



Daintree River, Upper Daintree
Lot 2 on RP702242, Lot 1 on RP702242, Lot 179 on
C157262, Lots 3-7, 10, 13-16,18,21,24-90 on RP702243
and Lot 10 on SP3048511

TOWN PLANNING REPORT

MATERIAL CHANGE OF USE (EDUCATIONAL ESTABLISHMENT)

Applicant:
Jabalbina Yalanji Aboriginal Corporation
C/- wildPLAN Pty Ltd





A PROJECT CONTACT DETAILS

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1. SUMMARY

1.1 SITE DETAILS

Site address:	Daintree River, Upper Daintree
Real property description:	Lot 2 on RP702242, Lot 1 on RP702242, Lot 179 on C157262, Lots 3-7, 10, 13-16,18,21,24-90 on RP702243 and Lot 10 on SP304851
Site area:	203.87 ha
Existing land use:	Dwelling House, Rural Activities

1.2 KEY PARTIES TO DEVELOPMENT APPLICATION

Applicant:	Jabalbina Yalanji Aboriginal Corporation RNTBC
Owner:	Jade Liaison Pty Ltd Refer Schedule 1 – Searches .
Assessment manager:	Douglas Shire Council
Referral Agencies	Nil

1.3 DEVELOPMENT APPLICATION DETAILS

Proposed development:	“Daintree River Station” Educational Establishment
Type of approval sought:	Material Change of Use for: <ul style="list-style-type: none"> Educational Establishment
Related applications	Not Applicable
Level of assessment:	Impact Assessment
Notification required:	Yes
Referral required:	N/A

1.4 STATE PLANNING INSTRUMENT MATTERS

State Matters of Interest	<p>The following matters of State interest are relevant to the site:</p> <ul style="list-style-type: none"> Coastal management district Coastal area - erosion prone area Coastal area - medium storm tide inundation area Coastal area - high storm tide inundation area Queensland waterways for waterway barrier works Major (tidal) Regulated vegetation management map
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	(Category A and B extract) Refer Schedule 2 – SARA DA Map .
Applicable SDAP Codes	N/A
Regional Plan	<i>Far North Queensland Regional Plan 2009–2031</i>
Regional Plan Designation	Regional Landscape and Rural Production Area

1.5 LOCAL PLANNING INSTRUMENT MATTERS

Planning Scheme:	<i>Douglas Shire Planning Scheme 2018</i>
Amendment:	Version 1
TLPis:	None Applicable
Zone:	Rural Zone
Precinct / Local plan:	N/A
Overlays:	<ul style="list-style-type: none"> • Acid Sulfate Soils <ul style="list-style-type: none"> ◦ <5m AHD ◦ 5-20m AHD • Coastal Environment Overlay: <ul style="list-style-type: none"> ◦ Erosion Prone Area • Flood and Storm Tide Hazard Overlay: <ul style="list-style-type: none"> ◦ Medium Storm Tide Hazard ◦ High Storm Tide Hazard ◦ 100 Year ARI - Mosman and Port Douglas Flood Studies • Landscape Values Overlay: <ul style="list-style-type: none"> ◦ High Landscape Values • Landslide Hazard Overlay Code <ul style="list-style-type: none"> ◦ High & Medium Risk • Natural Areas Overlay: <ul style="list-style-type: none"> ◦ MSES Regulated Vegetation (Intersecting a Watercourse) ◦ MSES Wildlife Habitat ◦ MSES Regulated Vegetation
Assessment requirements ¹ :	<p>The Assessment Benchmarks of the Planning Scheme, to the extent relevant, including:</p> <ul style="list-style-type: none"> • Strategic Framework • Rural Zone Code • Acid Sulphate Soils Overlay Code • Coastal Environment Overlay Code • Flood and Storm Tide Hazard Overlay Code • Landscape Values Overlay Code

¹ The applicability of codes is discussed in the Planning Report (refer Section 5.4).



- Natural Areas Overlay Code
- Potential Landslide Hazard Overlay Code
- Community Facilities Code
- Access, Parking and Servicing Code
- Environmental Performance Code
- Filling and Excavation Code
- Infrastructure Works Code
- Landscaping Code
- Vegetation Management Code

2. SITE DETAILS

This development application has regard to land collectively known as Daintree River Station, which is located at Upper Daintree and includes Lot 2 on RP702242, Lot 1 on RP702242, Lot 179 on C157262, Lots 3-7, 10, 13-16,18,21,24-90 on RP702243 and Lot 10 on SP304851².

The site has a total area of 203.87 ha (including Lot 10) and is predominantly utilised for grazing and cropping.

The site is bound by the Daintree River on three fronts and represents a peninsula that benefits from connections to electricity and telecommunications. Water to the premises is via bore and waterfall (licensed).

Access to the site is via Bloomfield Road / Upper Daintree Road and/or via barge. The site has frontage to Upper Daintree Road via Lot 10.

In the context of the development application, Lot 2 on RP702242 (which contains an existing Dwelling House) will be referred to as the 'primary lot', being where infrastructure associated with the proposed development will be sited.

In addition to an existing Dwelling House, Lot 2 is also improved by a number of outbuildings, including a hay and machinery shed and packing shed, cattle yards and land dedicated to cattle grazing and cropping activities. The lot is largely cleared of vegetation with the exception of the areas situated along the riverbank located in the northeast and southwestern corners of the site.

The site is located within the Rural Zone as per the *Douglas Shire Planning Scheme 2018* (refer to **Figure 3**). This zoning classification designates the site for predominantly rural activities, as well as provide opportunities for non-rural uses that are compatible with agriculture, the environmental features, and landscape character of the rural area where the uses do not compromise the long-term use of the land for rural purposes.

2.1 LOCATION

TABLE 2-1 SITE LOCATION

Site address:	Daintree River Station, Upper Daintree QLD 4873
Real property description:	Lot 2 on RP702242, Lot 1 on RP702242, Lot 10 on SP304851, Lot 179 on C157262, Lots 3-7, 10, 13-16,18,21,24- 90 on RP702243.

² **Use of land surveyed as Road Reserve associated with the historical 'smaller' lots is strictly excluded for the purposes of the Educational Establishment Material Change of Use development application. Refer section 3.7 of the Town Planning Report for further discussion.**



FIGURE 1
SOURCE: **SITE LOCATION**
GOOGLE MAPS 2024



FIGURE 2
SOURCE: **AERIAL IMAGE OF SITE**
STATE OF QUEENSLAND, 2024 (VIA QUEENSLAND GLOBE)

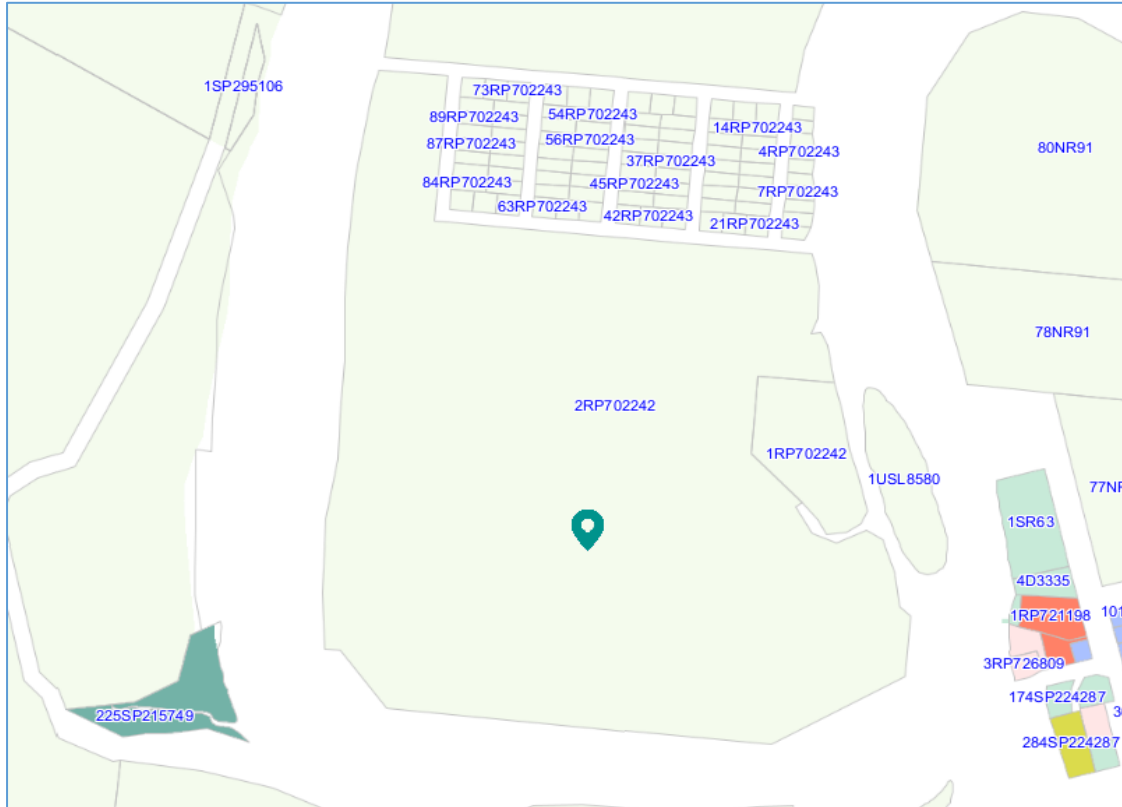


FIGURE 3 ZONING CONTEXT
SOURCE DOUGLAS SHIRE PLANNING SCHEME 2018

2.2 SITE FEATURES

TABLE 2-2 SITE CHARACTERISTICS AND SUPPORTING INFRASTRUCTURE

Site characteristic	Description
Site area	Total area of all lots: 203.87ha Area of Lot 2 on RP702242: Approx. 55ha
Existing land use	Dwelling House and Rural Activities
Infrastructure	
• Services	It is understood that the site is benefitted by electricity and telecommunications infrastructure. A bore is located on-site providing water supply. Wastewater is treated on-site.
• Access	Access to Lot 2 is via Bloomfield Road / Upper Daintree Road and via a barge across the Daintree River from Lot 10. Lot 10 has frontage to Upper Daintree Road.
Environment	
• Topography	The site features a gentle slope from the site's western boundary down to the site's eastern boundary. The existing Dwelling House is located on an elevated and flat part of the site.
• Existing vegetation	The site contains Category B native vegetation. Refer Schedule 2 - SARA DA Map
• EMR/CLR	Lot 2 (the primary lot) is not included on either the EMR / CLR register. Refer Schedule 1 - Searches
Other	
• Easements	Lot 10 on SP304851 is burdened by an easement, described as follows: <ul style="list-style-type: none"> EASEMENT IN GROSS No 601521861 (N764613) 07/01/1975 BURDENING THE LAND TO COUNCIL OF THE SHIRE OF DOUGLAS OVER EASEMENT D ON RP25790 AND EASEMENT E ON RP26174. Refer Schedule 1 - Searches

3. PROPOSED DEVELOPMENT

3.1 JABALBINA ABORIGINAL CORPORATION

Jabalbina Aboriginal Corporation is a community-led organisation that works to improve the lives of Aboriginal people through cultural revitalisation, economic development, and social empowerment. The organisation is dedicated to supporting its community by creating programs that promote social inclusion, health, and well-being. Jabalbina aims to provide sustainable pathways for cultural, educational, and employment success. The corporation values community input and strives to ensure that all programs are developed in consultation with local elders and stakeholders to ensure cultural relevance and sensitivity.

3.2 DAINTREE RIVER STATION

Jabalbina has undertaken a comprehensive cultural assessment of the location, which adjoins by Eastern Kuku Yalanji Native Title areas. Daintree River Station is on the lands of the Julay Warra clan of the Eastern Kuku Yalanji. Until the 1950s the north part of the property included an Aboriginal reserve with a village of Julay Warra families and includes a number of graves that are of great significance. Notably, Cassowary Falls, an important Men's site, is located within proximity to the west of the development site and can be accessed through a section of the Daintree National Park which is designated Native Title land for the Eastern Kuku Yalanji.

3.3 PROPOSED DEVELOPMENT

Jabalbina Aboriginal Corporation seeks to establish a 'training village' to deliver agriculturally based vocational training and other cultural and therapeutic programs. The village will include various facilities to support youth development, family reconnection and the restoration of cultural identity.

The proposed training village by Jabalbina Aboriginal Corporation represents a comprehensive approach to addressing the complex needs of young Aboriginal people and their families. By providing vocational training, cultural programs, and therapeutic support, the village will offer participants the opportunity to rebuild their lives and contribute meaningfully to their communities. The establishment of this village will not only support the immediate needs of the participants but also foster long-term social and economic benefits for the broader community.

The training village will support the delivery of the Queensland Government funded 'Intensive on Country' (IOC) program. It is understood that funds have been granted for the planning, purchase and installation/construction of infrastructure, which is envisaged to occur by 31 May 2025.

Ancillary accommodation is proposed on-site to enable overnight stays for family members and specialist services providers, as travel to and from the site is constrained by river tides.

The development is proposed to occur in four (4) stages (refer **DA.07**). Proposal plans are provided within **Schedule 5**.

3.4 DAINTREE RIVER STATION KEY COMPONENTS

The training village will focus on several key areas aimed at personal development, skill acquisition and community reintegration. Key aspects and anticipated deliverables of the training village are discussed as follows.

1. **Agricultural Traineeship**

One of the central components of the training village will be an agricultural traineeship program. This program will provide participants with hands-on experience in agricultural projects, offering skill-building opportunities by engaging in practical hands-on work. Participants will develop a connection to the land, learn sustainable farming practices, and gain valuable employment skills.

2. **Cultural Identity Restoration**

A key focus of the training village will be to support participants in reconnecting with their cultural identity. Through various cultural programs and engagement with elders and community leaders, participants will have the opportunity to learn about their heritage, strengthen their sense of self, and rebuild their connection to their community.

3. **Educational and Employment Pathways**

The training village will also offer educational support and professional development opportunities. This will include pathways for participants to gain qualifications such as Certificates and White Cards, which are important for securing employment in various industries. The village will provide on-going support to ensure that participants can transition from training to real-world job opportunities, fostering long-term career prospects.

4. **Health, Mental Health, and Drug & Alcohol Treatment**

Jabalbina will collaborate with Prosocial Skills Development to deliver culturally appropriate therapeutic services. These services will address a range of issues, including mental health challenges, substance abuse, and behavioural concerns. The program will create a safe environment where participants can work on their personal development, learn prosocial skills, and engage in treatment programs designed to help them lead healthier, more fulfilling lives.

5. **Family Reconnection**

The training village will also focus on re-establishing connections between young people and their families. Through culturally safe and supportive activities, participants will have opportunities to engage with parents, carers, and extended family members in an On-Country environment.

3.5 PHYSICAL INFRASTRUCTURE

A number of buildings and facilities are proposed to form part of the Educational Establishment in order to facilitate the intended on-site training and educational activities.

The proposed building and facilities are outlined as follows:

- Education centre: The education centre is equipped with kitchen and meeting room. The design of the education centre also includes an open undercover deck area to be utilised for formal and informal gatherings.
- Accommodation units:
 - Two (2) x 2-bedroom 1-bathroom housing units for staff and visiting family members. Each unit will be equipped with basic amenities being toilet and sink and includes shared living areas and basic kitchen facilities within the unit.
 - 10 x 1-bedroom 1-bathroom units to be utilised for both student and staff accommodation. The units are equipped with a toilet, shower and sink.
- One (1) x 2-room 'chillout refuge' unit: The chillout refuge will provide a dedicated space for de-escalation, supporting individuals who require a quiet, calming environment to manage stress or emotional challenges.
- One (1) communal shower and one (1) laundry block with ASF: These facilities will provide essential hygiene services for residents and staff.
- Outdoor storage unit: One (1) storage unit will be situated centrally within the development and will provide on-site storage for the facility.
- Outdoor yarning circle: A central feature of the village, this outdoor space will include a fire pit and shade structure, creating a culturally significant environment for storytelling, sharing, and social connection.

3.6 ACCESS AND CAR PARKING

Access to the development is proposed to occur via Lot 10, upon which a car park will be located providing direct access to an existing barge access point. A barge will convey staff, students and visitors to the site of development on Lot 2 via existing access.

3.7 EXCLUSION OF ROAD

It is noted that the Educational Establishment is **not proposed** within the road reserve associated with the historical smaller lots unless or until the subject land is subject to a road closure at a future time, at which time it would be sought to include the additional land by way of a Minor Change application³.

Prior to any road closure the Applicant would be prepared to accept a condition of approval that disallowed the use of the road reserve for the Educational Establishment land use; and further, required survey and identification of the road reserve through survey pegs. The road reserve at all times would only be used for purposes consistent with a road, including pedestrian movements. We refer to 'Guideline: Roads under the Land Act 1994' prepared by the Queensland Government Department of Resources (Ref: SLM/2013/725 (Formerly PUX/952/122); Version 5.02) and dated 1 March 2023 which states:

³ Note - in select circumstances the inclusion of additional land has been accepted by the Planning & Environment Court as a Minor Change; and it is the view of wildPLAN that Planning & Environment Court judgements would support the inclusion of the additional land in this circumstance in so much as the road closure would be incorporated in the adjoining lots the subject of this development application.

'A road may be used for travelling and access purposes by means of a vehicle, walking, horse, etc. unless it is restricted under the provisions of an Act. The fact that a road is not constructed does not diminish its status as road and therefore may still be available for use by the public for that purpose'. (section 3.1.2, p.4)

For clarity, we note that the lots that comprise the site of the proposed development are also separated by the Daintree River i.e. it is proposed that Educational Establishment car parking be located west of the Daintree River and the river will be used for access purposes, which is not dissimilar to the proposed arrangement with access to the historical lots, via the road reserve.

3.8 ACCEPTED DEVELOPMENT

We note that Cropping is accepted development and hence approval for Cropping is not sought as part of the subject development application.

3.9 LAND USE DEFINITIONS

In accordance with the above, the relevant land use is deemed to be Educational Establishment, as defined below:

educational establishment - Premises used for training and instruction designed to impart knowledge and develop skills. The use may include outside hours school care for students or on-site student accommodation.

3.10 APPROVAL SOUGHT

Further to the land use identified in section 3.9 (above), the Applicant seeks a Development Permit for a Material Change of Use (Educational Establishment).

3.11 DEVELOPMENT SUMMARY

TABLE 3-1 DEVELOPMENT SUMMARY

Material Change of Use (Educational Establishment)	
Buildings	<ul style="list-style-type: none"> 12 x Accommodation units <ul style="list-style-type: none"> 2 x staff accommodation 10 x student accommodation 1 x Education centre 1 x Laundry and ASF building 1 x Amenities block 1 x chillout refuge building 1 x Storage building
Staging	<ul style="list-style-type: none"> Stage 1: 3 x 1-bedroom 1-bathroom student accommodation units, education centre, meeting and training room, drying area, laundry and ASF, amenities, kitchen, store and refuse and yarning circle. Stage 2: 5 x 1-bedroom 1-bathroom student accommodation units. Stage 3: 2 x 1-bedroom 1-bathroom student accommodation units, 1 x 2-bedroom 1-bathroom staff accommodation unit and chillout refuge and gardens.

Material Change of Use (Educational Establishment)	
	<ul style="list-style-type: none"> Stage 4: 1 x 2-bedroom 1-bathroom staff accommodation unit. <p>(Refer DA.07 Staging Plan, Schedule 5 – Proposal Plans)</p>
Number of staff and students relevant to the development	<ul style="list-style-type: none"> 4 staff 10 students
Setbacks	<p>Front: >20 metres to any front property boundary.</p> <p>Side and Rear: >6 metres to the nearest side and rear boundary, being the northern boundary.</p>
Building Height	<ul style="list-style-type: none"> 1 storey 4.042 metres maximum building height
Finished Floor Level	<ul style="list-style-type: none"> Accommodation units: Minimum FFL of 15.20m Australian Height Datum (AHD). Educational centre: Minimum FFL of 15.50m AHD. Chillout refuge: Minimum 7.0m AHD.
Gross Floor Area	<ul style="list-style-type: none"> Accommodation units: 190m² Common facility areas: 78m² <p>Total GFA: 268m²</p>
Car Parking	Four (4) car parking spaces provided plus set-down area.
Materials and finishes	<p>Roof: Colorbond sheet metal shale grey</p> <p>Walls: Colorbond sheet metal cladding woodland grey</p> <p><i>Note – decks and exposed column construction to comprise solid timber.</i></p>
Waste-water	<p>A scalable on-site waste-water treatment system will be provided as part of the development, with ultimate capacity to support 20 equivalent persons (EP).</p> <p>The proposed development involves less than 21 EP and on that basis an ERA is not required for sewage treatment; given the site area and low population density.</p> <p>The proposal plans identify sufficient area for waste-water treatment and the Applicant supports the application of reasonable and relevant conditions regarding waste-water treatment.</p>
Water	Water to the premises is via bore (located on Lot 2) and via permitted waterfall collection.
Electricity	The site is connected to electricity and telecommunications.
Access	Vehicle access is available to Lot 10 via Forest Creek Road / Upper Daintree Road and via a barge across the Daintree River from Lot 10.
Refuse	Refuse storage is provided on site for waste management / disposal as required.
Vegetation clearing	No vegetation clearing is proposed or required as part of the development.

3.12 PROPOSAL PLAN EXTRACTS

Proposal Plans are included within **Schedule 5**; however, relevant plan extracts that visually describe the development are provided in **Figure 4** to **Figure 8**, following:

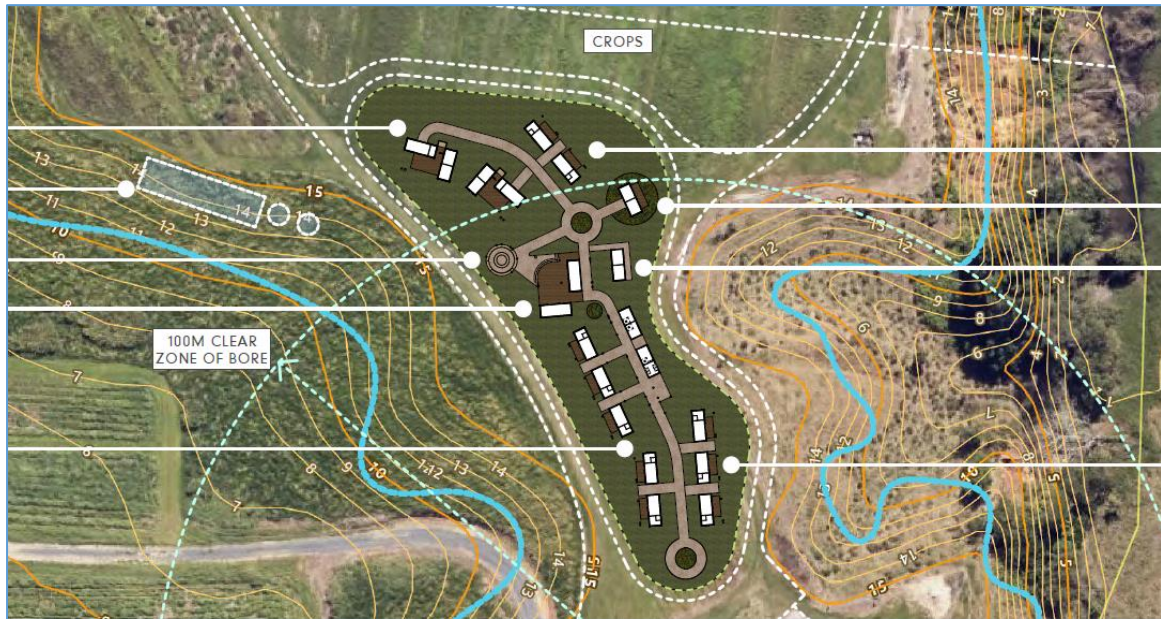


FIGURE 4 MASTER PLAN EXCERPT
SOURCE HUNT DESIGN



FIGURE 5 **ELEVATIONS OF EDUCATION CENTRE**
SOURCE HUNT DESIGN



FIGURE 6 **ELEVATIONS OF STAFF ACCOMMODATION**
SOURCE HUNT DESIGN

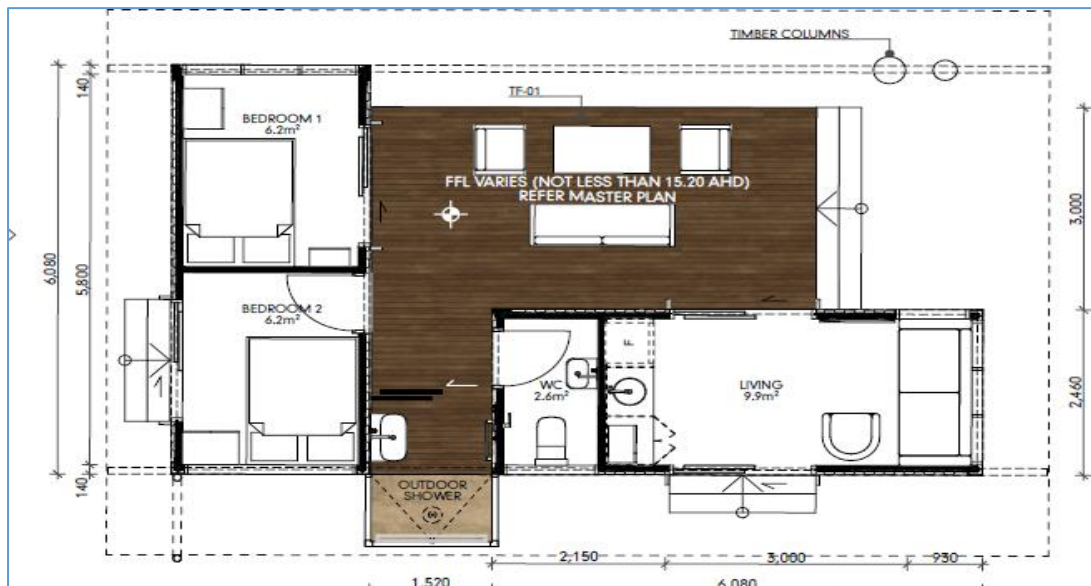


FIGURE 7 FLOOR PLAN OF STAFF ACCOMMODATION
SOURCE HUNT DESIGN

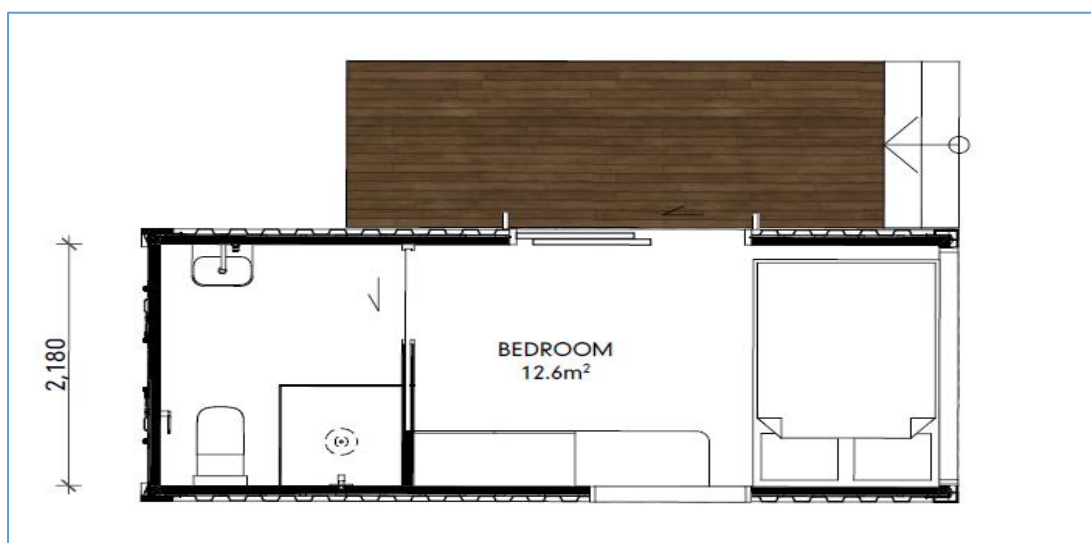


FIGURE 8 FLOOR PLAN OF STUDENT ACCOMMODATION
SOURCE HUNT DESIGN

3.13 PRE-LODGEEMENT ADVICE

The Applicant sought pre-lodgement advice from Council regarding the following matters with respect to the proposed development:

- The applicable assessment benchmarks relative to the proposed development.

- Confirmation that an ecological assessment will not be required due to the proposed works being located outside of the mapped environmental areas and involving no vegetation damage.
- Confirmation that an ERA is not required relevant to sewage treatment, on the basis that the proposed development involves less than 21 Equivalent Persons (EPs).
- Consistency with the Strategic Framework.
- Request for Council to state any matters or application requirements as appropriate.

On 21 November 2024, pre-lodgement advice was received whereby Council provided a response to the requested advice.

Council specifically provided the following written advice:

- *"Where road is to be used then this needs to be included in the application and with the relevant land owner's consent."*

Note - Use of land surveyed as Road Reserve associated with the historical 'smaller' lots is strictly excluded for the purposes of the Educational Establishment Material Change of Use development application i.e. the Applicant does not seek to use road (nor is the Educational Establishment proposed on road) hence owner's consent from the Road Manager is not required.

- *"This for example, would include the road areas between the smaller lots, as may also consider the access across the Daintree River."*

Note: It is unclear what the reference to Daintree River means in this context. Owner's Consent is not considered to be required for travel via the Daintree River (an alternative view would mean that any development north of the Daintree River would need to seek owner's consent for access across the Daintree River). As above, the Educational Establishment is not proposed within the road reserve associated with the historical smaller lots and the Applicant supports reasonable and relevant conditions of approval that explicitly exclude the Educational Establishment land use from areas road reserve, except for the purposes of access.

- *"It is agreed the use would fall within the Planning Scheme's definition of an Educational Establishment."*
- *"Where the clearing is minimal and constrained to an area for the Training Centre, that is not mapped as an environmental area, then it is agreed no ecological assessment would be required."*
- *"Clarification is required on the details of the existing land use of 'cropping.' Please note, Council Planners are not of the opinion that forestry or a permanent plantation to be cropping."*

Note: In this respect we note that 'cropping' is Accepted Development; and the application does not seek to include activities extending beyond the definition of cropping.

Refer **Schedule 8 - Pre-Lodgement Advice**.

3.14 APPLICABLE FEES AND CHARGES

The fee for the Development Application is identified to be **\$3,051.00**, pursuant to the Douglas Shire Council Fees and Charges Schedule 2024/25.

Refer **Table 3-2** for details.

TABLE 3-2 COUNCIL FEES AND CHARGES

Development Type	Description of Fee		Land use	Charge	Fee Payable
Material Change of Use	Area Uses	Charge	Educational Establishment	Base fee up to 100m ² :	\$3,051.00
				\$1,875.00	
				Plus additional fee (\$392.00) per 100m ² , or part thereof, up to 2000m ² :	\$1,176.00

4. STATE PLANNING MATTERS

4.1 PLANNING ACT 2016

The current version of the *Planning Act 2016* is **29 November 2024**.

4.2 PLANNING REGULATION 2017

The current version of the *Planning Regulation 2017* ('the Regulation') is **30 September 2024**.

Schedule 10 of the *Planning Regulation 2017* identifies development that is prohibited development.

Table 4-1 provides a checklist against Schedule 10 and identifies that the development the subject of this development application does not include prohibited development.

TABLE 4-1 PROHIBITED DEVELOPMENT IDENTIFIED IN PLANNING REGULATION 2017

Prohibited Development	Prohibition Description (Schedule 10)	Applicable (Y/N)
Brothels	Part 2, Division 1	N
Development in Caboolture West Investigation Area	Part 2A, Division 1	N
Clearing native vegetation other than for a relevant purpose	Part 3, Division	N
Environmentally relevant activities – development in North Stradbroke Island Region	Part 5, Division 1	N
Development interfering with koala habitat in koala priority area and koala habitat area	Part 10, Division 1	N
Noise sensitive place on noise attenuation land	Part 11	N
SEQ regional landscape and rural production area and SEQ rural living area – Reconfiguring a Lot	Part 16, Division 1	N
SEQ regional landscape and rural production area and SEQ rural living area (Community activity) – Residential Care Facility	Part 16, Division 3, Subdivision 1	N
SEQ regional landscape and rural production area and SEQ rural living area (Residential development)	Part 16, Division 5	N
SEQ regional landscape and rural production area and SEQ rural living area (Urban activity - Shopping Centre)	Part 16, Division 6, Subdivision 1	N
Wetland Protection Area – operational work in wetland protection area	Part 20, Division 1	N

4.3 REFERRALS

Schedule 10 of the Regulation identifies when a development application requires referral to a referral agency. In respect to referrals, the Regulation identifies the:

- Trigger for referral
- Referral agency
- Limitations on referral agency's powers
- Matters the referral agency's assessment must or may be against (as applicable)
- Matters the referral agency's assessment must or may have regard to (as applicable)
- Fee for referral.

Table 4-1 and **Table 4-2** are referral checklists against the requirements of Schedule 9 and Schedule 10 and identifies that the subject development application is not subject to any referrals.

