

4 March 2025

Chief Executive Officer
Douglas Shire Council
PO Box 723
Mossman Qld 4873

Attention: Development Assessment

Dear Sir/Madam

RE: APPLICATION FOR DEVELOPMENT PERMIT – Building Works– Shed – 25 Ronald Road Forest Creek, Lot 14 on RP735854

Rapid Building Approvals acting on behalf of the owner of the abovementioned land (Bec Muirhead) seek a **Development Permit for Building Works (Shed) at 25 Ronald Road Forest Creek, Lot 14 on RP735854.**

The property is zoned Environmental Management, within the planning scheme identifying Building works as code assessable.

Applicable Code	Compliance	Comment
Environmental Management Zone	<input checked="" type="checkbox"/>	Complies. Refer to the code assessment.
Excavation and Filling	<input checked="" type="checkbox"/>	Complies. No significant excavation and filling is required for the works. Proposal can comply with all other aspects of the code.
Infrastructure Works	<input checked="" type="checkbox"/>	Complies. Proposal is for a shed and all the required infrastructure can be accommodated.
Natural Areas Overlay	<input checked="" type="checkbox"/>	Complies. Refer to the code assessment.

In support of this development application, the following material has been provided:

1. DA Form 1 and 2
2. Plans
3. Response to relevant Planning Scheme Codes
4. Application fee

Should you require any further information or assistance in relation to this manner please don't hesitate to contact Ryan Bird on [1300 163 814](tel:1300163814) or via email at approvals@rapidapprovals.com.au.

Regards,
Ryan Bird

Code Responses

Environmental Management Zone Code

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable and assessable development		
PO1 The height of all buildings and structures is in keeping with the natural characteristics of the site. Buildings and structures are low-rise and not unduly visible from external sites.	AO1.1 Buildings and structures are not more than 8.5 metres and two storeys in height. Note – Height is inclusive of the roof height. AO1.2 Buildings have a roof height not less than 2 metres.	Complies. Maximum height is 5972mm.
PO2 Buildings and structures are set back to: (a) maintain the natural character of the area; (b) achieve separation from neighbouring buildings and from road frontages.	AO2 Buildings and structures are set back not less than: (a) 40 metres from the frontage of a state controlled road; (b) 25 metres from the frontage to Cape Tribulation Road; (c) 6 metres from any other road; (d) 6 metres from the side and rear boundaries of the site.	Complies AO2. All setbacks are compliant.
For assessable development		
PO3 Development is consistent with the purpose of the Environmental management zone and protects the zone from the intrusion of inconsistent uses.	AO3 Inconsistent uses as identified in Table 6.2.4.3.b are not established in the Environmental management zone.	Complies. Sheds are consistent with the zone and the amenity of the area.
PO4 The site coverage of all buildings and structures and associated services do not have an adverse effect on	PO4 No acceptable outcomes are prescribed.	Complies. The shed does not unduly impact the scenic amenity of the site.

Performance outcomes	Acceptable outcomes	Applicant response
the environmental or scenic values of the site.		
<p>PO5</p> <p>Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.</p> <p>Note - Planning scheme policy – Site assessments provides guidance on identifying the characteristics, features and constraints of a site and its surrounds.</p>	<p>AO5.1</p> <p>Buildings, structures and associated access, infrastructure and private open space are sited:</p> <ul style="list-style-type: none"> (a) within areas of the site which are already cleared; or (b) within areas of the site which are environmentally degraded; (c) to minimise additional vegetation clearing. 	Complies. The site area for the shed is cleared.
	<p>AO5.2</p> <p>Buildings and structures and associated infrastructure are not located on slopes greater than 1 in 6 (16.6%) or on a ridgeline.</p>	Not applicable.
<p>PO6</p> <p>Buildings and structures are responsive to steep slope through innovative construction techniques so as to:</p> <ul style="list-style-type: none"> (a) maintain the geotechnical stability of slopes; (b) minimise cut and/or fill; (c) minimise the overall height of development. 	<p>AO6.1</p> <p>Where development on land steeper than 1 in 6 (16.6%) cannot be avoided, development follows the natural contours of the land and single plane concrete slab on-ground methods of construction are not utilised.</p>	Not applicable.
	<p>AO6.2</p> <p>Access and vehicle manoeuvring and parking areas are constructed and maintained to:</p> <ul style="list-style-type: none"> (a) minimise erosion; (b) minimise cut and fill; (c) follow the natural contours of the site. 	Complies.
PO7	PO7	Complies. The colorbond shed is consistent with the

Performance outcomes	Acceptable outcomes	Applicant response
The exterior finishes of buildings and structures are consistent with the surrounding natural environment.	The exterior finishes and colours of buildings and structures are non-reflective and are moderately dark to darker shades of grey, green, blue and brown or the development is not visible external to the site.	built form of other outbuildings in the area and does not pose an impact on the surrounding natural area.
PO8 Development does not adversely affect the amenity of the zone and adjoining land uses in terms of traffic, noise, dust, odour, lighting or other physical or environmental impacts.	AO8 No acceptable outcomes are prescribed.	Complies. Proposal is for a shed and will not result in any adverse impacts to adjoining allotments.
PO9 The density of development ensures that the environmental and scenic amenity values of the site and surrounding area are not adversely affected.	AO9 The maximum residential density is one dwelling house per lot.	Complies.
PO10 Lot reconfiguration results in no additional lots. Note - Boundary realignments to resolve encroachments and lot amalgamation are considered appropriate.	AO10 No acceptable outcomes are prescribed.	Not applicable.

Natural Areas Overlay Code

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable and assessable development		
Protection of matters of environmental significance		
PO1 Development protects matters of environmental significance.	AO1.1 Development avoids significant impact on the relevant environmental values.	Complies AO1.1. The shed is to be located within the existing cleared area of the site, located adjoining the dwelling, and will not have any impact on

Performance outcomes	Acceptable outcomes	Applicant response
	<p>or</p> <p>AO1.2</p> <p>A report is prepared by an appropriately qualified person demonstrating to the satisfaction of the assessment manager, that the development site does not contain any matters of state and local environmental significance.</p> <p>or</p> <p>AO1.3</p> <p>Development is located, designed and operated to mitigate significant impacts on environmental values. For example, a report certified by an appropriately qualified person demonstrating to the satisfaction of the assessment manager, how the proposed development mitigates impacts, including on water quality, hydrology and biological processes.</p>	<p>environmental values of the site.</p>
Management of impacts on matters of environmental significance		
<p>PO2</p> <p>Development is located, designed and constructed to avoid significant impacts on matters of environmental significance.</p>	<p>AO2</p> <p>The design and layout of development minimises adverse impacts on ecologically important areas by:</p> <p>(a) focusing development in cleared areas to protect existing habitat;</p>	<p>Complies AO2. The proposed is located within an existing cleared area of the site.</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<ul style="list-style-type: none"> (b) utilising design to consolidate density and preserve existing habitat and native vegetation; (c) aligning new property boundaries to maintain ecologically important areas; (d) ensuring that alterations to natural landforms, hydrology and drainage patterns on the development site do not negatively affect ecologically important areas; (e) ensuring that significant fauna habitats are protected in their environmental context; and (f) incorporating measures that allow for the safe movement of fauna through the site. 	
<p>PO3</p> <p>An adequate buffer to areas of state environmental significance is provided and maintained.</p>	<p>AO3.1</p> <p>A buffer for an area of state environmental significance (Wetland protection area) has a minimum width of:</p> <ul style="list-style-type: none"> (a) 100 metres where the area is located outside Urban areas; or (b) 50 metres where the area is located within a Urban areas. <p>or</p>	<p>Not applicable</p>

Performance outcomes	Acceptable outcomes	Applicant response
	<p>AO3.2</p> <p>A buffer for an area of state environmental significance is applied and maintained, the width of which is supported by an evaluation of environmental values, including the function and threats to matters of environmental significance.</p>	
<p>PO4</p> <p>Wetland and wetland buffer areas are maintained, protected and restored.</p> <p>Note – Wetland buffer areas are identified in AO3.1.</p>	<p>AO4.1</p> <p>Native vegetation within wetlands and wetland buffer areas is retained.</p> <p>AO4.2</p> <p>Degraded sections of wetlands and wetland buffer areas are revegetated with endemic native plants in patterns and densities which emulate the relevant regional ecosystem.</p>	Not applicable.
<p>PO5</p> <p>Development avoids the introduction of non-native pest species (plant or animal), that pose a risk to ecological integrity.</p>	<p>AO5.1</p> <p>Development avoids the introduction of non-native pest species.</p> <p>AO5.2</p> <p>The threat of existing pest species is controlled by adopting pest management practices for long-term ecological integrity.</p>	Can comply.
Ecological connectivity		
<p>PO6</p> <p>Development protects and enhances ecological</p>	<p>AO6.1</p> <p>Development retains native vegetation in areas large enough</p>	Complies AO6.1. The proposed is located within an existing cleared area of the site.

Performance outcomes	Acceptable outcomes	Applicant response
connectivity and/or habitat extent.	<p>to maintain ecological values, functions and processes.</p> <p>and</p> <p>AO6.2</p> <p>Development within an ecological corridor rehabilitates native vegetation.</p> <p>and</p> <p>AO6.3</p> <p>Development within a conservation corridor mitigates adverse impacts on native fauna, feeding, nesting, breeding and roosting sites and native fauna movements.</p>	
<p>PO7</p> <p>Development minimises disturbance to matters of state environmental significance (including existing ecological corridors).</p>	<p>AO7.1</p> <p>Development avoids shading of vegetation by setting back buildings by a distance equivalent to the height of the native vegetation.</p> <p>and</p> <p>AO7.2</p> <p>Development does not encroach within 10 metres of existing riparian vegetation and watercourses.</p>	<p>Complies PO7. The shed is to be located adjoining the dwelling house with a setback to the vegetation consistent with the existing built form of the site. There are no perceived ecological impacts.</p>
Waterways in an urban area		
PO8	AO8.1	Not applicable.

Performance outcomes	Acceptable outcomes	Applicant response
<p>Development is set back from waterways to protect and maintain:</p> <ul style="list-style-type: none"> (a) water quality; (b) hydrological functions; (c) ecological processes; (d) biodiversity values; (e) riparian and in-stream habitat values and connectivity; (f) in-stream migration 	<p>Where a waterway is contained within an easement or a reserve required for that purpose, development does not occur within the easement or reserve;</p> <p>or</p> <p>AO8.2</p> <p>Development does not occur on the part of the site affected by the waterway corridor.</p> <p>Note – Waterway corridors are identified within Error! Reference source not found..</p>	
Waterways in a non-urban area		
<p>PO9</p> <p>Development is set back from waterways to protect and maintain:</p> <ul style="list-style-type: none"> (a) water quality; (b) hydrological functions; (c) ecological processes; (d) biodiversity values; (e) riparian and in-stream habitat values and connectivity; (f) in-stream migration. 	<p>AO9</p> <p>Development does not occur on that part of the site affected by a waterway corridor.</p> <p>Note – Waterway corridors are identified within Error! Reference source not found..</p>	<p>Complies. The shed is sufficiently located from the watercourse on the property, which is separated by the existing dwelling on the allotment.</p>

DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Bec Muirhead
Contact name (only applicable for companies)	Ryan Bird C/- RAPID Building Approvals
Postal address (P.O. Box or street address)	Suite 7 2-4 Stanton Road
Suburb	Smithfield
State	QLD
Postcode	4878
Country	Australia
Contact number	1300 163 814
Email address (non-mandatory)	approvals@rapidapprovals.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	0686/25
1.1) Home-based business	
<input type="checkbox"/> Personal details to remain private in accordance with section 264(6) of <i>Planning Act 2016</i>	
2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input checked="" type="checkbox"/> No – proceed to 3)	

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		25	Ronald Road	Forest Creek
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	14	RP735854	Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- ☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
☒ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

<input type="checkbox"/> In or adjacent to a water body or watercourse or in or above an aquifer	
Name of water body, watercourse or aquifer:	
<input type="checkbox"/> On strategic port land under the <i>Transport Infrastructure Act 1994</i>	
Lot on plan description of strategic port land:	
Name of port authority for the lot:	
<input type="checkbox"/> In a tidal area	
Name of local government for the tidal area (if applicable):	
Name of port authority for tidal area (if applicable)	

<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>
Name of airport: <input type="text"/>
<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☒ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☒ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

Shed

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).

- ☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

- ☐ Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☒ Not required

6.4) Is the application for State facilitated development?

- ☐ Yes - Has a notice of declaration been given by the Minister?
- ☒ No

Section 2 – Further development details**7) Does the proposed development application involve any of the following?**

Material change of use	<input type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input checked="" type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)

8.2) Does the proposed use involve the use of existing buildings on the premises?

- ☐ Yes
- ☐ No

8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?

- ☐ Yes – provide details below or include details in a schedule to this development application
- ☐ No

Provide a general description of the temporary accepted development	Specify the stated period dates under the Planning Regulation

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

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9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

<input type="checkbox"/> Subdivision (complete 10)	<input type="checkbox"/> Dividing land into parts by agreement (complete 11)
<input type="checkbox"/> Boundary realignment (complete 12)	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13)

10) Subdivision**10.1) For this development, how many lots are being created and what is the intended use of those lots:**

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?

- ☐ Yes – provide additional details below
- ☐ No

How many stages will the works include?

What stage(s) will this development application apply to?

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment**12.1) What are the current and proposed areas for each lot comprising the premises?**

Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)

12.2) What is the reason for the boundary realignment?**13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement?**
(attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work**Note:** This division is only required to be completed if any part of the development application involves operational work.**14.1) What is the nature of the operational work?**

- | | | |
|--|-------------------------------------|--|
| <input type="checkbox"/> Road work | <input type="checkbox"/> Stormwater | <input type="checkbox"/> Water infrastructure |
| <input type="checkbox"/> Drainage work | <input type="checkbox"/> Earthworks | <input type="checkbox"/> Sewage infrastructure |
| <input type="checkbox"/> Landscaping | <input type="checkbox"/> Signage | <input type="checkbox"/> Clearing vegetation |
| <input type="checkbox"/> Other – please specify: _____ | | |

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)☐ Yes – specify number of new lots: _____☐ No

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Douglas Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

- ☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ SEQ northern inter-urban break – tourist activity or sport and recreation activity



Queensland
Government

- ☐ SEQ northern inter-urban break – community activity
- ☐ SEQ northern inter-urban break – indoor recreation
- ☐ SEQ northern inter-urban break – urban activity
- ☐ SEQ northern inter-urban break – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material *(from a watercourse or lake)*
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees *(category 3 levees only)*
- ☐ Wetland protection area

Matters requiring referral to the local government:

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) *(only if the ERA has been devolved to local government)*
- ☐ Heritage places – Local heritage places

Matters requiring referral to the Chief Executive of the distribution entity or transmission entity:

- ☐ Infrastructure-related referrals – Electricity infrastructure

Matters requiring referral to:

- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual
- ☐ Infrastructure-related referrals – Oil and gas infrastructure

Matters requiring referral to the Brisbane City Council:

- ☐ Ports – Brisbane core port land

Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994:

- ☐ Ports – Brisbane core port land *(where inconsistent with the Brisbane port LUP for transport reasons)*
- ☐ Ports – Strategic port land

Matters requiring referral to the relevant port operator, if applicant is not port operator:

- ☐ Ports – Land within Port of Brisbane's port limits *(below high-water mark)*

Matters requiring referral to the Chief Executive of the relevant port authority:

- ☐ Ports – Land within limits of another port *(below high-water mark)*

Matters requiring referral to the Gold Coast Waterways Authority:

- ☐ Tidal works or work in a coastal management district *(in Gold Coast waters)*

Matters requiring referral to the Queensland Fire and Emergency Service:

- ☐ Tidal works or work in a coastal management district *(involving a marina (more than six vessel berths))*

18) Has any referral agency provided a referral response for this development application?

