Landscaping.	Able to comply with A10 Any new planting is able to be selected in accordance with the Planning Scheme Policy.