TABLE 4-2 REFERRALS IDENTIFIED IN SCHEDULE 9 OF THE PLANNING REGULATION 2017

Referral Aspect	Referral Requirement (Schedule 9)	Aspect of Development Trigger				Jurisdiction		Assessment Matter	Applicable (Y/N)
		OPW	ROL	MCU	BW	State	Other		
Premises seaward of coastal building line	Part 3, Division 1, Table 1, Item 1				•	•		SDAP	N
Declared fish habitat area	Part 3, Division 1, Table 2, Item 1				•	•		SDAP	N
State transport corridor	Part 3, Division 1, Table 3, Item 1				•	•		SDAP	N
Future State transport corridor	Part 3, Division 1, Table 4, Item 1				•	•		SDAP	N
Particular class 1 and 10 buildings and structures involving possible amenity and aesthetic impacts	Part 3, Division 2, Table 1, Item 1				•		•	Other ⁴	N
Particular buildings for residential purposes	Part 3, Division 2, Table 2, Item 1				•		•	Other ⁵	N
Design and siting	Part 3, Division 2, Table 3, Item 1				•		•	Other ⁶	N
Fire safety in particular budget accommodation buildings	Part 3, Division 2, Table 4, Item 1				•		•	Other ⁷	N
Higher risk personal appearance services	Part 3, Division 2, Table 5, Item 1				•		•	Other ⁸	N
Building work for residential services	Part 3, Division 2, Table 6, Item 1				•		•	Other ⁹	N

⁴ Whether the building or structure will impact on the amenity or aesthetics of the locality, including, for example, whether the building or structure complies with a matter stated in a local instrument that regulates impacts on amenity or aesthetics

⁵ Whether the building is suitable for residential purposes

⁶ Whether the proposed building or structure complies with the performance criteria or qualitative statement stated in the paragraph

⁷ Whether, after the building work is completed, the building will comply with the fire safety standard under the Building Act

⁸ Whether the building work complies with the performance criteria stated in the Queensland Development Code, part 5.2 that are relevant to the acceptable solution

⁹ Whether, if the building work is carried out, the premises would comply with the Queensland Development Code, part 5.7

Referral Aspect	Referral Requirement (Schedule 9)	Aspect of Development Trigger				Jurisdiction		Assessment Matter	Applicable (Y/N)
		OPW	ROL	MCU	BW	State	Other		
Building work for removal or rebuilding	Part 3, Division 2, Table 7, Item 1				•		•	Other ¹⁰	N
Building work for particular class 1 buildings relating to Material Change of Use	Part 3, Division 2, Table 8, Item 1				•		•	Other ¹¹	N
Temporary accommodation buildings	Part 3, Division 2, Table 9, Item 1				•		•	Other ¹²	N
Building work relating to end of trip facilities for Queensland Development Code, part 4.1	Part 3, Division 2, Table 10, Item 1				•		•	Other ¹³	N
Building work for class 1 building on premises with on-site wastewater management system	Part 3, Division 2, Table 11, Item 1				•		•	Other ¹⁴	N
Flood hazard area	Part 3, Division 2, Table 12, Item 1				•		•	Other ¹⁵	N

¹⁰ (a) Whether the local government should require security, of no more than the value of the building work, for the performance of the work (b) If security is required, the amount and form of security that is appropriate for the development

¹¹ The relevant provisions of a local instrument that would apply for the application if schedule 6, part 2, section 2(2) did not apply for the material change of use

¹² Whether the building work complies with performance criteria 1 of the Queensland Development Code, part 3.3

¹³ Whether the building work complies with performance criteria P12 of the Queensland Development Code, part 4.1

¹⁴ Whether the building work complies with the Queensland Plumbing and Wastewater Code, part 1, performance criteria P2

¹⁵ Matters stated in Part 3, Division 2, Table 12, Item 4

TABLE 4-3 REFERRALS IDENTIFIED IN SCHEDULE 10 OF THE *PLANNING REGULATION 2017*

Referral Aspect	Referral Requirement (Schedule 10)	Aspect of Development Trigger				Jurisdiction		SDAP Code / Assessment Matter	Applicable (Y/N)
		OPW	ROL	MCU	BW	State	Other		
Airport Land	Part 1, Division 3, Table 1, Item 1 - Column 2	•	•	•	•		•	Other ¹⁶	N
Clearing native vegetation	Part 1, Division 4, Table 1-3, Item 1 – Column 2	•	•	•		•		16	N ¹⁷
Contaminated land	Part 4, Division 3, Table 1, Item 1 - Column 2		•	•		•		13 ¹⁸	N
Environmentally relevant activities	Part 5, Division 4, Table 1, Item 1 - Column 2			•			•	22	N ¹⁹
Fisheries (Aquaculture)	Part 6, Division 1, Subdivision 3, Table 1, Item 1 - Column 2			•		•		17	N
Fisheries (Declared Fish Habitat)	Part 6, Division 2, Subdivision 3, Table 1, Item 1 - Column 2	•				•		12	N
Fisheries (Marine Plants)	Part 6, Division 3, Subdivision 3, Table 1-2, Item 1 – Column 2	•	•	•		•		11	N
Fisheries (Waterway barrier works)	Part 6, Division 4, Subdivision 3, Table 1, Item 1 - Column 2	•				•		18	N
Hazardous chemical facilities	Part 7, Division 3, Table 1, Item 1 - Column 2			•		•		21	N

¹⁶ The matters the Local Government as referral agency must be against include the impacts of the proposed development, identified by the local government, on land in its local government area, other than airport land.

¹⁷ Each of Lot 12 and Lot 172 is below 5ha in area and is below the threshold for referral.

¹⁸ Where for other than contamination because of unexploded ordnance, the Single Assessment Referral Agency (SARA) will assess contaminated land applications against the criteria in the Regulation.

¹⁹ The proposed waste-water treatment facility and water treatment facility are below the threshold for a concurrence ERA / referral.

Referral Aspect	Referral Requirement (Schedule 10)	Aspect of Development Trigger				Jurisdiction		SDAP Code / Assessment Matter	Applicable (Y/N)
		OPW	ROL	MCU	BW	State	Other		
Heritage Places (Local heritage places)	Part 8, Division 1, Subdivision 3, Table 1, Item 1 - Column 2				•		•	Other ²⁰	N
Heritage Places (Queensland heritage place)	Part 8, Division 2, Subdivision 3, Table 1-2, Item 1 - Column 2	•	•	•	•	•		14	N
Infrastructure-related referrals (Designated premises)	Part 9, Division 1, Table 1, Item 1 - Column 2 (Assessable Development)	•	•	•	•	•		Other ²¹	N
Infrastructure-related referrals (Electricity infrastructure)	Part 9, Division 2, Table 1-3, Item 1 - Column 2	•	•	•			•	Other ²²	N
Infrastructure-related referrals (Oil and gas infrastructure)	Part 9, Division 3, Table 1 - 3, Item 1 - Column 2	•	•	•		•		Other ²³	N
Infrastructure-related referrals (State transport infrastructure generally)	Part 9, Division 4, Subdivision 1, Table 1, Item 1 - Column 2	•	•	•		•		6	N
Infrastructure-related referrals (State transport corridors and future State transport corridor)	Part 9, Division 4, Subdivision 2, Table 1-6, Item 1 - Column 2	•	•	•		•		1, 2, 3, 4	N
Infrastructure-related referrals (State-controlled transport tunnels and future State-controlled transport tunnels)	Part 9, Division 4, Subdivision 3, Table 1-3, Item 1 - Column 2	•	•	•		•		5	N
Ports (Brisbane core port land)	Part 13, Division 1, Subdivision 2, Table 1			•			•	Other ²⁴	N

²⁰ For a local heritage place on the local government's local heritage register under the Heritage Act – assessment must be against the code in the *Queensland Heritage Regulation 2015*, schedule 2. For a local heritage place identified in the local government's planning scheme – the assessment must be against the relevant provisions of a local categorising instrument.

²¹ The referral agency's assessment must have regard to the designation.

²² The referral agency's assessment must be against the purposes of the Electricity Act and the Electrical Safety Act.

²³ The referral agency's assessment must be against the purposes of the Petroleum and Gas Act.

²⁴ The matters Brisbane City Council assessment as referral agency must be against include the impacts of the proposed development, identified by the council, on land in its local government area, other than Brisbane core port land.

Referral Aspect	Referral Requirement (Schedule 10)	Aspect of Development Trigger				Jurisdiction		SDAP Code / Assessment Matter	Applicable (Y/N)
		OPW	ROL	MCU	BW	State	Other		
Ports (Brisbane core port land)	Part 13, Division 1, Subdivision 2, Table 2-11	•	•	•	•	•		1 ²⁵ , 22, 8, 21, 10, 20, 12	N
Ports (Land within Port of Brisbane's port limits—referral agency's assessment)	Part 13, Division 2, Table 1, Item 1 – Column 2	•	•	•		•		8	N
Ports (Land within Port of Brisbane's port limits—referral agency's assessment)	Part 13, Division 2, Table 2, Item 1 – Column 2	•	•	•			•	Other ²⁶	N
Ports (Land within limits of another port – assessable development)	Part 13, Division 3, Table 1, Item 1 – Column 2	•	•	•			•	Other ²⁷	N
Ports (Strategic port land)	Part 13, Division 5, Subdivision 3, Table 1, Item 1 – Column 2	•	•	•		•		Other ²⁸	N
SEQ Development Area (Reconfiguring a lot – referral agency's assessment)	Part 15, Division 1, Table 1, Item 1 – Column 2		•			•		Other ²⁹	N
SEQ Development Area (Material Change of Use)	Part 15, Division 2, Subdivision 3, Table 1, Item 1 – Column 2			•		•		Other ³⁰	N
SEQ regional landscape and rural production area and SEQ rural living area (Tourist or sport and recreation activity)	Part 16, Division 2, Subdivision 3, Table 1, Item 1 – Column 2			•		•		Other ³¹	N

²⁵ Where involving development that is inconsistent with Brisbane port LUP for transport reasons the matters the referral agency must be against include 'the transport reasons'.

²⁶ The referral agency's assessment must be against the safety and operational integrity of the port.

²⁷ The referral agency's assessment must be against the port authority functions under the Transport Infrastructure Act, Chapter 8, part 3.

²⁸ The referral agency's assessment must be against the Transport Infrastructure Act, section 287A.

²⁹ The referral agency's assessment must be against whether the development is consistent with the future planning intent for the area in which the premises are located.

³⁰ As stated in Part 15, Division 2, Subdivision 3, Table 1, Item 4

³¹ As stated in Part 16, Division 2, Subdivision 3, Table 1, Item 4

Referral Aspect	Referral Requirement (Schedule 10)	Aspect of Development Trigger				Jurisdiction		SDAP Code / Assessment Matter	Applicable (Y/N)
		OPW	ROL	MCU	BW	State	Other		
SEQ regional landscape and rural production area and SEQ rural living area (Community activity)	Part 16, Division 3, Subdivision 4, Table 1, Item 1 – Column 2			•		•		Other ³²	N
SEQ regional landscape and rural production area and SEQ rural living area (Indoor recreation)	Part 16, Division 4, Subdivision 3, Table 1, Item 1 – Column 2			•		•		Other ³³	N
SEQ regional landscape and rural production area and SEQ rural living area (Urban activity - biotechnology industry / service station / another urban activity)	Part 16, Division 6, Subdivision 4, Table 1, Item 1 – Column 2			•		•		Other ³⁴	N
SEQ regional landscape and rural production area and SEQ rural living area (Combined uses – community activity / indoor recreation / sport and recreation / tourist activity / urban activity)	Part 16, Division 7, Subdivision 3, Table 1, Item 1 – Column 2			•		•		Other ³⁵	N
Tidal works or work in a coastal management district	Part 17, Division 3, Table 1-6, Item 1 – Column 2	•	•	•		•		7, 8	N
Urban design	Part 18			•		•		24	N
Water related development (Taking or interfering with water)	Part 19, Division 1, Subdivision 3, Table 1, Item 1 – Column 2	•				•		10	N
Water related development (Removing quarry material)	Part 19, Division 2, Subdivision 3, Table 1, Item 1 – Column 2	•				•		15	N

³² As stated in Part 16, Division 3, Subdivision 4, Table 1, Item 4

³³ As stated in Part 16, Division 4, Subdivision 3, Table 1, Item 4

³⁴ As stated in Part 16, Division 6, Subdivision 4, Table 1, Item 4

³⁵ As stated in Part 16, Division 7, Subdivision 3, Table 1, Item 4

Referral Aspect	Referral Requirement (Schedule 10)	Aspect of Development Trigger				Jurisdiction		SDAP Code / Assessment Matter	Applicable (Y/N)
		OPW	ROL	MCU	BW	State	Other		
Water related development (Referable dams)	Part 19, Division 3, Subdivision 3, Table 1, Item 1 – Column 2	•				•		20	N
Water related development (Levees)	Part 19, Division 4, Subdivision 3, Table 1, Item 1 – Column 2	•				•		19	N
Wetland Protection Area	Part 20, Division 4, Table 1-2, Item 1 – Column 2	•	•	•		•		9	N ³⁶

³⁶ The proposed development is anticipate to involve less than 100m³ of earthworks within 200 metres of a wetland protection area.

4.4 STATE PLANNING POLICY

The current version of the State Planning Policy (SPP) is **July 2017**.

The local planning instrument referred to in section 5.0 of this Planning Report is identified by the then Minister to appropriately reflect the prior version of the SPP.

Notwithstanding that the Planning Scheme appropriately advances the superseded version of the State Planning Policy, given that the site is owned by Jabalabina, an RNTBC and the proposed development, under the Program, seeks to provide positive cultural, economic, and environmentally sustainable outcomes for the EKY people³⁷, it is relevant to identify that the proposed development is consistent with the following aspects of the State Planning Policy:

- Under State Interest – ‘Planning for environment and heritage’ (p.37):
‘Sustainable planning will balance the conservation of important environmental and cultural values (including Aboriginal and Torres Strait Islander cultural heritage) with economic growth, job creation and social wellbeing.’

It is not otherwise considered that substantial changes to the content of SPP, as relevant to the site, have occurred since commencement of the current version of the SPP.

4.5 REGIONAL PLAN

The *Far North Queensland Regional Plan 2009 – 2031* (‘the Regional Plan’) is relevant to the site. The site is located within the Regional Landscape and Rural Production Area pursuant to the Regional Plan.

The Minister has identified that the Planning Scheme, specifically the strategic framework, appropriately advances the Regional Plan, as it applies in the planning scheme area.

³⁷ Being the recognised Traditional Owners of the area in which the site of proposed development is located.

5. LOCAL PLANNING MATTERS

The *Douglas Shire Planning Scheme 2018* is the local planning instrument in force within the Douglas Shire local government area.

The current version of the Douglas Shire Planning Scheme is version 1.

5.1 ZONE

The site is located in the Rural Zone.

5.2 LOCAL PLAN

Not applicable.

5.3 OVERLAYS

The site is subject to the following overlays:

- Acid Sulfate Soils
 - <5m AHD
 - 5-20m AHD
- Coastal Environment Overlay:
 - Erosion Prone Area
- Flood and Storm Tide Hazard Overlay:
 - Medium Storm Tide Hazard
 - High Storm Tide Hazard
 - 100 Year ARI - Mosman and Port Douglas Flood Studies
- Landscape Values Overlay:
 - High Landscape Values
- Landslide Hazard Overlay Code
 - High & Medium Risk
- Natural Areas Overlay:
 - MSES Regulated Vegetation (Intersecting a Watercourse)
 - MSES Wildlife Habitat
 - MSES Regulated Vegetation.

5.4 CATEGORIES OF DEVELOPMENT AND ASSESSMENT

The proposed development is subject to Impact Assessment, pursuant to Table 5.6.j of the Planning Scheme.

We note that Cropping is accepted development and is not within the remit of Council's assessment in respect to the assessment of this development application.

5.5 CODE COMPLIANCE

Pursuant to Table 5.6.j of the Planning Scheme, the following benchmarks are identified as relevant to the assessment of the proposed development:

- Strategic Framework
- Rural Zone Code
- Acid Sulphate Soils Overlay Code
- Coastal Environment Overlay Code
- Flood and Storm Tide Hazard Overlay Code
- Landscape Values Overlay Code
- Natural Areas Overlay Code
- Potential Landslide Hazard Overlay Code
- Community Facilities Code
- Access, Parking and Servicing Code
- Environmental Performance Code
- Filling and Excavation Code
- Infrastructure Works Code
- Landscaping Code
- Vegetation Management Code.

An assessment against each of the following key codes is provided in **Schedule 4**:

- Rural Zone Code
- Flood and Storm Tide Hazard Overlay Code
- Community Facilities Code
- Environmental Performance Code
- Access, Parking and Servicing Code

The following codes are not applicable to development as proposed for the reasons specified:

- **Coastal Environment Overlay Code:** The proposed development is located a significant distance from the mapped Erosion Prone Area and as a result the Coastal Environment Overlay is not applicable.
- **Natural Areas Overlay Code:** The proposed development has been designed to be located outside of land mapped within the Natural Areas Overlay. Therefore, the Natural Areas Overlay Code is not applicable to the proposed development.
- **Potential Landslide Hazard Overlay Code:** The proposed development has been designed to be located outside of the mapped Potential Landslip Hazard Area. As such, the Potential Landslip Hazard Overlay Code is not applicable to the proposed development.
- **Vegetation Management Code:** Vegetation damage is not proposed in association with the proposed development.

Summarised responses are provided below for the balance of applicable codes:

- **Acid Sulfate Soils Overlay Code:** The proposed development primarily involves buildings that are located above ground and set on piers and limited to no earthworks or excavation and filling are proposed. Development complies or can comply with the relevant provisions of the Acid Sulfate Soils Overlay Code.
- **Landscape Values Overlay Code:** Development is proposed on a site which is primarily clear of vegetation and is currently being utilised for rural activities. Development has been designed to blend the current features of the site and will not be impacting or impeding views to any other areas of High Landscape Values. The proposed development is single storey and does not result in the clearing of vegetation or alteration of the sites features, ensuring the High Landscape Values are protected and therefore complies and/or can comply with the Landscape Values Overlay Code, to the extent relevant.
- **Filling and Excavation Code:** Filling and excavation is not proposed in association with the proposed development. Development can comply with the Filling and Excavation Code to the extent relevant.
- **Infrastructure Works Code:** The development will be serviced in accordance with existing water, electricity and telecommunications infrastructure. Additional waste water treatment infrastructure will comply with the relevant standards. Development can comply with the Infrastructure Works Code to the extent relevant and subject to reasonable and relevant conditions.
- **Landscaping Code:** The development is proposed on land within the Rural Zone, where rural activities currently take place and, as a result, is largely free of landscaping and/or vegetation. Landscaping within the development footprint will feature several garden beds and grassed areas. This will ensure that the landscaping provided does not interfere with the adjoining vegetation on the banks of the Daintree River to the east, or with areas designated for rural activities to the north and west. The development will ensure that the landscaping on-site is functional in the context of the site and surrounding area while also softening the development and contributing to local landscape character.

5.5.1 ALTERNATIVE SOLUTIONS

Alternative Solutions provided in respect of Acceptable / Performance Outcomes are detailed in **Table 6-1**.

TABLE 5-1 ALTERNATIVE SOLUTIONS

Acceptable Outcome	Performance Outcome
Community Facilities Code A06.2 Development provides a 3 metre wide landscape buffer capable of deep planting provided between vehicle movement and car parking areas and common boundaries of any land use associated with the Accommodation activity group.	Complies with Performance Outcome The proposed development, including the accommodation units, has incorporated building materials and external finishes that are compatible with the visual amenity and the landscape character of the surrounding area. Further, the scale, height and siting of all associated buildings has been considered to

Acceptable Outcome	Performance Outcome
PO6 <i>Development does not impose adverse visual amenity impacts on any land associated with Accommodation activity group.</i>	<p>ensure visual impacts on the setting are not impeded.</p> <p>Resultingly, the development does not impose adverse visual amenity impacts on any land associated with Accommodation activity group.</p> <p>Development complies with PO6 on this basis.</p>

5.6 STRATEGIC FRAMEWORK

The proposed development is considered to advance the key policy directions as set by the Douglas Shire Planning Scheme Strategic Framework, specifically through the following Themes, Elements and Strategic Outcomes:

- **Theme 1 – Settlement Pattern: Element 3.4.8** – Recognition of the rights and interest of native title land holders:
 - (2) *All possess the desire to return to their Country to practice their culture and strengthen their identity.*
 - (3) *The intent of Return to Country local plan code is to provide for a range of residential and economic land uses to reflect the aspirations of the Eastern Kuku Yalanji People. These ILUA's reflect these agreements and the planning scheme supports the Eastern Kuku Yalanji People in their return to Country.*
- **Theme 2 - Environment and Landscape Values 3.5.1** – Strategic outcomes:
 - (1) *The Aboriginal cultural heritage values of the Wet Tropics bioregion are acknowledged, protected and enhanced. The Aboriginal Rainforest People of the Wet Tropics have lived continuously in the rainforest environment for at least 50000 years and this is the only place in Australia where Aboriginal people have permanently inhabited a tropical rainforest environment.*
 - (2) *The unique environmental values of the Shire, which result from its location within the Wet Tropics bio-region, are maintained and protected for current and future generations.*
- **Theme 4 - Strong communities and identity 3.7.1** – Strategic outcomes
 - (5) *Progress will be made working with Aboriginal and Torres Strait Islander peoples and the wider community, to help remove social and economic disadvantage.*
 - (6) *Equitable access is provided to a complete range of services, open space, active and passive recreation, employment, accommodation and entertainment.*
- **Theme 4 - Strong communities: Element 3.7.2** – Social planning and infrastructure:
 - (1) *There is a need to identify and provide for a range of social, cultural, educational, leisure and health services to meet the needs of the community, including youth, families and the elderly. Adequate provision of social infrastructure assists in sustaining the Shire's population, and attracting new*

residents to the Shire. The correlation between the well-being of the community and the economic prosperity of the Shire is recognised.

The proposed development facilitates the establishment of culturally appropriate social, cultural and educational facilities to the benefit of the Eastern Kuku Yalanji People. The siting of proposed development, in Upper Daintree, also facilitates the continuation of cultural practices on EKY land. Programs seek to foster a deeper connection between attendees and their traditional lands, operating in harmony with the surrounding landscape to promote sustainable living and cultural stewardship.

The development will provide a dedicated space for cultural restoration through various initiatives focused on promoting cultural identity and by providing a direct connection between land and Country. The development acknowledges the Aboriginal cultural heritage values of the region particularly in the context of the Daintree River Station which is on the lands of the Julay Warra clan of the Eastern Kuku Yalanji.

The proposed training village supports the on-going agricultural use of the land, whilst simultaneously providing students with the opportunity to learn about sustainable and agricultural practices, thereby contributing to strong communities and local identity.

The development has particularly been designed to support youth within the community who may have been affected by social and economic disadvantage by providing comprehensive programs that integrate vocational training, cultural healing, and family support. These initiatives align with the goal of working with Aboriginal communities to remove social and economic barriers and promote equitable access to services and educational opportunities. The development will not only enhance local youth development but also provide mental health services and drug and alcohol treatment programs, promoting a holistic approach for the betterment of community health. In doing so the proposal supports the community's long-term well-being and provides a positive environment for personal growth and social reintegration.

The provision of on-site accommodation for staff, families, and service providers ensures that key stakeholders can fully engage in the program despite logistical restrictions regarding access to the site. These offerings are in direct response to the community's needs, ensuring access to educational services are provided on a permanent and continuous basis for all members of the community.

In summary, the proposed training village directly advances the Douglas Shire Planning Scheme Strategic Framework by supporting the key policy themes, such as the recognition of native title land rights, cultural heritage preservation, the promotion of strong communities, and the provision of essential social infrastructure. By providing a culturally significant, vocationally focused and therapeutically supported environment, the development offers a significant opportunity to advance the social, cultural, and economic well-being of the Eastern Kuku Yalanji People and rural objectives of the broader community.

6. CONCLUSION

Jabalbina Yalanji Aboriginal Corporation ('the Applicant') proposes Material Change of Use development for Educational Establishment at Daintree River Station, Upper Daintree, involving the following lots: Lot 2 on RP702242, Lot 1 on RP702242, Lot 179 on C157262, Lots 3-7, 10, 13-16, 18, 21, 24-90 on RP702243 and Lot 10 on SP304851.

Development complies with the relevant assessment benchmarks; where alternative solutions are provided to Acceptable Outcomes, development complies with the corresponding Performance Outcome and/or the Purpose and Overall Outcomes of the relevant Code. The development is also considered to be consistent with strategic outcomes sought for the premises.

The proposed development is consistent with objectives sought by the purpose of the *Planning Act 2016*, in terms of:

"(3) ...

(b) achieving economic development includes achieving diverse, efficient, resilient and strong economies, including local, regional and State economies, that allow communities to meet their needs but do not compromise the ability of future generations to meet their needs; and

(c) maintaining the cultural, economic, physical and social wellbeing of people and communities includes—

(i) creating and maintaining well-serviced, healthy, prosperous, liveable and resilient communities with affordable, efficient, safe and sustainable development; ..."

In addition, the proposed development advances the purpose of the *Planning Act 2016*, in terms of:

"(d) valuing, protecting and promoting Aboriginal and Torres Strait Islander knowledge, culture and tradition; ..."

Accordingly, on behalf of the Applicant, we respectfully recommend approval of the development application, subject to reasonable and relevant conditions of approval.



7. SCHEDULES

SCHEDULE 1 SEARCHES

SCHEDULE 2 SARA DA MAPPING

SCHEDULE 3 DOUGLAS PLANNING SCHEME REPORT

SCHEDULE 4 STORM TIDE INUNDATION PROPERTY REPORT

SCHEDULE 5 PROPOSAL PLANS

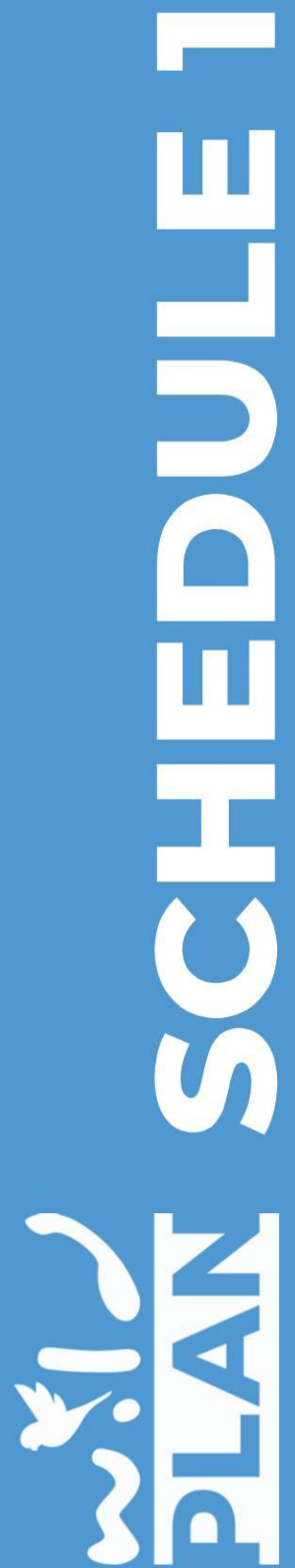
SCHEDULE 6 PLANNING SCHEME CODE COMPLIANCE

SCHEDULE 7 DA FORM 1

SCHEDULE 8 PRE-LODGEMENT ADVICE

SCHEDULE 1

SEARCHES



Queensland Titles Registry Pty Ltd
ABN 23 648 568 101

Title Reference:	20095203	Search Date:	29/11/2024 09:28
Date Title Created:	16/12/1890	Request No:	50190744
Creating Dealing:			

ESTATE AND LAND

Estate in Fee Simple

LOT 179 CROWN PLAN C157262
Local Government: DOUGLAS

For exclusions / reservations for public purposes refer to Plan CP C157262

REGISTERED OWNER

Dealing No: 722230621 16/01/2023

JADE LIAISON PTY LTD A.C.N. 142 898 280
UNDER INSTRUMENT 722230621

TRUSTEE

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by
Deed of Grant No. 20095203 (POR 179)
2. MORTGAGE No 722230624 16/01/2023 at 10:10
AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED A.C.N. 005
357 522

ADMINISTRATIVE ADVICES

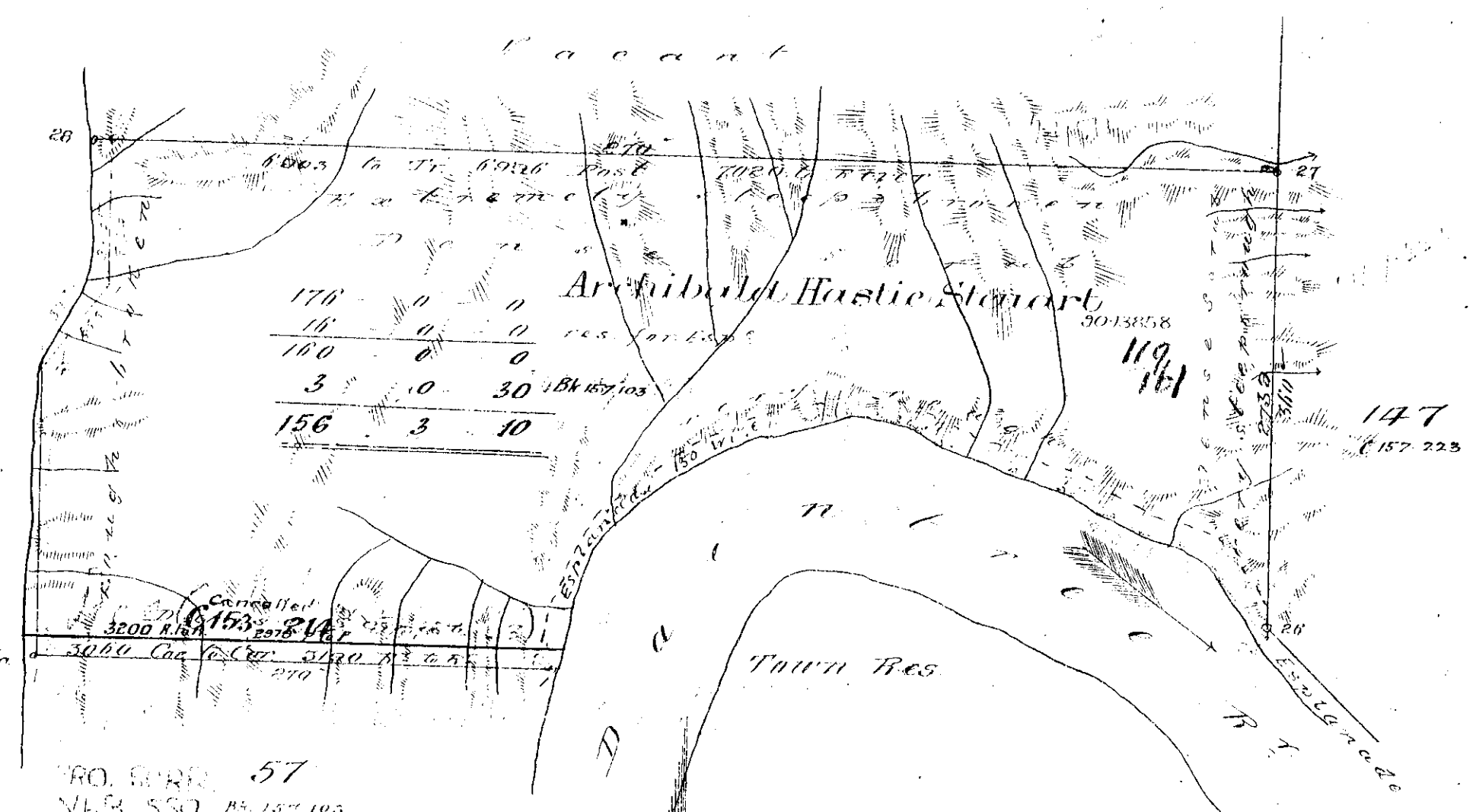
NIL

UNREGISTERED DEALINGS

NIL

Caution - Charges do not necessarily appear in order of priority

** End of Current Title Search **

SELECTOR Archibald H. StuartNo. of Selection 179PRO. SURV. 57
VLS 559 R. 157.105

Traverse Table

N ^o	Bearing	Length
267	N 8° E	1020
7-8	34°	260
8-9	124°	305
9-10	59°	717
10-11	45°	125
11-12	71°	515
12-13	100°	377
13-14	128°	53
14-15	128°	135
15-16	109° 30'	470
16-17	113°	297
17-18	121°	79
18-19	117°	195
19-20	39°	83
20-21	113°	215
21-22	74°	235
22-23	125°	244
23-24	157° 20'	75
24-25	139°	436
25-26	360°	72
3-4	360°	1720
4-5	37°	855
5-6	360°	869

For Additional Plan &
Document Notings
Refer to C157

N ^o	Bearing	From	mes	Marks
1	Tree	at corner		57-179
3a	do	do		57-179
26	N 17° 30' E	Scrub tree	11 1/2	147-179
27	78°	do	10	179
28	357°	do	7 1/2	179

I hereby certify, on honour, that this survey has been carried out with the theodolite, and that the boundaries shown on the diagram accord with those marked and defined on the ground.

SCALE 10 chains to one inch. Gregory G. M. Hume

Surveyor.

Land Commissioner

Surveyed under Printed instructions from Surveyor General, No.dated 6th December 1852. Transmitted to the Surveyor-General with my Letter No. 7 dated 16th March 1853Gregory G. M. Hume Surveyor.SURVEY
Vol: 6 fol: 391OF PORTION Nos. 179PARISH OF AlexandriaCOUNTY OF SplanderLAND AGENT'S DISTRICT OF CairnsCat. No. 7262

B

C157 262

Queensland Titles Registry Pty Ltd
ABN 23 648 568 101

Title Reference:	20472172	Search Date:	29/11/2024 09:28
Date Title Created:	18/12/1952	Request No:	50190740
Previous Title:	20121220		

ESTATE AND LAND

Estate in Fee Simple

LOT 1 REGISTERED PLAN 702242
Local Government: DOUGLAS

REGISTERED OWNER

Dealing No: 722230621 16/01/2023

JADE LIAISON PTY LTD A.C.N. 142 898 280
UNDER INSTRUMENT 722230621

TRUSTEE

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by
Deed of Grant No. 10508049 (POR 57)
2. MORTGAGE No 722230622 16/01/2023 at 10:10
AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED A.C.N. 005
357 522

ADMINISTRATIVE ADVICES

NIL

UNREGISTERED DEALINGS

NIL

Caution - Charges do not necessarily appear in order of priority

** End of Current Title Search **

Queensland Titles Registry Pty Ltd
ABN 23 648 568 101

Title Reference:	20389192	Search Date:	29/11/2024 09:27
Date Title Created:	17/03/1947	Request No:	50190735
Previous Title:	20121221		

ESTATE AND LAND

Estate in Fee Simple

LOT 2 REGISTERED PLAN 702242
Local Government: DOUGLAS

REGISTERED OWNER

Dealing No: 722230621 16/01/2023

JADE LIAISON PTY LTD A.C.N. 142 898 280
UNDER INSTRUMENT 722230621

TRUSTEE

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by
Deed of Grant No. 10508049 (POR 57)
2. MORTGAGE No 722230622 16/01/2023 at 10:10
AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED A.C.N. 005
357 522

ADMINISTRATIVE ADVICES

NIL

UNREGISTERED DEALINGS

NIL

Caution - Charges do not necessarily appear in order of priority

** End of Current Title Search **

As more or less correct

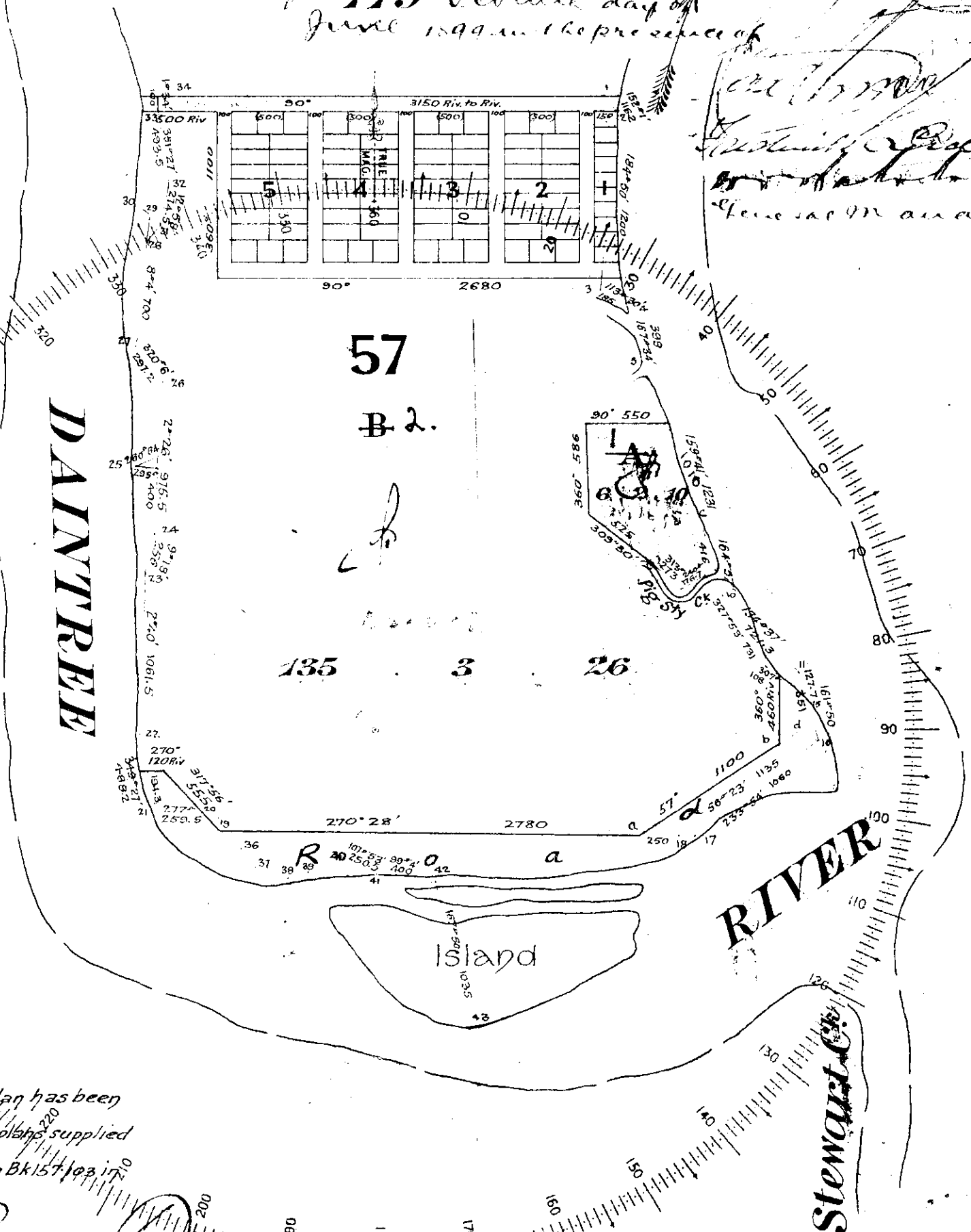
Given under the Common Seal
of the Council and Natural Bank
limited this Seventh day of
June 1899 by order of the Board
of the 179 Seventh day of
June 1899 in the presence of

Traverse

28.29	8°	170
29.30	307°28'	130
29.31	35°44'	145
33.34	1°34'	100
10.26	131°53'	148
36.37	147°12'	128.8
37.38	115°39'	210.5
38.39	70°10'	175
39.40	69°02'	214
c. f	270°	31.9
b. d	58°36'	145
d. 16	109°06'	167.5

Director
General Manager

14 June 1899



Hereby certify that this plan has been
correctly compiled from R.P. plans supplied
with letter N° 38-17055 PL. and plan Bk 157, 193, 170
this Office.