- ☐ Yes – referral response(s) received and listed below are attached to this development application
- ☒ No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application *(if applicable)*.

PART 6 – INFORMATION REQUEST

19) Information request under the DA Rules

☒ I agree to receive an information request if determined necessary for this development application

☐ I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the [DA Forms Guide](#).

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

☐ Yes – provide details below or include details in a schedule to this development application

☒ No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

☐ Yes – a copy of the receipted QLeave form is attached to this development application

☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid

☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$\$ 0.00		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

☐ Yes – show cause or enforcement notice is attached

☒ No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
- ☒ No

Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- ☐ Yes – *Form 536: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application
- ☒ No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- ☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- ☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- ☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- ☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- ☐ Yes – the development application involves premises in the koala habitat area in the koala priority area
- ☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area
- ☒ No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.desi.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

- ☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development
- ☒ No

Note: Contact the Department of Resources at www.resources.qld.gov.au for further information.

DA templates are available from planning.statedevelopment.qld.gov.au. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

- ☐ Yes – the relevant template is completed and attached to this development application
- ☒ No

DA templates are available from planning.statedevelopment.qld.gov.au. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

- ☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*
- ☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake under the *Water Act 2000***?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

Note: Contact the Department of Resources at www.resources.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water under the *Coastal Protection and Management Act 1995***?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

Note: Contact the Department of Environment, Science and Innovation at www.desi.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application
- ☒ No

Note: See guidance materials at www.resources.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - ☐ A certificate of title

☒ No

Note: See guidance materials at www.desi.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

☐ Yes – details of the heritage place are provided in the table below

☒ No

Note: See guidance materials at www.desi.qld.gov.au for information requirements regarding development of Queensland heritage places.

For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at www.planning.statedevelopment.qld.gov.au for information regarding assessment of Queensland heritage places.

Name of the heritage place:	Place ID:
-----------------------------	-----------

Decision under section 62 of the Transport Infrastructure Act 1994

23.14) Does this development application involve new or changed access to a state-controlled road?

☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

☒ No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

Note: See guidance materials at www.planning.statedevelopment.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes

Note: See the *Planning Regulation 2017* for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

☒ Yes

☐ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

☒ Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

☐ Yes

☒ Not applicable

25) Applicant declaration

- ☒ By making this development application, I declare that all information in this development application is true and correct
- ☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	Shed		
QLeave project number			
Amount paid (\$)	\$ 0.00	Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager	02/27/2025		
Name of officer who sighted the form	Ryan Bird		

DA Form 2 – Building work details

Approved form (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving building work**.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use *DA Form 1 – Development application details* and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Glen Ives C/- Rapid Building Approvals
Contact name (only applicable for companies)	Ryan Bird
Postal address (PO Box or street address)	506 Old Port Road
Suburb	Craiglie
State	QLD
Postcode	4877
Country	
Contact number	
Email address (non-mandatory)	glen.ives1@gmail.com
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	0686/25

PART 2 – LOCATION DETAILS

2) Location of the premises (complete 2.1 and 2.2 if applicable)			
Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans .			
2.1) Street address and lot on plan			
<input checked="" type="checkbox"/> Street address AND lot on plan (all lots must be listed), or			
<input type="checkbox"/> Street address AND lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).			
Unit No.	Street No.	Street Name and Type	Suburb
	25	Ronald Road	Forest Creek

Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
4873	14	RP735854	Douglas Shire Council

2.2) Additional premises

☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application

☒ Not required

3) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the [DA Forms Guide](#)

☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application

☒ No

PART 3 – FURTHER DETAILS

4) Is the application only for building work assessable against the building assessment provisions?

☐ Yes – proceed to 8)

☒ No

5) Identify the assessment manager(s) who will be assessing this development application

Douglas Shire Council

6) Has the local government agreed to apply a superseded planning scheme for this development application?

☐ Yes – a copy of the decision notice is attached to this development application

☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached

☒ No

7) Information request under Part 3 of the DA Rules

☒ I agree to receive an information request if determined necessary for this development application

☐ I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

8) Are there any associated development applications or current approvals?

☐ Yes – provide details below or include details in a schedule to this development application

☒ No

List of approval/development application	Reference	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

9) Has the portable long service leave levy been paid?

☐ Yes – a copy of the receipted QLeave form is attached to this development application

<input type="checkbox"/> No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid <input checked="" type="checkbox"/> Not applicable (<i>e.g. building and construction work is less than \$150,000 excluding GST</i>)		
Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$ 0.00		
10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?		
<input type="checkbox"/> Yes – show cause or enforcement notice is attached <input checked="" type="checkbox"/> No		

11) Identify any of the following further legislative requirements that apply to any aspect of this development application			
<input type="checkbox"/> The proposed development is on a place entered in the Queensland Heritage Register or in a local government's Local Heritage Register . See the guidance provided at www.des.qld.gov.au about the requirements in relation to the development of a Queensland heritage place			
Name of the heritage place:		Place ID:	

PART 4 – REFERRAL DETAILS

12) Does this development application include any building work aspects that have any referral requirements?
<input type="checkbox"/> Yes – the <i>Referral checklist for building work</i> is attached to this development application <input checked="" type="checkbox"/> No – proceed to Part 5

13) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application <input checked="" type="checkbox"/> No		
Referral requirement	Referral agency	Date referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (<i>if applicable</i>)		

PART 5 – BUILDING WORK DETAILS

14) Owner's details	
<input type="checkbox"/> Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.	
Name(s) (<i>individual or company full name</i>)	
Contact name (<i>applicable for companies</i>)	Bec Muirhead
Postal address (<i>P.O. Box or street address</i>)	25 Ronald Road
Suburb	Forest Creek
State	QLD
Postcode	4873
Country	
Contact number	
Email address (<i>non-mandatory</i>)	accounts@bandrac.com.au

Mobile number <i>(non-mandatory)</i>	0409390196		
Fax number <i>(non-mandatory)</i>			
15) Builder's details			
<input type="checkbox"/> Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.			
Name(s) <i>(individual or company full name)</i>			
Contact name <i>(applicable for companies)</i>	Glen Ives		
QBCC licence or owner – builder number			
Postal address <i>(P.O. Box or street address)</i>	506 Old Port Road		
Suburb	Craiglie		
State	QLD		
Postcode	4877		
Contact number			
Email address <i>(non-mandatory)</i>	glen.ives1@gmail.com		
Mobile number <i>(non-mandatory)</i>			
Fax number <i>(non-mandatory)</i>			
16) Provide details about the proposed building work			
What type of approval is being sought?			
<input checked="" type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval			
b) What is the level of assessment?			
<input checked="" type="checkbox"/> Code assessment <input type="checkbox"/> Impact assessment <i>(requires public notification)</i>			
c) Nature of the proposed building work (tick all applicable boxes)			
<input checked="" type="checkbox"/> New building or structure <input type="checkbox"/> Change of building classification <i>(involving building work)</i> <input type="checkbox"/> Extension <input type="checkbox"/> Demolition <input type="checkbox"/> Construction of swimming pool or spa barrier		<input type="checkbox"/> Repairs, alterations or additions <input type="checkbox"/> Construction of Swimming pool or spa <input type="checkbox"/> Re-erection <input type="checkbox"/> Relocation or removal <input type="checkbox"/> Other	
d) Provide a description of the work below or in an attached schedule.			
Shed			
e) Proposed construction materials			
External walls	<input type="checkbox"/> Double Brick	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick Veener	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input checked="" type="checkbox"/> Concrete/Stone/Slate	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Concrete/Stone/Slate	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Other
f) Existing building use/classification? <i>(if applicable)</i>			
Dwelling House			
g) New building use/classification? <i>(if applicable)</i>			

10a
h) Relevant plans Note: <i>Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>
<input checked="" type="checkbox"/> Relevant plans of the proposed works are attached to the development application
17) What is the monetary value of the proposed building work?
\$99,734.00

18) Has Queensland Home Warranty Scheme Insurance been paid?		
<input checked="" type="checkbox"/> Yes – provide details below		
<input type="checkbox"/> No		
Amount paid	Date paid (dd/mm/yy)	Reference number
\$892.65	26/02/25	14908151

PART 6 – CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist	
The relevant parts of <i>Form 2 – Building work details</i> have been completed	<input checked="" type="checkbox"/> Yes
This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not applicable
Relevant plans of the development are attached to this development application Note: <i>Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (<i>see 9</i>)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable

20) Applicant declaration
<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct <input checked="" type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i> Note: <i>It is unlawful to intentionally provide false or misleading information.</i>
<p>Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i>, Planning Regulation 2017 and the DA Rules except where:</p> <ul style="list-style-type: none"> such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the Planning Regulation 2017, and the access rules made under the <i>Planning Act 2016</i> and Planning Regulation 2017; or required by other legislation (including the <i>Right to Information Act 2009</i>); or otherwise required by law. <p>This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i>.</p>

PART 7 – FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference numbers:

For completion by the building certifier

Classification(s) of approved building work

10a

Name	QBCC Certification Licence number	QBCC Insurance receipt number
Ryan Bird	A15019600	14908151

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

Additional information required by the local government

Confirm proposed construction materials:

External walls	<input type="checkbox"/> Double brick <input type="checkbox"/> Brick veneer <input type="checkbox"/> Stone/concrete	<input checked="" type="checkbox"/> Steel <input type="checkbox"/> Timber <input type="checkbox"/> Fibre cement	<input type="checkbox"/> Curtain glass <input type="checkbox"/> Aluminium <input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber <input type="checkbox"/> Other	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
Floor	<input checked="" type="checkbox"/> Concrete/Stone/Slate	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Concrete/Stone/Slate <input type="checkbox"/> Aluminium	<input type="checkbox"/> Tiles <input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Fibre cement <input type="checkbox"/> Other

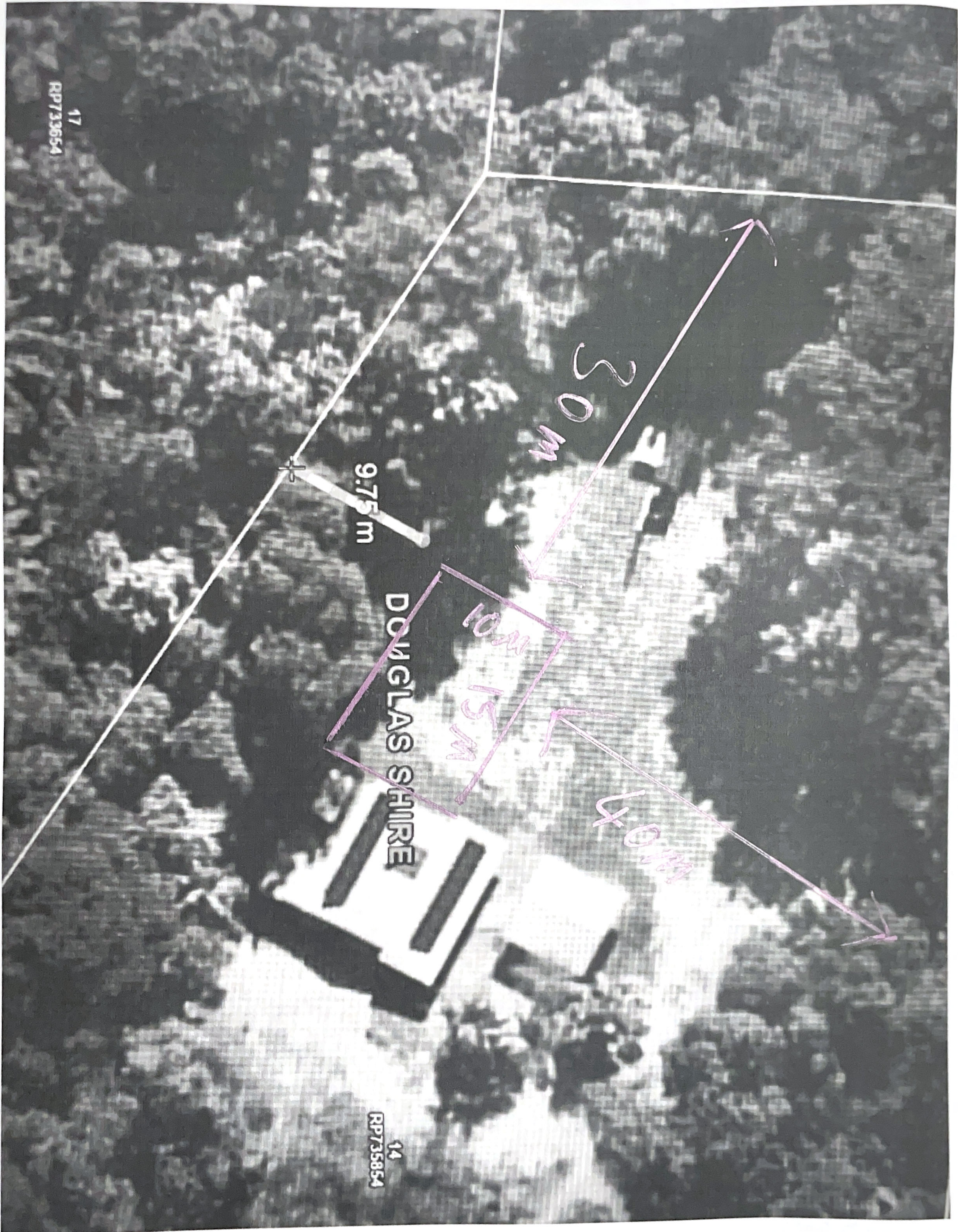
QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work		Shed	
QLeave project number			
Amount paid (\$)	0.0000	Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form		Ryan Bird	

Additional building details required for the Australian Bureau of Statistics

Existing building use/classification? (if applicable)		Dwelling House	
New building use/classification?		10a	
Site area (m ²)	20,020m2	Floor area (m ²)	150m2

