

24 February 2026

Chief Executive Officer
Douglas Shire Council
PO Box 723
Mossman Qld 4873

Attention: Development Assessment

Dear Sir/Madam

RE: Application for Building Works Assessable Against the Planning Scheme - 4990 Captain Cook Highway Oak Beach, Lot 1 on RP744764

Rapid Building Approvals acting on behalf of the owners of the abovementioned land, submit this application for Building Works Assessable against the Planning Scheme (Shed) over land at 4990 Captain Cook Highway Oak Beach.

As per Table 5.6.d – Environmental management zone table of assessment, building works in this zone is code assessable. The proposal needs to address the following codes:

Applicable Code	Compliance	Comment
Environmental Management Zone	x	Non compliance with setbacks. Please refer to the attached code assessment.
Access, Parking and Servicing	<input checked="" type="checkbox"/>	Complies. No changes to the access to the site or onsite parking requirements.
Excavation and Filling	<input checked="" type="checkbox"/>	Complies. No significant excavation and filling is required.
Infrastructure Works	<input checked="" type="checkbox"/>	Complies. No changes are required to the infrastructure on site.

Supporting this application, the following is provided:

- Relevant assessment against applicable planning scheme codes;
- DA form 1 and 2;
- Plans; and
- Fee.

Should you require any further information or assistance in relation to this manner please don't hesitate to contact Scott Wheeler on [1300 163 814](tel:1300163814) or via email at approvals@rapidapprovals.com.au

Regards,
Scott Wheeler

Environmental Management Zone Code

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable and assessable development		
<p>PO1 The height of all buildings and structures is in keeping with the natural characteristics of the site. Buildings and structures are low-rise and not unduly visible from external sites.</p>	<p>AO1.1 Buildings and structures are not more than 8.5 metres and two storeys in height. Note – Height is inclusive of the roof height.</p> <p>AO1.2 Buildings have a roof height not less than 2 metres.</p>	<p>Complies. The overall height is 4.67 metres.</p>
<p>PO2 Buildings and structures are set back to: (a) maintain the natural character of the area; (b) achieve separation from neighbouring buildings and from road frontages.</p>	<p>AO2 Buildings and structures are set back not less than: (a) 40 metres from the frontage of a state controlled road; (b) 25 metres from the frontage to Cape Tribulation Road; (c) 6 metres from any other road; (d) 6 metres from the side and rear boundaries of the site.</p>	<p>Complies PO2. The proposed shed will be located approximately 20metres to the front boundary. The shed has been sited in a practical location on the allotment which is cleared and free of other constraints. It poses no impact to the amenity of the area, with the shed to be screened by mature vegetation along the frontage of the property. It also does not pose any safety or sightline impacts to traffic along the highway.</p>
<p>PO3 Development is consistent with the purpose of the Environmental management zone and protects the zone from the intrusion of inconsistent uses</p>	<p>AO3 Inconsistent uses as identified in Table 6.2.4.3.b are not established in the Environmental management zone</p>	<p>Complies. Proposal is for a shed ancillary to an existing dwelling.</p>
<p>PO4 The site coverage of all buildings and structures and associated services do not have an adverse effect on the environmental or scenic values of the site.</p>	<p>PO4 No acceptable outcomes are prescribed.</p>	<p>Complies. Site coverage is consistent with the rural nature of the allotment.</p>

Performance outcomes	Acceptable outcomes	Applicant response
<p>PO5 Development is located, designed, operated and managed to respond to the characteristics, features and constraints of the site and its surrounds.</p>	<p>AO5.1 Buildings, structures and associated access, infrastructure and private open space are sited: (a) within areas of the site which are already cleared; or (b) within areas of the site which are environmentally degraded; (c) to minimise additional vegetation clearing. AO5.2 Buildings and structures and associated infrastructure are not located on slopes greater than 1 in 6 (16.6%) or on a ridgeline.</p>	<p>Complies. The proposed shed is to be located within an existing clearing.</p>
<p>PO6 Buildings and structures are responsive to steep slope through innovative construction techniques so as to: (a) maintain the geotechnical stability of slopes; (b) minimise cut and/or fill; (c) minimise the overall height of development.</p>	<p>AO6.1 Where development on land steeper than 1 in 6 (16.6%) cannot be avoided, development follows the natural contours of the land and single plane concrete slab on-ground methods of construction are not utilised. AO6.2 Access and vehicle manoeuvring and parking areas are constructed and maintained to: (a) minimise erosion; (b) minimise cut and fill; (c) follow the natural contours of the site.</p>	<p>Complies AO6.1. No significant earthworks are proposed.</p>
<p>PO7 The exterior finishes of buildings and structures are consistent with the surrounding natural environment.</p>	<p>PO7 The exterior finishes and colours of buildings and structures are non-reflective and are moderately dark to darker shades of grey, green, blue and brown or the development is not visible external to the site.</p>	<p>Complies. The proposed shed will be constructed of non-reflective colorbond.</p>

Performance outcomes	Acceptable outcomes	Applicant response
<p>PO8 Development does not adversely affect the amenity of the zone and adjoining land uses in terms of traffic, noise, dust, odour, lighting or other physical or environmental impacts.</p>	<p>A08 No acceptable outcomes are prescribed.</p>	<p>Complies. The proposal is for a shed ancillary to the existing residential use.</p>
<p>PO9 The density of development ensures that the environmental and scenic amenity values of the site and surrounding area are not adversely affected.</p>	<p>A09 The maximum residential density is one dwelling house per lot.</p>	<p>Complies.</p>
<p>PO10 Lot reconfiguration results in no additional lots.</p>	<p>A010 No acceptable outcomes are prescribed.</p>	<p>Not applicable.</p>

DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the *Planning Act 2016*, the *Planning Regulation 2017*, or the *Development Assessment Rules (DA Rules)*.