[Signature]

Surveyor General.

SCALE 10 chains to an inch.

702242
2242

As proprietor of this land, I agree to this plan of subdivision.

Signature
of Proprietor

[Signature]

SURVEY FOR LOT DESCRIPTION
SEE OVER

OF SUBDIVISIONS *A and B*

OF ALLOTMENT OR PORTION No. **57**

OF SECTION

COUNTY of *Banks* Solander.

PARISH of *Alexandra*

702242

Cat. No. *A 3 2*

M.F.

CISP

1109 3/11/64

AMENDED DESCRIPTION

Note:- This description takes effect upon amendment of the current Title Deed which will be evidenced by a further notation.

Survey of Lot (s) 1-2

702242 TITLES CONVERTED

on R.P. 2242



Queensland Titles Registry Pty Ltd
ABN 23 648 568 101

Title Reference:	20121214	Search Date:	29/11/2024 09:28
Date Title Created:	13/12/1899	Request No:	50190755
Creating Dealing:	601192667		

ESTATE AND LAND

Estate in Fee Simple

- LOT 3 REGISTERED PLAN 702243
Local Government: DOUGLAS
- LOT 4 REGISTERED PLAN 702243
Local Government: DOUGLAS
- LOT 5 REGISTERED PLAN 702243
Local Government: DOUGLAS
- LOT 6 REGISTERED PLAN 702243
Local Government: DOUGLAS
- LOT 7 REGISTERED PLAN 702243
Local Government: DOUGLAS

REGISTERED OWNER

Dealing No: 722230621 16/01/2023

JADE LIAISON PTY LTD A.C.N. 142 898 280
UNDER INSTRUMENT 722230621

TRUSTEE

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by
Deed of Grant No. 10508049 (POR 57)
2. MORTGAGE No 722230622 16/01/2023 at 10:10
AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED A.C.N. 005
357 522

ADMINISTRATIVE ADVICES

NIL

UNREGISTERED DEALINGS

NIL

Caution - Charges do not necessarily appear in order of priority

** End of Current Title Search **

Queensland Titles Registry Pty Ltd
ABN 23 648 568 101

Title Reference:	21056005	Search Date:	03/12/2024 13:04
Date Title Created:	19/10/1977	Request No:	50228464
Previous Title:	20121215		

ESTATE AND LAND

Estate in Fee Simple

LOT 13 REGISTERED PLAN 702243
Local Government: DOUGLAS

LOT 14 REGISTERED PLAN 702243
Local Government: DOUGLAS

LOT 15 REGISTERED PLAN 702243
Local Government: DOUGLAS

LOT 16 REGISTERED PLAN 702243
Local Government: DOUGLAS

LOT 18 REGISTERED PLAN 702243
Local Government: DOUGLAS

LOT 24 REGISTERED PLAN 702243
Local Government: DOUGLAS

LOT 25 REGISTERED PLAN 702243
Local Government: DOUGLAS

LOT 26 REGISTERED PLAN 702243
Local Government: DOUGLAS

LOT 27 REGISTERED PLAN 702243
Local Government: DOUGLAS

LOT 28 REGISTERED PLAN 702243
Local Government: DOUGLAS

LOT 29 REGISTERED PLAN 702243
Local Government: DOUGLAS

LOT 30 REGISTERED PLAN 702243
Local Government: DOUGLAS

REGISTERED OWNER

Dealing No: 722230621 16/01/2023

JADE LIAISON PTY LTD A.C.N. 142 898 280
UNDER INSTRUMENT 722230621

TRUSTEE

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by
Deed of Grant No. 10508049 (POR 57)
2. MORTGAGE No 722230622 16/01/2023 at 10:10
AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED A.C.N. 005
357 522

ADMINISTRATIVE ADVICES

NIL

Queensland Titles Registry Pty Ltd
ABN 23 648 568 101

Title Reference:	21056005
-------------------------	-----------------

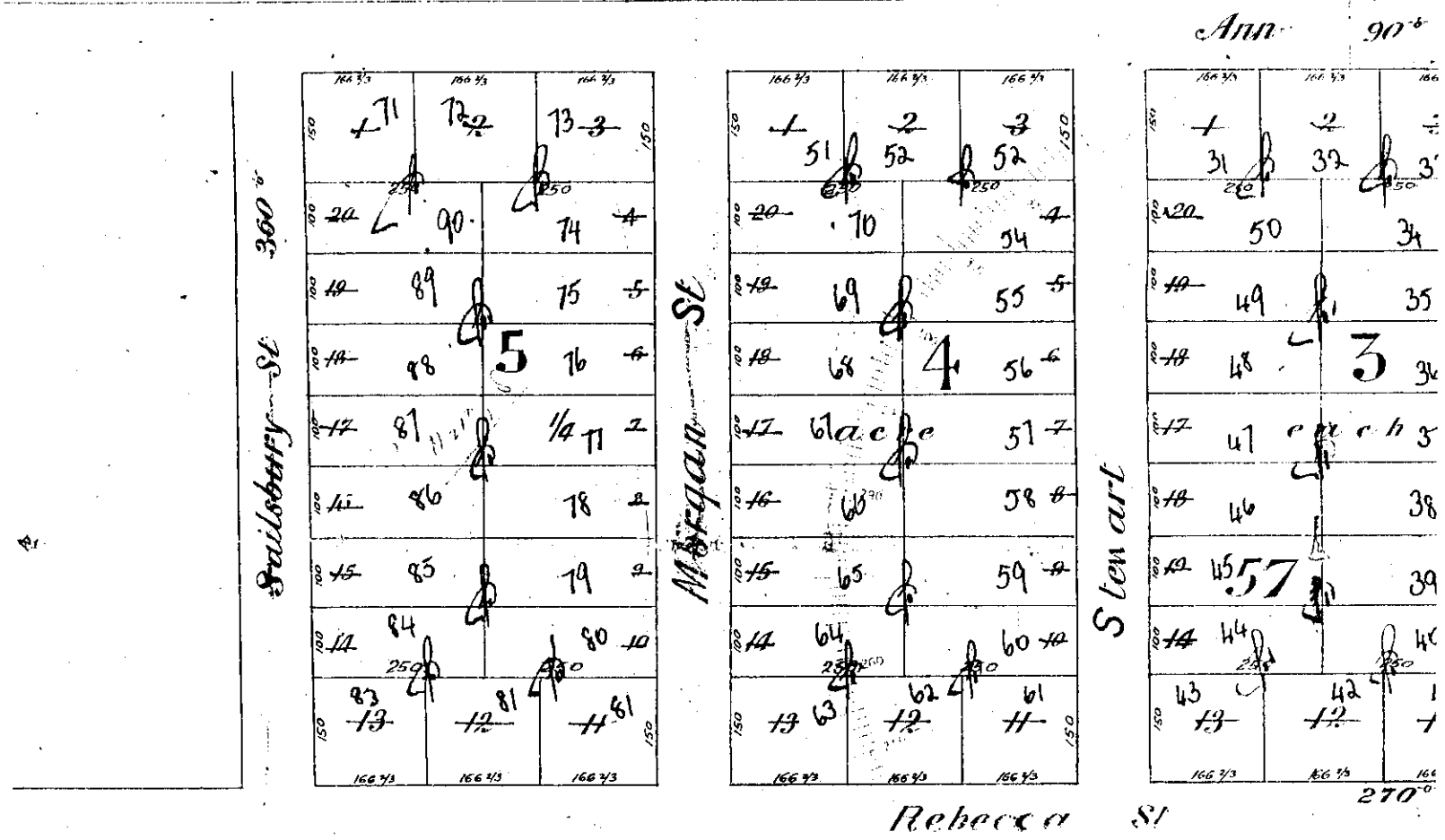
UNREGISTERED DEALINGS

NIL

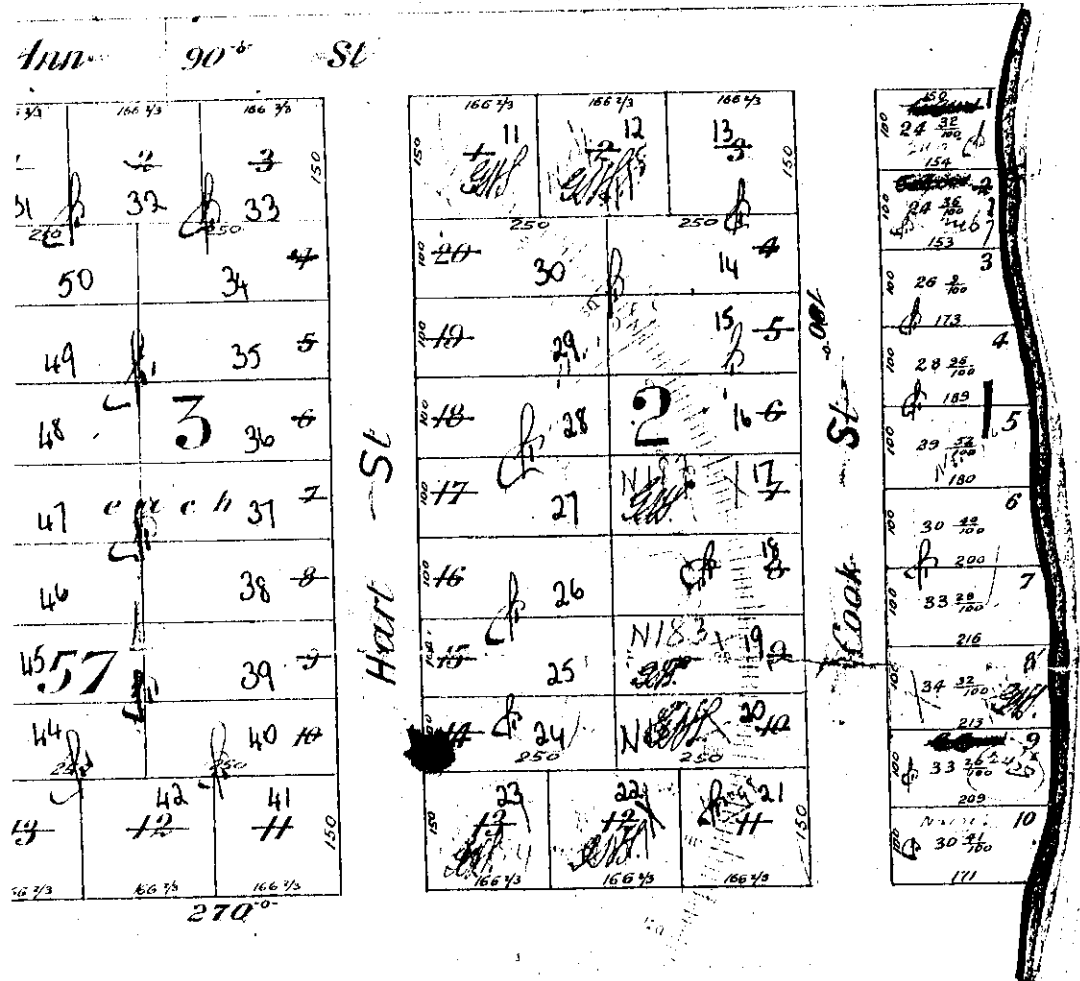
Caution - Charges do not necessarily appear in order of priority

** End of Current Title Search **

179



702243
2243



DAINTREE RIVER

Received 23 Jan 1891 at 12:20 pm

AMENDED DESCRIPTION
 Note:- This description takes effect upon amendment of the current Title Deed which will be evidenced by a further notation.
 Survey of Lot (s) 1-90
70224 TITLES CONVERTED
 on R.P. 2243

SCALE 2 chains to an inch.

As proprietor of this land, I agree to this plan of subdivision.

Signature of Proprietor

J. H. Stewart

SURVEY.

CISP

OF SUBDIVISIONS 1 to 10 of Sec. 1 1 to 20 of Sec. 2, 3, 4

OF ALLOTMENT OR PORTION No. 57

OF SECTION

COUNTY of Rankin

PARISH of Alexandria

Cat. No. 70224 2243

M.F.

Queensland Titles Registry Pty Ltd
ABN 23 648 568 101

Title Reference:	51160527	Search Date:	29/11/2024 09:28
Date Title Created:	26/09/2018	Request No:	50190749
Previous Title:	20371097, 50436057		

ESTATE AND LAND

Estate in Fee Simple

LOT 10 SURVEY PLAN 304851

Local Government: DOUGLAS

REGISTERED OWNER

Dealing No: 722230621 16/01/2023

JADE LIAISON PTY LTD A.C.N. 142 898 280
UNDER INSTRUMENT 722230621

TRUSTEE

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by
Deed of Grant No. 10641134 (POR 121)
Deed of Grant No. 20083018 (POR 139)
2. EASEMENT IN GROSS No 601521861 (N764613) 07/01/1975
BURDENING THE LAND
TO COUNCIL OF THE SHIRE OF DOUGLAS
OVER EASEMENT D ON RP25790 AND EASEMENT E ON RP26174
3. MORTGAGE No 722230626 16/01/2023 at 10:10
AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED A.C.N. 005
357 522

ADMINISTRATIVE ADVICES

NIL

UNREGISTERED DEALINGS

NIL

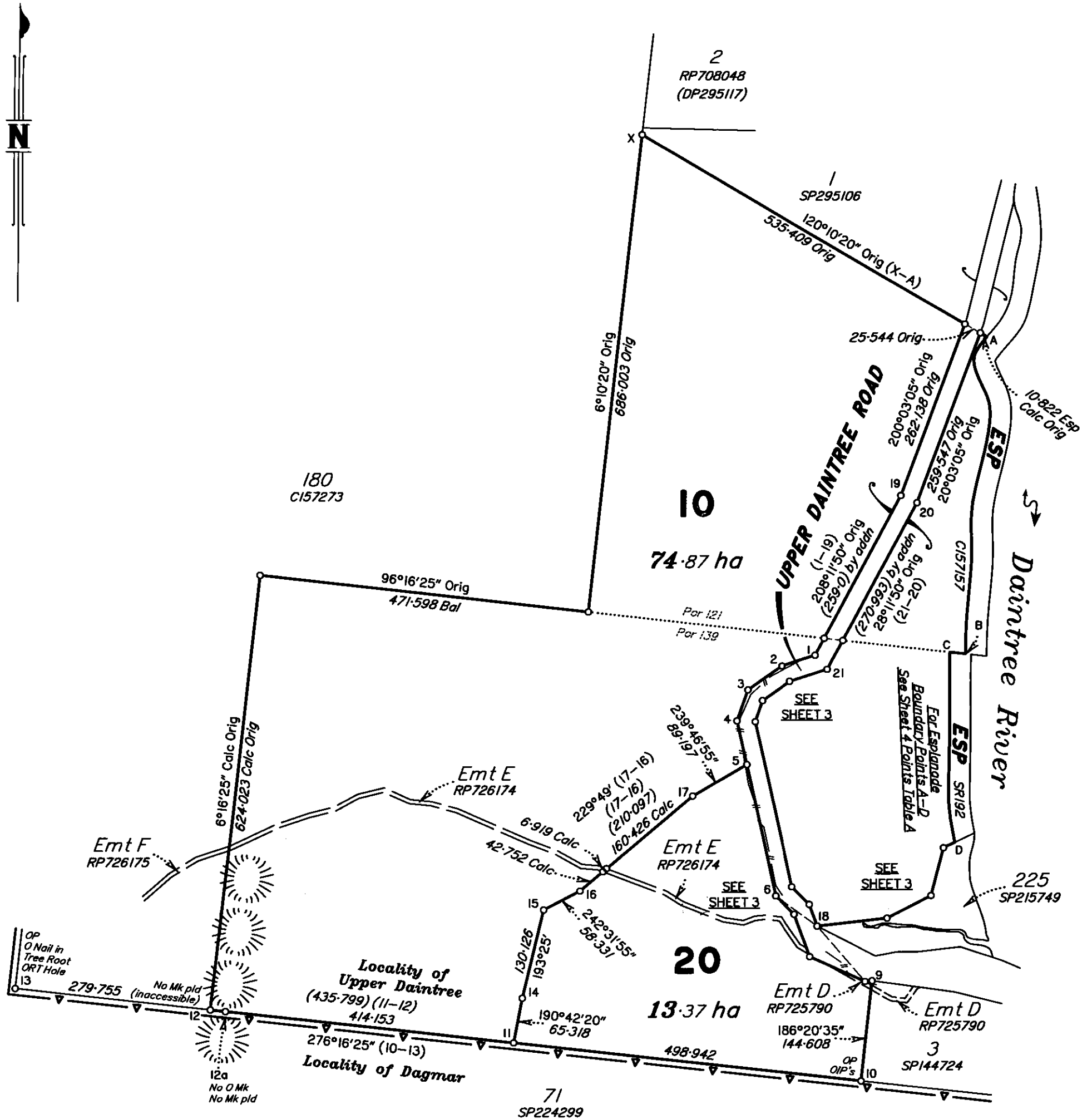
Caution - Charges do not necessarily appear in order of priority

** End of Current Title Search **

PRI40441_01/KJB/DGP/Pt Douglas

Land Title Act 1994; Land Act 1994
Form 21 Version 4

SURVEY PLAN

Sheet
1 of
4

Peg placed at all new corners,
unless otherwise stated.

See Sheet 4 for Reinstatement Report, Reference Mark &
Permanent Mark Tables.

Original information compiled from SR157, SR209,
SP144724, SP215749, SP295106 & SP295117 in the Department
of Natural Resources, Mines and Energy.

Scale 1:6000 - Lengths are in Metres.

100 0 100 200 300 400 500 600 700 800 900

RPS Australia East Pty Ltd (ACN 140 292 762) hereby certify that the land comprised in this plan was surveyed by the corporation, by Matthew James WILLING, surveying associate and Daniel Geoffrey PINKHAM, surveying graduate, for whose work the corporation accepts responsibility, under the supervision of Steven Lee PRYOR, cadastral surveyor, and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 19/06/18.

John Solomon
Authorised Delegate

24/07/18
Date

Plan of Lots 10 & 20

Cancelling Lot 2 on SP144724 & Lot 2 on SR209

LOCAL
GOVERNMENT: DOUGLAS SHIRE

UPPER
LOCALITY: DAINTREE

Meridian: MGA Zone 55 vide GNSS Observations

Survey Records: No

Scale: 1:6000

Format: STANDARD



SP304851

State copyright reserved.

718989199

\$570.00
14/09/2018 08:41

CS 400 NT

WARNING : Folded or Mutilated Plans will not be accepted.
Plans may be rolled.
Information may not be placed in the outer margins.

Sheet
2 of
4

5. Lodged by

BOLT BURNHILL TRAMPER CS-132
P.O. Box 614
PORT DOUGLAS Q 4677
Ph: 40304800

(Include address, phone number, reference, and Lodger Code)

1. Certificate of Registered Owners or Lessees.

I/We IAN JOHN HILL

(Names in full)

* as Registered Owners of this land agree to this plan and dedicate the Public Use
Land as shown hereon in accordance with Section 50 of the Land Title Act 1994.

* as Lessees of this land agree to this plan.

Signature of *Registered Owners *Lessees

* Rule out whichever is inapplicable

2. Planning Body Approval.

* Douglas Shire Council

hereby approves this plan in accordance with the :

% Planning Act 2016 &
Planning Regulation 2017

Decision Notice Issued 25 May 2018

Dated this twenty-fourth day of August 2018

Delegated Officer Paul Hoyer

Manager Sustainable Communities

ROL 2647-2018

* Insert the name of the Planning Body.

Insert designation of signatory or delegation

% Insert applicable approving legislation.

3. Plans with Community Management Statement :

CMS Number :

Name :

4. References :

Dept File :

Local Govt :

Surveyor : PRI40441

6. Existing

Created

Title Reference	Description	New Lots	Road	Secondary Interests
20371097	Lot 2 on SR209	10		
50436057	Lot 2 on SPI44724	10 & 20		

MORTGAGE ALLOCATIONS

Mortgage	Lots Fully Encumbered	Lots Partially Encumbered
712230451	20	10

ENCUMBRANCE EASEMENT ALLOCATIONS

Easement	Lots to be Encumbered
601521861	10 & 20

9. Building Format Plans only.

I certify that :

* As far as it is practical to determine, no part
of the building shown on this plan encroaches
onto adjoining lots or road.

* Part of the building shown on this plan
encroaches onto adjoining * lots and road

Cadastral Surveyor/Director* Date

*delete words not required

10. Lodgement Fees :

Survey Deposit	\$
Lodgement	\$
.....New Titles	\$
Photocopy	\$
Postage	\$
TOTAL	\$

11. Insert
Plan
Number

SP304851

7. Orig Grant Allocation :

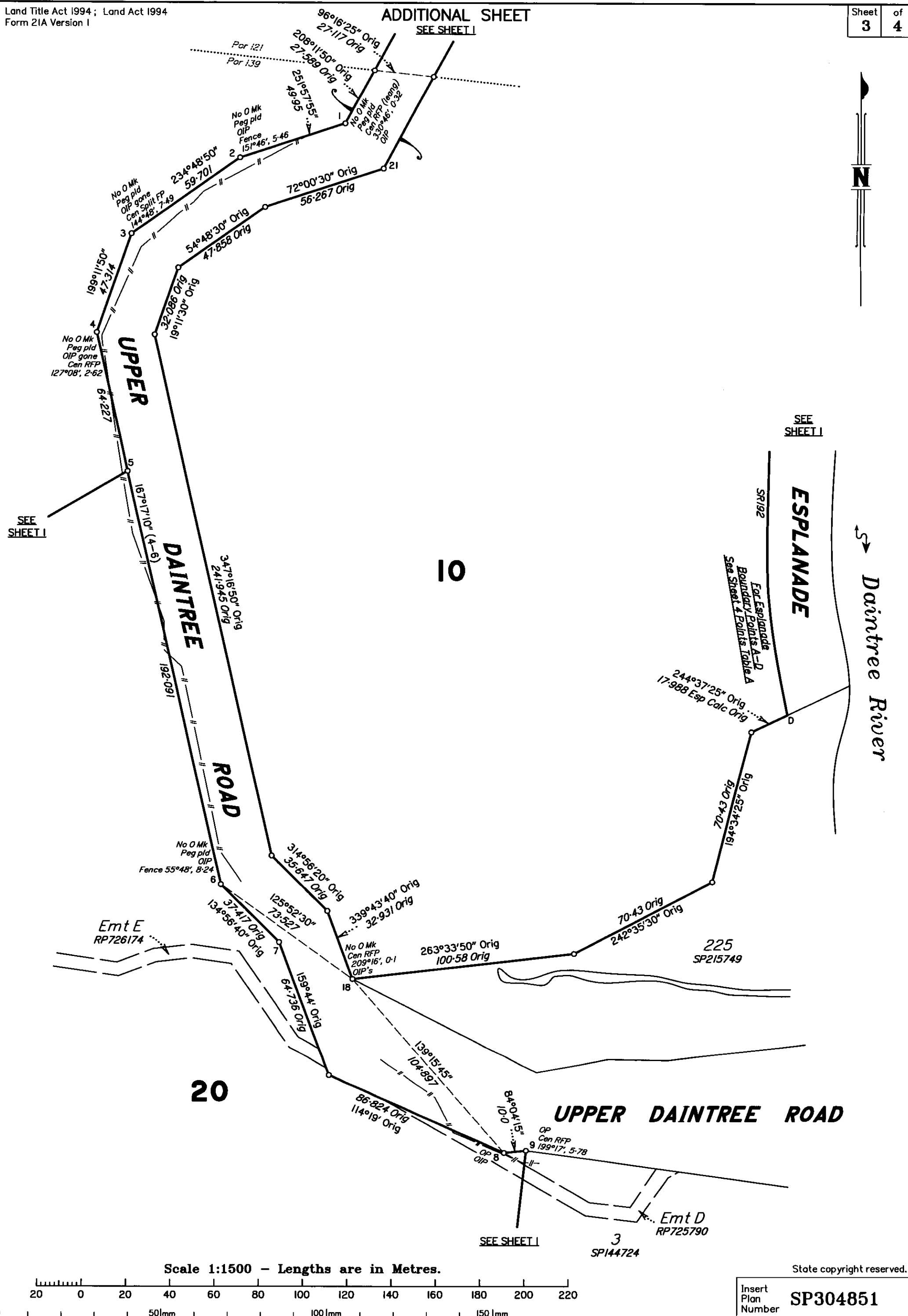
8. Passed & Endorsed :

By : RPS Australia East Pty Ltd

Date : 24/07/18

Signed : Solomon

Designation : Cadastral Surveyor



REFERENCE MARKS

STN	TO	ORIGIN	BEARING	DIST
1	OIP	23a/SR157	140°03'45"	1-084
2	OIP	22a/SR157	153°21'45"	1-018
3	OIP gone	21a/SR157	127°00'40"	1-056
3	Screw in Hdwl		103°58'20"	13-173
4	OIP gone	20a/SR157	93°14'40"	1-046
5	Pin		18°51'	2-484
6	OIP (0.5 deep)	19a/SR157	61°06'40"	1-048
6	Pin		27°17'	15-571
8	OIP	20/RP725790	294°17'15"	1-006
9	Pin		204°02'	4-402
10	OIP	10/SP144724	76°31'35"	1-89
10	OIP	26/SP224299	20°04'25"	14-505
11	Pin		341°13'	7-143
13	ORT Hole	36/C157273	102°16'25"	3-42
13	Pin		8°07'30"	7-311
13	O Nail in Tree Root	1/SP224299	352°06'25"	9-67
14	Pin		353°51'	0-753
15	Pin		11°22'	8-761
16	Pin		148°16'	1-174
18	OIP	1/SP215749	234°06'	0-944
18	OIP	1a/SP215749	123°22'	7-234

ESPLANADE
BOUNDARY POINTS
TABLE A

	BEARING	DIST	
A	211°38'50" Calc	33-529 Calc	
	162°12'55" Calc	72-801 Calc	
	177°55'20" Calc	19-688 Calc	
	191°27'25" Calc	104-382 Calc	
	188°03'40" Calc	36-506 Calc	
	179°08'55" Calc	47-872 Calc	
	184°19'05" Calc	100-04 Calc	
	181°27'10" Calc	50-537 Calc	B
B	276°16'25"	22-218	C
C	180°39'25"	59-17	
	179°50'25"	60-39	
	180°47'35"	60-467	
	179°31'30"	38-898	
	170°53'25"	54-403	D

Esplanade points A-B calculated from C157157.

Esplanade points B-C calculated from SR192.

Reinstatement Report

Plans Searched – C157157, C157273, SR157, SR156, SR192, SR209, RP725790, RP726175, RP726174, RP733916, SP144724, SP215749, SP224299, SP295117 & SP295106.

The meridian of survey is MGA zone 55 Vide GNSS observations.

The road alignment from stations 2 to 6 was fixed by OIP's at these stations resulting in 0-142m shortage and 0°02'55" angle difference at station 2 between subject survey and SR157. Considering the absence of any other SR157 monuments or reference marks along this road section, the meridian difference was applied and shortage proportioned evenly to reinstate road corners 3 & 4.

The road alignment from stations 8 to 9 was fixed by OIP at station 8 and OP at station 9 resulting in agreement with SP215749. The boundary from stations 9-10 was fixed by fixed corner 9 and OIP's at station 10 resulting in bearing up 0°00'30" and 0-023m excess from SP215749 and 0-082 shortage from Deed.

The boundary from stations 10 to 13 was fixed by station 10 OIP to O Nail and ORT Hole at station 13 resulting in 4-697m shortage. Although no original marks were identified at station 12a, the position of this station coincided with the middle of the very narrow spur (2-3m) as identified on SR192 thus deed distance was held from stations 10-12. The shortage was taken from stations 12-13.

All other original boundaries were compiled from previous surveys.



Department of Environment, Science and Innovation (DESI)
ABN 46 640 294 485
GPO Box 2454, Brisbane QLD 4001, AUSTRALIA
www.des.qld.gov.au

SEARCH RESPONSE
ENVIRONMENTAL MANAGEMENT REGISTER (EMR)
CONTAMINATED LAND REGISTER (CLR)

Dye and Durham Terrain
GPO Box 1612
Brisbane QLD 4001

Transaction ID: 50977643 EMR Site Id: 29 November 2024
Cheque Number:
Client Reference:

This response relates to a search request received for the site:

Lot: 2 Plan: RP702242
DAINTREE RVR
UPPER DAINTREE

EMR RESULT

The above site is NOT included on the Environmental Management Register.

CLR RESULT

The above site is NOT included on the Contaminated Land Register.

ADDITIONAL ADVICE

All search responses include particulars of land listed in the EMR/CLR when the search was generated.
The EMR/CLR does NOT include:-

1. land which is contaminated land (or a complete list of contamination) if DESI has not been notified
2. land on which a notifiable activity is being or has been undertaken (or a complete list of activities) if DESI has not been notified

If you have any queries in relation to this search please email emr.clr.registry@des.qld.gov.au

Administering Authority

SCHEDULE 2

SARA DA MAPPING



Matters of Interest for all selected Lot Plans

Coastal management district

Coastal area - erosion prone area

Coastal area - medium storm tide inundation area

Coastal area - high storm tide inundation area

Queensland waterways for waterway barrier works

Major (tidal)

Regulated vegetation management map (Category A and B extract)

Matters of Interest by Lot Plan

Lot Plan: 2RP702242 (Area: 550020 m²)

Coastal management district

Coastal area - erosion prone area

Coastal area - medium storm tide inundation area

Coastal area - high storm tide inundation area

Queensland waterways for waterway barrier works

Major (tidal)

Regulated vegetation management map (Category A and B extract)

Lot Plan: 1RP702242 (Area: 26560 m²)

Coastal management district

Coastal area - erosion prone area

Coastal area - medium storm tide inundation area

Coastal area - high storm tide inundation area

Queensland waterways for waterway barrier works

Lot Plan: 179C157262 (Area: 634600 m²)

Coastal area - erosion prone area

Coastal area - medium storm tide inundation area

Coastal area - high storm tide inundation area

Regulated vegetation management map (Category A and B extract)

Lot Plan: 3RP702243 (Area: 660 m²)

Coastal management district

Coastal area - erosion prone area

Coastal area - high storm tide inundation area

Regulated vegetation management map (Category A and B extract)

Lot Plan: 10SP304851 (Area: 748700 m²)

Coastal area - erosion prone area

Coastal area - medium storm tide inundation area

Coastal area - high storm tide inundation area

Queensland waterways for waterway barrier works

Major (tidal)

Regulated vegetation management map (Category A and B extract)

Lot Plan: 71RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 51RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

State Assessment and Referral Agency - Matters of Interest Report

Lot Plan: 31RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 11RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 1RP702243 (Area: 615 m²)

Coastal management district

Coastal area - erosion prone area

Coastal area - high storm tide inundation area

Regulated vegetation management map (Category A and B extract)

Lot Plan: 72RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 73RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 90RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 74RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 89RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 75RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 88RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 76RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 87RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 77RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 86RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 78RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 85RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 79RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 84RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

State Assessment and Referral Agency - Matters of Interest Report

Lot Plan: 80RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 83RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 82RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 81RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 52RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 53RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 70RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 54RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 69RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 55RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 68RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 56RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 67RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 57RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 66RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 58RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 65RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 59RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 64RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

State Assessment and Referral Agency - Matters of Interest Report

Lot Plan: 60RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 63RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 62RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 61RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 32RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 33RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 50RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 34RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 49RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 35RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 48RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 36RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 47RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 37RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 46RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 38RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 45RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 39RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 44RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

State Assessment and Referral Agency - Matters of Interest Report

Lot Plan: 40RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 43RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 42RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 41RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 12RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 13RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 30RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 14RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 29RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 15RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 28RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 16RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 27RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 17RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 26RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 18RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 25RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 19RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 24RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

State Assessment and Referral Agency - Matters of Interest Report

Lot Plan: 20RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 23RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 22RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 21RP702243 (Area: 1012 m²)

No Matters of Interest for this Lot Plan.