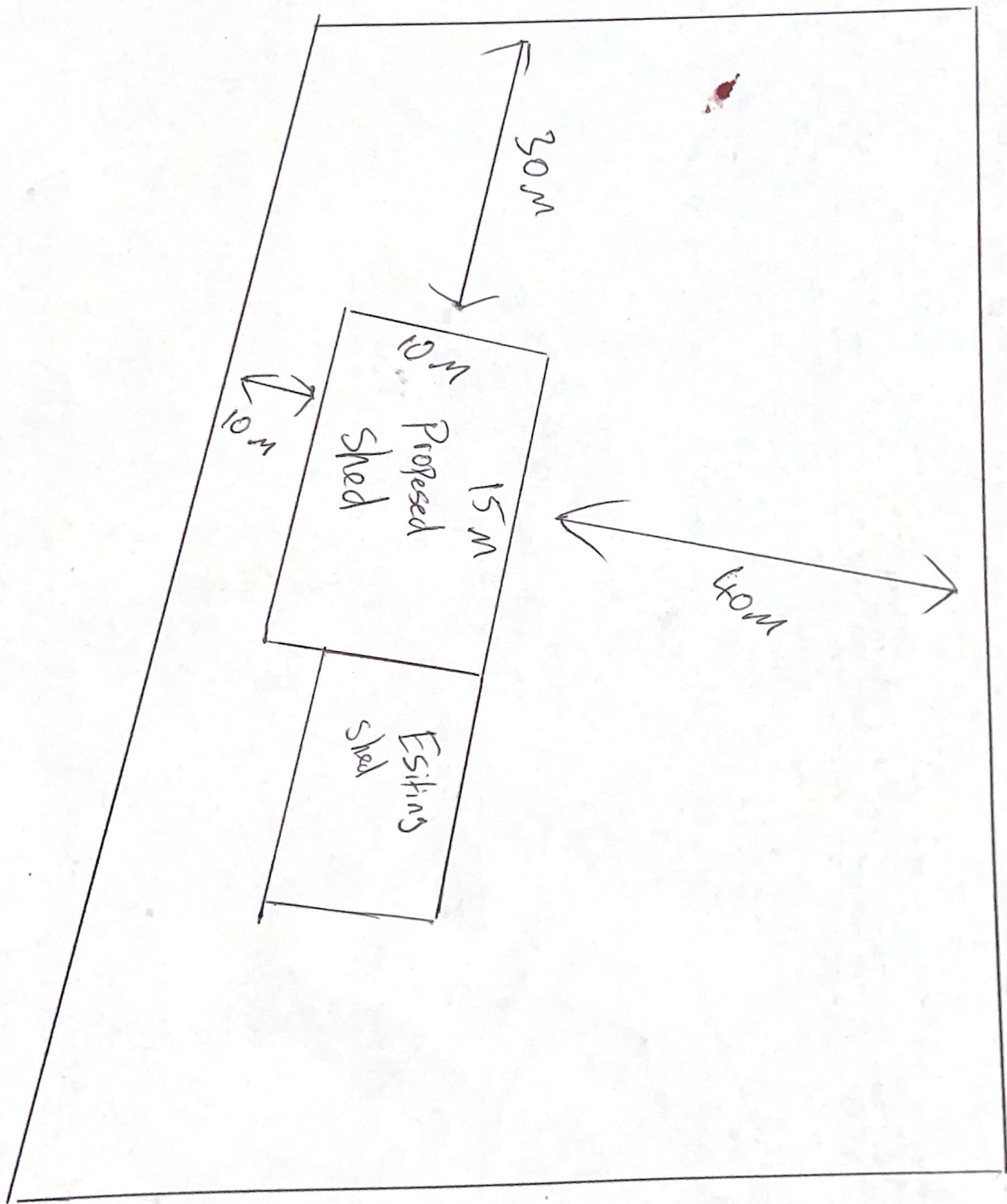


17
RP733654

9.75 m

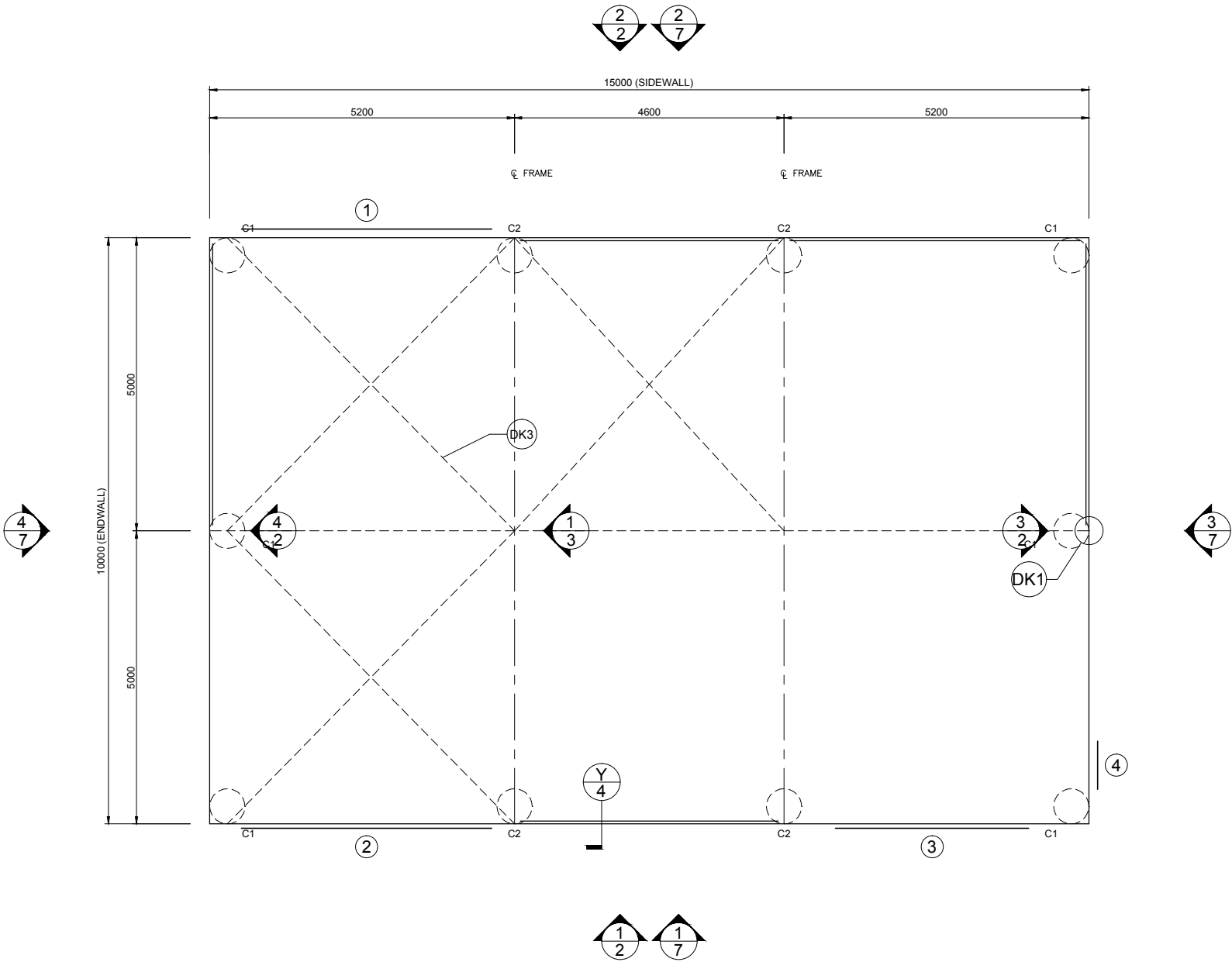
DOUGLAS SHIRE

14
RP735854



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IF IN DOUBT, ASK.



1 FOUNDATION PLAN AND MEMBER LAYOUT
SCALE: 1 = 100

ROOF STRAP BRACING TO BE CONNECTED TO THE PURLIN CLOSEST TO THE LINE OF THE END WALL MULLION
ROOF STRAP BRACING CAN BE PLACED FROM EITHER END OF THE BUILDING PROVIDING THE STRAP PATTERN REMAINS AS PER PLANS

MEMBER LEGEND

C1	C30024
C2	2C30024

1 OF 7
SHEET
JOB NO. EDMT 100630
DATE 14/2/2025
CHECKED TM
DRAWN FDB

STEEL BUILDING BY (CONTACT)
CARDINAL ROOFING AND SHEDS
0742319696
GLEN IVES
25 RONALD RD
FOREST CREEK



FAIR DINKUM BUILDS



NORTHERN CONSULTING engineers

Civil & Structural Engineers
50 Punari Street
Currajong, Qld 4812
Fax: 07 4725 5850
Email: design@nceng.com.au
ABN 341 008 173 56

Registered Chartered Professional Engineer
Registered Professional Engineer (Civil & Structural) QLD
Registered Certifying Engineer (Structural) N.T.
Registered Engineer - (Civil) VIC
Registered Engineer - (Civil) TAS

Regn. No. 2558980
Regn. No. 9985
Regn. No. 116373ES
Regn. No. PE0002216
Regn. No. CC5648M

Mr Timothy Roy Messer BE MIEAust RPEQ

Signature *T. Messer*

Date 14/2/2025
Registered on the NPER in the areas of practice
of Civil & Structural National Professional
Engineers Register

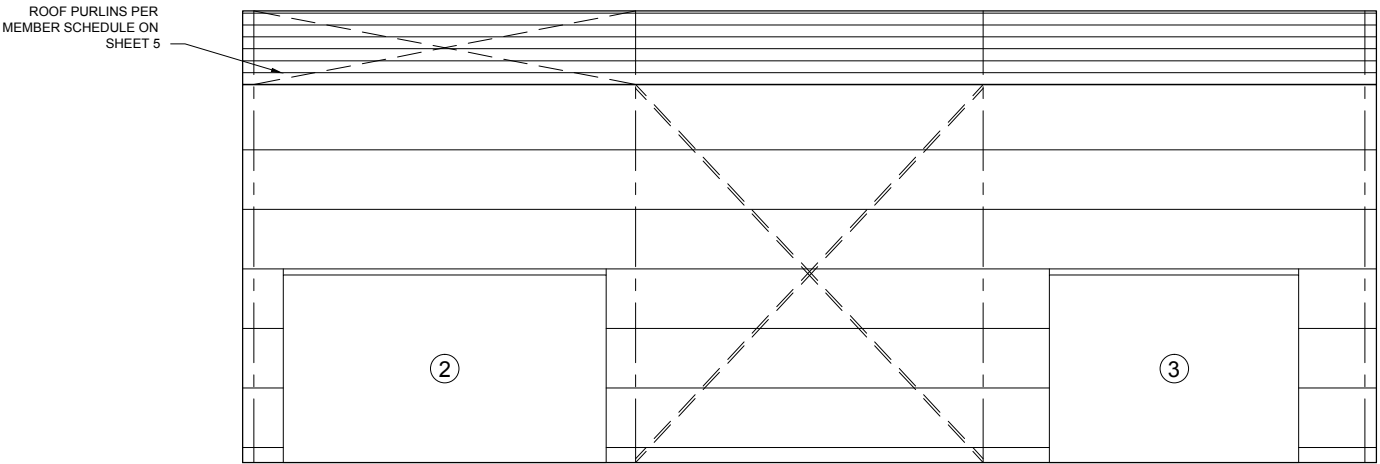
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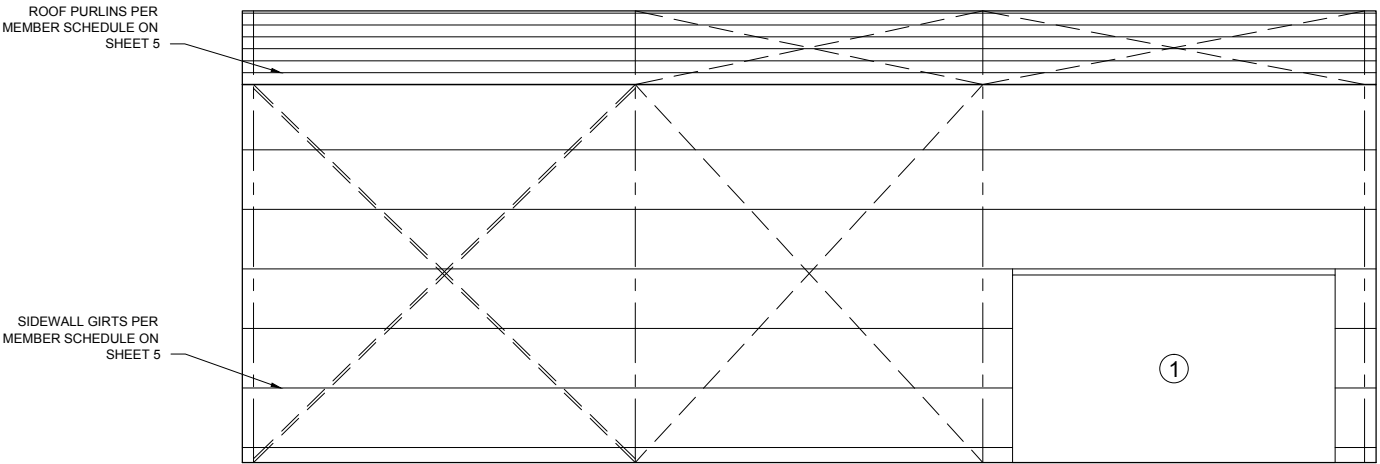


Please review prior
to commencing
your build

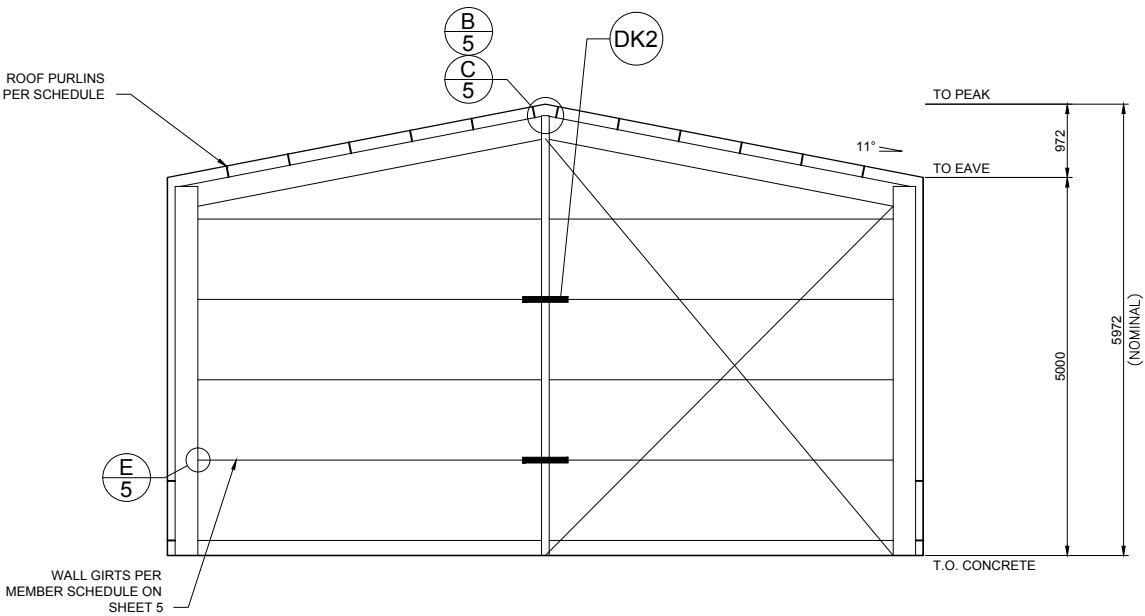
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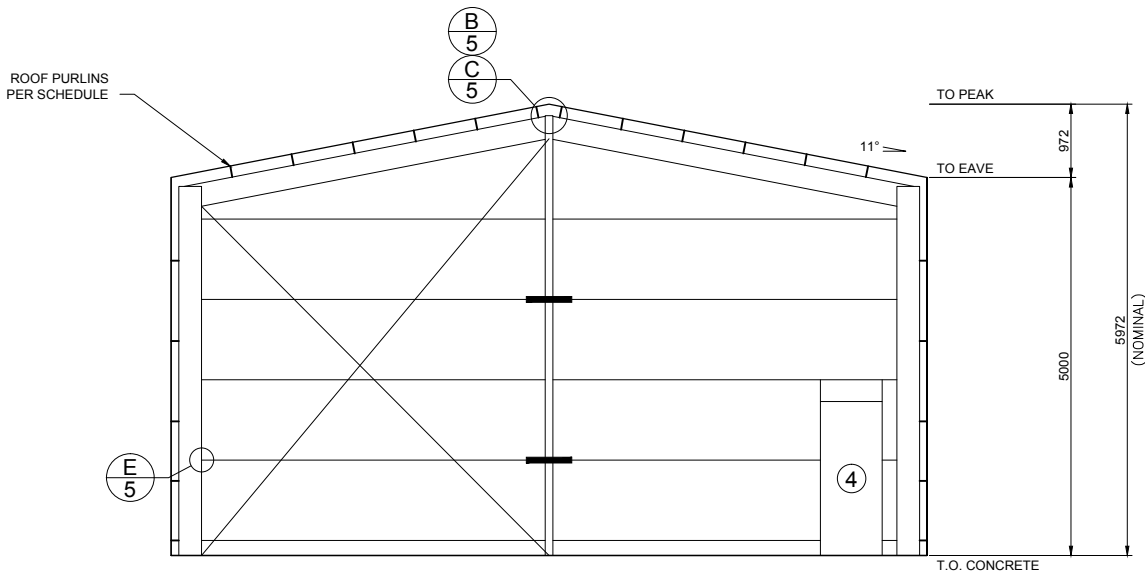
1 SIDEWALL EXTERIOR ELEVATION
SCALE: 1 = 100