Lot Plan: 2RP702243 (Area: 616 m²)

Coastal management district

Coastal area - erosion prone area

Coastal area - medium storm tide inundation area

Coastal area - high storm tide inundation area

Regulated vegetation management map (Category A and B extract)

Lot Plan: 4RP702243 (Area: 732 m²)

Coastal management district

Coastal area - erosion prone area

Coastal area - medium storm tide inundation area

Coastal area - high storm tide inundation area

Regulated vegetation management map (Category A and B extract)

Lot Plan: 5RP702243 (Area: 747 m²)

Coastal management district

Coastal area - erosion prone area

Coastal area - medium storm tide inundation area

Coastal area - high storm tide inundation area

Regulated vegetation management map (Category A and B extract)

Lot Plan: 6RP702243 (Area: 769 m²)

Coastal management district

Coastal area - erosion prone area

Coastal area - medium storm tide inundation area

Coastal area - high storm tide inundation area

Regulated vegetation management map (Category A and B extract)

Lot Plan: 7RP702243 (Area: 842 m²)

Coastal management district

Coastal area - erosion prone area

Coastal area - medium storm tide inundation area

Coastal area - high storm tide inundation area

Regulated vegetation management map (Category A and B extract)

Lot Plan: 8RP702243 (Area: 868 m²)

Coastal management district

Coastal area - erosion prone area

Coastal area - medium storm tide inundation area

Coastal area - high storm tide inundation area

Lot Plan: 9RP702243 (Area: 841 m²)

Coastal management district

Coastal area - erosion prone area

Coastal area - medium storm tide inundation area

State Assessment and Referral Agency - Matters of Interest Report

Coastal area - high storm tide inundation area

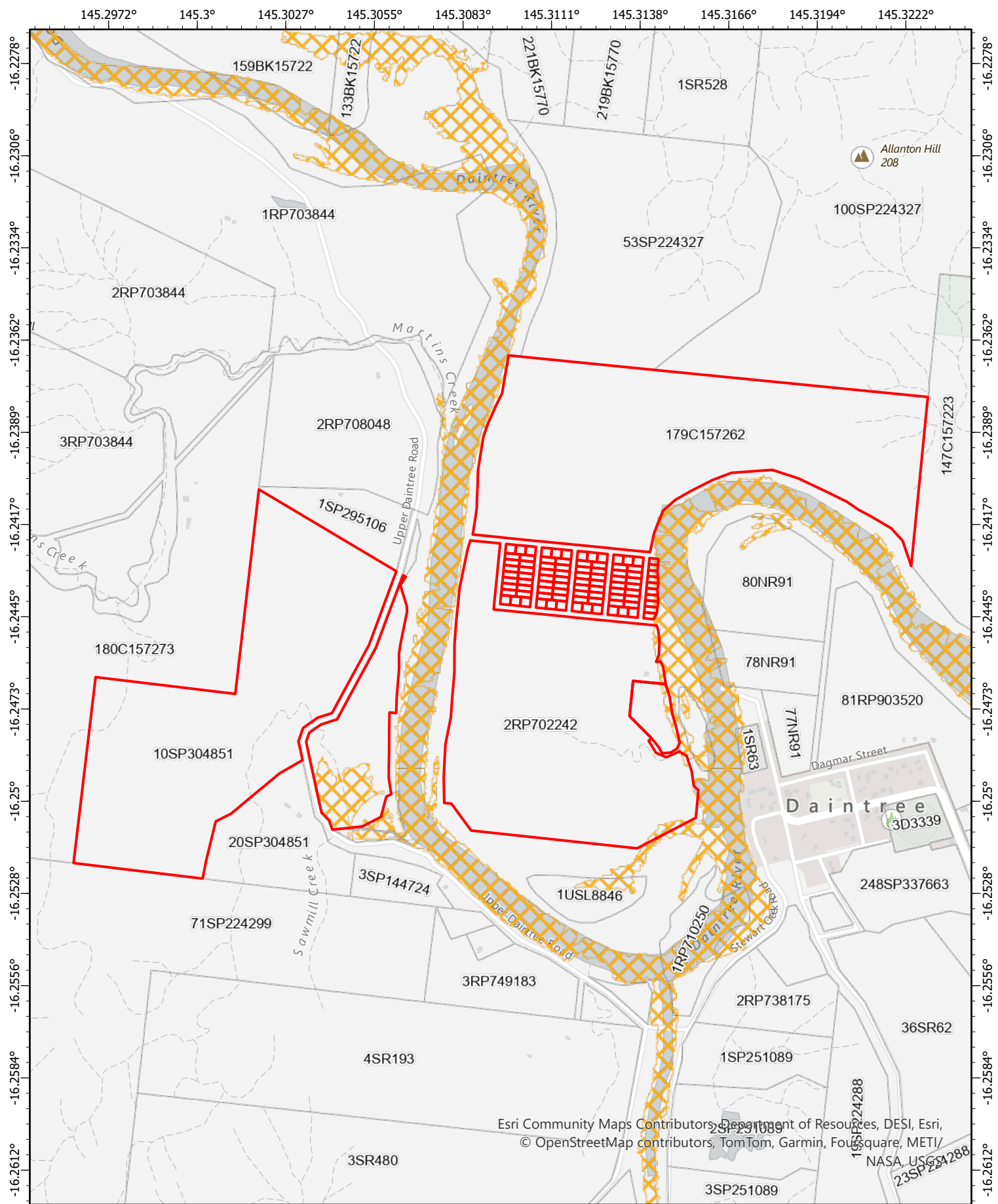
Lot Plan: 10RP702243 (Area: 769 m²)


Coastal management district

Coastal area - erosion prone area

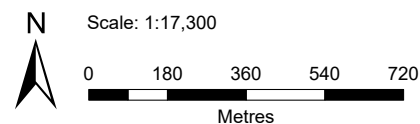
Coastal area - medium storm tide inundation area

Coastal area - high storm tide inundation area



 Coastal area - erosion prone area

Date: 03/12/2024

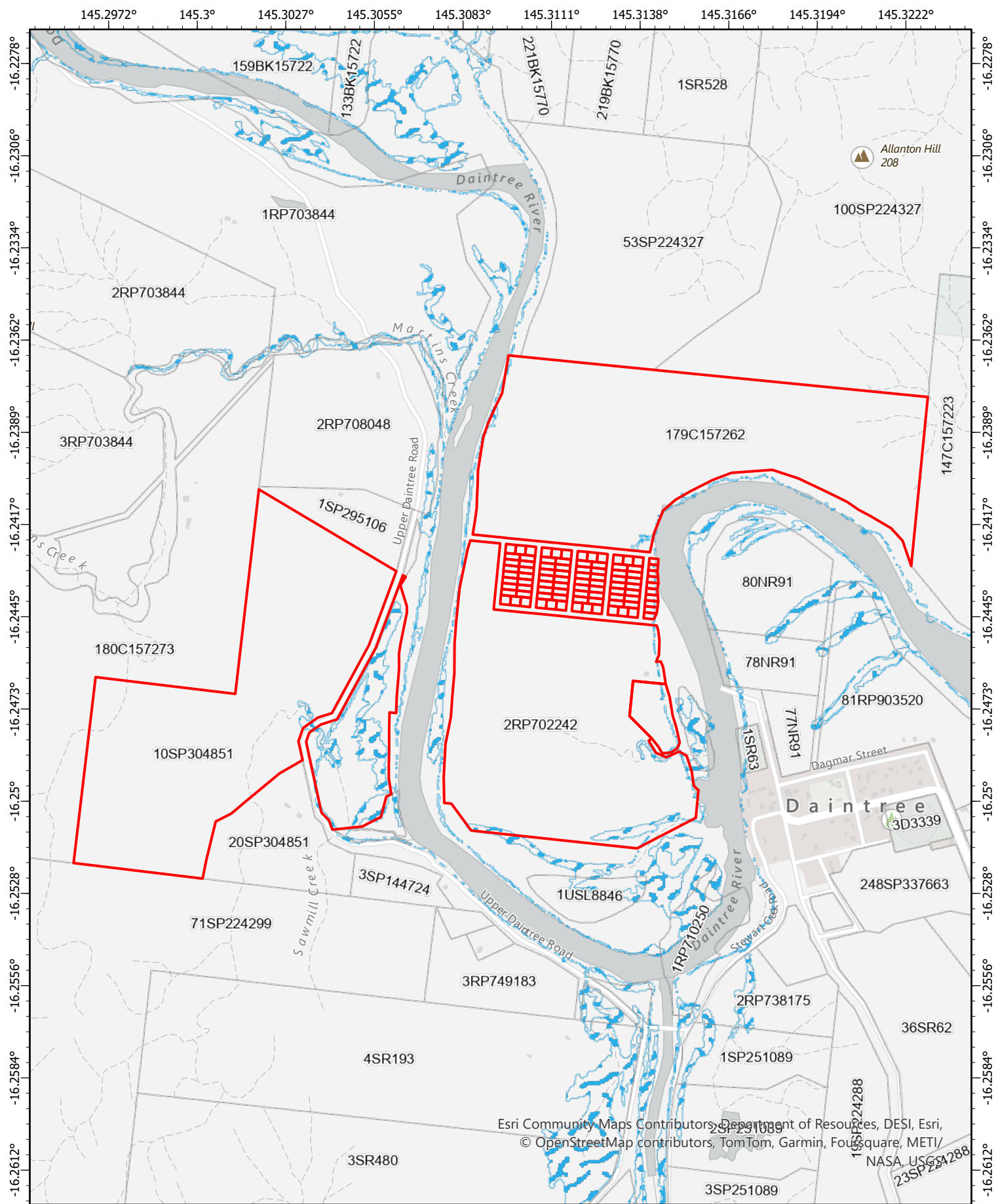



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Queensland Government

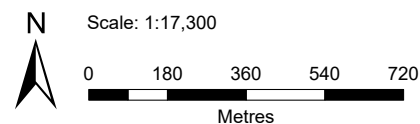
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 Coastal area - medium storm tide inundation area

Date: 03/12/2024

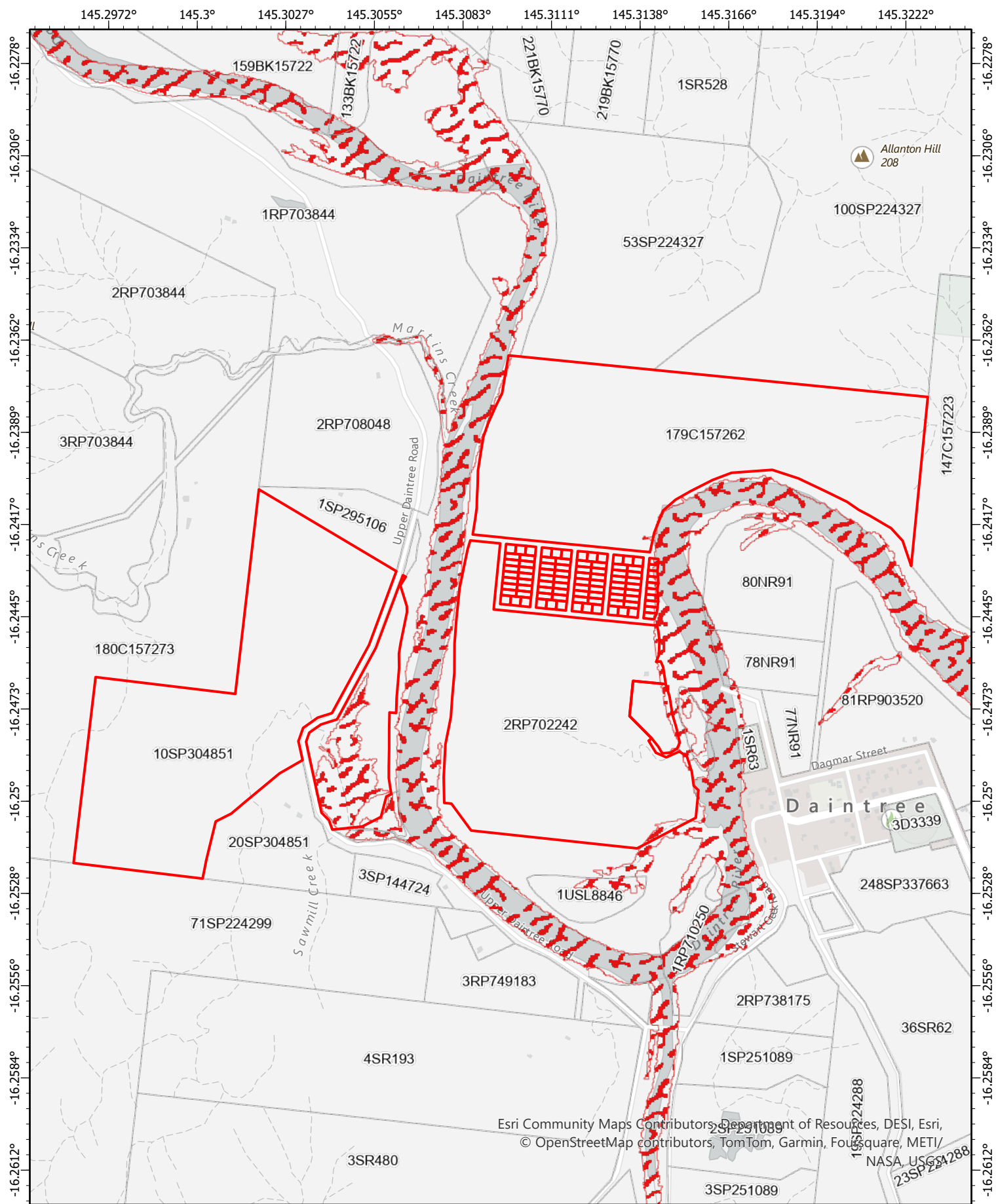


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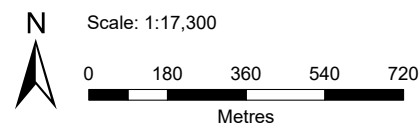




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NASA, USGS, 23SP224288

Date: 03/12/2024

 Coastal area - high storm
tide inundation area

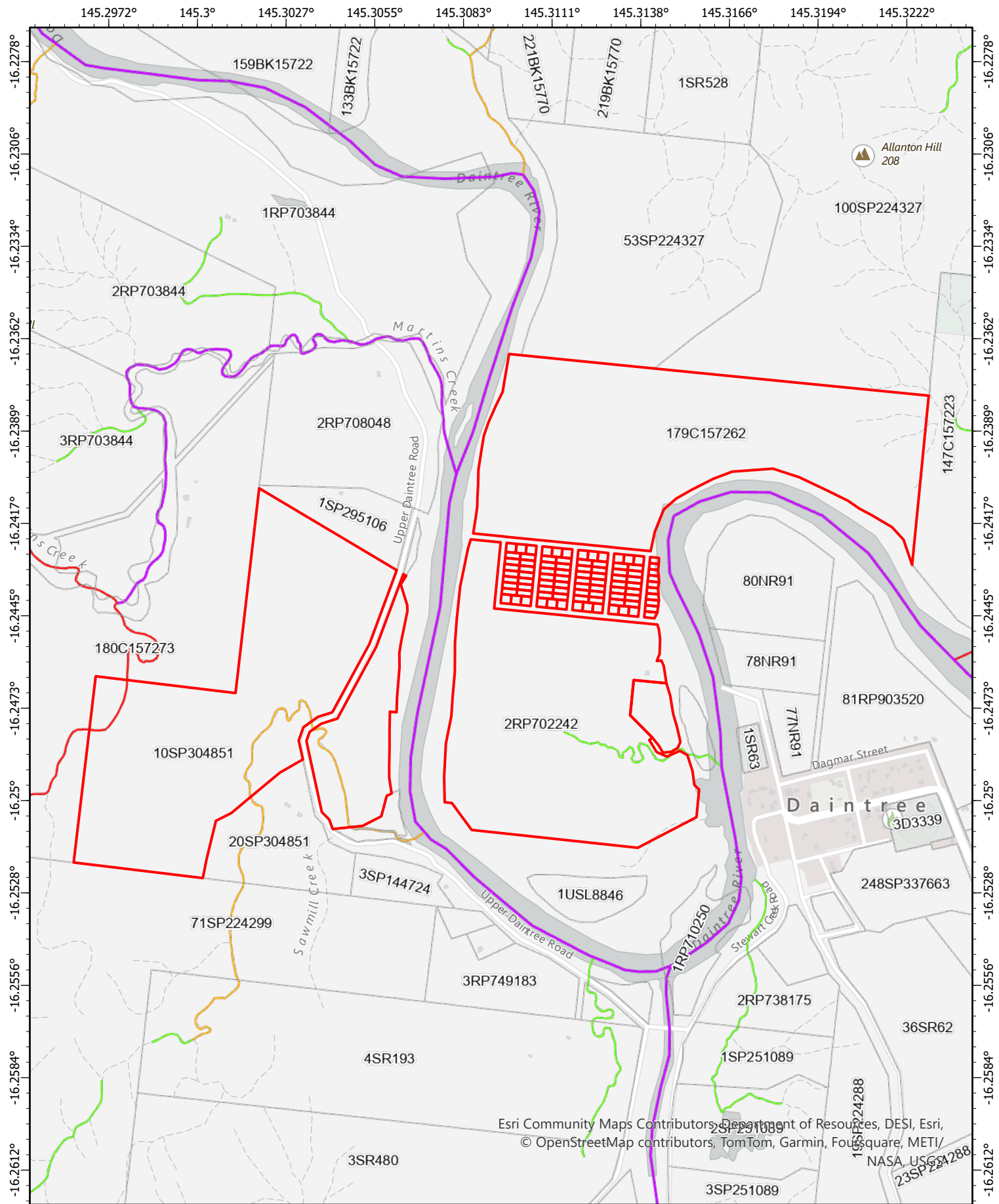


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Queensland waterways for
waterway barrier works

Risk of impact

Low

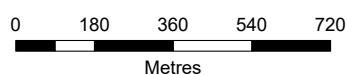
Moderate

High

Major



Scale: 1:17,300



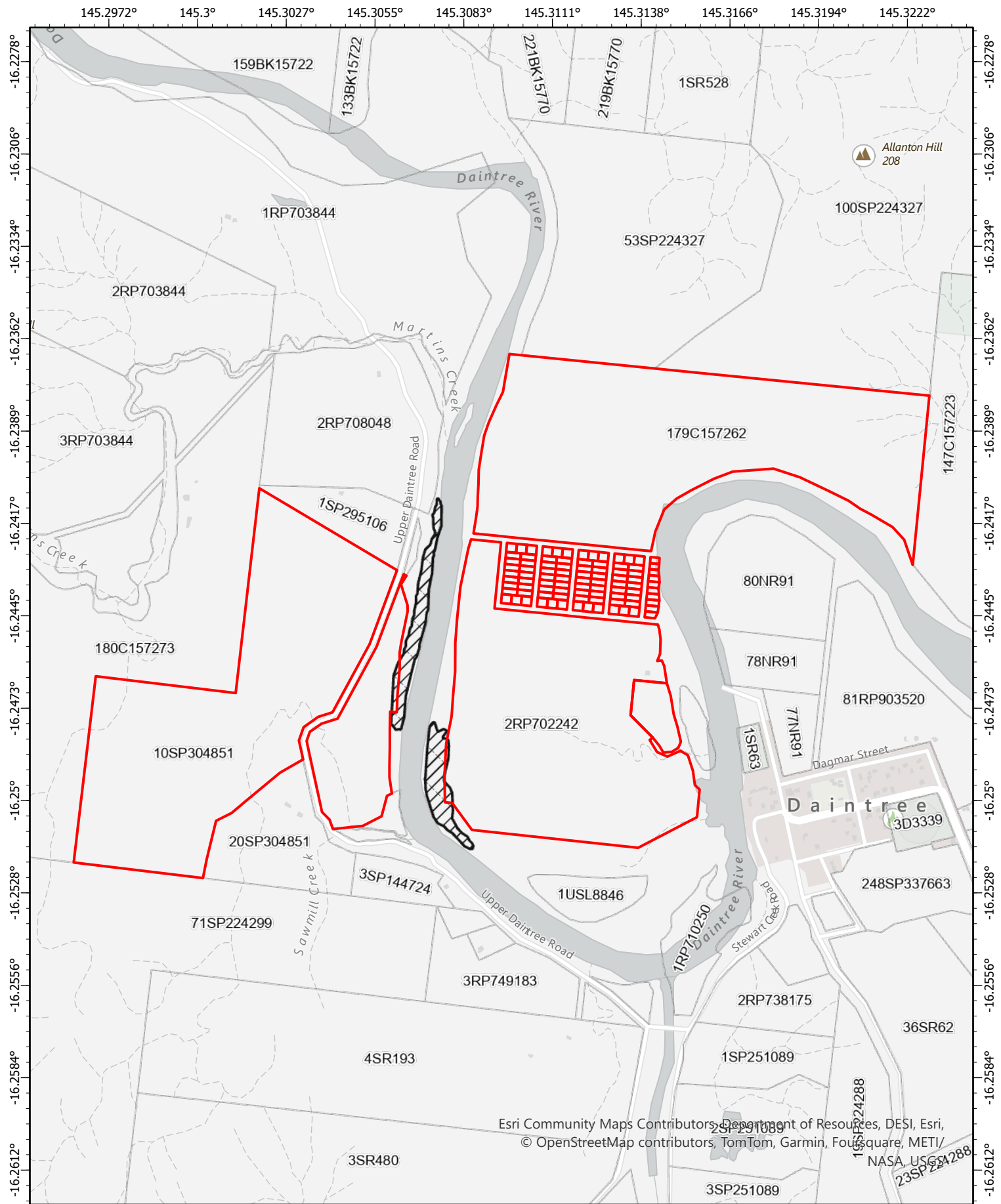
Date: 03/12/2024

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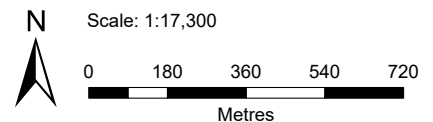
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 Major (tidal)

Date: 03/12/2024



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SCHEDULE 3

DOUGLAS SHIRE PLANNING SCHEME REPORT




2018 Douglas Shire Council Planning Scheme Property Report

The following report has been automatically generated to provide a general indication of development related information applying to the premise.


For more information and to determine if the mapping layers are applicable, refer to the [2018 Douglas Shire Council Planning Scheme](#). This report is not intended to replace the need for carrying out a detailed assessment of Council and State controls or the need to seek your own professional advice on any town planning instrument, local law or other controls that may impact on the existing or intended use of the premise mentioned in this report. For further information please contact Council by phone: [07 4099 9444](tel:0740999444) or [1800 026 318](tel:1800026318) or email enquiries@douglas.qld.gov.au.


Visit Council's website to apply for an [official property search or certificate](#), or contact the [Department of Natural Resources, Mines and Energy](#) to undertake a title search to ascertain how easements may affect a premise.


Property Information

Property Address 
Lot Plan [2RP702242](#) (Freehold - 550020m²)



 Selected Property

 Easements







 Property

Douglas Shire Planning Scheme 2018 version 1.0
The table below provides a summary of the Zones and Overlays that apply to the selected property.

 Zoning	Applicable Zone Rural	More Information <ul style="list-style-type: none">View Section 6.2.10 Rural Zone CodeView Section 6.2.10 Rural Zone Compliance tableView Section 6.2.10 Rural Zone Assessment table
--	---------------------------------	---

Douglas Shire Planning Scheme 2018 version 1.0

The table below provides a summary of the Zones and Overlays that apply to the selected property.

 Acid Sulfate Soils	Applicable Precinct or Area Acid Sulfate Soils (< 5m AHD) Acid Sulfate Soils (5-20m AHD)	More Information <ul style="list-style-type: none"> View Section 8.2.1 Acid Sulfate Soils Overlay Code View Section 8.2.1 Acid Sulfate Soils Overlay Compliance table
 Coastal Processes	Applicable Precinct or Area Erosion Prone Area	More Information <ul style="list-style-type: none"> View Section 8.2.3 Coastal Environment Overlay Code View Section 8.2.3 Coastal Environment Overlay Compliance table
 Flood Storm	Applicable Precinct or Area Medium Storm Tide Hazard High Storm Tide Hazard 100 Year ARI - Mosman and Port Douglas Flood Studies	More Information <ul style="list-style-type: none"> View Section 8.2.4 Flood and Storm Tide Hazard Overlay Code View Section 8.2.4 Flood and Storm Tide Hazard Overlay Compliance table
 Landscape Values	Landscape Values High landscape values	More Information <ul style="list-style-type: none"> View Section 8.2.6 Landscape Values Overlay Code View Section 8.2.6 Landscape Values Overlay Compliance table
 Landslide	Applicable Precinct or Area Landslide Hazard (High & Medium Hazard Risk)	More Information <ul style="list-style-type: none"> View Section 8.2.9 Potential Landslide Hazard Overlay Code View Section 8.2.9 Potential Landslide Hazard Overlay Compliance table
 Natural Areas	Applicable Precinct or Area MSES - Regulated Vegetation (Intersecting a Watercourse) MSES - Wildlife Habitat MSES - Regulated Vegetation	More Information <ul style="list-style-type: none"> View Section 8.2.7 Natural Areas Overlay Code View Section 8.2.7 Natural Areas Overlay Compliance table

Zoning

Applicable Zone
Rural

- More Information
- [View Section 6.2.10 Rural Zone Code](#)
 - [View Section 6.2.10 Rural Zone Compliance table](#)
 - [View Section 6.2.10 Rural Zone Assessment table](#)



☒ Selected Property

☐ Property

- Zoning**
- | | | | |
|--|--|---|---|
| <input type="checkbox"/> Centre | <input type="checkbox"/> Community Facilities | <input type="checkbox"/> Conservation | <input type="checkbox"/> Environmental Management |
| <input type="checkbox"/> Industry | <input type="checkbox"/> Low Density Residential | <input type="checkbox"/> Low-medium Density Residential | <input type="checkbox"/> Medium Density Residential |
| <input type="checkbox"/> Recreation and Open Space | <input type="checkbox"/> Rural | <input type="checkbox"/> Rural Residential | <input type="checkbox"/> Special Purpose |
| <input type="checkbox"/> Tourism | <input type="checkbox"/> Tourist Accommodation | | |

Acid Sulfate Soils

Applicable Precinct or Area

Acid Sulfate Soils (< 5m AHD)
Acid Sulfate Soils (5-20m AHD)

More Information

- [View Section 8.2.1 Acid Sulfate Soils Overlay Code](#)
- [View Section 8.2.1 Acid Sulfate Soils Overlay Compliance table](#)



☒ Selected Property

☐ Property

Acid Sulfate Soils

☒ Acid Sulfate Soils (< 5m AHD)

☒ Acid Sulfate Soils (5-20m AHD)





☐ all others

Coastal Processes

Applicable Precinct or Area
Erosion Prone Area

- More Information
- [View Section 8.2.3 Coastal Environment Overlay Code](#)
 - [View Section 8.2.3 Coastal Environment Overlay Compliance table](#)

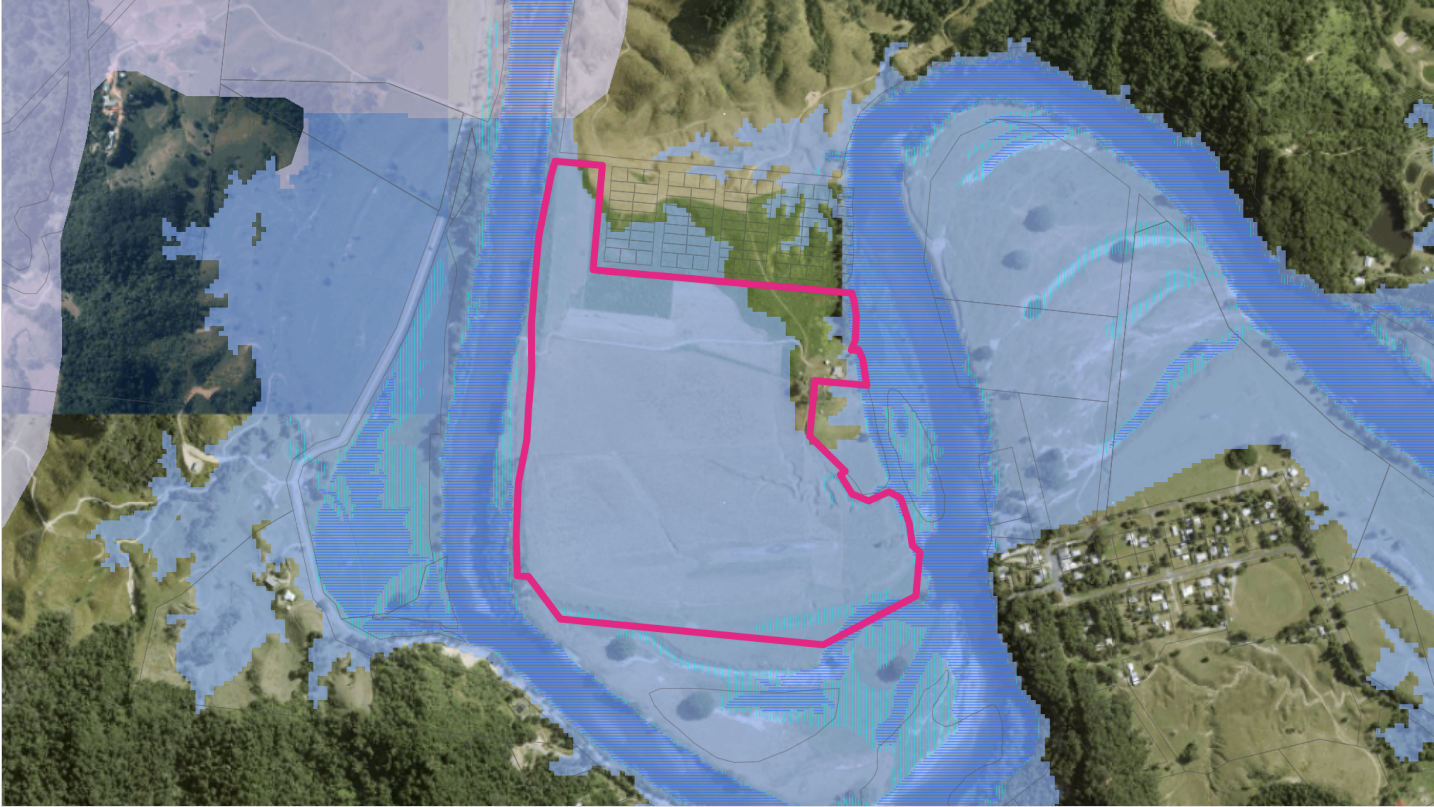


 Selected Property	 Property	 Coastal Management District	 Erosion Prone Area
--	--	---	--

Flood Storm

Applicable Precinct or Area
Medium Storm Tide Hazard
High Storm Tide Hazard
100 Year ARI - Mosman and Port Douglas Flood Studies

- More Information**
- [View Section 8.2.4 Flood and Storm Tide Hazard Overlay Code](#)
 - [View Section 8.2.4 Flood and Storm Tide Hazard Overlay Compliance table](#)



Landscape Values

Landscape Values
High landscape values

- More Information**
- [View Section 8.2.6 Landscape Values Overlay Code](#)
 - [View Section 8.2.6 Landscape Values Overlay Compliance table](#)



Landslide

Applicable Precinct or Area
Landslide Hazard (High & Medium Hazard Risk)

- More Information**
- [View Section 8.2.9 Potential Landslide Hazard Overlay Code](#)
 - [View Section 8.2.9 Potential Landslide Hazard Overlay Compliance table](#)



☒ Selected Property

☐ Property

☒ Potential Landslide Hazard

Natural Areas

Applicable Precinct or Area

- MSES - Regulated Vegetation (Intersecting a Watercourse)
- MSES - Wildlife Habitat
- MSES - Regulated Vegetation

More Information

- [View Section 8.2.7 Natural Areas Overlay Code](#)
- [View Section 8.2.7 Natural Areas Overlay Compliance table](#)



Disclaimer

This report is not a substitute for a Planning and Development Certificate and should not be relied upon where the reliance may result in loss, damage or injury. While every effort is taken to ensure the information in this report is accurate and up to date, Douglas Shire Council makes no representations or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and all liability (including without limitation, liability in negligence) for all expenses, losses, damages (including indirect or consequential damage) and costs that may occur as a result of the report being inaccurate or incomplete in any way or for any reason.

SCHEDULE 4

STORM TIDE INUNDATION PROPERTY REPORT



Storm Tide Inundation Property Report

The following report has been automatically generated to provide a general indication of development related information applying to the nominated land parcel.

For more information refer to the [JB Pacific Storm Tide Inundation Methodology Study](#). This report is not intended to replace the need for carrying out a detailed assessment of Council and State controls or the need to seek your own professional advice on any town planning instrument, local law or other controls that may impact on the existing or intended use of the premise mentioned in this report. For further information please contact Council by phone: [07 4099 9444](tel:0740999444) or [1800 026 318](tel:1800026318) or email enquiries@douglas.qld.gov.au.

A separate [Council Planning Scheme Property Report](#) tool is available for information relating to Council's 2018 Planning Scheme.

Visit Council's website to apply for an [official property search or certificate](#), or contact the [Department of Natural Resources, Mines and Energy](#) to undertake a title search to ascertain how easements may affect land.

JB Pacific Storm Tide Inundation Methodology Study

The purpose of the Douglas Shire Storm Tide Inundation Methodologies Study was to review and analyse different methodologies, identify a best practise model for the Shire's coastal urban areas, run this preferred best practise model and calculate the minimum heights for the 1% AEP (Annual Exceedance Probability) storm tide inundation for the year 2100 having regard to a 0.8m sea level rise for urban coastal properties.

Excerpt from the JB Pacific Storm Tide Inundation Methodology Report -

Storm Tide Inundation

The Douglas Shire coastline experiences a range of hydrodynamic, waves, and morphologic processes that are linked through dependant and independent variables. This includes the underlying astronomical tide, the passage of local storms and cyclones, the interaction of storm surges along the open coastline, the local wave climate, any sheltering provided by nearshore reefs, and the role of nearshore and dune vegetation. A range of these coastal processes are shown in Figure 2-1.

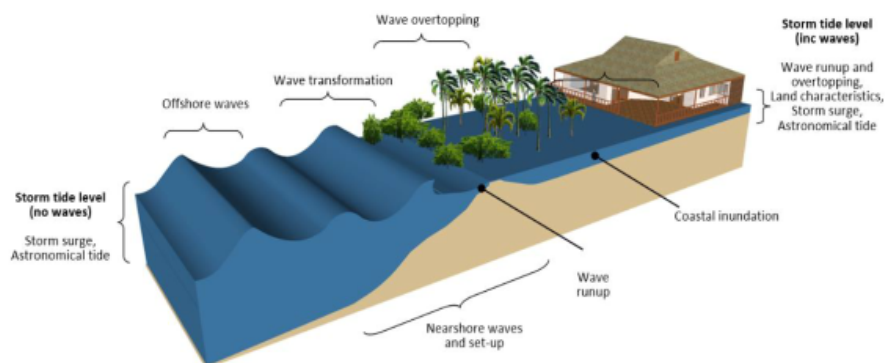


Figure 2-1: Drivers of coastal risk

Importantly storm tide inundation can be from the overtopping at the foreshore as well as wave runup through estuaries and inundate from "behind" a locality. Check out the animation of this activity through the local estuaries in the animation on Council's website.

Future Year 2100 Projected Levels

On 2 July 2017 the Planning Act 2016 came into effect as part of the Queensland Government's commitment to delivering planning reform across the State and the State Planning Policies reinstating the need to consider the 1% AEP (Average Exceedance Probability) Storm Tide Inundation level for the year 2100 with a 0.8m sea level rise. The 1% AEP is referred to as the one in one hundred year event. The 1%AEP is the minimum we need to consider and plan for.

Freeboard

There are numerous variants that can affect the modelled levels. To account for the differences in these variants a "freeboard" is applied. For the JB Pacific Storm Tide Inundation Methodology Study these differences have been considered within a nominal 0.5m freeboard level. Minimum levels for habitable rooms need to consider the Finished Floor Level (FFL) being the 1%AEP level plus the 0.5m freeboard. This value is a measurement at AHD (Australian Height Datum).

AHD Levels

A Licensed Surveyor should be engaged to determine the accurate AHD for a property. Contours and levels identified through Queensland Globe are estimated from LIDAR calculations and may not be 100% accurate.

Property Information

Property Address



Lot Plan (- m²)



☒ Selected Property

☐ Easements

☐ Property

Storm Tide Inundation Property Information

The information below provides details of the projected Future Year 2100 Storm Tide Inundation Level that considers a Sea Level Rise of 0.8m AHD



 Selected Property

 Affected by the 1 % AEP Event for the year 2100

JPacific summary Information



 Selected Property

StormTide Levels Overview

 3 to 4

 2 to 3

 1 to 2

 0.1 to 1

 0 to 0

Storm Tide Range Detailed



 Selected Property

StormTide Levels Detailed

 Below 0.33000  2.16968  2.32640  2.47331  2.76642  2.91969  3.18777 and above

The Level for Construction – for Storm Tide Inundation Considerations

The lot is affected by storm tide inundation for the Year 2100, 1 in 100 (1% AEP) event. The 1% AEP for the year 2100 (including a Sea Level Rise of 0.8m) is at **2.0889** (without freeboard). The Freeboard for the Study is 0.5m and is applied to determine Finished Floor Level for habitable rooms.

Finished Floor Level

The total required Finished Floor Level for habitable rooms is 2.5889 m AHD

Note - Finished floor level is usually 225mm above the pad level.

Disclaimer

The maps show the estimated areas of inundation for the 1% AEP projected for the year 2100 having regard to a sea level rise of 0.8m. The report nominates required minimum habitable room minimum finished floor level. This minimum level is determined from the best data to date held by Council. This storm tide inundation flood level, for a particular property, may change if more detailed information becomes available or changes are made in the method of calculating flood levels. Storm tide Inundation analysis is based on comprehensive computer modelling calibrated against actual storm tides. The website provides locations, street names, aerial photography and available storm tide inundation data for the Shire areas that were included in the JB Pacific Storm Tide Inundation Methodologies Study. This property reporting tool is not a substitute for a detailed Coastal Engineering analysis of a property and should not be relied upon where the reliance may result in loss, damage or injury. While every effort is taken to ensure the information in this report is accurate and up to date, Douglas Shire Council makes no representations or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and all liability (including without limitation, liability in negligence) for all expenses, losses, damages (including indirect or consequential damage) and costs that may occur as a result of the report being inaccurate or incomplete in any way or for any reason.

SCHEDULE 5

PROPOSAL PLANS



DAINTREE RIVER STATION
EDUCATIONAL ESTABLISHMENT

JABALBINA YALANJI ABORIGINAL CORPORATION

25/11/2024

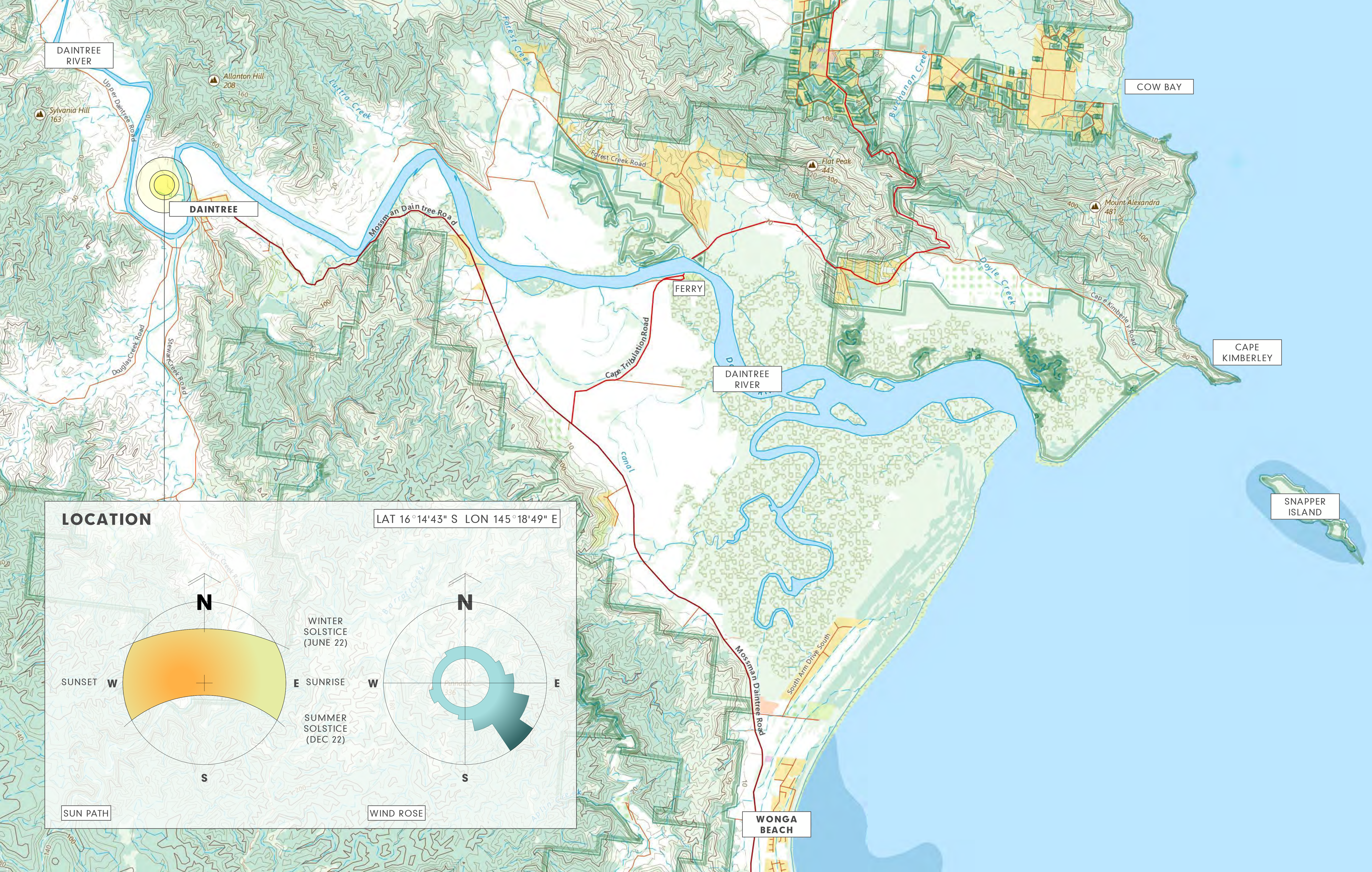
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DA.01	COVER SHEET	DA02	25/11/2024, 5:27 PM	DA
DA.02	LOCATION MAP & ANALYSIS	DA02	25/11/2024, 5:27 PM	DA
DA.03	SITE PLAN	DA02	25/11/2024, 5:27 PM	DA
DA.04	FLOOD OVERLAY	DA02	25/11/2024, 5:27 PM	DA
DA.05	MASTER PLAN	DA02	25/11/2024, 5:27 PM	DA
DA.06	MASTER PLAN 1:200	DA02	25/11/2024, 5:27 PM	DA
DA.07	STAGING PLAN 1:200	DA02	25/11/2024, 5:27 PM	DA
DA.08	EDUCATION CENTRE FLOOR PLAN & ELEVATIONS	DA02	25/11/2024, 5:27 PM	DA
DA.09	STAFF ACCOMMODATION (TYPE A) FLOOR PLAN & ELEVATIONS	DA02	25/11/2024, 5:27 PM	DA
DA.10	CHILLOUT REFUGE FLOOR PLAN & ELEVATIONS	DA02	25/11/2024, 5:27 PM	DA
DA.11	TYPICAL MODULE FLOOR PLANS	DA02	25/11/2024, 5:27 PM	DA
DA.12	SITE ACCESS & CARPARK PLAN	DA02	25/11/2024, 5:27 PM	DA
DA.13	VISUALISATIONS	DA02	25/11/2024, 5:27 PM	DA
DA.14	VISUALISATIONS	DA02	25/11/2024, 5:27 PM	DA
DA.15	VISUALISATIONS	DA02	25/11/2024, 5:27 PM	DA
DA.16	VISUALISATIONS	DA02	25/11/2024, 5:27 PM	DA
DA.17	VISUALISATIONS	DA02	25/11/2024, 5:27 PM	DA
DA.18	VISUALISATIONS	DA02	25/11/2024, 5:27 PM	DA

DAINTREE RIVER STATION
EDUCATIONAL ESTABLISHMENT
FOR : JABALBINA YALANJI ABORIGINAL CORPORATION

DEVELOPMENT APPLICATION
COVER SHEET
SCALE 1:1 @A1

PROJECT NO. JABALBINA003
DRAWING NO. DA.01
REVISION NO. DA02
DATE 25/11/2024

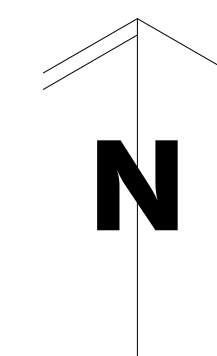




DAINTREE RIVER STATION
EDUCATIONAL ESTABLISHMENT
FOR : JABALBINA YALANJI ABORIGINAL CORPORATION

DEVELOPMENT APPLICATION
LOCATION MAP & ANALYSIS
SCALE 1:0.69 @A1

PROJECT NO. JABALBINA003
DRAWING NO. DA.02
REVISION NO. DA02
DATE 25/11/2024



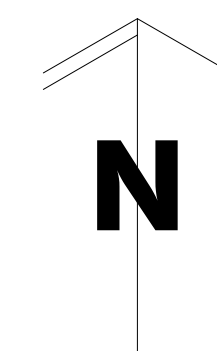
HUNT
DESIGN



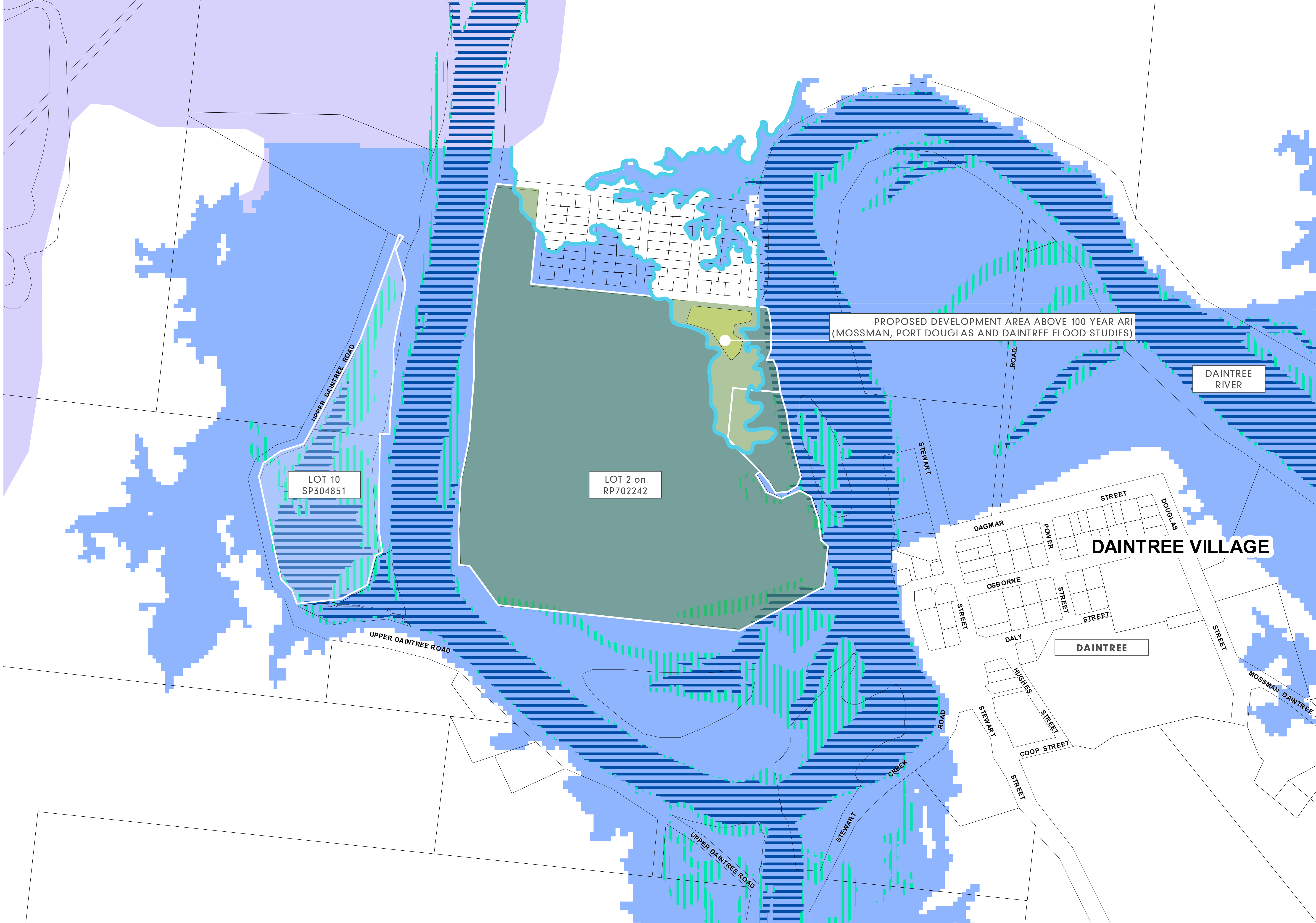
DAINTREE RIVER STATION
EDUCATIONAL ESTABLISHMENT
FOR : JABALBINA YALANJI ABORIGINAL CORPORATION

DEVELOPMENT APPLICATION
SITE PLAN
SCALE 1:4000 @A1

PROJECT NO. JABALBINA003
DRAWING NO. DA.03
REVISION NO. DA02
DATE 25/11/2024



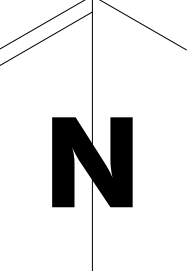
HUNT
DESIGN



DAINTREE RIVER STATION
EDUCATIONAL ESTABLISHMENT
FOR : JABALBINA YALANJI ABORIGINAL CORPORATION

DEVELOPMENT APPLICATION
FLOOD OVERLAY
SCALE 1:4000 @A1

PROJECT NO. JABALBINA003
DRAWING NO. DA.04
REVISION NO. DA02
DATE 25/11/2024

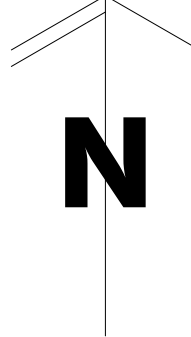




DAINTREE RIVER STATION
EDUCATIONAL ESTABLISHMENT
FOR : JABALBINA YALANJI ABORIGINAL CORPORATION

DEVELOPMENT APPLICATION
MASTER PLAN
SCALE 1:500 @A1

PROJECT NO. JABALBINA003
DRAWING NO. DA.05
REVISION NO. DA02
DATE 25/11/2024





AREA ANALYSIS

SITE AREA

LOT 12 RP702242: 562,175m²

ACCOMODATION UNITS AREA (GFA)

STAFF ACCOMMODATION (TYPE A): (2 x 30m²) 60m²

(PLUS 20m² DECK EACH)

STUDENT ACCOMMODATION (TYPE B): (10 x 13m²) 130m²

(PLUS 8m² DECK EACH)

TOTAL ACCOMMODATION AREA 190m²

COMMON FACILITY AREAS (GFA)

KITCHEN 13m²

MEETING & TRAINING ROOM: 13m²

(PLUS 80m² COMMON DECK)

AMENITIES: 13m²

LAUNDRY & ASF: 13m²

STORES: 13m²

CHILLOUT REFUGE: 13m²

TOTAL COMMON AREA 78m²

ADDITIONAL AREAS

CIRCULATION PATHS & YARNING CIRCLE APPROX. 450m²

DAINTREE RIVER STATION

EDUCATIONAL ESTABLISHMENT

FOR : JABALBINA YALANJI ABORIGINAL CORPORATION

DEVELOPMENT APPLICATION

MASTER PLAN 1:200

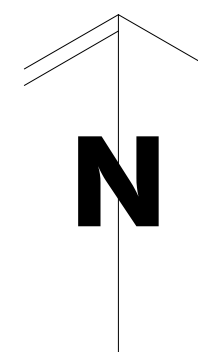
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PROJECT NO. JABALBINA003

DRAWING NO. DA.06

REVISION NO. DA02

DATE 25/11/2024



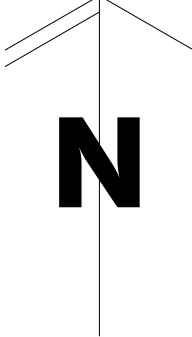
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DESIGN

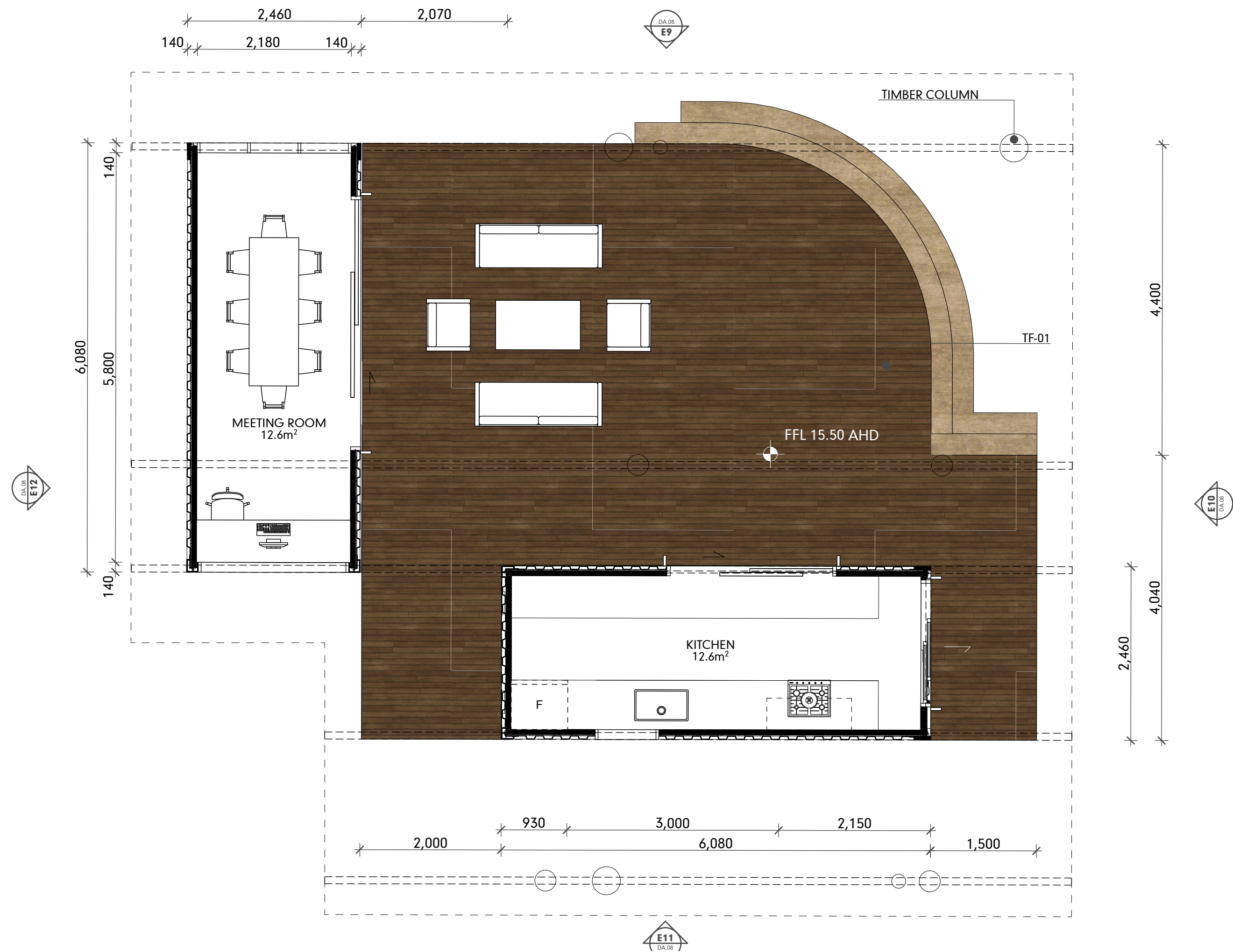


DAINTREE RIVER STATION
EDUCATIONAL ESTABLISHMENT
FOR : JABALBINA YALANJI ABORIGINAL CORPORATION

DEVELOPMENT APPLICATION
STAGING PLAN 1:200
SCALE 1:200 @A1

PROJECT NO. JABALBINA003
DRAWING NO. DA.07
REVISION NO. DA02
DATE 25/11/2024

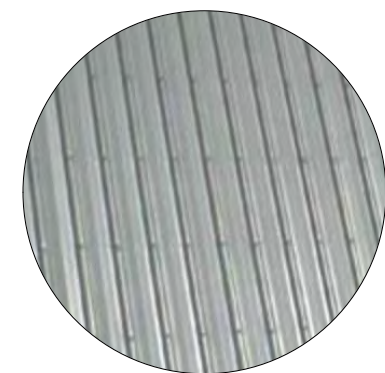




EDUCATION CENTRE FLOOR PLAN
SCALE1:50

FINISHES

CB-F03
COLORBOND SHALE
GREY ROOF SHEETING



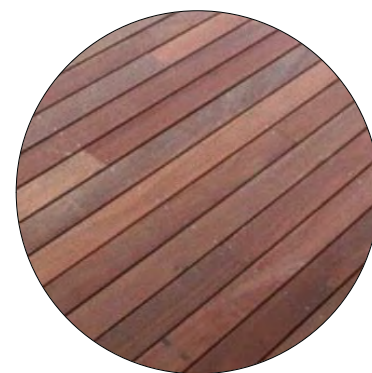
CB-F-WG
COLORBOND
WOODLAND GREY



TBS-01
SOLID TIMBER



TF-01
SOLID TIMBER

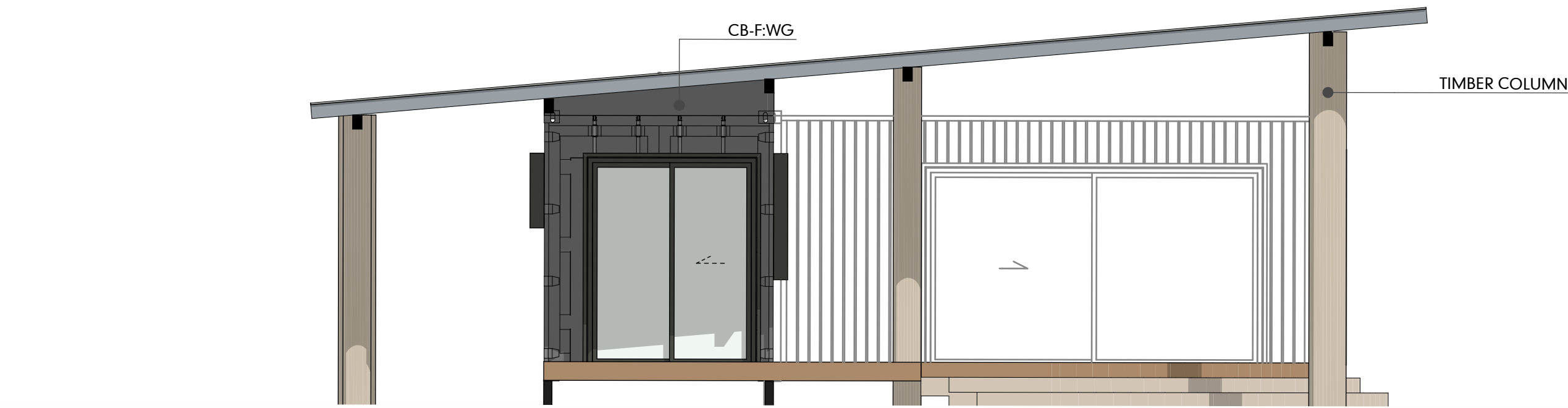


GR-01
EXPOSED
AGGREGATE PATHS



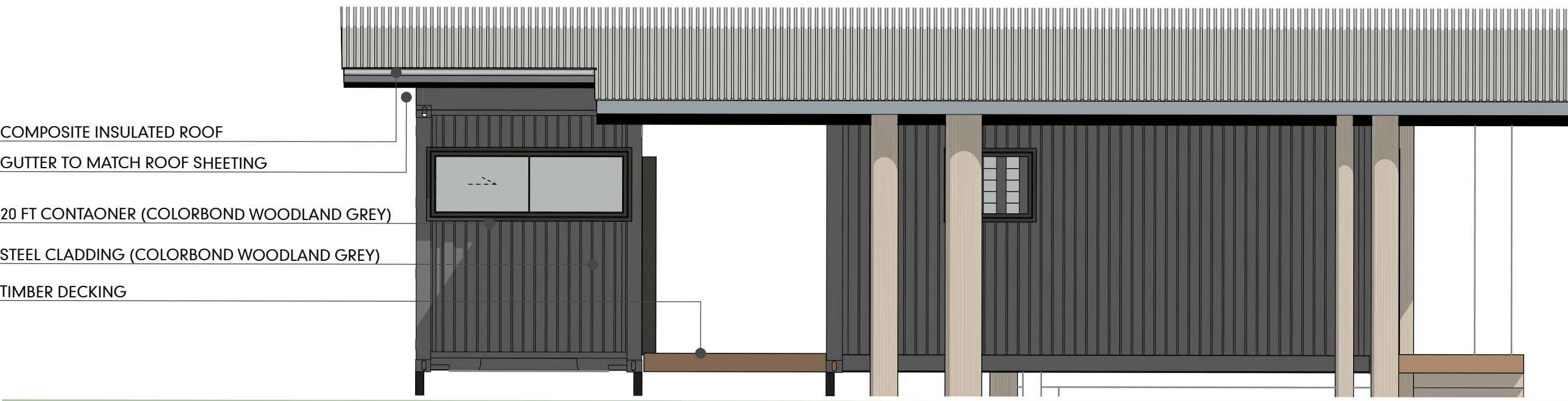
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SCALE1:50

E9



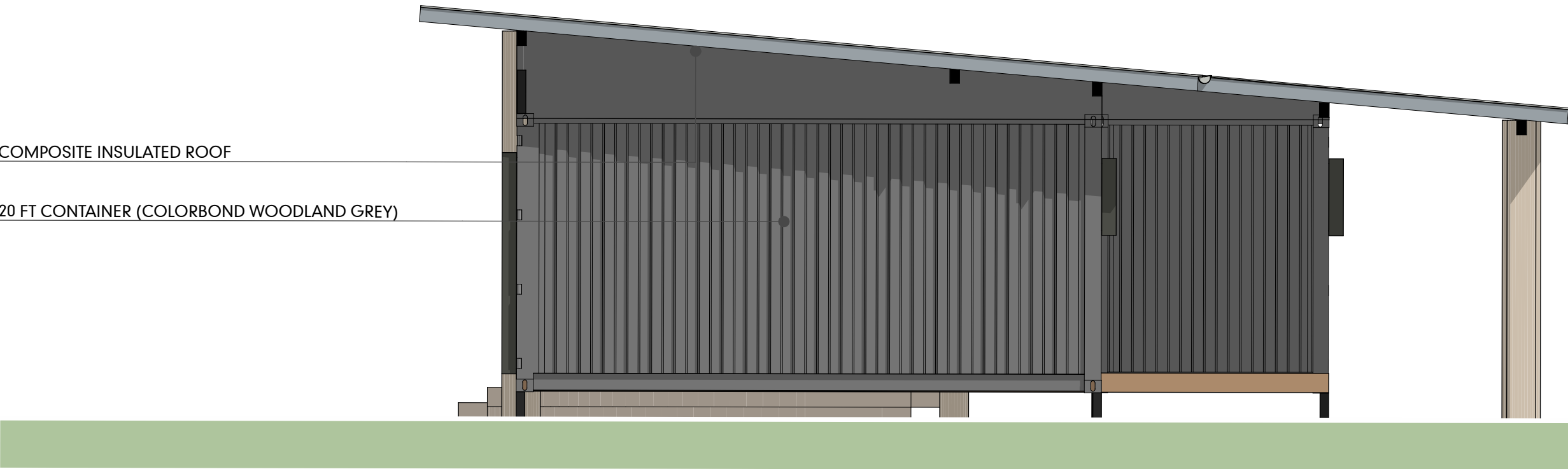
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SCALE1:50

E10



EDUCATION CENTRE ELEVATION 3
SCALE1:50

E11



EDUCATION CENTRE ELEVATION 4
SCALE1:50

E12

DAINTREE RIVER STATION
EDUCATIONAL ESTABLISHMENT
FOR : JABALBINA YALANJI ABORIGINAL CORPORATION

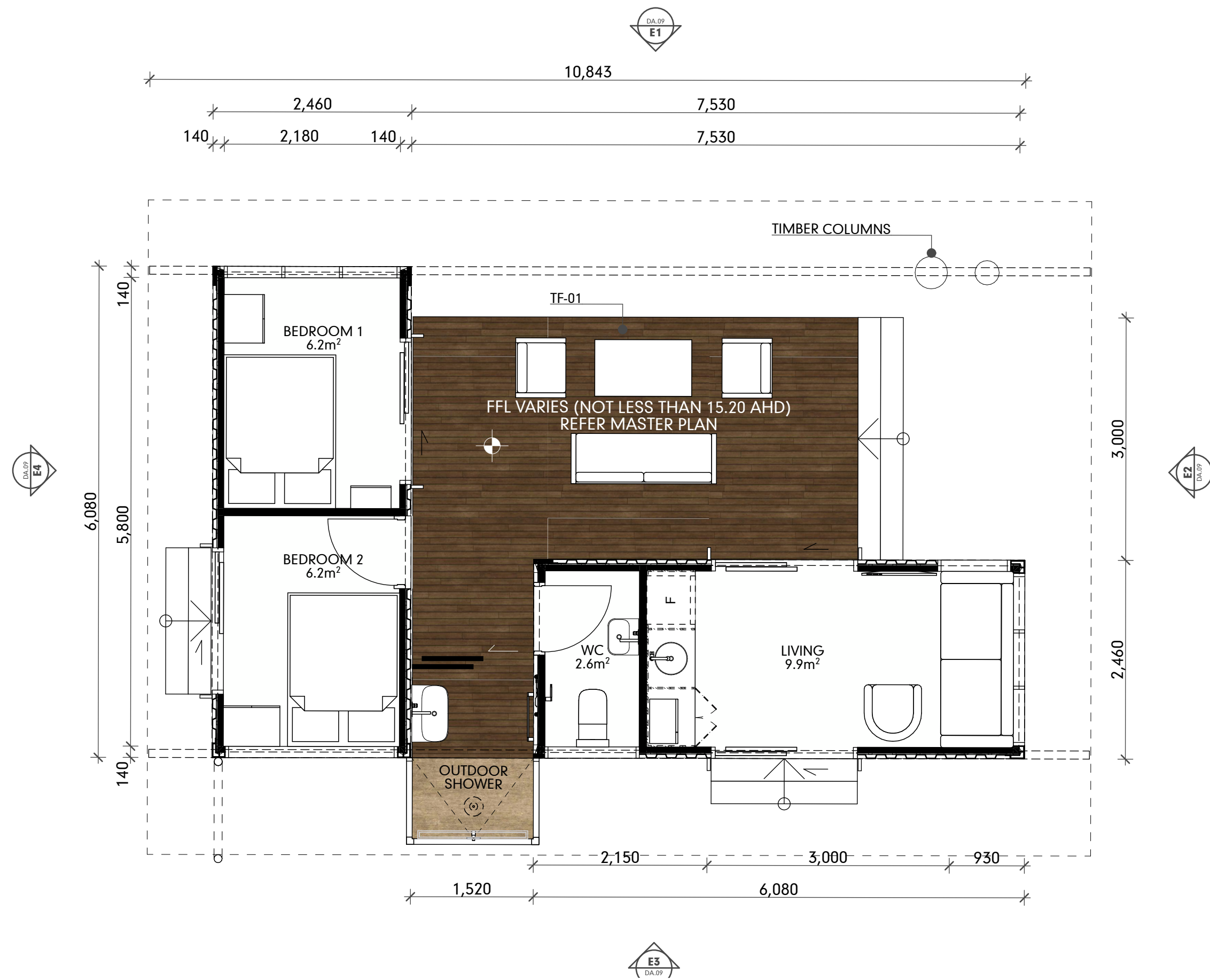
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EDUCATION CENTRE FLOOR PLAN & ELEVATIONS
SCALE 1:50 @A1

PROJECT NO. JABALBINA003
DRAWING NO. DA.08
REVISION NO. DA02
DATE 25/11/2024



STAFF ACCOMMODATION (TYPE A) FLOOR PLAN

SCALE1:50



FINISHES

CB-F03
COLORBOND SHALE
GREY ROOF SHEETING

CB-F-WG
COLORBOND
WOODLAND GREY

TBS-01
SOLID TIMBER

TF-01
SOLID TIMBER

GR-01
EXPOSED
AGGREGATE PATHS

DAINTREE RIVER STATION
EDUCATIONAL ESTABLISHMENT
FOR : JABALBINA YALANJI ABORIGINAL CORPORATION

DEVELOPMENT APPLICATION
STAFF ACCOMMODATION (TYPE A) FLOOR PLAN &
ELEVATIONS
SCALE 1:50 @A1

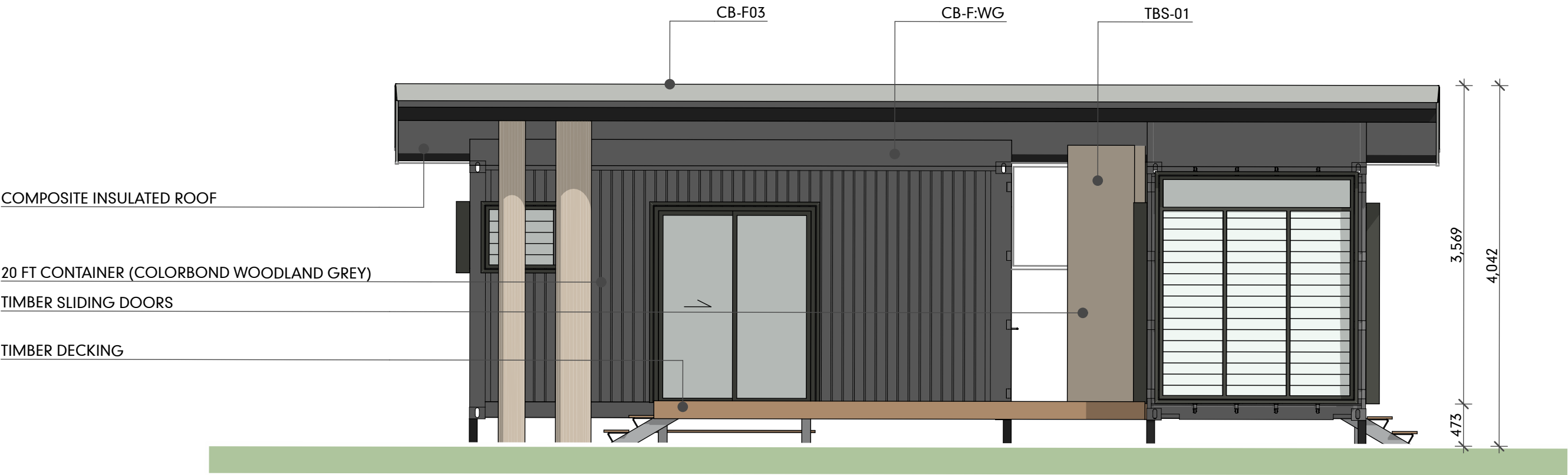
PROJECT NO. JABALBINA003
DRAWING NO. DA.09
REVISION NO. DA02
DATE 25/11/2024