2 SIDEWALL EXTERIOR ELEVATION
SCALE: 1 = 100



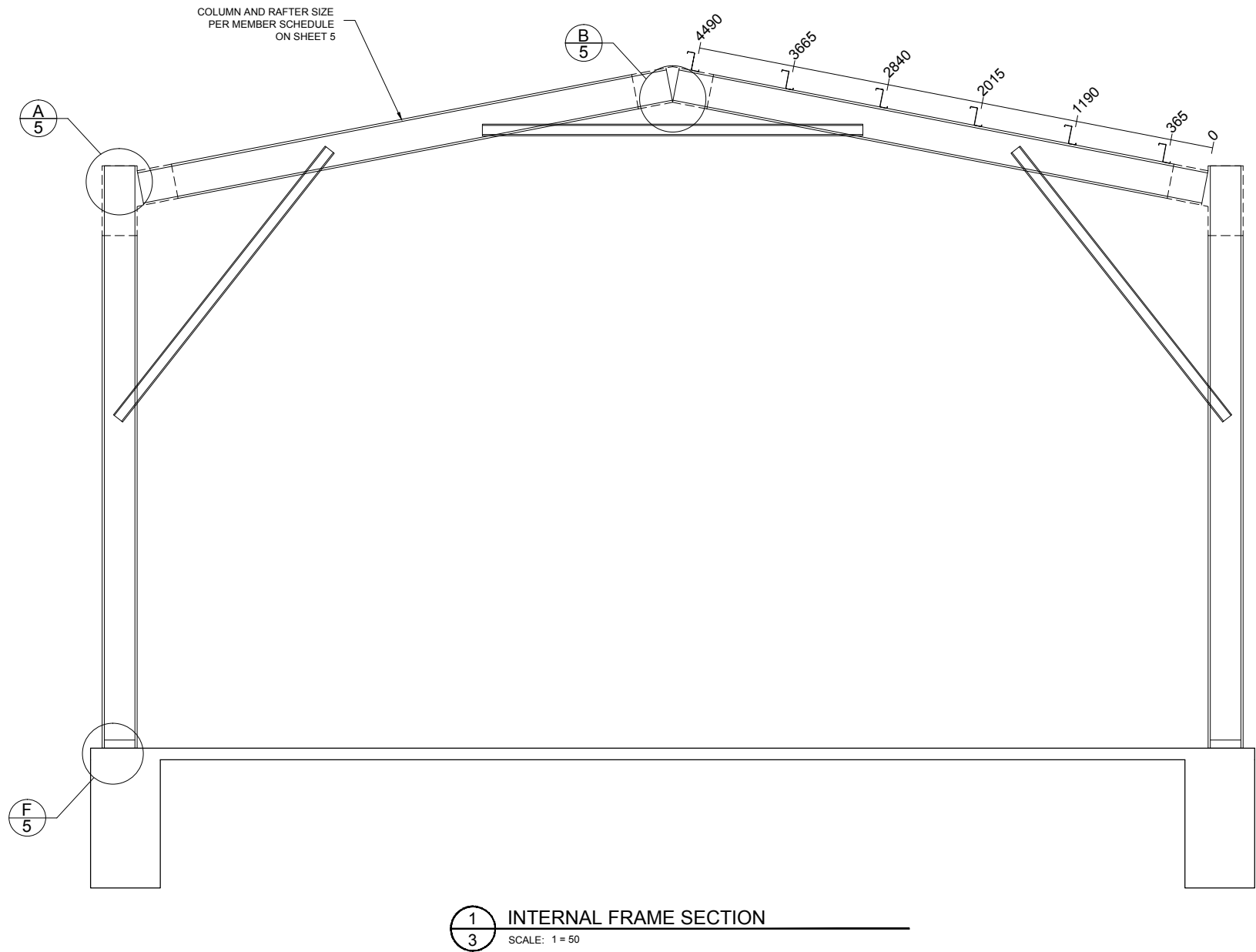
4 ENDWALL INTERIOR ELEVATION
SCALE: 1 = 100



3 ENDWALL INTERIOR ELEVATION
SCALE: 1 = 100

X BRACING IS REQUIRED IN 3 SIDE BAYS, 2 END BAYS, 3 ROOF BAYS.
SEE LAYOUT OR PLANS FOR PLACEMENT. FLY BRACING IS INCLUDED TO BE PLACED ON EVERY SECOND PURLIN AND GIRT ON ENDWALL MULLIONS, INTERNAL COLUMNS AND INTERNAL RAFTERS.

2 OF 7	SHEET	JOB NO. EDMT 100630	DATE 14/2/2025	CHECKED TM	DRAWN FDB	STEEL BUILDING BY	(CONTACT)	FOR	AT
						CARDINAL ROOFING AND SHEDS	GLEN IVES		
							0742319696		
							25 RONALD RD		
							FOREST CREEK		
							SHED SAFE		
							FAIR DINKUM BUILDS		
							NORTHERN CONSULTING engineers		
							Civil & Structural Engineers 50 Punari Street Currajong, Qld 4812 Fax: 07 4725 5850 Email: design@nceng.com.au ABN 341 008 173 56		
							Registered Chartered Professional Engineer Registered Professional Engineer (Civil & Structural) QLD Registered Certifying Engineer (Structural) N.T. Registered Engineer - (Civil) VIC Registered Engineer - (Civil) TAS		
							Regn. No. 2558980 Regn. No. 9985 Regn. No. 116373ES Regn. No. PE0002216 Regn. No. CC5648M		
							Mr Timothy Roy Messer BE MIEAust RPEQ		
							Signature		
							Date		
							Registered on the NPER in the areas of practice of Civil & Structural National Professional Engineers Register		



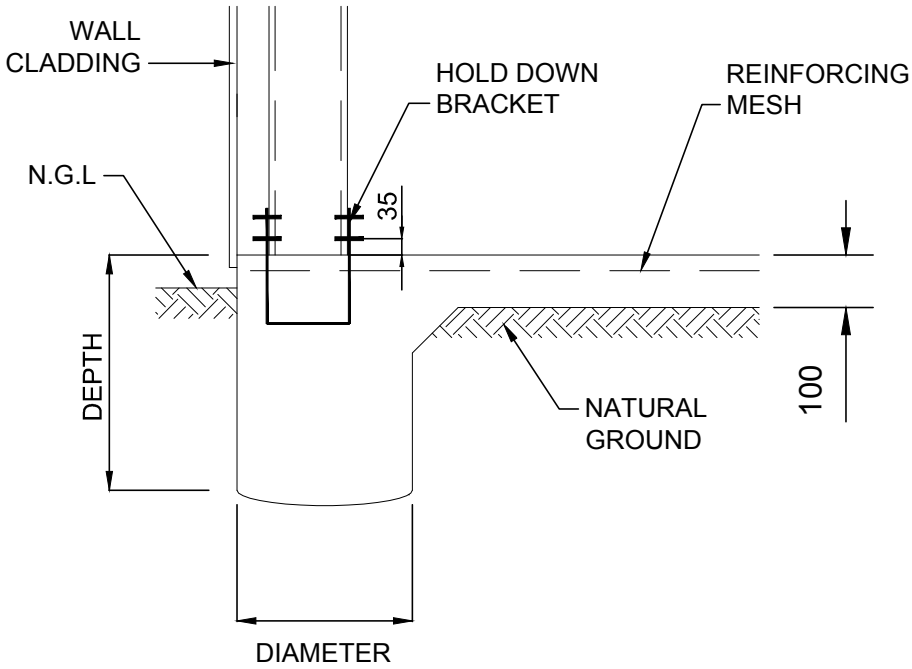
Refer to Sheet #4 for concrete specification.

3 OF 7	SHEET	JOB NO. EDMT 100630	DATE 14/2/2025	CHECKED TM	DRAWN FDB	STEEL BUILDING BY	(CONTACT)	CARDINAL ROOFING AND SHEDS 0742319696 GLEN IVES 25 RONALD RD FOREST CREEK				Civil & Structural Engineers 50 Punari Street Currajong, Qld 4812 Fax: 07 4725 5850 Email: design@nceng.com.au ABN 341 008 173 56	Mr Timothy Roy Messer BE MIEAust RPEQ
						FOR	AT					Registered Chartered Professional Engineer Registered Professional Engineer (Civil & Structural) QLD Registered Certifying Engineer (Structural) N.T. Registered Engineer - (Civil) VIC Registered Engineer - (Civil) TAS	Regn. No. 2558980 Regn. No. 9985 Regn. No. 116373ES Regn. No. PE0002216 Regn. No. CC5648M