STAFF (TYPE A) ELEVATION 1

SCALE1:50

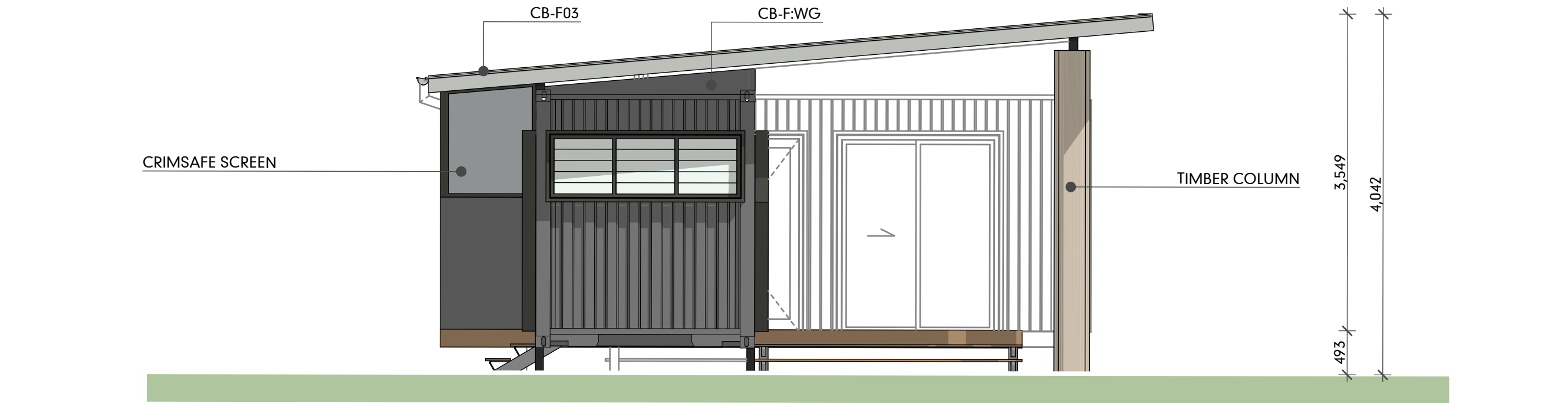
E1



STAFF (TYPE A) ELEVATION 2

SCALE1:50

E2



STAFF (TYPE A) ELEVATION 3

SCALE1:50

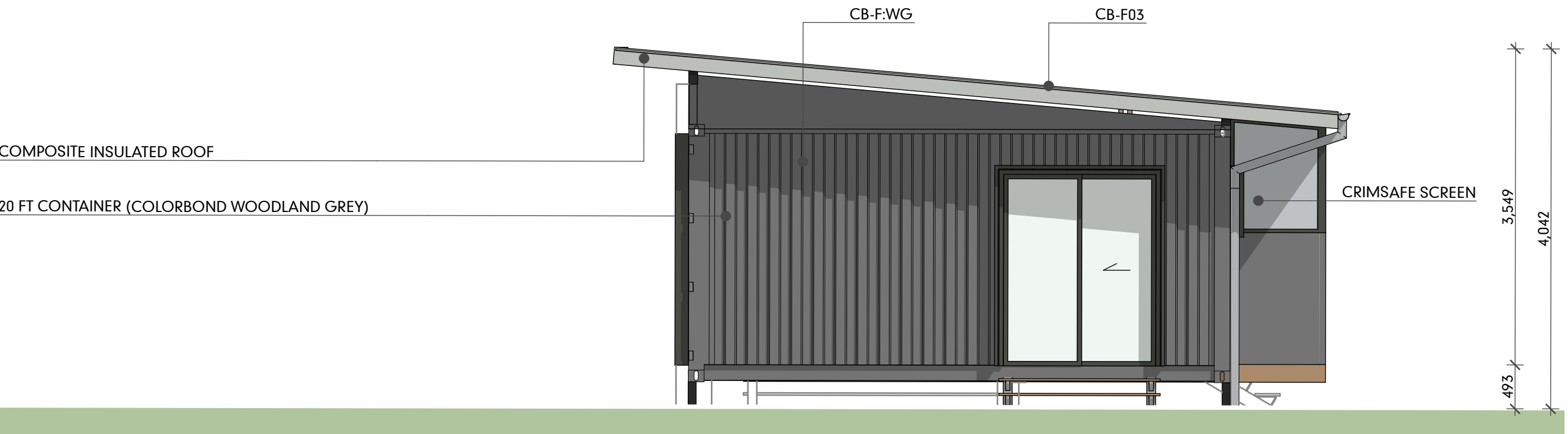
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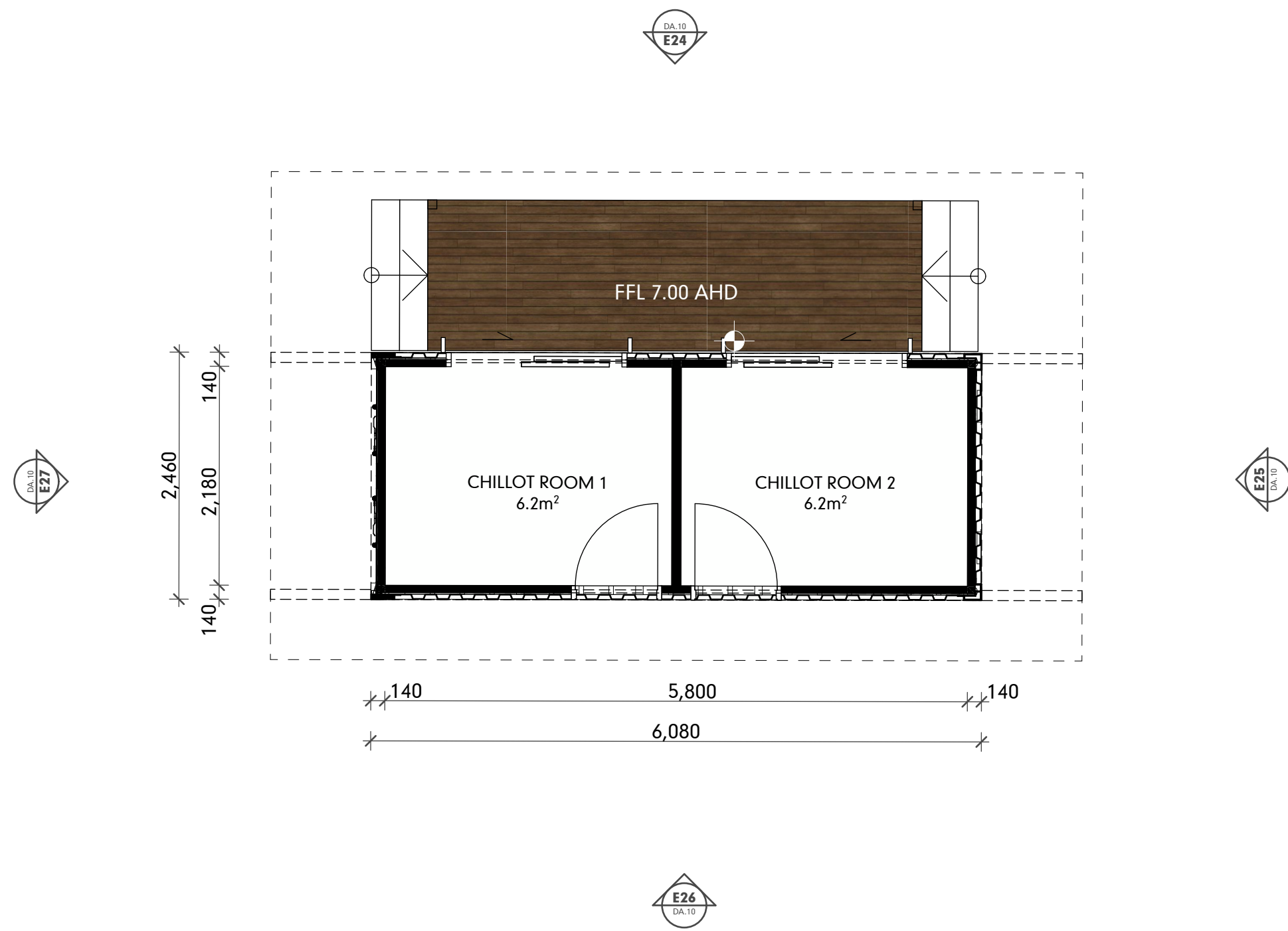


STAFF (TYPE A) ELEVATION 4

SCALE1:50

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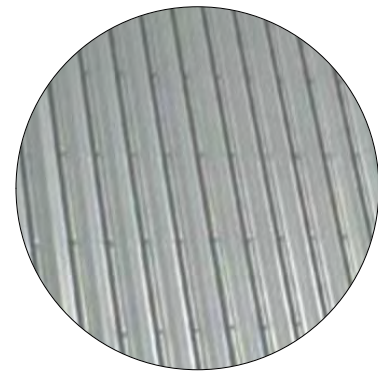




CHILLOUT REFUGE FLOOR PLAN
SCALE1:50

FINISHES

CB-F03
COLORBOND SHALE
GREY ROOF SHEETING



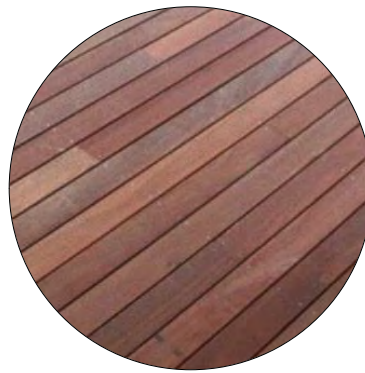
CB-F-WG
COLORBOND
WOODLAND GREY



TBS-01
SOLID TIMBER



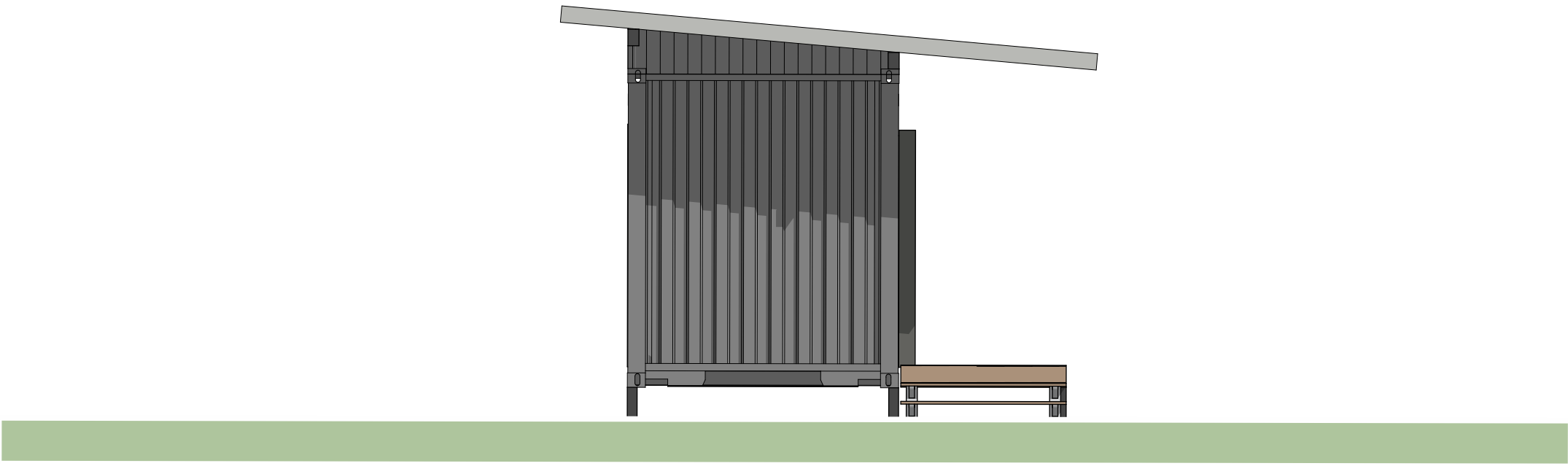
TF-01
SOLID TIMBER



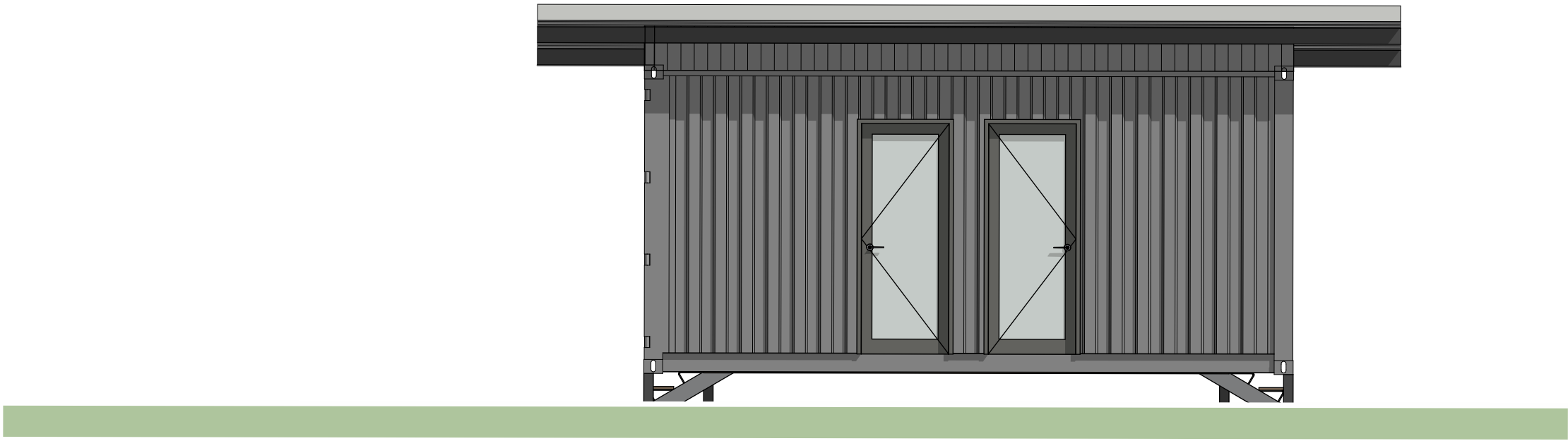
GR-01
EXPOSED
AGGREGATE PATHS



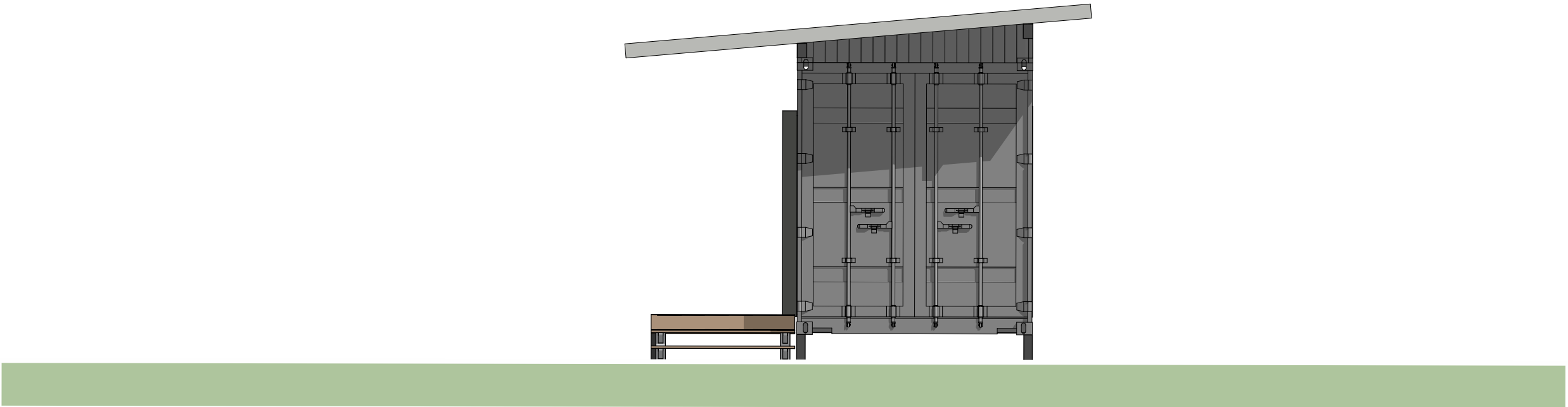
CHILLOUT REFUGE ELEVATION 1
SCALE1:50



CHILLOUT REFUGE ELEVATION 2
SCALE1:50



CHILLOUT REFUGE ELEVATION 3
SCALE1:50



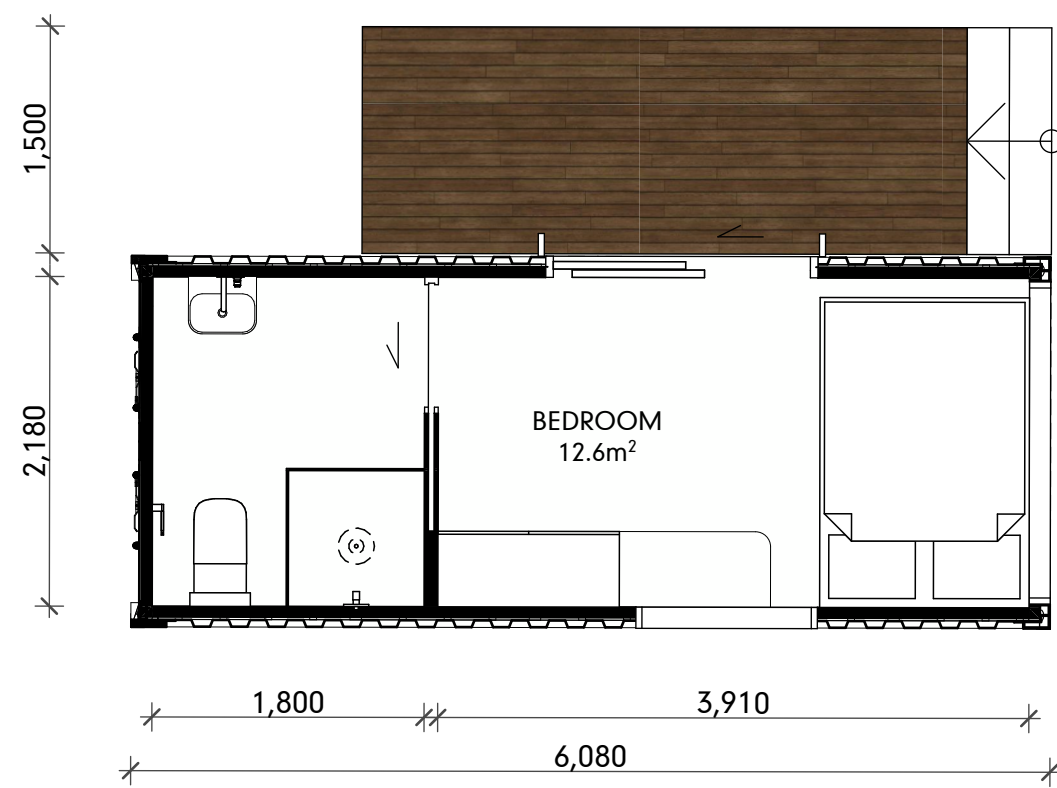
CHILLOUT REFUGE ELEVATION 4
SCALE1:50

DAINTREE RIVER STATION
EDUCATIONAL ESTABLISHMENT
FOR : JABALBINA YALANJI ABORIGINAL CORPORATION

DEVELOPMENT APPLICATION
CHILLOUT REFUGE FLOOR PLAN & ELEVATIONS
SCALE 1:50 @A1

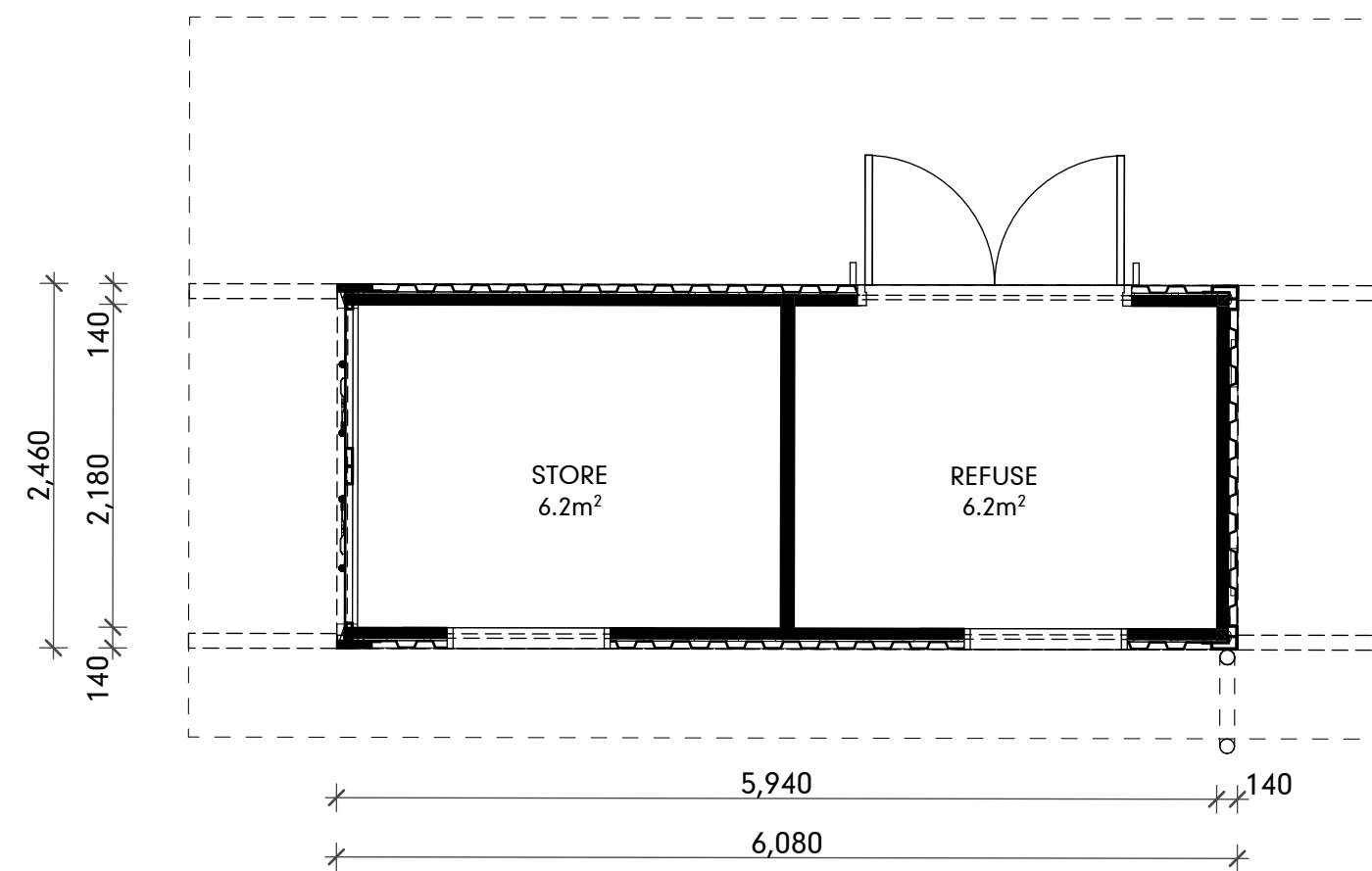
PROJECT NO. JABALBINA003
DRAWING NO. DA.10
REVISION NO. DA02
DATE 25/11/2024





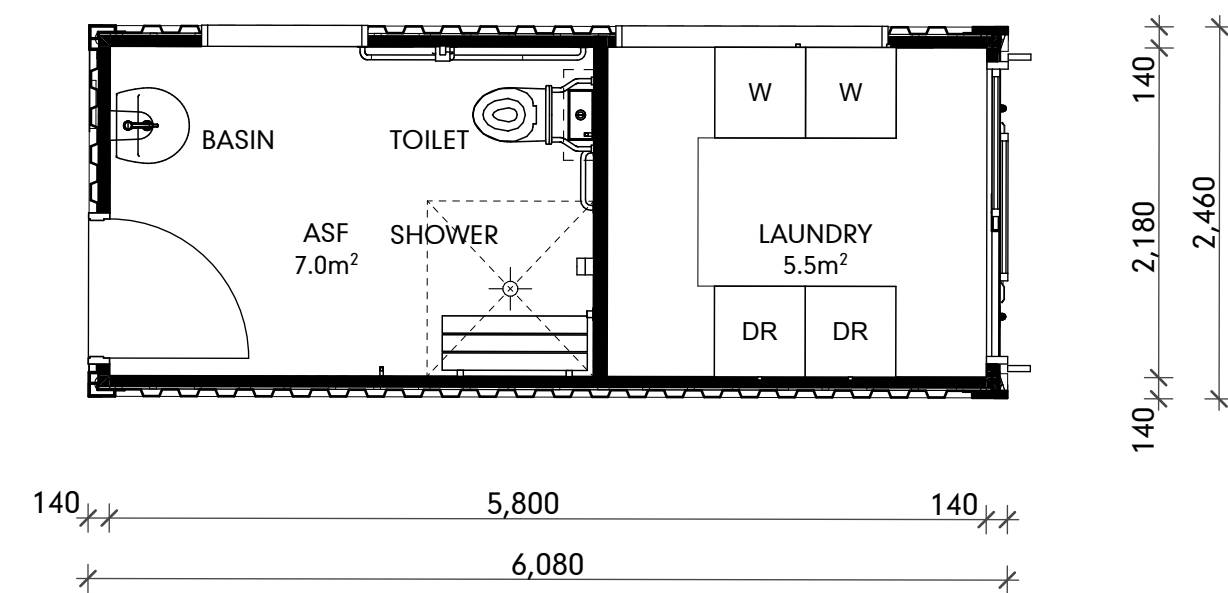
TYPICAL STUDENT ACCOMMODATION (TYPE B) PLAN

SCALE 1:50



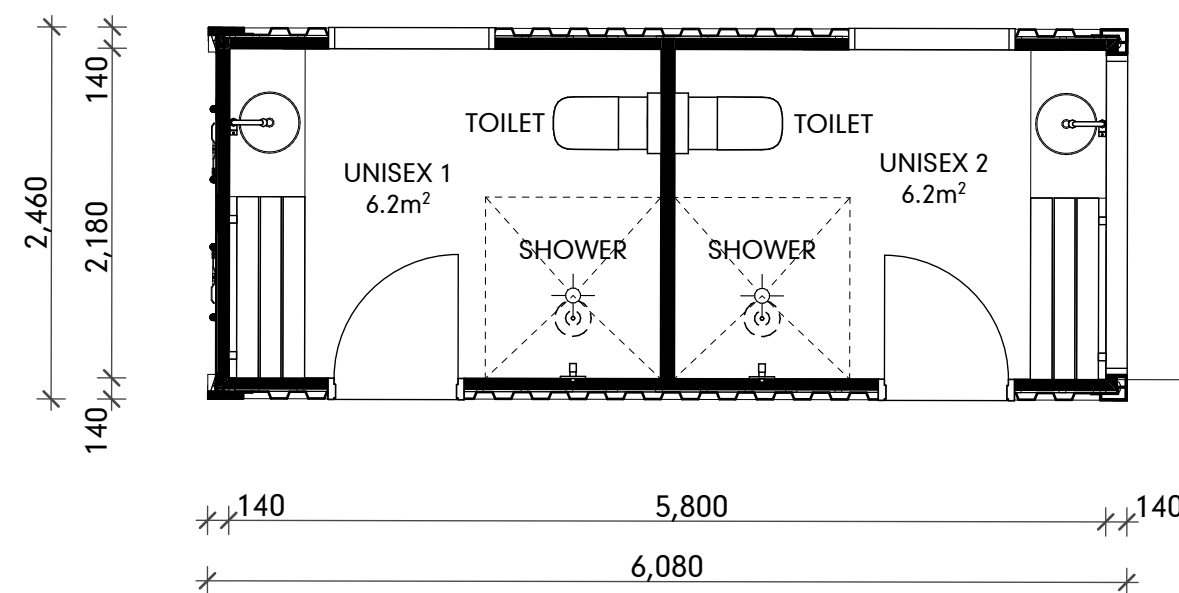
STORES PLAN

SCALE 1:50



LAUNDRY & ASF PLAN

SCALE 1:50



AMENITIES PLAN

SCALE 1:50

DAINTREE RIVER STATION

EDUCATIONAL ESTABLISHMENT

FOR : JABALBINA YALANJI ABORIGINAL CORPORATION

DEVELOPMENT APPLICATION

TYPICAL MODULE FLOOR PLANS

SCALE 1:50 @A1

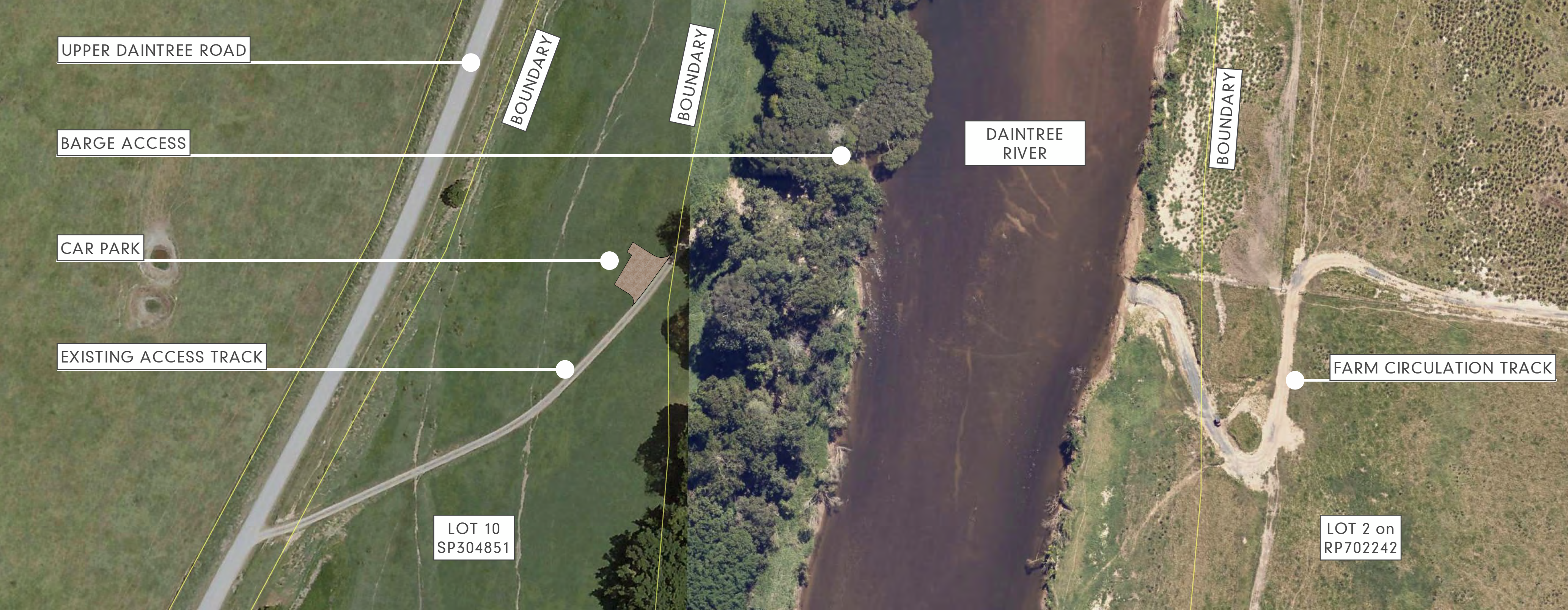
PROJECT NO. JABALBINA003

DRAWING NO. DA.11

REVISION NO. DA02

DATE 25/11/2024

HUNT
DESIGN



SITE ACCESS

CAR PARKING

STUDENT:	1 SPACES (1 PER 10 STUDENTS)
STAFF:	2 SPACES (1 PER 2 STAFF MEMBERS)
VISITOR:	1 SPACE
TOTAL:	4 SPACES

CAR PARK IS TO BE DESIGNED TO AS 2890.1:2004 PARKING FACILITIES.

FINISH
GR-01
CRUSHED ROCK
GRAVEL ROAD



CAR PARK PLAN

DAINTREE RIVER STATION

EDUCATIONAL ESTABLISHMENT

FOR : JABALBINA YALANJI ABORIGINAL CORPORATION

DEVELOPMENT APPLICATION

SITE ACCESS & CARPARK PLAN

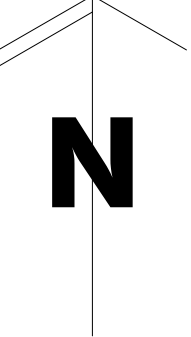
SCALE 1:100, 1:1000 @A1

PROJECT NO. JABALBINA003

DRAWING NO. DA.12

REVISION NO. DA02

DATE 25/11/2024





AERIAL VIEW FROM SOUTH EAST

DAINTREE RIVER STATION
EDUCATIONAL ESTABLISHMENT
FOR : JABALBINA YALANJI ABORIGINAL CORPORATION

DEVELOPMENT APPLICATION
VISUALISATIONS
SCALE @A1

PROJECT NO. JABALBINA003
DRAWING NO. DA.13
REVISION NO. DA02
DATE 25/11/2024





VIEW TO STAFF ACCOMMODATION, YARNING CIRCLE & EDUCATION CENTRE

DAINTREE RIVER STATION
EDUCATIONAL ESTABLISHMENT
FOR : JABALBINA YALANJI ABORIGINAL CORPORATION

DEVELOPMENT APPLICATION
VISUALISATIONS
SCALE @A1

PROJECT NO. JABALBINA003
DRAWING NO. DA.14
REVISION NO. DA02
DATE 25/11/2024





VIEW TO EDUCATION CENTRE & YARNING CIRCLE

DAINTREE RIVER STATION
EDUCATIONAL ESTABLISHMENT
FOR : JABALBINA YALANJI ABORIGINAL CORPORATION

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DEVELOPMENT APPLICATION
VISUALISATIONS
SCALE @A1

PROJECT NO. JABALBINA003
DRAWING NO. DA.15
REVISION NO. DA02
DATE 25/11/2024





VIEW TO STAFF ACCOMMODATION

DAINTREE RIVER STATION
EDUCATIONAL ESTABLISHMENT
FOR : JABALBINA YALANJİ ABORIGINAL CORPORATION

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DEVELOPMENT APPLICATION
VISUALISATIONS
SCALE @A1

PROJECT NO. JABALBINA003
DRAWING NO. DA.16
REVISION NO. DA02
DATE 25/11/2024





VIEW TO TYPICAL STUDENT ACCOMMODATION

DAINTREE RIVER STATION
EDUCATIONAL ESTABLISHMENT
FOR : JABALBINA YALANJI ABORIGINAL CORPORATION

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DEVELOPMENT APPLICATION
VISUALISATIONS
SCALE @A1

PROJECT NO. JABALBINA003
DRAWING NO. DA.17
REVISION NO. DA02
DATE 25/11/2024





VIEW TO COVERED CIRCULATION PATH AND REAR OF STUDENT ACCOMMODATION

DAINTREE RIVER STATION
EDUCATIONAL ESTABLISHMENT
FOR : JABALBINA YALANJI ABORIGINAL CORPORATION

DEVELOPMENT APPLICATION
VISUALISATIONS
SCALE @A1

PROJECT NO. JABALBINA003
DRAWING NO. DA.18
REVISION NO. DA02
DATE 25/11/2024



SCHEDULE 6

PLANNING SCHEME CODE COMPLIANCE



PLAN SCHEDULE 6

6.2.10 Rural zone code

6.2.10.1 Application

- (1) This code applies to assessing development in the Industry zone.
- (2) When using this code, reference should be made to Part 5.

6.2.10.2 Purpose

- (1) The purpose of the Rural zone code is to provide for:
 - (a) provide for rural uses including cropping, intensive horticulture, intensive animal industries, animal husbandry, animal keeping and other primary production activities;
 - (b) provide opportunities for non-rural uses, such as ancillary tourism activities that are compatible with agriculture, the environmental features, and landscape character of the rural area where the uses do not compromise the long-term use of the land for rural purposes;
 - (c) protect or manage significant natural resources and processes to maintain the capacity for primary production.
- (2) The local government purpose of the code is to:
 - (a) implement the policy direction set in the Strategic Framework, in particular:
 - (i) Theme 2 : Environment and landscape values, Element 3.5.5 – Scenic amenity.
 - (ii) Theme 3 : Natural resource management, Element 3.6.2 – Land and catchment management, Element 3.6.3 Primary production, forestry and fisheries, Element 3.6.4 – Resource extraction.
 - (iii) Theme 5 Economy, Element 3.8.2 – Economic growth and diversification, Element 3.8.4 – Primary production.
 - (iv) Theme 6 : Infrastructure and transport, Element 3.9.4 – Transport.
 - (b) recognise the primacy of rural production, in particular sugar cultivation, and other farming practices in rural areas;
 - (c) provide protection to areas of ecological significance and scenic amenity significance where present.
- (3) The purpose of the code will be achieved through the following overall outcomes:
 - (a) Areas for use for primary production are conserved and fragmentation is avoided.
 - (b) Development embraces sustainable land management practices and contributes to the amenity and landscape of the area.
 - (c) Adverse impacts of land use, both on-site and on adjoining areas, are avoided and any unavoidable impacts are minimised through location, design, operation and management.
 - (d) Areas of remnant and riparian vegetation are retained or rehabilitated.

Criteria for assessment**Table 6.2.10.3.a – Rural zone code assessable development**

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable and assessable development		
PO1 The height of buildings is compatible with the rural character of the area and must not detrimentally impact on visual landscape amenity.	AO1.1 Dwelling houses are not more than 8.5 metres in height. Note – Height is inclusive of roof height. AO1.2 Rural farm sheds and other rural structures are not more than 10 metres in height.	R1.1 Not Applicable Dwelling House development is not proposed. R1.2 Not Applicable No new rural farm sheds or rural structures are proposed.
Setbacks		
PO2 Buildings and structures are setback to maintain the rural character of the area and achieve separation from buildings on adjoining properties.	AO2 Buildings are setback not less than: (a) 40 metres from the property boundary and a State-controlled road; (b) 25 metres from the property boundary adjoining Cape Tribulation Road; (c) 20 metres from the boundary with any other road; (d) 6 metres from side and rear property boundaries.	R2 Complies Relevant to AO2, buildings and structures are proposed to be setback as follows: (a) State-controlled road: Not applicable, the development is not located within 40 metres of a State-controlled road; (b) Property boundary adjoining Cape Tribulation Road: Not applicable, the property boundaries do not adjoin Cape Tribulation Road; (c) Road boundary: > 20 metres from the road front boundary; and (d) Side and rear property boundaries: > 6 metres from side and rear property boundaries.
PO3 Buildings/structures are designed to maintain the rural character of the area.	AO3 White and shining metallic finishes are avoided on external surfaces of buildings.	R3 Complies Buildings and structures will feature grey Colorbond roof sheeting and wall cladding and timber finishes.

Performance outcomes	Acceptable outcomes	Applicant response
		<p>The Applicant is willing to accept a condition of approval requiring that white and shining metallic finishes are avoided on external surfaces of buildings.</p> <p>Refer Schedule 5 – Proposal Plans.</p>
For assessable development		
PO4 The establishment of uses is consistent with the outcomes sought for the Rural zone and protects the zone from the intrusion of inconsistent uses.	AO4 Uses identified in Table 6.2.10.3.b are not established in the Rural zone.	R4 Complies The proposed development is for an Educational Establishment which is not identified in Table 6.2.10.3.b.

Performance outcomes	Acceptable outcomes	Applicant response
<p>PO5 Uses and other development include those that:</p> <ul style="list-style-type: none"> (a) promote rural activities such as agriculture, rural enterprises and small scale industries that serve rural activities; or (b) promote low impact tourist activities based on the appreciation of the rural character, landscape and rural activities; or (c) are compatible with rural activities. 	<p>AO5 No acceptable outcomes are prescribed.</p>	<p>R5 Performance Solution (no Acceptable Outcome provided)</p> <p>The applicant seeks to establish a Material Change of Use for Educational Establishment. Relevant to PO5, the proposed development:</p> <ul style="list-style-type: none"> • will promote rural activities; and • is compatible with rural activities. <p>Notably, the proposed use is not considered to be inconsistent with the Rural Zone.</p> <p>Specifically, the applicant seeks to deliver agricultural based vocational training programs, alongside cultural programs at the premises. Existing rural activities undertaken on the site will be maintained.</p> <p>The siting of proposed infrastructure has been strategically situated within an area of the site containing existing built infrastructure, thereby maintaining the balance of the site for rural activities. Development has also been designed to maintain the rural character of the site, retain existing vegetation and blend into the landscape.</p> <p>On this basis, it is evident that development complies with PO5.</p>



Performance outcomes	Acceptable outcomes	Applicant response
P06 Existing native vegetation along watercourses and in, or adjacent to areas of environmental value, or areas of remnant vegetation of value is protected.	A06 No acceptable outcomes are prescribed.	R6 Complies The proposed development does not result in vegetation clearing. All existing native vegetation is retained.
P07 The minimum lot size is 40 hectares, unless (a) the lot reconfiguration results in no additional lots (e.g. amalgamation, boundary realignments to resolve encroachments); or (b) the reconfiguration is limited to one additional lot to accommodate: (i) Telecommunications facility; (ii) Utility installation.	A07 No acceptable outcomes are prescribed.	R7 Not Applicable No new lots are proposed.

Table 6.2.10.3.b - Inconsistent uses within the Rural zone.

Inconsistent uses		
<ul style="list-style-type: none">• Adult store• Bar• Brothel• Car wash• Child care centre• Club• Community care centre• Community residence• Detention facility,• Dual occupancy• Dwelling unit• Food and drink outlet• Hardware and trade supplies• Health care services• High impact industry	<ul style="list-style-type: none">• Hotel• Indoor sport and recreation• Low impact industry• Medium impact industry• Multiple dwelling• Nightclub entertainment facility• Non-resident workforce accommodation• Office• Outdoor sales• Parking station• Permanent plantation• Port services• Relocatable home park• Renewable energy facility, being a wind farm	<ul style="list-style-type: none">• Residential care facility• Resort complex• Retirement facility• Rooming accommodation• Sales office• Service station• Shop• Shopping centre• Short-term accommodation• Showroom• Special industry• Theatre• Warehouse

Note – This table does not imply that all other uses not listed in the table are automatically consistent uses within the zone. Assessable development must still demonstrate consistency through the assessment process.

9.3.6 Community facilities code

9.3.1.1 Application

- (1) This code applies to assessing development for the Community facilities activities group if:
 - (a) self-assessable or assessable development where this code is an applicable code identified in the assessment criteria column of a table of assessment or;
 - (b) impact assessable development.
- (2) When using this code, reference should be made to Part 5.

Note – Development involving any residential component including multiple dwelling, residential care facility or on-site student accommodation as part of an educational establishment is also assessed against the Multiple dwelling, Short term accommodation and Retirement facilities code, whichever is relevant.

Note – Community facilities is a defined activity group listed in Table 1 SC1.1.1 in Schedule 1 that applies to uses in the Community facilities zone. When the term community facilities is used within this code it means any of the above uses to which this code is applicable.

9.3.6.2 Purpose

- (1) The purpose of the Community facilities code is to assess the suitability of development to which this code applies
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) Design, siting, construction and built form are suited to the facility, in accordance with particular operational, functional and locational requirements of community services and facilities;
 - (b) Development is integrated or co-located with other community facilities where possible to create a multi-functional hub;
 - (c) Development that may limit the ongoing operation and expansion of existing uses or prejudice development of new facilities appropriate to the specific nature of the Community facilities zone is excluded;
 - (d) Development:
 - (i) is appropriately located according to the type of use;
 - (ii) is highly accessible and preferably integrated and co-located with complementary uses;
 - (iii) is of a scale, height and bulk that provides a high level of amenity;
 - (iv) is generally consistent with the character of the area;
 - (v) transitions sensitively to surrounding zones.

9.3.6.3 Criteria for assessment

Table 9.3.6.3.a – Community facilities code – assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable and assessable development		
PO1 Development ensures that the hours of operation are consistent with reasonable community expectations for the use and do not impact on the amenity of nearby sensitive land uses.	AO1 Development for non-residential use has hours of operation, including indoor activity areas and delivery vehicles, which are limited to 7am to 6pm.	R1 Complies The proposed element is for an Educational Establishment and will not operate outside the hours of 7am to 6pm.
PO2 Development is designed to protect nearby sensitive land uses from adverse impacts on the existing levels of amenity, including by way of light, noise, odour or other nuisance.	AO2.1 Where on a site adjoining a sensitive land use and located within 20 metres from the common boundary, a minimum 1.8 metre high acoustic fence is provided for the full length of the common boundary. AO2.2 Development does not involve amplification devices and does not generate noise that is clearly audible from nearby sensitive land uses. AO2.3 Development provides outdoor lighting which is installed and operated in compliance with the requirements of AS4282-1997 Control of the obtrusive effects of outdoor lighting. AO2.4 Mechanical plant and equipment is acoustically and visually screened from adjoining sensitive land uses. Note – Mechanical plant includes generators, motors, compressors and pumps such as air conditioning, refrigeration or cold rooms.	R2.1 Complies Although the site does not adjoin a sensitive land use, the proposed development is situated on site (Lot 2) where a Dwelling House is present. Notwithstanding, the proposed development is located approximately 50 metres from the sensitive land use and will maintain adequate levels of amenity, including as a result of hours of operation. R2.2 Will Comply The proposed development will not involve amplification to the effect that will be clearly audible from nearby sensitive land uses. R2.3 Will Comply Outdoor lighting associated with the development will be installed and operated in compliance with the requirements of AS4282-1997 Control of the obtrusive effects of outdoor lighting. R2.4 Will Comply All mechanical plant equipment will be acoustically and visually screened from the adjoining sensitive land use where required.



Performance outcomes	Acceptable outcomes	Applicant response
	A02.5 Development: <ul style="list-style-type: none"> (a) does not involve activities that generate air emissions, including odour dust, fumes or smoke beyond the site; (b) where cooking or food odour is released, exhaust is discharged vertically and directed away from a sensitive land use, and vents are separated by the following distances: <ul style="list-style-type: none"> (i) a minimum of 6 metres horizontally from a sensitive land use; (ii) a minimum of 2 metres above any thoroughfare with regular traffic. 	R2.5 Complies The proposed development: <ul style="list-style-type: none"> (a) will not generate airborne emissions beyond the site; and (b) is appropriately located such that any cooking or food odours released from the kitchen will not discharge into the vicinity of the Dwelling House. Notably, the kitchen is located greater than 6 metres from the Dwelling House.
For assessable development		
P03 Development on a site within a Community facilities zone must be protected for public use, and where a community facility ceases, its replacement must be for another community facility.	A03 Development of an existing community facility within a Community facilities zone may be transitioned to another type of use within the community facilities activity group where a demonstrable need of the community will be fulfilled.	R3 Not applicable The proposed development is not within the Community Facilities Zone.
P04 Development for a community facility which is purpose built on public land delivers buildings and structures that are designed as multi-purpose community hubs where possible, rather than stand-alone or single use facilities to: <ul style="list-style-type: none"> (a) create a sense of place, belonging and community and to provide a focal point for community activity; (b) increase efficiencies in built form; (c) provide efficiencies in infrastructure costs; (d) facilitate adaption of building and infrastructure to respond to changing community needs. 	A04 No acceptable outcomes are prescribed.	R4 Not applicable Development is not proposed on public land.



Performance outcomes	Acceptable outcomes	Applicant response
P05 Development must be consistent with the reasonable expectations for built form, site layout and landscape design of development on surrounding land.	A05 Development is of a scale, height and bulk that is not greater than that of surrounding development.	R5 Complies The proposed development incorporates low profile buildings (single storey) of a construction type that is typical on rural land. On this basis, development is considered to be of a scale, height and bulk that is not inconsistent with that of surrounding development.



Performance outcomes	Acceptable outcomes	Applicant response
<p>P06 Development does not impose adverse visual amenity impacts on any land associated with Accommodation activity group.</p>	<p>AO6.1 Development has a building setback from a site boundary with any land use associated with the Accommodation activity group of 6 metres, or half the height of the building at that point, whichever is the greater.</p> <p>AO6.2 Development provides a 3 metre wide landscape buffer capable of deep planting provided between vehicle movement and car parking areas and common boundaries of any land use associated with the Accommodation activity group.</p>	<p>R6.1 Complies The proposed accommodation units associated with the development are sited greater than 6 metres to all site boundaries and approximately 50 metres to the existing Dwelling House.</p> <p>R6.2 Performance Outcome (Complies) Sufficient space exists on the site to incorporate landscape buffers to the existing Dwelling House located on Lot 2. Notwithstanding, in that the existing Dwelling House is located a significant distance from the development, and low profile development is proposed, a landscaped buffer is not considered necessary.</p> <p>Relevantly, existing rural structures (including hay and machinery shed and the packing shed) are located between the two land uses, effectively screening the development. In addition, the access road to the development is the same utilised for the existing Dwelling House (and thereby access to the development does not present a new visual amenity impact).</p> <p>Accordingly, the proposed development does not introduce adverse visual amenity impacts to any land associated with Accommodation activity group.</p>
<p>P07 Development ensures that on-site car parking is located so as to ensure that employee, patron and visitor car parking associated with the use does not</p>	<p>A07 Car parking is:</p>	<p>R7 Complies On-site car parking for the development is located on Lot 10 which has a frontage to Upper Daintree Road. Notably, Lot 10 will be</p>

Performance outcomes	Acceptable outcomes	Applicant response
dominate the frontage of the premises and maintains the amenity of the street and adjacent properties.	(a) provided below or at the rear of the primary building for the use and is not within the front setback of the site; or (b) where forward of the building line, car parking is integrated with high quality landscaping.	utilised for access and on-site car parking provisions only, with no buildings proposed on this lot. The on-site car parking and set-down area is located approximately 70 metres from Upper Daintree Road and therefore does not create any adverse amenity impacts on the street frontage or adjacent properties.
P08 Safety of users of the development and surrounding community is considered and incorporated into the design of the facility. Note - Planning scheme policy SC6.3 – Crime prevention through environmental design (CPTED) provides guidance on appropriate design responses.	A08 No acceptable outcomes are prescribed.	R8 Performance Solution (no Acceptable Outcome provided) Safety of users of the development and surrounding community has been considered in the design of the development, in the form of an open site plan, low profile buildings (and minimal concealment spaces) and low lying landscaping in the semi-public spaces.
P09 Landscaping contributes to establishing an attractive and safe streetscape and a high standard of amenity.	A09 No acceptable outcomes are prescribed.	R9 Performance Solution (no Acceptable Outcome provided) Landscaping on site will not be visible from the streetscape however provides a high standard of amenity.

9.4 Other development codes

9.4.1 Access, parking and servicing code

9.4.1.1 Application

- (1) This code applies to:
 - (a) operational work which requires a compliance assessment as a condition of a development permit; or
 - (b) a material change of use or reconfiguring a lot if:
 - (i) self-assessable or assessable development where this code is identified in the assessment criteria column of the table of assessment;
 - (ii) impact assessable development, to the extent relevant.
- (2) When using this code, reference should be made to Part 5.

9.4.1.2 Purpose

- (1) The purpose of the Access, parking and servicing code is to assess the suitability of access, parking and associated servicing aspects of a development.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) sufficient vehicle parking is provided on-site to cater for all types of vehicular traffic accessing and parking on-site, including staff, guests, patrons, residents and short term delivery vehicles;
 - (b) sufficient bicycle parking and end of trip facilities are provided on-site to cater for customer and service staff;
 - (c) on-site parking is provided so as to be accessible and convenient, particularly for any short term uses;
 - (d) development provides walking and cycle routes through the site which link the development to the external walking and cycling network;
 - (e) the provision of on-site parking, loading / unloading facilities and the provision of access to the site do not impact on the efficient function of street network or on the area in which the development is located;
 - (f) new vehicular access points are safely located and are not in conflict with the preferred ultimate streetscape character and local character and do not unduly disrupt any current or future on-street parking arrangements.

9.4.1.3 Criteria for assessment**Table 9.4.1.3.a – Access, parking and servicing code – assessable development**

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable and assessable development		
PO1 Sufficient on-site car parking is provided to cater for the amount and type of vehicle traffic expected to be generated by the use or uses of the site, having particular regard to: <ul style="list-style-type: none"> (a) the desired character of the area; (b) the nature of the particular use and its specific characteristics and scale; (c) the number of employees and the likely number of visitors to the site; (d) the level of local accessibility; (e) the nature and frequency of any public transport serving the area; (f) whether or not the use involves the retention of an existing building and the previous requirements for car parking for the building (g) whether or not the use involves a heritage building or place of local significance; (h) whether or not the proposed use involves the retention of significant vegetation. 	AO1.1 The minimum number of on-site vehicle parking spaces is not less than the number prescribed in Table 9.4.1.3.b for that particular use or uses Note - Where the number of spaces calculated from the table is not a whole number, the number of spaces provided is the next highest whole number. AO1.2 Car parking spaces are freely available for the parking of vehicles at all times and are not used for external storage purposes, the display of products or rented/sub-leased. AO1.3 Parking for motorcycles is substituted for ordinary vehicle parking to a maximum level of 2% of total ordinary vehicle parking. AO1.4 For parking areas exceeding 50 spaces parking, is provided for recreational vehicles as a substitute for ordinary vehicle parking to a maximum of 5% of total ordinary vehicle parking rate.	R1.1 Complies Table 9.4.1.3.b identifies 1 car space per 2 staff members, plus 1 car space per 10 students, plus provision of space to be used for the setting down and picking up of students is required for an Educational Establishment (Tertiary and further education). The proposed development provides a total of four (4) on-site vehicle parking spaces plus a dedicated set-down/pick-up area. R1.2 Complies Car parking spaces will be freely available for the parking of vehicles at all times and will not be used for external storage purposes, the display of products or rented/sub-leased. R1.3 Not Applicable Parking for motorcycles is not provided for the proposed development. R1.4 Not Applicable Less than 50 car parks are proposed.



Performance outcomes	Acceptable outcomes	Applicant response
<p>PO3 Access points are designed and constructed:</p> <ul style="list-style-type: none"> (a) to operate safely and efficiently; (b) to accommodate the anticipated type and volume of vehicles (c) to provide for shared vehicle (including cyclists) and pedestrian use, where appropriate; (d) so that they do not impede traffic or pedestrian movement on the adjacent road area; (e) so that they do not adversely impact upon existing intersections or future road or intersection improvements; (f) so that they do not adversely impact current and future on-street parking arrangements; (g) so that they do not adversely impact on existing services within the road reserve adjacent to the site; (h) so that they do not involve ramping, cutting of the adjoining road reserve or any built structures (other than what may be necessary to cross over a stormwater channel). 	<p>AO3.1 Access is limited to one access cross over per site and is an access point located, designed and constructed in accordance with:</p> <ul style="list-style-type: none"> (a) Australian Standard AS2890.1; (b) Planning scheme policy SC6.5 – FNQROC Regional Development Manual - access crossovers. <p>AO3.2 Access, including driveways or access crossovers:</p> <ul style="list-style-type: none"> (a) are not placed over an existing: <ul style="list-style-type: none"> (i) telecommunications pit; (ii) stormwater kerb inlet; (iii) sewer utility hole; (iv) water valve or hydrant. (b) are designed to accommodate any adjacent footpath; (c) adhere to minimum sight distance requirements in accordance with AS2980.1. <p>AO3.3 Driveways are:</p> <ul style="list-style-type: none"> (a) designed to follow as closely as possible to the existing contours, but are no steeper than the gradients outlined in Planning scheme policy SC6.5 – FNQROC Regional Development Manual; (b) constructed such that where there is a grade shift to 1 in 4 (25%), there is an area with a 	<p>R3.1 Complies Access is limited to one existing access cross over.</p> <p>R3.2 Will Comply The site access (including driveway and/or access crossover):</p> <ul style="list-style-type: none"> (a) is not known to be and will not be placed over an existing: <ul style="list-style-type: none"> (i) telecommunications pit; (ii) stormwater kerb inlet; (iii) sewer utility hole; (iv) water valve or hydrant. (c) will adhere to minimum sight distance requirements in accordance with AS2980.1. <p><i>Note – AO3.2 (b) is not applicable as there are no footpaths adjacent the site.</i></p> <p>R3.3 Not Applicable Driveways are not proposed (an existing access track is proposed to be used by the Educational Establishment to access the car park / barge).</p>



Performance outcomes	Acceptable outcomes	Applicant response
	<p>grade of no more than 1 in 6 (16.6%) prior to this area, for a distance of at least 5 metres;</p> <p>(c) on gradients greater than 1 in 6 (16.6%) driveways are constructed to ensure the cross-fall of the driveway is one way and directed into the hill, for vehicle safety and drainage purposes;</p> <p>(d) constructed such that the transitional change in grade from the road to the lot is fully contained within the lot and not within the road reserve;</p> <p>(e) designed to include all necessary associated drainage that intercepts and directs storm water runoff to the storm water drainage system.</p> <p>AO3.4 Surface construction materials are consistent with the current or intended future streetscape or character of the area and contrast with the surface construction materials of any adjacent footpath.</p>	<p>R3.4 Complies Surface construction materials are consistent with surface construction materials utilised throughout on the existing access track that will be utilised by the development. Refer DA.12 (Site Access & Carpark Plan) in Schedule 5 – Proposal Plans.</p>
<p>PO4 Sufficient on-site wheel chair accessible car parking spaces are provided and are identified and reserved for such purposes.</p>	<p>AO4 The number of on-site wheel chair accessible car parking spaces complies with the rates specified in AS2890 Parking Facilities.</p>	<p>R4 Not Applicable It is understood that the PWD ratio is 1 space for every 50 car parking spaces in AS2890 Parking Facilities and therefore is not required for the proposed development.</p>
<p>PO5 Access for people with disabilities is provided to the building from the parking area and from the street.</p>	<p>AO5 Access for people with disabilities is provided in accordance with the relevant Australian Standard.</p>	<p>R5 Can Comply The proposed car parking spaces are identified as a gravel finish on DA.12 (Site Access & Carpark Plan) in Schedule 5 – Proposal Plans; however, where required by Council, can be provided in accordance with AS2890.6-2009.</p>
<p>PO6</p>	<p>AO6</p>	<p>R6 Not Applicable</p>



Performance outcomes	Acceptable outcomes	Applicant response
Sufficient on-site bicycle parking is provided to cater for the anticipated demand generated by the development.	The number of on-site bicycle parking spaces complies with the rates specified in Table 9.4.1.3.b.	Table 9.4.1.3.b. does not identify a bicycle parking space requirement for subject land use as a maximum of 10 full time students are expected.



Performance outcomes	Acceptable outcomes	Applicant response
P07 Development provides secure and convenient bicycle parking which: <ul style="list-style-type: none"> (a) for visitors is obvious and located close to the building's main entrance; (b) for employees is conveniently located to provide secure and convenient access between the bicycle storage area, end-of-trip facilities and the main area of the building; (c) is easily and safely accessible from outside the site. 	A07.1 Development provides bicycle parking spaces for employees which are co-located with end-of-trip facilities (shower cubicles and lockers); A07.2 Development ensures that the location of visitor bicycle parking is discernible either by direct view or using signs from the street. A07.3 Development provides visitor bicycle parking which does not impede pedestrian movement.	R7.1 Not Applicable Table 9.4.1.3.b. does not identify a bicycle parking space requirement for subject land use as a maximum of 10 full time students are expected. R7.2 Not Applicable Refer R7.1 response. R7.3 Not Applicable Refer R7.1 response.
P08 Development provides walking and cycle routes through the site which: <ul style="list-style-type: none"> (a) link to the external network and pedestrian and cyclist destinations such as schools, shopping centres, open space, public transport stations, shops and local activity centres along the safest, most direct and convenient routes; (b) encourage walking and cycling; (c) ensure pedestrian and cyclist safety. 	A08 Development provides walking and cycle routes which are constructed on the carriageway or through the site to: <ul style="list-style-type: none"> (a) create a walking or cycle route along the full frontage of the site; (b) connect to public transport and existing cycle and walking routes at the frontage or boundary of the site. 	R8 Not Applicable The site does not adjoin any public transport routes or existing cycle and/or walking routes.
P09 Access, internal circulation and on-site parking for service vehicles are designed and constructed: <ul style="list-style-type: none"> (a) in accordance with relevant standards; (b) so that they do not interfere with the amenity of the surrounding area; (c) so that they allow for the safe and convenient movement of pedestrians, cyclists and other vehicles. 	A09.1 Access driveways, vehicle manoeuvring and on-site parking for service vehicles are designed and constructed in accordance with AS2890.1 and AS2890.2. A09.2 Service and loading areas are contained fully within the site.	R9.1 Will Comply The access driveway and vehicle manoeuvring areas for service vehicles will comply with AS2890.1 and AS2890.2 except to the extent that it is identified as having a crushed rock/gravel road finish in DA.12 (Carpark Plan) in Schedule 5 – Proposal Plans . R9.2 Complies The service and loading area (setdown area where not in use for students) is fully

Performance outcomes	Acceptable outcomes	Applicant response
		contained within the site and does not extend into the Cape Tribulation Road reserve.
	AO9.3 The movement of service vehicles and service operations are designed so they: <ul style="list-style-type: none"> (a) do not impede access to parking spaces; (b) do not impede vehicle or pedestrian traffic movement. 	R9.3 Complies The service and loading area (setdown area where not in use for students will not impede access to parking spaces or pedestrian traffic movement.
PO10 Sufficient queuing and set down areas are provided to accommodate the demand generated by the development.	AO10.1 Development provides adequate area on-site for vehicle queuing to accommodate the demand generated by the development where drive through facilities or drop-off/pick-up services are proposed as part of the use, including, but not limited to, the following land uses: <ul style="list-style-type: none"> (a) car wash; (b) child care centre; (c) educational establishment where for a school; (d) food and drink outlet, where including a drive-through facility; (e) hardware and trade supplies, where including a drive-through facility; (f) hotel, where including a drive-through facility; (g) service station. AO10.2 Queuing and set-down areas are designed and constructed in accordance with AS2890.1.	R10.1 Complies In accordance with AO1.1, the proposed development provides a set-down/pick-up area sufficient for the demands of the development.
		R10.2 Complies Set-down area is identified as crushed rock/gravel road finish in DA.12 (Carpark Plan) in Schedule 5 – Proposal Plans .

9.4.3 Environmental performance code

9.4.3.1 Application

- (1) This code applies to assessing:
 - (a) building work for outdoor lighting;
 - (b) a material change of use or reconfiguring a lot if:
 - (i) assessable development where the code is identified in the assessment criteria column of a table of assessment; or
 - (ii) impact assessable development, to the extent relevant.

Note – Where for the purpose of lighting a tennis court in a Residential zone, a compliance statement prepared by a suitably qualified person must be submitted to Council with the development application for building work.

- (2) When using this code, reference should be made to Part 5.

9.4.3.2 Purpose

- (1) The purpose of the Environmental performance code is to ensure development is designed and operated to avoid or mitigate impacts on sensitive receiving environments.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) activities that have potential to cause an adverse impact on amenity of adjacent and surrounding land, or environmental harm is avoided through location, design and operation of the development;
 - (b) sensitive land uses are protected from amenity related impacts of lighting, odour, airborne particles and noise, through design and operation of the development;
 - (c) stormwater flowing over, captured or discharged from development sites is of a quality adequate to enter receiving waters and downstream environments;
 - (d) development contributes to the removal and ongoing management of weed species.

9.4.3.3 Criteria for assessment

Table 9.4.3.a – Environmental performance code – assessable development

Performance outcomes	Acceptable outcomes	Applicant response
Lighting		
PO1 Lighting incorporated within development does not cause an adverse impact on the amenity of adjacent uses and nearby sensitive land uses.	AO1.1 Technical parameters, design, installation, operation and maintenance of outdoor lighting comply with the requirements of Australian standard AS4282-1997 Control of the obtrusive effects of outdoor lighting. AO1.2 Development that involves flood lighting is restricted to a type that gives no upward component of light where mounted horizontally. AO1.3 Access, car parking and manoeuvring areas are designed to shield nearby residential premises from impacts of vehicle headlights.	R1.1 Will Comply Where the proposed development seeks to implement outdoor lighting, all technical parameters, design, installation, operation and maintenance of outdoor lighting will comply with the requirements of Australian standard AS4282-1997 Control of the obtrusive effects of outdoor lighting. R1.2 Will Comply The development does not involve flood lighting. R1.3 Complies The car parking, access and manoeuvring area associated with the development is located approximately 70 metres from Upper Daintree Road and over 500 metres to the closest residential development. As a result, the car parking area will be naturally shielded from nearby premises.
Noise		
PO2 Potential noise generated from the development is avoided through design, location and operation of the activity.	AO2.1 Development does not involve activities that would cause noise related environmental harm or nuisance; or	R2.1 Complies The proposed development does not involve activities that would cause noise related environmental harm or nuisance.



Performance outcomes	Acceptable outcomes	Applicant response
Note – Planning Scheme Policy SC6.4 – Environmental management plans provides guidance on preparing a report to demonstrate compliance with the purpose and outcomes of the code.	AO2.2 Development ensures noise does not emanate from the site through the use of materials, structures and architectural features to not cause an adverse noise impact on adjacent uses.	R2.2 Not Applicable Refer response to AO2.1 above.



Performance outcomes	Acceptable outcomes	Applicant response
	<p>AO2.3 The design and layout of development ensures car parking areas avoid noise impacting directly on adjacent sensitive land uses through one or more of the following:</p> <ul style="list-style-type: none"> (a) car parking is located away from adjacent sensitive land uses; (b) car parking is enclosed within a building; (c) a noise ameliorating fence or structure is established adjacent to car parking areas where the fence or structure will not have a visual amenity impact on the adjoining premises; (d) buffered with dense landscaping. <p>Editor's note - The <i>Environmental Protection (Noise) Policy 2008</i>, Schedule 1 provides guidance on acoustic quality objectives to ensure environmental harm (including nuisance) is avoided.</p>	<p>R2.3 Complies Siting and scale of the car park is such that the car park will not impact on adjacent sensitive land uses, with the nearest dwelling being located greater than 500 metres from the car park.</p>
Airborne particles and other emissions		
<p>PO3 Potential airborne particles and emissions generated from the development are avoided through design, location and operation of the activity.</p> <p>Note – Planning Scheme Policy SC6.4 – Environmental management plans provides guidance on preparing a report to demonstrate compliance with the purpose and outcomes of the code.</p>	<p>AO3.1 Development does not involve activities that will result in airborne particles or emissions being generated;</p> <p>or</p> <p>AO3.2 The design, layout and operation of the development activity ensures that no airborne particles or emissions cause environmental harm or nuisance.</p> <p>Note - examples of activities which generally cause airborne particles include spray painting, abrasive blasting, manufacturing activities and car wash facilities.</p> <p>Examples of emissions include exhaust ventilation from basement or enclosed parking structures, air conditioning/refrigeration ventilation and exhaustion.</p>	<p>R3.1 Complies Development does not involve activities that will result in airborne particles or emissions being generated.</p> <p>R3.2 Not Applicable Refer to response to AO3.1 above.</p>



Performance outcomes	Acceptable outcomes	Applicant response
	The <i>Environmental Protection (Air) Policy 2008</i> , Schedule 1 provides guidance on air quality objectives to ensure environmental harm (including nuisance) is avoided.	
Odours		
PO4 Potential odour causing activities associated with the development are avoided through design, location and operation of the activity. Note – Planning Scheme Policy SC6.4 – Environmental management plans provides guidance on preparing a report to demonstrate compliance with the purpose and outcomes of the code.	AO4.1 The development does not involve activities that create odorous emissions; or AO4.2 The use does not result in odour that causes environmental harm or nuisance with respect to surrounding land uses.	R4.1 Complies The development does not involve activities that create odorous emissions. R4.2 Not Applicable Refer to response to AO3.1 above.
Waste and recyclable material storage		
PO5 Waste and recyclable material storage facilities are located and maintained to not cause adverse impacts on adjacent uses. Note – Planning Scheme Policy SC6.4 – Environmental management plans provides guidance on preparing a report to demonstrate compliance with the purpose and outcomes of the code.	AO5.1 The use ensures that all putrescent waste is stored in a manner that prevents odour nuisance and is disposed of at regular intervals. AO5.2 Waste and recyclable material storage facilities are located, designed and maintained to not cause an adverse impact on users of the premises and adjacent uses through consideration of: (a) the location of the waste and recyclable material storage areas in relation to the noise and odour generated; (b) the number of receptacles provided in relation to the collection, maintenance and use of the receptacles; (c) the durability of the receptacles, sheltering and potential impacts of local climatic conditions;	R5.1 Complies A dedicated refuse storage area will ensure that all putrescent waste is stored in a manner that prevents odour nuisance and will be disposed of at regular intervals. R5.2 Complies The refuse storage area is located behind the storage building has been sited and designed so as to not cause an adverse impact on users of the premises and adjacent uses.