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STRUCTURAL GENERAL NOTES

1. **GOVERNING CODE** : NATIONAL CONSTRUCTION CODE (NCC), LOADING TO AS1170 - ALL SECTIONS. BUILDING SUITABLE AS EITHER A PRIVATE GARAGE CLASS 10a, OR A FARM SHED (CLASS 7 OR 8), UNLESS OTHERWISE SPECIFICALLY NOTED. FOR USE AS A FARM SHED, IT MUST MEET THE FOLLOWING REQUIREMENTS:
- BE LESS THAN 2000 SQM IN AREA (INCLUSIVE OF ANY MEZZANINE FLOOR AREA).
- MUST BE LOCATED ON A FARM AND USED IN CONNECTION WITH FARMING PURPOSES.
- BUILDING IS NOT TO BE OCCUPIED FREQUENTLY NOR FOR EXTENDED PERIODS BY PEOPLE, WITH A MAXIMUM OF 1 PERSON PER 200 SQM OR 2 PERSONS MAXIMUM IN TOTAL WHICHEVER IS THE LESSER.
2. **DRAWING OWNERSHIP** : THESE DRAWINGS REMAIN THE PROPERTY OF FBHS (AUST) PTY LIMITED. ENGINEERING SIGNATURE AND CERTIFICATION IS ONLY VALID WHEN BUILDING IS SUPPLIED BY A DISTRIBUTOR OF FBHS. DRAWINGS ARE PROVIDED FOR THE DUAL PURPOSE OF OBTAINING BUILDING PERMITS AND AIDING CONSTRUCTION. ANY OTHER USE OR REPRODUCTION IS PROHIBITED WITHOUT WRITTEN APPROVAL FROM FBHS.
3. **DRAWING SIGNATURE REQUIREMENTS** : THESE DRAWINGS ARE NOT VALID UNLESS SIGNED BY THE ENGINEER. THE ENGINEER ACCEPTS NO LIABILITY OR RESPONSIBILITY FOR DRAWINGS WITHOUT A SIGNATURE. EACH TITLE BLOCK CONTAINS A WATER MARK UNDER THE CUSTOMERS NAME CONTAINING THE DATE OF PRODUCTION OF THE DRAWINGS; THE DRAWINGS ARE TO BE SUBMITTED TO COUNCIL WITHIN 21 DAYS OF THIS DATE. THIS IS TO ENSURE THAT ONLY CURRENT DRAWINGS ARE IN CIRCULATION.
4. **CONTRACTOR RESPONSIBILITIES** : CERTIFIER AND CONTRACTOR TO CONFIRM [ON SITE] THAT THE WIND LOADINGS APPLIED TO THIS DESIGN ARE TRUE AND CORRECT FOR THE ADDRESS STATED IN THE TITLE BLOCK. CONTRACTOR SHALL VERIFY AND CONFIRM ALL EXISTING CONDITIONS AND DIMENSIONS. ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS PRIOR TO START OF WORK. CONTRACTOR MUST NOT MAKE ANY DEVIATION FROM THE PROVIDED PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM ONE THE UNDERSIGNING ENGINEERS. THE ENGINEER / FBHS TAKE NO RESPONSIBILITY FOR CHANGES MADE WITHOUT WRITTEN APPROVAL. CONTRACTOR IS RESPONSIBLE FOR ENSURING NO PART OF THE STRUCTURE BECOMES OVERSTRESSED DURING CONSTRUCTION. BUILDING IS NOT STRUCTURALLY ADEQUATE UNTIL THE INSTALLATION OF ALL COMPONENTS AND DETAILS SHOWN IS COMPLETED IN ACCORDANCE WITH THESE DRAWINGS. THE INDICATED DRAWING SCALES ARE APPROXIMATE. DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES. FOR FURTHER DIRECTIONS ON CONSTRUCTION THE CONTRACTOR SHOULD CONSULT THE APPROPRIATE INSTRUCTION MANUAL.
5. **ENGINEERING** : THE ENGINEER / FBHS ARE NOT ACTING AS PROJECT MANAGERS FOR THIS DEVELOPMENT, AND WILL NOT BE PRESENT DURING CONSTRUCTION. THE UNDERSIGNING ENGINEERS HAVE REVIEWED THIS BUILDING FOR CONFORMITY ONLY TO THE STRUCTURAL DESIGN PORTIONS OF THE GOVERNING CODE. THE PROJECT MANAGER IS RESPONSIBLE FOR ADDRESSING ANY OTHER CODE REQUIREMENTS APPLICABLE TO THIS DEVELOPMENT. THESE DOCUMENTS ARE STAMPED ONLY AS TO THE COMPONENTS SUPPLIED BY FBHS. IT IS THE RESPONSIBILITY OF THE PURCHASER TO COORDINATE DRAWINGS PROVIDED BY FBHS WITH OTHER PLANS AND/OR OTHER COMPONENTS THAT ARE PART OF THE OVERALL PROJECT. IN CASES OF DISCREPANCIES, THE LATEST DRAWINGS PROVIDED BY FBHS SHALL GOVERN. NO ALTERATIONS TO THIS STRUCTURE (INCLUDING REMOVAL OF CLADDING) ARE TO BE UNDERTAKEN WITHOUT THE CONSENT OF THE CERTIFYING ENGINEER. OPENINGS SUCH AS WINDOWS AND DOORS NEED TO BE INSTALLED AS PER THE PRODUCT MANUFACTURER'S INFORMATION/DETAILS. THE BUILDING IS DESIGNED AS A STAND-ALONE BUILDING, NOT RELYING ON ANY ADJACENT BUILDING. IF THE PERMANENT OPENING IS OBSTRUCTED BY ANY ADJACENT BUILDING AND WITHIN A DISTANCE OF 0.5M OF SAID OPENING, THE DESIGN SHOULD BE REFERRED TO THE DESIGN ENGINEER FOR REVIEW OF INTERNAL PRESSURES AND POSSIBLE REDESIGN.
6. **INSPECTIONS** : NO SPECIAL INSPECTIONS ARE REQUIRED BY THE GOVERNING CODE ON THIS JOB. ANY OTHER INSPECTIONS REQUESTED BY THE LOCAL BUILDING DEPARTMENT SHALL BE CONDUCTED AT THE OWNER'S EXPENSE.
7. **SOIL REQUIREMENTS** : SITE CLASSIFICATION TO BE A, S OR M ONLY. SOIL SAFE BEARING CAPACITY VALUE INDICATED ON DRAWING SHEET 4 OCCURS AT 100mm BELOW FINISH GRADE, EXISTING NATURAL GRADE, OR AT FROST DEPTH SPECIFIED BY LOCAL BUILDING DEPARTMENT, WHICHEVER IS THE LOWEST ELEVATION. REGARDLESS OF DETAIL Y ON SHEET 4 THE MINIMUM FOUNDATION DEPTH SHOULD BE 100MM INTO NATURAL GROUND OR BELOW FROST DEPTH SPECIFIED BY LOCAL COUNCIL. ROLLED OR COMPACTED FILL MAY BE USED UNDER SLAB, COMPACTED IN 150mm LAYERS TO A MAXIMUM DEPTH OF 900mm. CONCRETE FOUNDATION EMBEDMENT DEPTHS DO NOT APPLY TO LOCATIONS WHERE ANY UNCOMPACTED FILL OR DISTURBED GROUND EXISTS OR WHERE WALLS OF THE EXCAVATION WILL NOT STAND WITHOUT SUPPLEMENTAL SUPPORT, IN THIS CASE SEEK FURTHER ENGINEERING ADVICE.
8. **CLASS 10a or Class 7 FOOTING DESIGNS**: THE FOUNDATION DOCUMENTED IS ALSO APPROPRIATE FOR CLASS 10a or CLASS 7 BUILDING DESIGNS ON 'M-D', 'H', 'H-D' OR 'E' CLASS SOILS, IF TOTAL SLAB AREA IS UNDER 100m SQUARE AND THE MAXIMUM SLAB DIMENSION (LENGTH AND WIDTH) IS LESS THAN OR EQUAL TO 12m. PLEASE BE AWARE THAT THE SLAB DESIGN FOR H & E CLASS SOILS IN THESE INSTANCES ARE DESIGNED TO EXPERIENCE SOME CRACKING. THIS CRACKING IS NOT CONSIDERED A STRUCTURAL FLAW OR DESIGN ISSUE, AND IS SIMPLY COSMETIC IN NATURE. IF THIS IS A CONCERN TO THE CLIENT IT IS ADVISED THEY DISCUSS OTHER OPTIONS WITH THE RELEVANT DISTRIBUTOR PRIOR TO THE POURING OF THE SLAB.
9. **CONCRETE REQUIREMENTS** : ALL CONCRETE DETAILS AND PLACEMENT SHALL BE PERFORMED IN ACCORDANCE WITH AS2870 AND AS3600. CONCRETE SHALL HAVE A MIN. 28-DAY STRENGTH OF 20MPa FOR EXPOSURE A1, 25MPa FOR EXPOSURE A2, 32MPa FOR EXPOSURE B1, 40MPa FOR EXPOSURE B2 AND 50MPa FOR EXPOSURE C, IN ACCORDANCE WITH SECTION 4, AS3600. CEMENT TO BE TYPE A. MAX AGGREGATE SIZE OF 20mm. SLUMP TO BE 80mm +/-15mm. SLABS TO BE CURED FOR 7 DAYS BY WATERING OR COVERING WITH A PLASTIC MEMBRANE, AFTER WHICH CONSTRUCTION CAN BEGIN, DUE CARE GIVEN NOT TO OVER-TIGHTEN HOLD DOWN BOLTS. GIVEN ALLOWABLE SOIL TYPES 1 LAYER OF SL7/2 REINFORCING MESH IS TO BE INSTALLED ON STANDARD SLABS WITH A MINIMUM 30MM COVER FROM CONCRETE SURFACE. CONCRETE REINFORCING TO CONFORM TO AS 1302, AS1303 & AS 1304. ALL REINFORCING COVER TO BE A MINIMUM OF 30mm.
10. **STRUCTURAL STEEL REQUIREMENTS** : ALL STRUCTURAL STEEL, INCLUDING SHEETING THOUGH EXCLUDING CONCRETE REINFORCING, SHALL CONFORM TO AS 1397 (GAUGE <= 1mm fy = 550MPa, GAUGE > 1mm < 1.5mm fy = 500MPa, GAUGE >= 1.5mm fy = 450MPa). NO WELDING IS TO BE PERFORMED ON THIS BUILDING. ALL STRUCTURAL MEMBERS AND CONNECTIONS DESIGNED TO AS4600. ALL BOLT HOLE DIAMETERS TO STRAMIT GENERAL PUNCHINGS.
11. **FOOT TRAFFIC** : FOR ERECTION AND MAINTENANCE PLEASE NOTE THE FOLLOWING DEFINED FOOT TRAFFIC ZONES:
- CORRUGATED: WALK ONLY WITHIN 200MM OF SCREW LINES. FEET SPREAD OVER AT LEAST TWO RIBS.
- MONOCLAD: WALK ONLY IN PANS, OR ON RIBS AT SCREW LINES.



600 x 1200
Diameter x Depth (mm)

N.G.L - NATURAL GROUND LINE

Y	BORED LOCAL THICKENING DETAIL	DWG NO. SBOHDB
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PROJECT DESIGN CRITERIA

ROOF LIVE LOAD: 0.25 kPa
BASIC WIND SPEED: VR 65.4 m/s
PRIMARY SITE WIND SPEED: VsitB 51.8 m/s
SECONDARY WIND SPEED: VsitB 57.6 m/s
WIND REGION: Reg C
TOPOGRAPHY FACTOR, Mt: 1.01
SHIELDING FACTOR, Ms: 1
MAX GROUND SNOW LOAD: N/A
MAX ROOF SNOW LOAD: N/A
SITE ALTITUDE: N/A
TERRAIN CATEGORY: TCat 3
SOIL SAFE BEARING CAPACITY: 100 kPa
RETURN PERIOD: 1:500
LIMITING CPI 1: -0.64
LIMITING CPI 2: 0.73
IMPORTANCE LEVEL: 2

NOTES:
PRIMARY SITE WIND SPEED FOR THE DESIGN OF FRAME MEMBERS (MD = 0.9)
SECONDARY SITE WIND SPEED FOR THE DESIGN OF SHEETING, PURLIN & GIRTS (MD = 1)

DETAIL KEYS

- DK1
- ENDWALL VERTICAL MULLION (SEE DETAIL C/5 FOR TOP CONN. AND F/5 FOR BASE CONN.)
- DK2
- FLYBRACING PER DETAIL L/5
- DK3
- X-BRACING IN ROOF ABOVE (SEE DETAIL A/6)
- DK4
- DOUBLE X-BRACING IN ROOF ABOVE (SEE DETAIL A/6)

SCHEDULE OF OPENINGS

DOOR	OPENING WIDTH	SIZE MAX HEIGHT	OPENING TYPE	HEADER GIRT	OPENING JAMBS	WIND RATED
1	4270	2480*	2.50H X 4.37 CB DIRECT DRIVE *SERIES B	SINGLE	Z30024P	YES
2	4270	2480*	2.50H X 4.37 CB DIRECT DRIVE *SERIES B	SINGLE	Z30024P	YES
3	3300	2480*	2.50H X 3.46 CB DIRECT DRIVE *SERIES B	SINGLE	Z30024P	YES
4	820	2040	EXTERNAL PA DOOR	SINGLE		NO

NOTES: 1) SEE SHEET 5 FOR DOOR OPENING FRAMING INFORMATION.
2) ALL DOOR SCHEDULE MEASUREMENTS ARE ACTUAL DOOR/WINDOW SIZE NOT OPENING SIZE.

* ROLLER DOOR OPENING HEIGHT DEPENDENT ON FINAL BUILD LOCATION.

4 OF 7	SHEET	JOB NO. EDMT 100630	DATE 14/2/2025	CHECKED TM	DRAWN FDB
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STEEL BUILDING BY

(CONTACT)

CARDINAL ROOFING AND SHEDS
0742319696
GLEN IVES
25 RONALD RD
FOREST CREEK

FOR

AT



Civil & Structural Engineers
50 Punari Street
Currajong, Qld 4812
Fax: 07 4725 5850
Email: design@nceng.com.au
ABN 341 008 173 56

Registered Chartered Professional Engineer
Registered Professional Engineer (Civil & Structural) QLD
Registered Certifying Engineer (Structural) N.T.
Registered Engineer - (Civil) VIC
Registered Engineer - (Civil) TAS

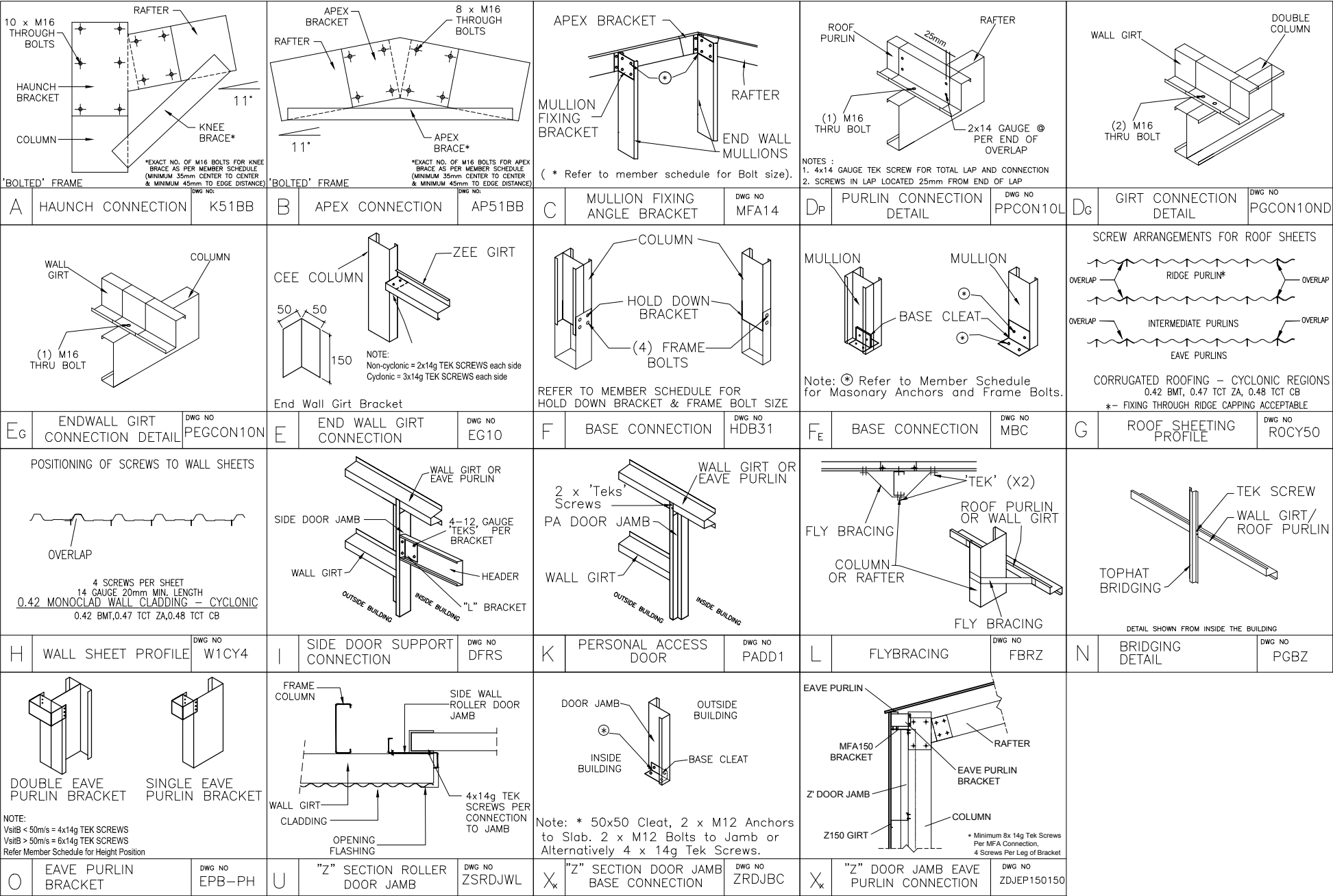
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Regn. No. 9985
Regn. No. 116373ES
Regn. No. PE0002216
Regn. No. CC5648M

Mr Timothy Roy Messer BE MIEAust RPEQ

Signature

Date 14/2/2025
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MEMBER AND MATERIAL SCHEDULE

1	END WALL RAFTER	Single C30024
2	C.S. FRAME RAFTER	Single C30024
3	END FRAME COLUMN (C1)	Single C30024
4	C.S. FRAME COLUMN (C2)	Double C30024
5	MULLION (C1)	Single C30024
6	DOOR (#1) JAMB	Z30024
7	DOOR (#2) JAMB	Z30024
8	DOOR (#3) JAMB	Z30024
9	C.S. FRAME KNEE BRACE	Single C20019 @ 3.07 LONG 4 bolts each end
10	KNEE BRACE HEIGHT UP COLUMN	2.80m
11	KNEE BRACE LENGTH UP RAFTER	1.75m
12	C.S. FRAME APEX BRACE	Single C20019 @ 3.27 LONG 2 bolts each end
13	APEX POSITION FROM RAFTER END	1.63m
14	END ANCHOR BRACKETS (# PER DETS.)	HOLD DOWN BRKTS 300 X 75 X 6-400 DEEP GAL FLAT
15	MAIN DBL ANCHOR BRACKETS (# PER DETS.)	HDB Double 300 X 200 X 8 Gal Flat
16	MULLION ANCHOR BOLTS (# PER DETS.)	Screw Anchor 16mm x 100 Galv
17	EAVE PURLIN	C15019 (Eave Purlin Bracket 14mm down from top of column)
18	TYP. ROOF PURLIN SIZE	Z15019 (1 rows of bridging)
19	MAIN BLDG. PURLIN SPACING	0.825 m. (6 rows) (Max Allow. 0.851m)
20	ROOF PURLIN BRIDGING	Tophat 64 x 0.75
21	TYP. SIDEWALL GIRT SIZE	Z15019 (1 rows of bridging)
22	MAIN BLDG. SIDEWALL GIRT SPACING	0.787 m. (6 rows) (Max Allow. 0.887m)
23	SIDEWALL GIRT BRIDGING	Tophat 64 x 0.75
24	TYP. ENDWALL GIRT SIZE	Z15019 (1 rows of bridging)
25	MAIN BLDG. ENDWALL GIRT SPACING	1.063 m. (5 rows) (Max Allow. 1.185m)
26	MAIN BLDG. ENDWALL GIRT LENGTH	4.85 m. (0.3m Overlap)
27	ENDWALL GIRT BRIDGING	Tophat 64 x 0.75
28	FRAME SCREW FASTENERS	14-13x22 Hex C/S (SP HD 5/16" Hex Drive)
29	FRAME BOLT FASTENERS	8.8 Hex BN M16x45 Z/P
30	PURLIN/GIRT FASTENERS	Purlin Assy M16x30 Z/P
31	X-BRACING STRAP AND FASTENERS	38 x 1.6mm Strap with 5 x 14g Tek Screws Each End
32	WALL COLOUR	SHALE_GREY
33	ROOF COLOUR	SHALE_GREY
34	ROLLER DOOR COLOUR	BASALT
35	P.A. DOOR COLOUR	BASALT
36	DOWNPIPE COLOUR	BASALT
37	GUTTER COLOUR	BASALT
38	CORNER FLASHING COLOUR	SHALE_GREY
39	BARGE FLASHING COLOUR	BASALT
40	OPENING FLASHING COLOUR	BASALT
41	OPEN BAY HEADER HEIGHT	0.5

"C.S." = CLEARSPAN "L." = LEFT "R." = RIGHT

PURLIN AND GIRT LENGTHS

BAY	WIDTH	PURLIN LENGTH	GIRT LENGTH
1	5.2m	5.66 m. (0.46m Lap)	5.5 m. (0.3m Lap)
2	4.6m	5.12 m. (0.52m Lap)	4.9 m. (0.3m Lap)
3	5.2m	5.66 m. (0.46m Lap)	5.5 m. (0.3m Lap)

5
OF
7

SHEET

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STEEL BUILDING BY
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0742319696
GLEN IVES
25 RONALD RD
FOREST CREEK

FOR
AT

FAIR DINKUM BUILDS

SHED SAFE
ACCREDITED

NORTHERN CONSULTING engineers

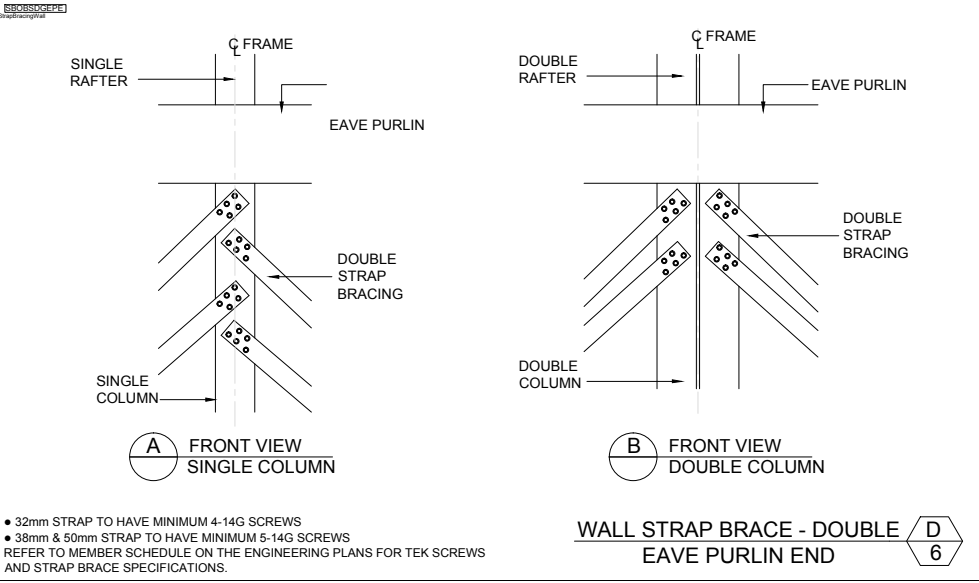
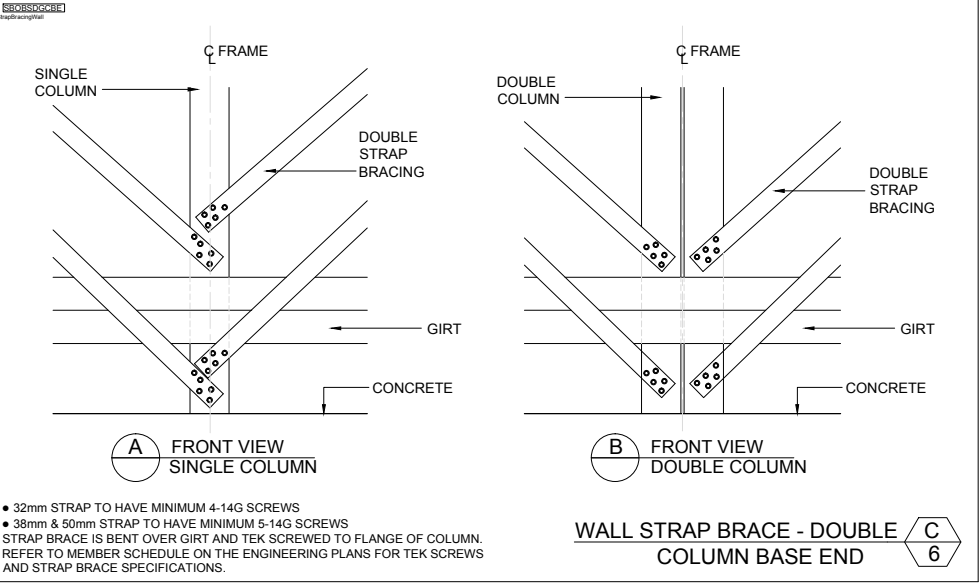
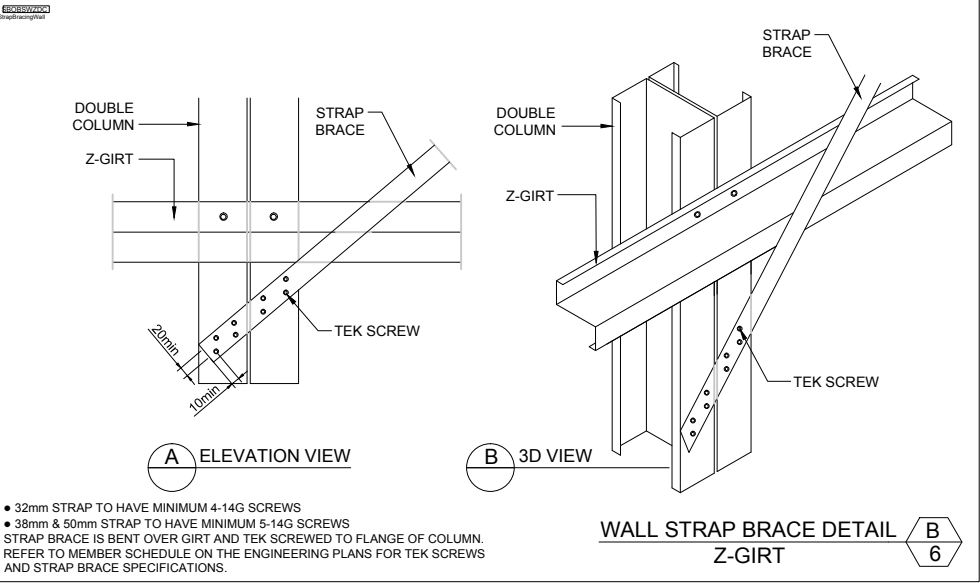
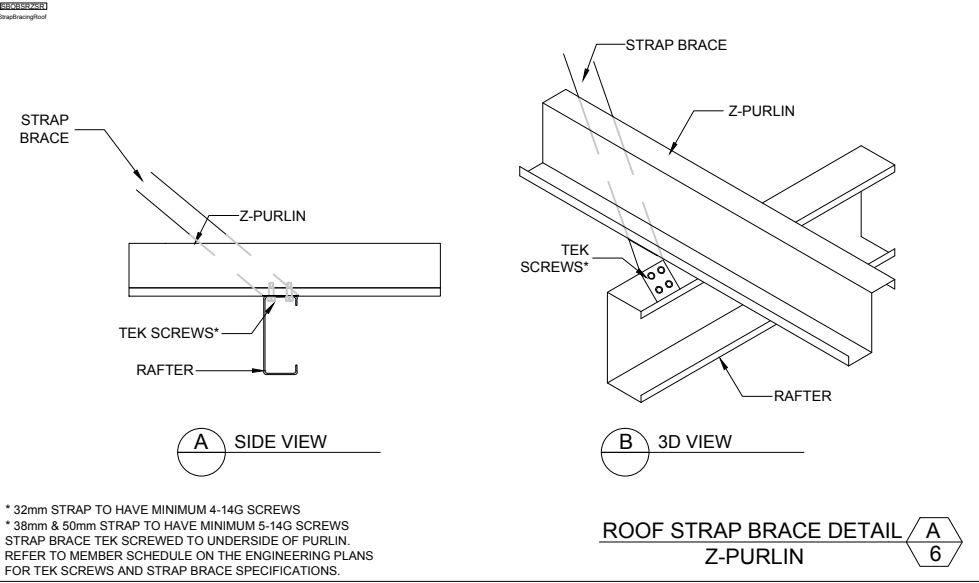
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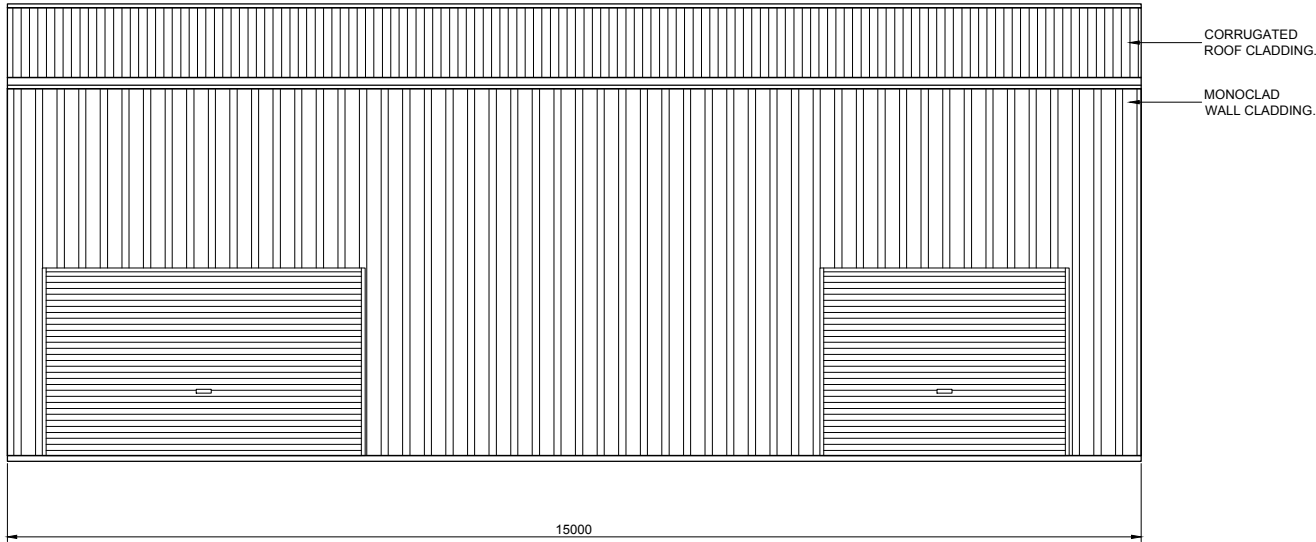
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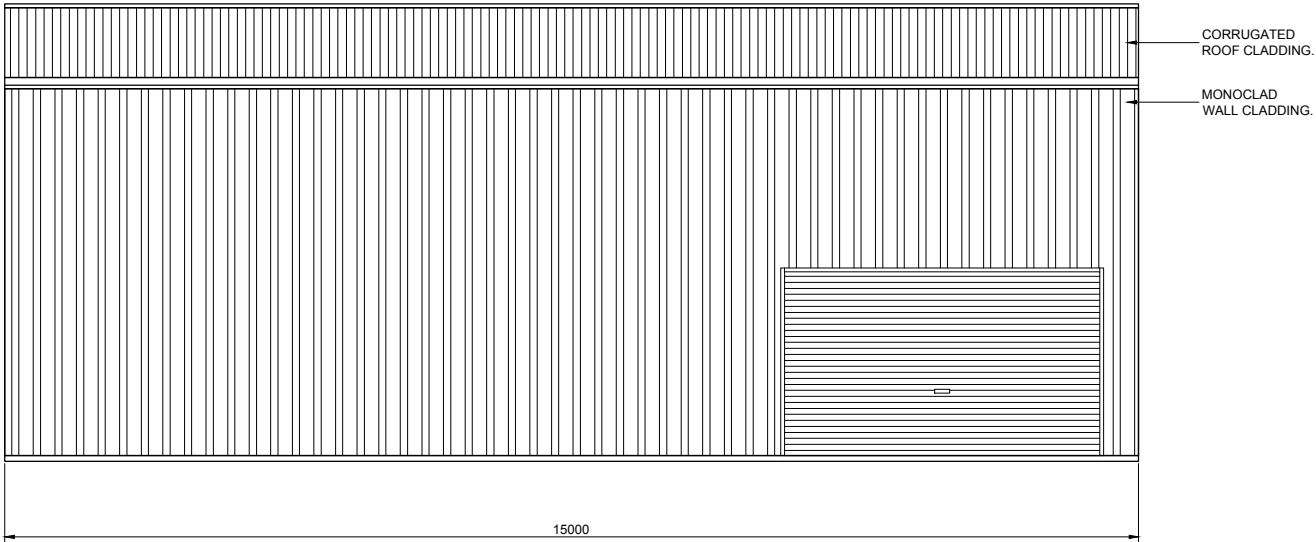
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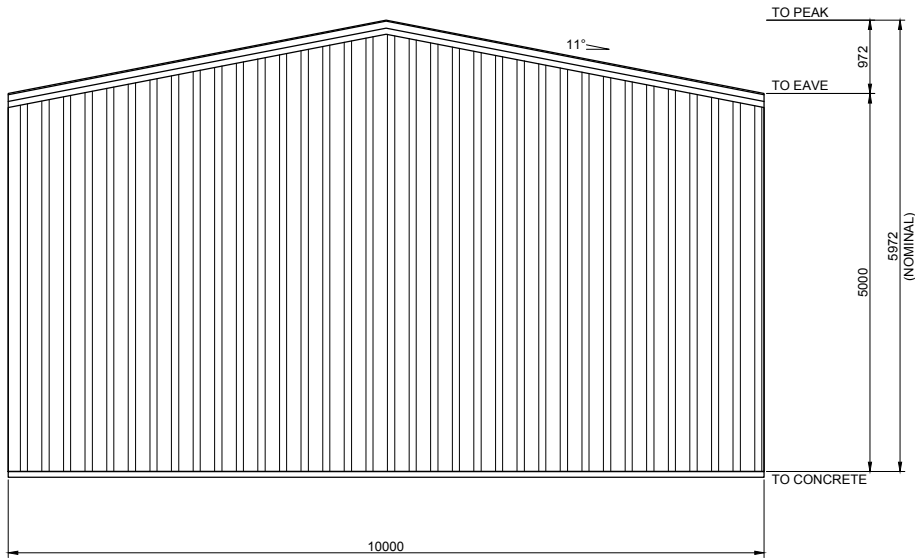
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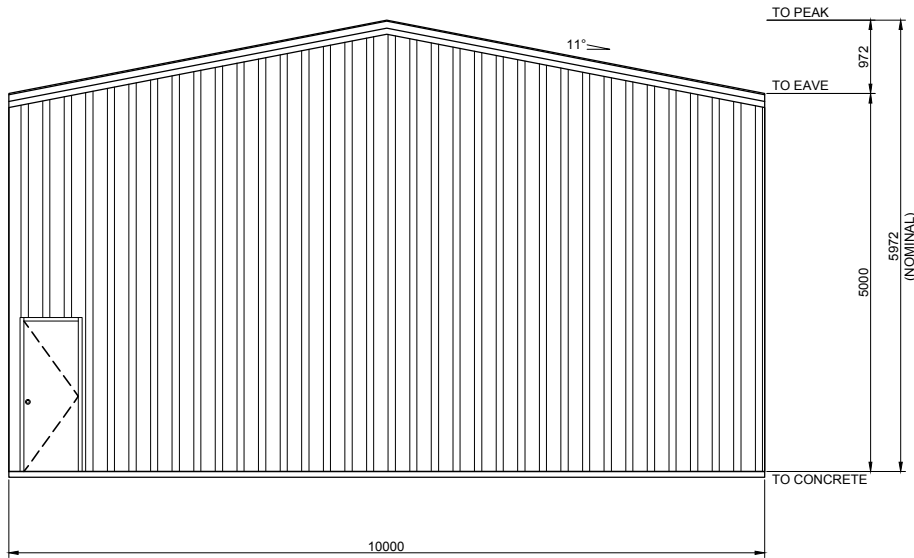
1
7
SIDEWALL EXTERIOR ELEVATION
SCALE: 1 = 100