Performance outcomes	Acceptable outcomes	Applicant response
	<p>(d) the ability to mitigate spillage, seepage or leakage from receptacles into adjacent areas and sensitive receiving waters and environments.</p> <p>Editor's note - the <i>Environmental Protection (Waste Management) Policy 2008</i> provides guidance on the design of waste containers (receptacles) to ensure environmental harm (including nuisance) is avoided.</p>	
Sensitive land use activities		
<p>P06 Sensitive land use activities are not established in areas which will receive potentially incompatible impacts on amenity from surrounding, existing development activities and land uses.</p>	<p>AO6.1 Sensitive land use activities are not established in areas that will be adversely impacted upon by existing land uses, activities and potential development possible in an area;</p> <p>or</p> <p>AO6.2 Sensitive land activities are located in areas where potential adverse amenity impacts mitigate all potential impacts through layout, design, operation and maintenance.</p>	<p>R6 Complies The proposed development is for an Educational Establishment containing on-site accommodation, which is categorised as a Sensitive Land Use Activity as per SC1.1.1 of the Douglas Shire Planning Scheme.</p> <p>The applicant seeks to deliver cultural, and land based vocational training programs with a rural focus, on land proximate to an existing sensitive land use (Dwelling House).</p> <p>The location of the development has been strategically situated within an area of the primary lot that is improved by infrastructure and is sufficiently separated from rural activities and associated amenity impacts. The land use will be attended in accordance with defined hours of operation, further minimising reverse amenity impacts.</p>
Stormwater quality		
P07	AO7.1	R7.1 Will Comply



Performance outcomes	Acceptable outcomes	Applicant response
<p>The quality of stormwater flowing over, through or being discharged from development activities into watercourses and drainage lines is of adequate quality for downstream environments, with respect to:</p> <ul style="list-style-type: none"> (a) the amount and type of pollutants borne from the activity; (b) maintaining natural stream flows; (c) the amount and type of site disturbance; (d) site management and control measures. 	<p>Development activities are designed to ensure stormwater over roofed and hard stand areas is directed to a lawful point of discharge.</p> <p>A07.2 Development ensures movement of stormwater over the site is not impeded or directed through potentially polluting activities.</p> <p>A07.3 Soil and water control measures are incorporated into the activity's design and operation to control sediment and erosion potentially entering watercourses, drainage lines and downstream receiving waters.</p> <p>Note - Planning scheme policy - FNQROC Regional Development Manual provides guidance on soil and water control measures to meet the requirements of the <i>Environmental Protection Act 1994</i>.</p> <p>During construction phases of development, contractors and builders are to have consideration in their work methods and site preparation for their environmental duty to protect stormwater quality.</p>	<p>Stormwater will continue to drain across the site in accordance with existing drainage practices.</p> <p>R7.2 Complies Development does not involve potentially polluting activities.</p> <p>R7.3 Will Comply Erosion and sediment control measures will be employed during the construction phase as relevant; however, it is noted that minimal ground disturbance is proposed.</p>
Pest plants (for material change of use on vacant land over 1,000m²)		
<p>PO8 Development activities and sites provide for the removal of all pest plants and implement ongoing measures to ensure that pest plants do not reinfest the site or nearby sites.</p> <p>Editor's note - This does not remove or replace all land owner's obligations or responsibilities under the <i>Land Protection (Pest and Stock Route Management) Act 2002</i>.</p>	<p>A08.1 The land is free of declared pest plants before development establishes new buildings, structures and practices;</p> <p>or</p> <p>A08.2 Pest plants detected on a development site are removed in accordance with a management plan prepared by an appropriately qualified person prior to construction of buildings and structures or earthworks.</p>	<p>R8 Not Applicable The proposed development is not for a material change of use on vacant land.</p>



Performance outcomes	Acceptable outcomes	Applicant response
	<p>Note - A declaration from an appropriately qualified person validates the land being free from pest plants.</p> <p>Declared pest plants include locally declared and State declared pest plants.</p>	

8.2.4 Flood and storm tide hazard overlay code

8.2.4.1 Application

- (1) This code applies to assessing a material change of use, reconfiguring a lot, operational work or building work within the Flood and storm tide hazard overlay, if:
 - (a) self assessable or assessable development where the code is identified as being applicable in the Assessment criteria for the Overlay Codes contained in the Levels of Assessment Tables in section 5.6;
 - (b) impact assessable development.
- (2) Land in the Flood and storm tide hazard overlay is identified on the Flood and storm tide hazard overlay map in Schedule 2 and includes the:
 - (a) Storm tide – high hazard sub-category;
 - (b) Storm tide – medium hazard sub-category;
 - (c) Flood plain assessment sub-category;
 - (d) 100 ARI Mossman, Port Douglas and Daintree Township Flood Studies sub-category.
- (3) When using this code, reference should be made to Part 5.

Note - The Flood and storm tide hazards overlay maps contained in Schedule 2 identify areas (Flood and storm tide inundation areas) where flood and storm tide inundation modelling has been undertaken by the Council. Other areas not identified by the Flood and inundation hazards overlay maps contained in Schedule 2 may also be subject to the defined flood event or defined storm tide event.

8.2.4.2 Purpose

- (1) The purpose of the Flood and storm tide hazard overlay code is to:
 - (a) implement the policy direction in the Strategic Framework, in particular:
 - (i) Theme 1 Settlement pattern: Element 3.4.7 Mitigation of hazards;
 - (ii) Theme 6 Infrastructure and transport: Element 3.9.2 Energy.
 - (b) enable an assessment of whether development is suitable on land within the Flood and storm tide hazard sub-categories.
- (2) The purpose of the code will be achieved through the following overall outcomes:
 - (a) development siting, layout and access responds to the risk of the natural hazard and minimises risk to personal safety;
 - (b) development achieves an acceptable or tolerable risk level, based on a fit for purpose risk assessment;
 - (c) the development is resilient to natural hazard events by ensuring siting and design accounts for the potential risks of natural hazards to property;

- (d) the development supports, and does not unduly burden disaster management response or recovery capacity and capabilities;
- (e) the development directly, indirectly and cumulatively avoids an unacceptable increase in severity of the natural hazards and does not significantly increase the potential for damage on site or to other properties;
- (f) the development avoids the release of hazardous materials as a result of a natural hazard event;
- (g) natural processes and the protective function of landforms and/or vegetation are maintained in natural hazard areas;
- (h) community infrastructure is located and designed to maintain the required level of functionality during and immediately after a hazard event.

Criteria for assessment

Table 8.2.4.3.a – Flood and storm tide hazards overlay code –assessable development

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable and assessable development		
<p>PO1 Development is located and designed to:</p> <ul style="list-style-type: none"> a) ensure the safety of all persons; b) minimise damage to the development and contents of buildings; c) provide suitable amenity; d) minimise disruption to residents, recovery time, and rebuilding or restoration costs after inundation events. <p>Note – For assessable development within the flood plain assessment sub-category, a flood study by a suitably qualified professional is required to identify compliance with the intent of the acceptable outcome.</p>	<p>AO1.1 Development is sited on parts of the land that is not within the Flood and Storm tide hazards overlay maps contained in Schedule 2;</p> <p>or</p> <p>For dwelling houses,</p> <p>AO1.2 Development within the Flood and Storm Tide hazards overlay maps (excluding the Flood plain assessment sub-category) is designed to provide immunity to the Defined Inundation Event as outlined within plus a freeboard of 300mm.</p>	<p>R1.1 Performance Solution (Complies) Physical infrastructure associated with the development is predominantly proposed on part of the site that is above the mapped 100 year ARI flood level (refer to the Flood Overlay drawing in supplied proposal plans – Schedule 5).</p> <p>The car parking area on Lot 10 is however proposed on land mapped as being subject to the 100 Year ARI. It is relevant to note that barge car parking is required to be located proximate to the river where the barge departs. A similar level of risk is expected relevant to the public Daintree River barge and associated car park and it is expected that the car park and/or barge will not be utilised during a flood event.</p> <p>The development otherwise minimises damage to the development including building</p>



Performance outcomes	Acceptable outcomes	Applicant response
		<p>contents and minimises disruption following a flood event.</p> <p>R1.2 Not Applicable Development for a Dwelling House is not proposed.</p>
	<p>AO1.3 New buildings are:</p> <ul style="list-style-type: none"> (a) not located within the overlay area; (b) located on the highest part of the site to minimise entrance of flood waters; (c) provided with clear and direct pedestrian and vehicle evacuation routes off the site. <p>AO1.4 In non urban areas, buildings and infrastructure are set back 50 metres from natural riparian corridors to maintain their natural function of reducing velocity of floodwaters.</p>	<p>R1.3 Complies New buildings associated with the development are:</p> <ul style="list-style-type: none"> (a) located outside of the overlay area; (b) located on the highest part of the site; (c) positioned to provide clear and direct evacuation routes for vehicles and pedestrians. <p>Refer Schedule 5 – Proposal Plans for details.</p> <p>R1.4 Complies The proposed development is primarily (i.e. excluding car park) located greater than 50 metres from the riparian corridors of the Daintree River.</p>
For assessable development		
<p>P02 The development is compatible with the level of risk associated with the natural hazard.</p>	<p>AO2 The following uses are not located in land inundated by the Defined Flood Event (DFE) / Storm tide:</p> <ul style="list-style-type: none"> (a) Retirement facility; (b) Community care facility; (c) Child care centre. 	<p>R2 Complies Development for a use listed in AO2 is not proposed.</p>



Performance outcomes	Acceptable outcomes	Applicant response
P03 Development siting and layout responds to flooding potential and maintains personal safety	<p>For Material change of use</p> <p>AO3.1 New buildings are: (a) not located within the overlay area; (b) located on the highest part of the site to minimise entrance of flood waters; (c) provided with clear and direct pedestrian and vehicle evacuation routes off the site.</p> <p>or</p> <p>AO3.2 The development incorporates an area on site that is at least 300mm above the highest known flood inundation level with sufficient space to accommodate the likely population of the development safely for a relatively short time until flash flooding subsides or people can be evacuated.</p> <p>or</p> <p>AO3.3 Where involving an extension to an existing dwelling house that is situated below DFE /Storm tide, the maximum size of the extension does not exceed 70m² gross floor area.</p> <p>Note – If part of the site is outside the Hazard Overlay area, this is the preferred location of all buildings.</p> <p>For Reconfiguring a lot</p> <p>AO3.4 Additional lots: (a) are not located in the hazard overlay area;</p> <p>or</p>	<p>R3.1 Complies Refer response to AO1.3.</p> <p>R3.2 Not Applicable The development complies with AO3.1.</p> <p>R3.3 Not Applicable The development complies with AO3.1.</p> <p>R3.4 Not Applicable Reconfiguring a Lot development is not proposed.</p>



Performance outcomes	Acceptable outcomes	Applicant response
	<p>(b) are demonstrated to be above the flood level identified for the site.</p> <p>Note - If part of the site is outside the Hazard Overlay area, this is the preferred location for all lots (excluding park or other open space and recreation lots).</p> <p>Note – Buildings subsequently developed on the lots will need to comply with the relevant building assessment provisions under the <i>Building Act 1975</i>.</p> <p>A03.5 Road and/or pathway layout ensures residents are not physically isolated from adjacent flood free urban areas and provides a safe and clear evacuation route path:</p> <p>(a) by locating entry points into the reconfiguration above the flood level and avoiding culs-de-sac or other non-permeable layouts; and</p> <p>(b) by direct and simple routes to main carriageways.</p> <p>A03.6 Signage is provided on site (regardless of whether the land is in public or private ownership) indicating the position and path of all safe evacuation routes off the site and if the site contains, or is within 100m of a floodable waterway, hazard warning signage and depth indicators are also provided at key hazard points, such as at floodway crossings or entrances to low-lying reserves.</p> <p>A03.7 There is no intensification of residential uses within the flood affected areas on land situated below the DFE/Storm tide.</p>	<p>R3.5 Not Applicable Reconfiguring a Lot development is not proposed.</p> <p>R3.6 Not Applicable Reconfiguring a Lot development is not proposed.</p> <p>R3.7 Not Applicable Reconfiguring a Lot development is not proposed.</p>



Performance outcomes	Acceptable outcomes	Applicant response
	<p>For Material change of use (Residential uses)</p> <p>AO3.8 The design and layout of buildings used for residential purposes minimise risk from flooding by providing: (a) parking and other low intensive, non-habitable uses at ground level;</p> <p>Note - The high-set 'Queenslander' style house is a resilient low-density housing solution in floodplain areas. Higher density residential development should ensure only non-habitable rooms (e.g. garages, laundries) are located on the ground floor.</p>	<p>R3.8 Not Applicable The development is for an Educational Establishment and is therefore understood not to comprise a 'Residential use'.</p>
<p>PO4 Development is resilient to flood events by ensuring design and built form account for the potential risks of flooding.</p>	<p>For Material change of use (Non-residential uses)</p> <p>AO4.2 Non residential buildings and structures allow for the flow through of flood waters on the ground floor. Note - Businesses should ensure that they have the necessary contingency plans in place to account for the potential need to relocate property prior to a flood event (e.g. allow enough time to transfer stock to the upstairs level of a building or off site). Note - The relevant building assessment provisions under the <i>Building Act 1975</i> apply to all building work within the Hazard Area and need to take into account the flood potential within the area.</p> <p>AO4.3 Materials are stored on-site: (a) are those that are readily able to be moved in a flood event;</p>	<p>R4.2 Complies The proposed accommodation buildings and education centre have a minimum FFL of not less than 415.20m AHD while the chillout refuge has a minimum FFL of not less than 7.0m AHD. The buildings will be elevated approximately 473mm and 495mm above existing natural ground level. Therefore, any movement of flood water over the site (despite this being unlikely) will flow under the proposed accommodation buildings.</p> <p>On the basis of the above, the proposed built form is considered to be resilient to flood events.</p> <p>AO4.3 Not Applicable Materials required to be stored on site will be contained within the storage building. The storage building is also sited within the upper</p>



Performance outcomes	Acceptable outcomes	Applicant response
	<p>(b) where capable of creating a safety hazard by being shifted by flood waters, are contained in order to minimise movement in times of flood.</p> <p>Notes -</p> <p>(a) Businesses should ensure that they have the necessary contingency plans in place to account for the potential need to relocate property prior to a flood event (e.g. allow enough time to transfer stock to the upstairs level of a building or off site).</p> <p>(b) Queensland Government Fact Sheet 'Repairing your House after a Flood' provides information about water resilient products and building techniques.</p>	elevations of the site where the land is not known to be affected by flood events.
<p>P05 Development directly, indirectly and cumulatively avoids any increase in water flow velocity or flood level and does not increase the potential flood damage either on site or on other properties.</p> <p>Note – Berms and mounds are considered to be an undesirable built form outcome and are not supported.</p>	<p>For Operational works</p> <p>A05.1 Works in urban areas associated with the proposed development do not involve:</p> <p>(a) any physical alteration to a watercourse or floodway including vegetation clearing; or</p> <p>(b) a net increase in filling (including berms and mounds).</p> <p>A05.2 Works (including buildings and earthworks) in non urban areas either:</p> <p>(a) do not involve a net increase in filling greater than 50m³; or</p> <p>(b) do not result in any reductions of on-site flood storage capacity and contain within the subject site any changes to depth/duration/velocity of flood waters;</p> <p>or</p> <p>(c) do not change flood characteristics outside the subject site in ways that result in:</p> <p>(i) loss of flood storage;</p> <p>(ii) loss of/changes to flow paths;</p>	<p>R5 Not Applicable Operational work is not proposed.</p>



Performance outcomes	Acceptable outcomes	Applicant response
	(iii) acceleration or retardation of flows or any reduction in flood warning times elsewhere on the flood plain.	
	<p>For Material change of use</p> <p>AO5.3 Where development is located in an area affected by DFE/Storm tide, a hydraulic and hydrology report, prepared by a suitably qualified professional, demonstrates that the development maintains the flood storage capacity on the subject site; and</p> <p>(a) does not increase the volume, velocity, concentration of flow path alignment of stormwater flow across sites upstream, downstream or in the general vicinity of the subject site; and</p> <p>(b) does not increase ponding on sites upstream, downstream or in the general vicinity of the subject site.</p> <p>For Material change of use and Reconfiguring a lot</p> <p>AO5.4 In non urban areas, buildings and infrastructure are set back 50 metres from natural riparian corridors to maintain their natural function of reducing velocity of floodwaters.</p> <p>Note – Fences and irrigation infrastructure (e.g. irrigation tape) in rural areas should be managed to minimise adverse the impacts that they may have on downstream properties in the event of a flood.</p>	<p>R5.3 Not Applicable Physical infrastructure of the development is proposed on land that is outside of mapped flood overlay features. Development is not therefore proposed in a flood storage area and hence AO5.3 is not applicable.</p> <p>R5.4 Complies Buildings and infrastructure are setback greater than 50 metres from the waterway corridors of the Daintree River.</p>



Performance outcomes	Acceptable outcomes	Applicant response
P06 Development avoids the release of hazardous materials into floodwaters.	For Material change of use AO6.1 Materials manufactured or stored on site are not hazardous or noxious, or comprise materials that may cause a detrimental effect on the environment if discharged in a flood event; or AO6.2 If a DFE level is adopted, structures used for the manufacture or storage of hazardous materials are: (a) located above the DFE level; or (b) designed to prevent the intrusion of floodwaters. AO6.3 Infrastructure is designed and constructed to resist hydrostatic and hydrodynamic forces as a result of inundation by the DFE. AO6.4 If a flood level is not adopted, hazardous materials and their manufacturing equipment are located on the highest part of the site to enhance flood immunity and designed to prevent the intrusion of floodwaters. Note – Refer to <i>Work Health and Safety Act 2011</i> and associated Regulation and Guidelines, the <i>Environmental Protection Act 1994</i> and the relevant building assessment provisions under the <i>Building Act 1975</i> for requirements related to the manufacture and storage of hazardous materials.	R6.1 Not Applicable No hazardous or noxious materials are associated with the proposed development. R6.2 Not Applicable Refer response to AO6.1 above. R6.3 Not Applicable Development involving the potential release of hazardous materials into floodwaters is not proposed. R6.4 Not Applicable Development involving the potential release of hazardous materials into floodwaters is not proposed.
P07 The development supports, and does not unduly burden, disaster management response or recovery capacity and capabilities.	AO7 Development does not: (a) increase the number of people calculated to be at risk of flooding;	R7 Complies Development is sited such that it doesn't increase the number of people at risk from

DOUGLAS SHIRE COUNCIL



Performance outcomes	Acceptable outcomes	Applicant response
	<p>The following uses are not located on land inundated during a 0.5% AEP flood event.</p> <ul style="list-style-type: none"> (a) emergency shelters; (b) police facilities; (c) sub stations; (d) water treatment plant <p>The following uses are not located on land inundated during a 0.2% AEP flood event:</p> <ul style="list-style-type: none"> (a) correctional facilities; (b) emergency services; (c) power stations; (d) major switch yards. <p>and/or</p> <p>AO8.3 The following uses have direct access to low hazard evacuation routes as defined in Error! Reference source not found.:</p> <ul style="list-style-type: none"> (a) community residence; and (b) emergency services; and (c) hospitals; and (d) residential care facility; and (e) sub stations; and (f) utility installations involving water and sewerage treatment plants. <p>AO8.4 Any components of infrastructure that are likely to fail to function or may result in contamination when inundated by flood, such as electrical switch gear and motors, telecommunications connections, or water supply pipeline air valves are:</p>	<p>AO8.3 Not Applicable Development for a use listed in AO8.3 is not proposed.</p> <p>AO8.4 Complies Critical infrastructure will not be sited in a flood affected area.</p>



Performance outcomes	Acceptable outcomes	Applicant response
	<p>(a) located above DFE/Storm tide or the highest known flood level for the site;</p> <p>(b) designed and constructed to exclude floodwater intrusion / infiltration.</p> <p>AO8.5 Infrastructure is designed and constructed to resist hydrostatic and hydrodynamic forces as a result of inundation by a flood.</p>	<p>AO8.5 Complies Built infrastructure will not be sited in a flood affected area.</p>

SCHEDULE 7

DA FORM 1



DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Jabalbina Yalanji Aboriginal Corporation RNTBC
Contact name (only applicable for companies)	C/- wildPLAN Pty Ltd
Postal address (P.O. Box or street address)	PO BOX 8028
Suburb	CARNS
State	QLD
Postcode	4870
Country	Australia
Contact number	0487 967 533
Email address (non-mandatory)	dominic@wildplan.com.au
Mobile number (non-mandatory)	0487 967 533
Fax number (non-mandatory)	N/A
Applicant's reference number(s) (if applicable)	WP24 044 JAB

1.1) Home-based business

☐ Personal details to remain private in accordance with section 264(6) of *Planning Act 2016*

2) Owner's consent

2.1) Is written consent of the owner required for this development application?

☒ Yes – the written consent of the owner(s) is attached to this development application

☐ No – proceed to 3)

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
			Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	2	RP702242	Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
			Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	1	RP702242	Douglas Shire Council
c)	Unit No.	Street No.	Street Name and Type	Suburb
		200	Upper Daintree Road	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	10	SP304851	Douglas Shire Council

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- ☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

- ☒ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
☐ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

- ☒ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer: Daintree River

- ☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- ☐ In a tidal area

Name of local government for the tidal area <i>(if applicable)</i> :	
Name of port authority for tidal area <i>(if applicable)</i> :	
<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>	
Name of airport:	
<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>	
EMR site identification:	
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>	
CLR site identification:	

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- ☒ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☐ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☒ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☒ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots)*:

Educational Establishment

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- ☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots)*:

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- ☐ Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☒ Not required

6.4) Is the application for State facilitated development?

- ☐ Yes - Has a notice of declaration been given by the Minister?
- ☒ No

Section 2 – Further development details**7) Does the proposed development application involve any of the following?**

Material change of use	<input checked="" type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)
Educational Establishment with on-site accommodation	Premises used for training and instruction designed to impart knowledge and develop skills. The use may include outside hours school care for students or on-site student accommodation.	N/A	268m ²

8.2) Does the proposed use involve the use of existing buildings on the premises?

- ☐ Yes
- ☒ No

8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?

- ☐ Yes – provide details below or include details in a schedule to this development application
- ☒ No

Provide a general description of the temporary accepted development	Specify the stated period dates under the Planning Regulation

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

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9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

<input type="checkbox"/> Subdivision (complete 10)	<input type="checkbox"/> Dividing land into parts by agreement (complete 11)
<input type="checkbox"/> Boundary realignment (complete 12)	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13)

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?	
<input type="checkbox"/> Yes – provide additional details below <input type="checkbox"/> No	
How many stages will the works include?	
What stage(s) will this development application apply to?	

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?				
Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment			
12.1) What are the current and proposed areas for each lot comprising the premises?			
Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)
12.2) What is the reason for the boundary realignment?			

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)				
Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?		
<input type="checkbox"/> Road work <input type="checkbox"/> Drainage work <input type="checkbox"/> Landscaping <input type="checkbox"/> Other – please specify:	<input type="checkbox"/> Stormwater <input type="checkbox"/> Earthworks <input type="checkbox"/> Signage	<input type="checkbox"/> Water infrastructure <input type="checkbox"/> Sewage infrastructure <input type="checkbox"/> Clearing vegetation
14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)		
<input type="checkbox"/> Yes – specify number of new lots:		
<input type="checkbox"/> No		

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

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PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Douglas Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

- ☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ SEQ northern inter-urban break – tourist activity or sport and recreation activity



Queensland
Government

<input type="checkbox"/> SEQ northern inter-urban break – community activity <input type="checkbox"/> SEQ northern inter-urban break – indoor recreation <input type="checkbox"/> SEQ northern inter-urban break – urban activity <input type="checkbox"/> SEQ northern inter-urban break – combined use <input type="checkbox"/> Tidal works or works in a coastal management district <input type="checkbox"/> Reconfiguring a lot in a coastal management district or for a canal <input type="checkbox"/> Erosion prone area in a coastal management district <input type="checkbox"/> Urban design <input type="checkbox"/> Water-related development – taking or interfering with water <input type="checkbox"/> Water-related development – removing quarry material <i>(from a watercourse or lake)</i> <input type="checkbox"/> Water-related development – referable dams <input type="checkbox"/> Water-related development – levees <i>(category 3 levees only)</i> <input type="checkbox"/> Wetland protection area
Matters requiring referral to the local government: <input type="checkbox"/> Airport land <input type="checkbox"/> Environmentally relevant activities (ERA) <i>(only if the ERA has been devolved to local government)</i> <input type="checkbox"/> Heritage places – Local heritage places
Matters requiring referral to the Chief Executive of the distribution entity or transmission entity: <input type="checkbox"/> Infrastructure-related referrals – Electricity infrastructure
Matters requiring referral to: <ul style="list-style-type: none"> • The Chief Executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual <input type="checkbox"/> Infrastructure-related referrals – Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council: <input type="checkbox"/> Ports – Brisbane core port land
Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994: <input type="checkbox"/> Ports – Brisbane core port land <i>(where inconsistent with the Brisbane port LUP for transport reasons)</i> <input type="checkbox"/> Ports – Strategic port land
Matters requiring referral to the relevant port operator, if applicant is not port operator: <input type="checkbox"/> Ports – Land within Port of Brisbane's port limits <i>(below high-water mark)</i>
Matters requiring referral to the Chief Executive of the relevant port authority: <input type="checkbox"/> Ports – Land within limits of another port <i>(below high-water mark)</i>
Matters requiring referral to the Gold Coast Waterways Authority: <input type="checkbox"/> Tidal works or work in a coastal management district <i>(in Gold Coast waters)</i>
Matters requiring referral to the Queensland Fire and Emergency Service: <input type="checkbox"/> Tidal works or work in a coastal management district <i>(involving a marina (more than six vessel berths))</i>

18) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application <input checked="" type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application <i>(if applicable)</i> .		

PART 6 – INFORMATION REQUEST

19) Information request under the DA Rules

☒ I agree to receive an information request if determined necessary for this development application

☐ I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the [DA Forms Guide](#).

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

☐ Yes – provide details below or include details in a schedule to this development application

☒ No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

☐ Yes – a copy of the receipted QLeave form is attached to this development application

☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid

☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

☐ Yes – show cause or enforcement notice is attached

☒ No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
- ☒ No

Note: Application for an environmental authority can be found by searching "ESR/2015/1791" as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- ☐ Yes – *Form 536: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application
- ☒ No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- ☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- ☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- ☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- ☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- ☐ Yes – the development application involves premises in the koala habitat area in the koala priority area
- ☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area
- ☒ No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.desi.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

☒ No

Note: Contact the Department of Resources at www.resources.qld.gov.au for further information.

DA templates are available from planning.statedevelopment.qld.gov.au. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

☐ Yes – the relevant template is completed and attached to this development application

☒ No

DA templates are available from planning.statedevelopment.qld.gov.au. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake under the *Water Act 2000***?

☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

☒ No

Note: Contact the Department of Resources at www.resources.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water under the *Coastal Protection and Management Act 1995***?

☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

☒ No

Note: Contact the Department of Environment, Science and Innovation at www.desi.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application

☒ No

Note: See guidance materials at www.resources.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - ☐ A certificate of title

☒ No

Note: See guidance materials at www.desi.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

☐ Yes – details of the heritage place are provided in the table below

☒ No

Note: See guidance materials at www.desi.qld.gov.au for information requirements regarding development of Queensland heritage places. For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at www.planning.statedevelopment.qld.gov.au for information regarding assessment of Queensland heritage places.

Name of the heritage place:

Place ID:

Decision under section 62 of the Transport Infrastructure Act 1994

23.14) Does this development application involve new or changed access to a state-controlled road?

☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

☒ No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

Note: See guidance materials at www.planning.statedevelopment.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes

Note: See the Planning Regulation 2017 for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

☐ Yes

☒ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

☒ Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

☐ Yes

☒ Not applicable



**Queensland
Government**

25) Applicant declaration

- ☒ By making this development application, I declare that all information in this development application is true and correct
- ☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.3) Additional premises

☒ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application

d)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	179	C157262	Douglas Shire Council
e)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	3-7	RP702243	Douglas Shire Council
f)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	10	RP702243	Douglas Shire Council
g)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	13	RP702243	Douglas Shire Council
h)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	14	RP702243	Douglas Shire Council
i)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree

	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	15	RP702243	Douglas Shire Council
j)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	16	RP702243	Douglas Shire Council
k)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	18	RP702243	Douglas Shire Council
l)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	21	RP702243	Douglas Shire Council
m)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	24	RP702243	Douglas Shire Council
n)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	25	RP702243	Douglas Shire Council
o)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	26	RP702243	Douglas Shire Council
p)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree

	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	27	RP702243	Douglas Shire Council
q)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	28	RP702243	Douglas Shire Council
r)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	29	RP702243	Douglas Shire Council
s)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	30	RP702243	Douglas Shire Council
t)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	31	RP702243	Douglas Shire Council
u)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	32	RP702243	Douglas Shire Council
v)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	33	RP702243	Douglas Shire Council
w)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree

	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	34	RP702243	Douglas Shire Council
x)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	35	RP702243	Douglas Shire Council
y)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	36	RP702243	Douglas Shire Council
z)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	37	RP702243	Douglas Shire Council
aa)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	38	RP702243	Douglas Shire Council
bb)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	39	RP702243	Douglas Shire Council
cc)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	40	RP702243	Douglas Shire Council
dd)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree

	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	41	RP702243	Douglas Shire Council
ee)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	42	RP702243	Douglas Shire Council
ff)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	43	RP702243	Douglas Shire Council
gg)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	44	RP702243	Douglas Shire Council
hh)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	45	RP702243	Douglas Shire Council
ii)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	46	RP702243	Douglas Shire Council
jj)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	47	RP702243	Douglas Shire Council
kk)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree

	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	48	RP702243	Douglas Shire Council
ll)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	49	RP702243	Douglas Shire Council
mm)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	50	RP702243	Douglas Shire Council
nn)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	51	RP702243	Douglas Shire Council
oo)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	52	RP702243	Douglas Shire Council
pp)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	53	RP702243	Douglas Shire Council
qq)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	54	RP702243	Douglas Shire Council
rr)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree

	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	55	RP702243	Douglas Shire Council
ss)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	56	RP702243	Douglas Shire Council
tt)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	57	RP702243	Douglas Shire Council
uu)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	58	RP702243	Douglas Shire Council
vv)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	59	RP702243	Douglas Shire Council
ww)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	60	RP702243	Douglas Shire Council
xx)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	61	RP702243	Douglas Shire Council
yy)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree

	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	62	RP702243	Douglas Shire Council
zz)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	63	RP702243	Douglas Shire Council
aaa)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	64	RP702243	Douglas Shire Council
bbb)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	65	RP702243	Douglas Shire Council
ccc)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	66	RP702243	Douglas Shire Council
ddd)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	67	RP702243	Douglas Shire Council
eee)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	68	RP702243	Douglas Shire Council
fff)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree

	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	69	RP702243	Douglas Shire Council
ggg)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	70	RP702243	Douglas Shire Council
hhh)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	71	RP702243	Douglas Shire Council
iii)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	72	RP702243	Douglas Shire Council
jjj)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	73	RP702243	Douglas Shire Council
kkk)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	74	RP702243	Douglas Shire Council
lll)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	75	RP702243	Douglas Shire Council
mmm)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree

	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	76	RP702243	Douglas Shire Council
nnn)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	77	RP702243	Douglas Shire Council
ooo)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	78	RP702243	Douglas Shire Council
ppp)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	79	RP702243	Douglas Shire Council
qqq)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	80	RP702243	Douglas Shire Council
rrr)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	81	RP702243	Douglas Shire Council
sss)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	82	RP702243	Douglas Shire Council
ttt)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree

	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	83	RP702243	Douglas Shire Council
uuu)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	84	RP702243	Douglas Shire Council
vvv)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	85	RP702243	Douglas Shire Council
www)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	86	RP702243	Douglas Shire Council
xxx)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	87	RP702243	Douglas Shire Council
yyy)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	88	RP702243	Douglas Shire Council
zzz)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree
	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP, SP</i>)	Local Government Area(s)
	4873	89	RP702243	Douglas Shire Council
aaaa)	Unit No.	Street No.	Street Name and Type	Suburb
		-	Daintree River	Upper Daintree

	Postcode	Lot No.	Plan Type and Number (e.g. <i>RP</i> , <i>SP</i>)	Local Government Area(s)
	4873	90	RP702243	Douglas Shire Council

SCHEDULE 8

PRE-LODGE MENT ADVICE



21 November 2024

Enquiries: Jenny Elphinstone
Our Ref: L2 Daintree River Upper Daintree (Doc ID: 1263361)
Your Ref: Daintree River Station

Administration Office
64 - 66 Front St Mossman
P 07 4099 9444
F 07 4098 2902

wildPLAN Pty Ltd
PO Box 8028
CAIRNS QLD 4870

Email: dominic@wildplan.com.au

Attention Mr Dominic Hammersley

Dear Sir

Prelodgement Advice
For Property at Lots 1 and 2 on RP702242, Lot 179 on C157262,
Lots 3-7, 10,13-16, 18, 21, 24-90 on RP702243 and Lot 10 on SP304851
Land Described a L2, L179, Lots 3-7, 10,13-16, 18, 21, 24-90 and
200 Upper Daintree Road Upper Daintree.

Council refers to your request for prelodgement advice on the proposed Education Establishment on the abovementioned land as outlined in your advice dated 12 November 2024 (Council Doc ID 1262600). The following advice is provided on a without prejudice basis.

Proposal

The applicant, Jabalbina, seeks to provide a 'training village' delivering agriculturally based training and associated cultural programs. The application nominates the proposal is over many lots. The proposed access is via a barge between Lot 2 on RP702242 and Lot 10 on SP304851. The Applicant is aware that access to and from the site may be constrained by river tides.

The training will provide for up to ten (10) students with four (4) staff. The use is defined by the Planning Scheme as an Educational Establishment. The buildings associated with use of Educational Establishment will be located on Lot 2 on RP702242. Plans detailing the buildings were provided in your submission.

The existing uses are described as cropping and Dwelling House. The Dwelling house is located on Lot 2 on RP702242. The dwelling house is complimented by several sheds associated with the rural use of the land.

The land is constrained in some areas. The constraints are identified by the Planning Scheme Overlays.

Advice is sought on:

- a. The applicable assessment codes;
- b. Confirmation that an ecological assessment will not be required due to the proposed works being located outside of the mapped environmental areas;
- c. The details of the proposed onsite wastewater treatment facility, being for less than 21 Equivalent Persons (EPs) and being devolved to Council can be deferred to the conditions of the approval;
- d. The development is consistent with the Strategic Framework section 3.2.2.3; and
- e. Any other matters or application requirements as appropriate.

Prelodgement Advice

The following advice is provided on a without prejudice basis.

Tenure

Some lots have frontage to the Daintree River or Esplanade. Some lots are contiguous to others, some lots are separated by unopened, gazetted road. There are currently no road licenses over gazetted roads, adjacent to the nominated lots to occupy and use these areas of road. Aerial imagery of the properties would appear to identify use of gazetted road and land between the lots and the Daintree River waterway edge to be used for rural purposes.

Where road is to be used then this needs to be included in the application and with the relevant land owner's consent.

This for example, would include the road areas between the smaller lots, as may also consider the access across the Daintree River.



Consideration and advice should be provided as to any intention to amalgamate the lots. Council may require this as a condition of approval where the application is made over more than one lot.

Land Use

It is agreed the use would fall within the Planning Scheme's definition of an Educational Establishment.

The use is impact assessable within the Rural Zone and assessment against the whole of the Planning Scheme is required. The application should make comment against all of the Themes and then the relevant elements of the Strategic Framework.

Depending on the lots over which the land is made will identify which overlay codes should be commented on.

It is recommended you also consider the following Other Development Codes for assessment.

- i. Rural Zone Code
- ii. Access, Parking & Service Code
- iii. Advertising Devices Code – for any on Upper Daintree Road or the Riverbank area.
- iv. Environmental Performance Code
- v. Filling and Excavation Code
- vi. Infrastructure Works Code
- vii. Landscaping Code – around the Training Centre

- viii. Reconfiguration of a Lot Code – for any boundary realignment (if proposed).
- ix. Vegetation Management Code.

Ecological Assessment

Where the clearing is minimal and constrained to an area for the Training Centre, that is not mapped as an environmental area, then it is agreed no ecological assessment would be required.

Wastewater Treatment and Potable Water Supply

Given the extent of the land holdings and limited built development sought, general advice on proposed location and provision is required, with final details addressed through conditions of an approval.

Existing Use - Cropping

Clarification is required on the details of the existing land use of 'cropping.' Please note, Council Planners are not of the opinion that forestry or a permanent plantation to be cropping.

Not-For-Profit

Please note request is required to be made for the consideration of a reduced application fee where the application is lodged by a not-for-profit organisation. Consideration for reduced Infrastructure Charges are available for not for-profit for unlicensed areas.

Other

Should you require any clarification regarding this matter, please contact Jenny Elphinstone on phone 07 4099 9444.

Yours faithfully



For
Paul Hoyer
Manager Environment & Planning