2
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SCALE: 1 = 100



4
7
ENDWALL EXTERIOR ELEVATION
SCALE: 1 = 100



3
7
ENDWALL EXTERIOR ELEVATION
SCALE: 1 = 100

BUILDING COLOURS	
WALL	SHALE GREY
ROOF	SHALE GREY
ROLLER DOOR	BASALT
P.A. DOOR	BASALT
DOWNPIPE	BASALT
GUTTER	BASALT
CORNER FLASHING	SHALE GREY
BARGE FLASHING	BASALT
OPENING FLASHING	BASALT

7
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NOTES:

BRACING MATERIALS - THE SHED ERECTOR TO SUPPLY SPECIFIC BRACING.
SUITABLE RIGID MEMBERS CAPABLE OF TENSION AND COMPRESSION OR OPPOSING CHAINS OR OPPOSING LOAD RATED RATCHET STRAPS TO BE USED. (RIGID BRACING AS SHOWN ON DIAGRAM) ROPE BRACING SUITABLE ONLY FOR SMALLER STRUCTURES IN IDEAL CONDITIONS.

BRACING LOCATION - TEMPORARY BRACING TO BE ERECTED AS CLOSE TO 45 DEGREE ANGLE AND FIXED TO THE TOP OF THE COLUMN OR MULLION TO ACHIEVE THE OPTIMUM EFFECTIVENESS. IF THERE IS NOT ENOUGH SPACE FOR A 45 DEGREE ANGLE, THEN 20 DEGREE ANGLE IS TO BE THE MINIMUM ANGLE ALLOWED (REFER TO DIAGRAM). RIGID TEMPORARY BRACING MEMBER TO BE BOLTED TO HEAVY ANGLE PEGS HAMMERED INTO THE GROUND OR TO A BRACKET, MASONRY ANCHORED TO THE SLAB.

BRACING REMOVAL - TEMPORARY BRACING TO REMAIN IN PLACE UNTIL CLADDING IS FULLY INSTALLED WHERE POSSIBLE. IN NO CASE SHOULD TEMPORARY BRACING BE REMOVED UNTIL ALL PURLINS, GIRTS (AND PERMANENT CROSS BRACING WHERE USED) ARE FIXED.

SITE SAFETY - DUE CONSIDERATION TO BE GIVEN TO SITE SAFETY IN REGARD TO LOCATIONS OF BRACING AND PEGS.

GUIDE APPLICATION - TEMPORARY BRACING AS DESCRIBED IS A MINIMUM REQUIREMENT FOR AN AVERAGE, STANDARD SITE CONDITION. PROVIDE ADDITIONAL BRACING FOR MORE SEVERE AND/OR HIGH EXPOSURE SITE CONDITIONS. ADDITIONAL BRACING TO BE USED AS AND WHERE NECESSARY TO ENSURE THAT ENTIRE FRAME IS RIGID THROUGHOUT CONSTRUCTION. RESPONSIBILITY FOR ENSURING STABILITY OF STRUCTURE REMAINS WITH THE BUILDER.

TILT UP METHOD
FOR STRUCTURES UNDER 9M SPAN, LESS THAN 3M HIGH AND LESS THAN 12M LONG

- ASSEMBLE THE FIRST SIDEWALL FRAME (COMPLETE WITH WALL SHEETING, BRACING AND GUTTER) ON THE GROUND AND LIFT ASSEMBLED SIDEWALL FRAME INTO POSITION. FIX OFF TEMPORARY SIDE BRACING TO EACH END (REFER TO DIAGRAM). FIX BASE CLEATS.
- ASSEMBLE THE SECOND SIDEWALL FRAME AS PER FIRST SIDEWALL FRAME. LIFT INTO POSITION. FIX OFF TEMPORARY WALL BRACING TO EACH END (REFER TO DIAGRAM) FIX BASE CLEATS.
- FIX GABLE END RAFTERS TO COLUMNS TO TIE WALLS. PROP APEX UNTIL ENDWALL MULLION AND APEX TEMPORARY BRACE ARE FIXED OFF. IF NO MULLION IS REQUIRED THEN PROP AND BRACE APEX UNTIL CLADDING IS COMPLETE.
- INSTALL REMAINING RAFTERS. AS EACH RAFTER PAIR IS INSTALLED, AT LEAST ONE PURLIN PER 3M OF RAFTER LENGTH IS TO BE INSTALLED TO SECURE RAFTERS.
- INSTALL REMAINING PURLINS
- INSTALL KNEE AND APEX BRACES IF AND WHERE APPLICABLE.
- REPEAT FOR LEANTO'S.

FRAME FIRST METHOD
FOR STRUCTURES OVER 9M SPAN, GREATER THAN 3M HIGH AND GREATER THAN 12M LONG

- ASSEMBLE PORTAL FRAMES ON THE GROUND (WITH KNEE AND APEX BRACES IF AND WHERE APPLICABLE). LIFT THE FIRST PORTAL FRAME ASSEMBLY INTO POSITION. FIX OFF TEMPORARY END BRACING (REFER TO DIAGRAM). FIX BASE CLEATS.
- PROP APEX UNTIL ENDWALL MULLION AND APEX TEMPORARY BRACE ARE FIXED OFF. IF NO MULLION IS REQUIRED THEN PROP AND BRACE APEX UNTIL CLADDING IS COMPLETE.
- THE SECOND PORTAL FRAME ASSEMBLY TO BE LIFTED INTO POSITION. FIX EAVE PURLINS AND AT LEAST ONE PURLIN PER 3M OF RAFTER TO SECURE FRAME ASSEMBLY. FIX BASE CLEATS. FIX TEMPORARY SIDEWALL BRACING.
- STAND REMAINING PORTAL FRAME ASSEMBLY AS PER STEP C, FIXING TEMPORARY SIDE WALL BRACING TO EVERY SECOND BAY. BRACE OTHER END PORTAL FRAME AS PER FIRST PORTAL FRAME.
- INSTALL REMAINING PURLINS AND GIRTS.
- REPEAT FOR LEANTO'S.

NOT PART OF COUNCIL APPLICATION DOCUMENTATION

JOB NO.	DATE	CHECKED	DRAWN
EDMT100630	14/2/2025	TM	FDB

STEEL BUILDING BY
CARDINAL ROOFING AND SHEDS
FOR
GLEN IVES
AT
**25 RONALD RD
FOREST CREEK**



TEMP BRACING

GUIDE TO THE INSTALLATION OF TEMPORARY BRACING

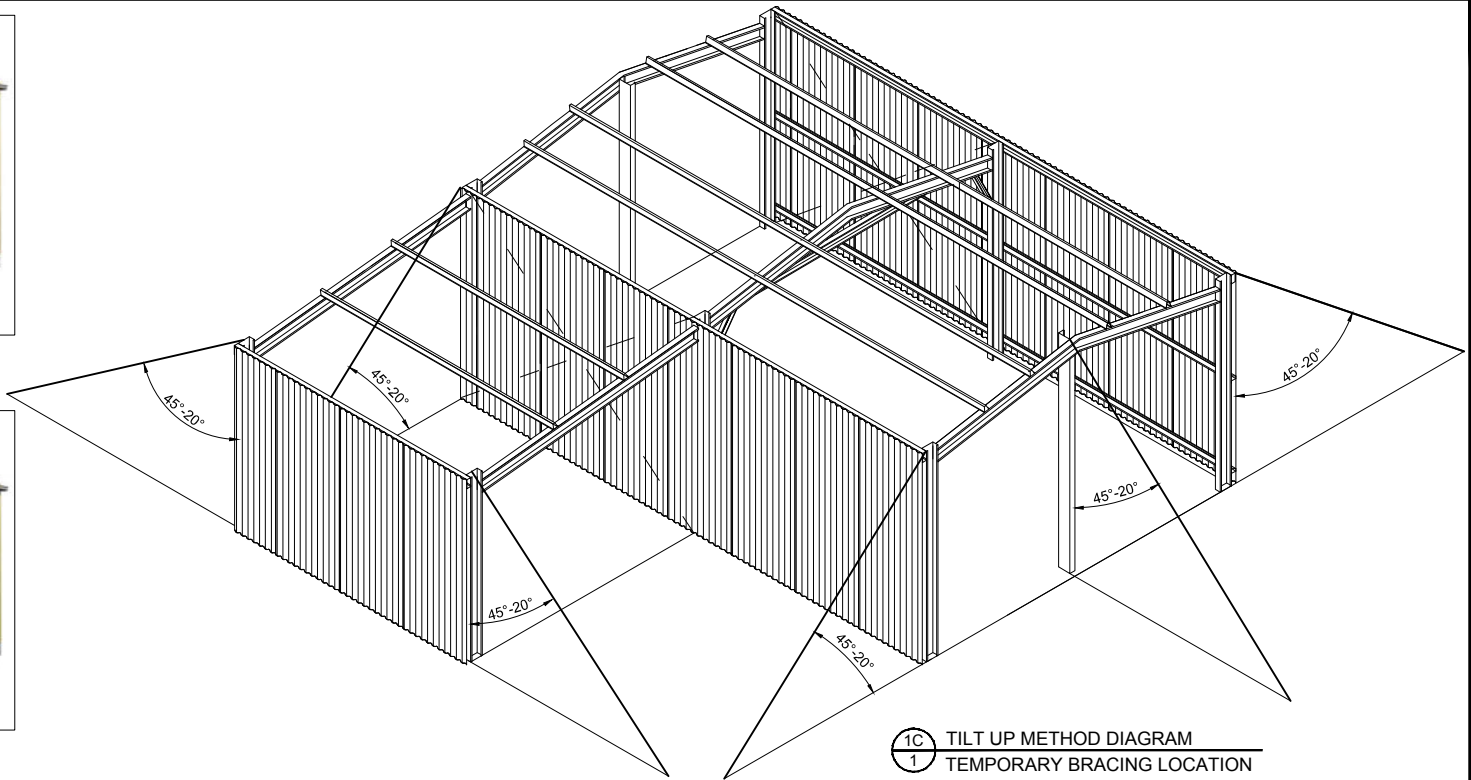
(REFER TO INSTALLATION GUIDE MANUAL FOR THE TWO METHODS OF CONSTRUCTION)



1A FIRST SIDEWALL FRAME
1 REFER 1C FOR TEMPORARY BRACING LOCATION



1B SECOND SIDEWALL FRAME
1 REFER 1C FOR TEMPORARY BRACING LOCATION



1C TILT UP METHOD DIAGRAM
1 TEMPORARY BRACING LOCATION

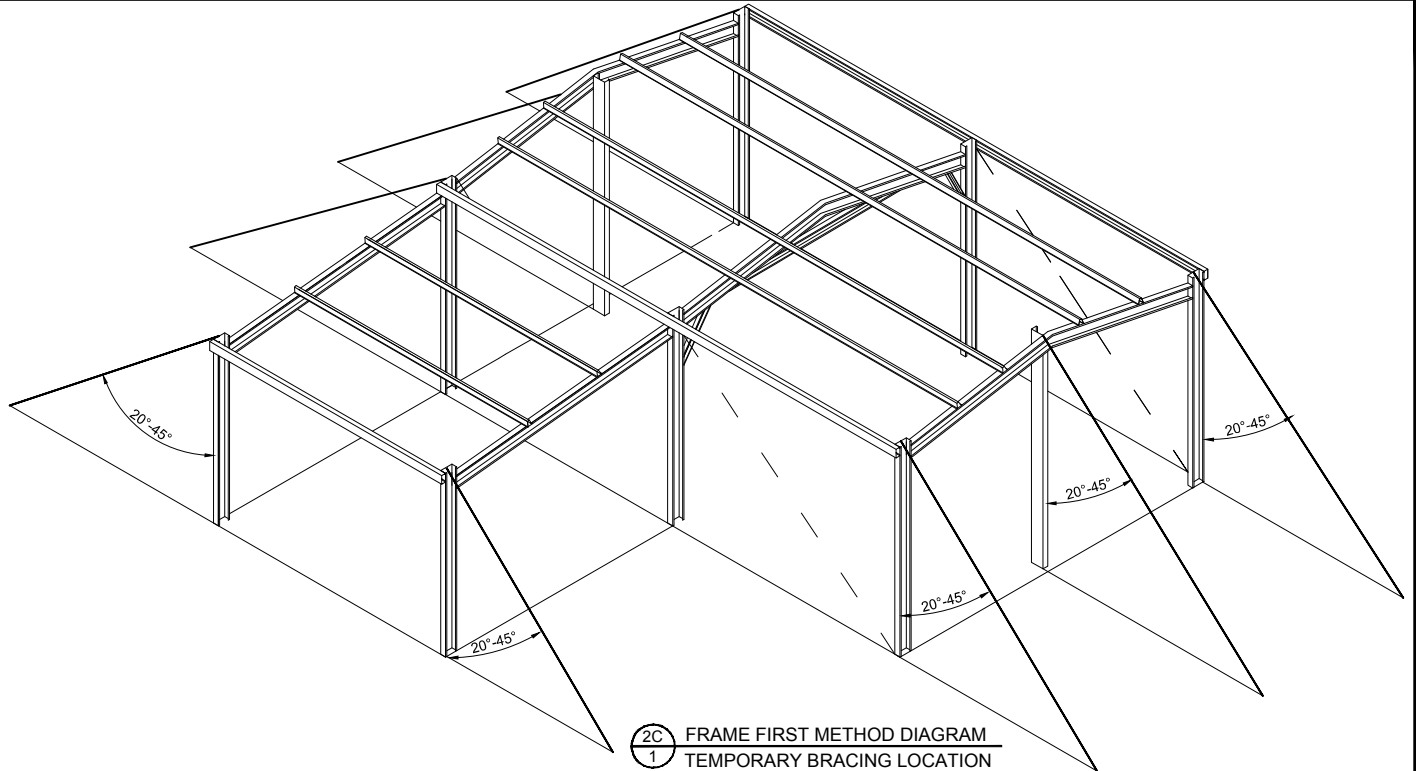
1 TILT UP METHOD DIAGRAM
1 SCALE: NTS



2A FIRST & SECOND PORTAL FRAME ASSEMBLY
1 REFER 2C FOR TEMPORARY BRACING LOCATION



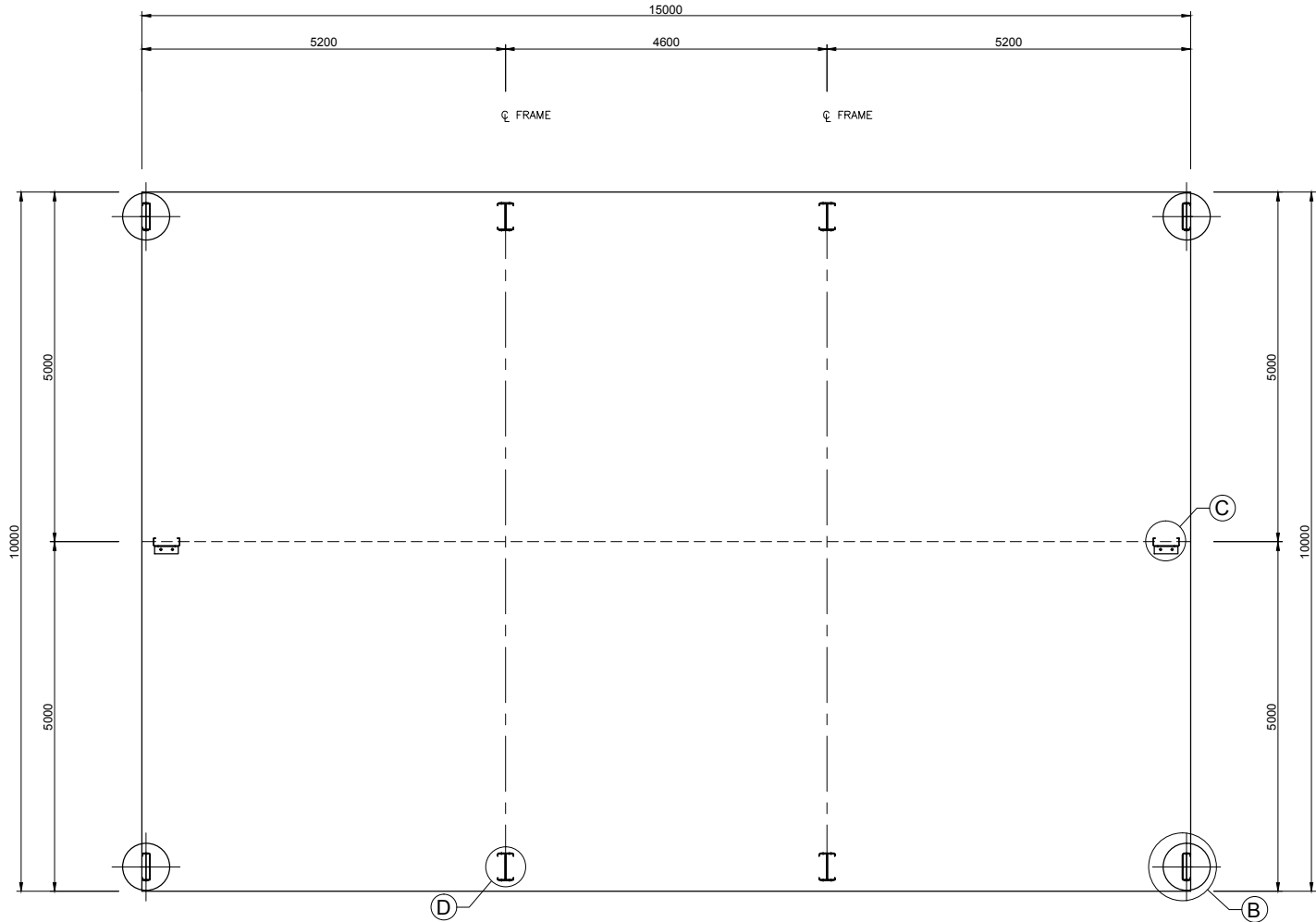
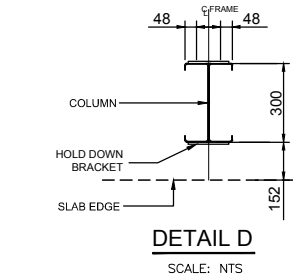
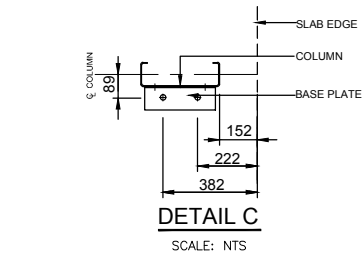
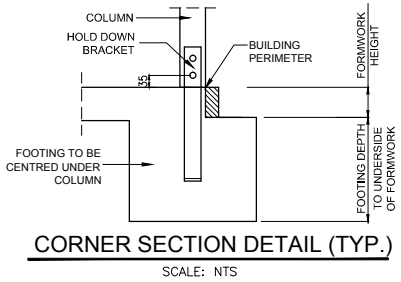
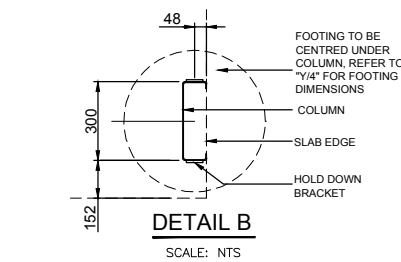
2B COMPLETE PORTAL FRAME ASSEMBLY
1 REFER 2C FOR TEMPORARY BRACING LOCATION



2C FRAME FIRST METHOD DIAGRAM
1 TEMPORARY BRACING LOCATION

2 FRAME FIRST METHOD DIAGRAM
1 SCALE: NTS

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1 HOLD DOWN BRACKET LAYOUT
1 SCALE: 1 = 100

NOT PART OF COUNCIL APPLICATION DOCUMENTATION

IF YOU HAVE A ROLLER DOOR IN THE GABLE END OF YOUR SHED, CONTACT YOUR DISTRIBUTOR TO SEE IF MULLION NEEDS TO BE ROTATED FOR USE AS A DOOR JAMB.

JOB NO. EDMT100630	DATE 14/2/2025	CHECKED TM	DRAWN FDB	STEEL BUILDING BY	
				CARDINAL ROOFING AND SHEDS	
				FOR	0742319696
				AT	GLEN IVES
					25 RONALD RD
					FOREST CREEK
					
<h1>BRACKET LAYOUT</h1>					

Form 15

Compliance certificate for building design or specification



This form is to be used by an appointed competent person for the purposes of section 10 of the *Building Act 1975* and sections 73 and 77 of the *Building Regulation 2021* (Design-specification certificate) stating that an aspect of building work or specification will, if installed or carried out as stated in this form, comply with the building assessment provisions.

Additional explanatory information is included in the Appendix at the end of this form.

1. Property description

This section need only be completed if details of street address and property description are applicable.

E.g. In the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.

The description must identify all land the subject of the application

The lot & plan details (eg. SP / RP) are shown on the title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details.

Street address (include number,street, suburb / locality and postcode)

25 Ronald Rd

Forest Creek

State:

Postcode : 4873

Lot and plan details (attach list if necessary)

Lot No:

SP/RP :

Local government area the land is situated in?

2. Description of aspect/s certified

Clearly describe the extent of work covered by this certificate. e.g all structural aspects of the steel roof beams.

Steel Portal Frame Structure.

10m span x 15m O/A length x 5m eaves height.

Consisting of 3 bays at 5.2m, 4.6m, 5.2m spacings.

3. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications were relied upon.

Australian Standards (list) AS/NZS 4600-2018, AS/NZS 1170.0,.1-2002, 1170.2-2021, 1170.3-2003, 1170.4-2007, AS2870-2011, AS3600-2018, AS5216-2021

2022 National Construction Code of Australia

NCC Building Classification = Class 10a

Region AS1170.2 = Reg C

Annual Probability Exceedance wind = 1:500

NCC Importance Level = 2

NCC Equivalent Wind class = N/A

Factor for Region = $F_c=1.05$

Regional 3 s Gust Wind Speed for annual probability of exceedance $V_R= 65$ m/s

Wind directional multipliers for the 8 cardinal directions $M_d = 1.00$

Terrain/Height multiplier (M_z , Cat) = 0.83

Shielding Multiplier $M_s= 1$

Topographic multiplier $M_t = 1.01$

Design Wind Speed = 57 m/s

External Pressure Coefficient $c_{pe} =$ Roof = -0.90, 0.20; Walls = -0.65, 0.70

Internal Pressure Coefficient $c_{pi} = -0.64, 0.73$

Design Roof Live Load = 0.25 kPa

4. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

Drawing Nos: 'Fair Dinkum Builds' Structural Design Drawing

TO BE READ IN CONJUNCTION WITH PAGES 1 TO 7

FOR JOB NO. EDMT100630 DATED: 14/2/2025

Specifications:

Computations:

Test Reports:

Other Documentation:

5. Building certifier reference number and building development application number

Building certifier reference number

Building development application number (if available)

6. Appointed competent person details

Under Part 6 of the Building Regulation, a person must be assessed as a competent for the type of work (design specification) by the relevant building certifier.

Name (in full)

Timothy Roy Messer

Company name (if applicable)

Northern Consulting Engineers

Contact person

Timothy Roy Messer

Business phone number

(07) 47 25 55 50

Mobile number

(07) 47 25 55 50

Email address

design@nceng.com.au

Postal address

50 Punari Street, Currajong, QLD

State QLD Postcode: 4812

Licence class or registration type (if applicable)

Structural and Civil

Licence or registration number (if applicable)

RPEQ 9985

7. Signature of appointed competent person

This certificate must be signed by the individual assessed and appointed by the building certifier as competent to give design specification help.

Signature



Mr Timothy Roy Messer

Date

14/2/2025

LOCAL GOVERNMENT USE ONLY

Date received

Reference Number/s

Appendix - explanatory information

IMPORTANT NOTE: It is an offence for a competent person to give a building certifier a document, including this form, that the person knows or reasonably suspects, is false or misleading.

Who can complete this certificate? (section 10 of the *Building Act 1975* (Building Act) and 73 and 77 of the Building Regulation 2021 (BR 2021)).

A building certifier can accept from a competent person (design-specification) a certificate stating that the competent person has assessed the building design or specification for the aspect of building work, and it will, if installed or carried out under the certificate, comply with the building assessment provisions, including any relevant standards and codes.

Schedule 10 of the BR 2021 defines *building design or specification* as any material, system, method of building or other thing related to the design of or specifications for building work.

When completing the certificate, a competent person is required under section 77 of the BR 2021 to include the basis for giving the certificate and state the extent to which the competent person has relied on tests, specifications, rules, standards, codes of practice or other publications.

What is the purpose of this form? (section 10 of the Building Act and sections 73 and 77 of the BR2 2021)

The information in this form informs the building certifier's decision making when they are assessing a building development application, issuing the building development approval for the building work the subject of the certificate (form) and when amending the building development approval due to the receipt of updated aspect information such as glazing or truss specifications or revised excavation drawings.

Can a manufacturer or supplier give this Form 15 ?

A building certifier can accept this form from a manufacturer or supplier who the certifier has decided is a competent person (design-specification).

A manufacturer or supplier of building materials can give this form if they have undertaken the design component for the product. For example a window manufacturer who designs, constructs and supplies the windows to industry could give this form.

Competent person (section 10 of the *Building Act 1975* and Part 6 of the BR 2021)

A building certifier must assess and decide to appoint an individual as a competent person before they can accept design-specification help.

When deciding whether a person can be a competent person, the building certifier must assess the person having regard to their experience, qualifications and skills and ensure the person holds a licence or registration if required.

The building certifier is required to keep detailed records about what was considered when appointing a competent person.

For further information about assessment of someone as a competent person refer to the **Guideline for the assessment of competent persons**.

What is required if a manufacturer or supplier did not do the design work for the product?

A manufacturer or supplier who is not part of the design process may give the construction contractor, builder, competent person or the building certifier evidence of suitability such as a product technical statement under Part A5 of the Building Code of Australia (BCA), for an aspect or material stating that it is compliant with the relevant reference documents in the BCA i.e. the applicable Australian Standard/s.

What if there is not enough space for all the supporting material/documents?

Items 2, 3 and 4 requires the competent person to clearly identify the extent of the assessment that was undertaken for aspect/s of work identified in this form.

For instance, there is provision for material such as specifications, standards, codes or other relevant publications to be referenced in the form. However, if the space in the form is not sufficient to accommodate all of this material, you can create and refer to additional material in an addendum or attachment to the form.

The form is the Microsoft Word version, that you can download and edited to include additional material in the relevant parts of the form. **Note:** that editing the form in the Microsoft Word version may cause the relevant boxes to expand and increase the length of the document. This is acceptable and does not change the approved form, provided the section text (description on the left-hand side of the page) is not altered.

Appointed competent person (design-specification) - (sections 34 and 36 of the BR 2021)

A building certifier must assess and decide to appoint an individual as a competent person before they can, as a competent person, give design-specification help. The building certifier is required to keep detailed records about what was considered when appointing a competent person.

A building certifier must be satisfied that an individual is competent to give the type of help having regard to the individual's experience, qualifications and skills and if required by law to hold a licence or registration, that the individual is appropriately registered or licensed.

An individual is appointed as competent to give design-specification help on or from a particular day.

For further information about assessment of someone as a competent person refer to the **Guideline for the assessment of competent persons**.

PRIVACY NOTICE

The Department of Energy and Public Works is collecting personal information as required under the *Building Act 1975*. This information may be stored by the Department, and will be used for administration, compliance, statistical research and evaluation of building laws. Your personal information will be disclosed to other government agencies, local government authorities and third parties for purposes relating to administering and monitoring compliance with the *Building Act 1975*. Personal information will otherwise only be disclosed to third parties with your consent or unless authorised or required by law.