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) <i>(individual or company full name)</i>	Mick Cooper
Contact name <i>(only applicable for companies)</i>	Scott Wheeler C/- RAPID Building Approvals
Postal address <i>(P.O. Box or street address)</i>	Suite 7 2-4 Stanton Road
Suburb	Smithfield
State	QLD
Postcode	4878
Country	Australia
Contact number	1300 163 814
Email address <i>(non-mandatory)</i>	approvals@rapidapprovals.com.au
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	
Applicant's reference number(s) <i>(if applicable)</i>	0797/26
1.1) Home-based business	
<input type="checkbox"/> Personal details to remain private in accordance with section 264(6) of <i>Planning Act 2016</i>	
2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input checked="" type="checkbox"/> No – proceed to 3)	

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.1) Street address and lot on plan

- Street address **AND** lot on plan (all lots must be listed), **or**
 Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		4990	Captain Cook Highway	Oak Beach
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4877	1	RP744764	Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

- Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other: <input type="text"/>	

3.3) Additional premises

- Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
 Not required

4) Identify any of the following that apply to the premises and provide any relevant details

- In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>
Name of airport: <input type="text"/>
<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- Material change of use Reconfiguring a lot Operational work Building work

b) What is the approval type? *(tick only one box)*

- Development permit Preliminary approval Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Shed

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- Material change of use Reconfiguring a lot Operational work Building work

b) What is the approval type? *(tick only one box)*

- Development permit Preliminary approval Preliminary approval that includes a variation approval

c) What is the level of assessment?

- Code assessment Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- Relevant plans of the proposed development are attached to the development application



6.3) Additional aspects of development

- Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- Not required

6.4) Is the application for State facilitated development?

- Yes - Has a notice of declaration been given by the Minister?
- No

Section 2 – Further development details**7) Does the proposed development application involve any of the following?**

- | | |
|------------------------|--|
| Material change of use | <input type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument |
| Reconfiguring a lot | <input type="checkbox"/> Yes – complete division 2 |
| Operational work | <input type="checkbox"/> Yes – complete division 3 |
| Building work | <input checked="" type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i> |

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition <i>(include each definition in a new row)</i>	Number of dwelling units <i>(if applicable)</i>	Gross floor area (m ²) <i>(if applicable)</i>

8.2) Does the proposed use involve the use of existing buildings on the premises?

- Yes
- No

8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?

- Yes – provide details below or include details in a schedule to this development application
- No

Provide a general description of the temporary accepted development	Specify the stated period dates under the Planning Regulation

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

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9.2) What is the nature of the lot reconfiguration? *(tick all applicable boxes)*

- | | |
|--|---|
| <input type="checkbox"/> Subdivision <i>(complete 10)</i> | <input type="checkbox"/> Dividing land into parts by agreement <i>(complete 11)</i> |
| <input type="checkbox"/> Boundary realignment <i>(complete 12)</i> | <input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road <i>(complete 13)</i> |

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Douglas Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- Yes – a copy of the decision notice is attached to this development application
- The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

- No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- Clearing native vegetation
- Contaminated land (*unexploded ordnance*)
- Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- Fisheries – aquaculture
- Fisheries – declared fish habitat area
- Fisheries – marine plants
- Fisheries – waterway barrier works
- Hazardous chemical facilities
- Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- Infrastructure-related referrals – designated premises
- Infrastructure-related referrals – state transport infrastructure
- Infrastructure-related referrals – State transport corridor and future State transport corridor
- Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- Infrastructure-related referrals – near a state-controlled road intersection
- Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- Koala habitat in SEQ region – key resource areas
- Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- Ports – Brisbane core port land – environmentally relevant activity (ERA)
- Ports – Brisbane core port land – tidal works or work in a coastal management district
- Ports – Brisbane core port land – hazardous chemical facility
- Ports – Brisbane core port land – taking or interfering with water
- Ports – Brisbane core port land – referable dams
- Ports – Brisbane core port land – fisheries
- Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- SEQ development area
- SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- SEQ regional landscape and rural production area or SEQ rural living area – community activity
- SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- SEQ regional landscape and rural production area or SEQ rural living area – combined use
- SEQ northern inter-urban break – tourist activity or sport and recreation activity



- SEQ northern inter-urban break – community activity
- SEQ northern inter-urban break – indoor recreation
- SEQ northern inter-urban break – urban activity
- SEQ northern inter-urban break – combined use
- Tidal works or works in a coastal management district
- Reconfiguring a lot in a coastal management district or for a canal
- Erosion prone area in a coastal management district
- Urban design
- Water-related development – taking or interfering with water
- Water-related development – removing quarry material (*from a watercourse or lake*)
- Water-related development – referable dams
- Water-related development – levees (*category 3 levees only*)
- Wetland protection area

Matters requiring referral to the local government:

- Airport land
- Environmentally relevant activities (ERA) (*only if the ERA has been devolved to local government*)
- Heritage places – Local heritage places

Matters requiring referral to the Chief Executive of the distribution entity or transmission entity:

- Infrastructure-related referrals – Electricity infrastructure

Matters requiring referral to:

- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual
- Infrastructure-related referrals – Oil and gas infrastructure

Matters requiring referral to the Brisbane City Council:

- Ports – Brisbane core port land

Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994:

- Ports – Brisbane core port land (*where inconsistent with the Brisbane port LUP for transport reasons*)
- Ports – Strategic port land

Matters requiring referral to the relevant port operator, if applicant is not port operator:

- Ports – Land within Port of Brisbane’s port limits (*below high-water mark*)

Matters requiring referral to the Chief Executive of the relevant port authority:

- Ports – Land within limits of another port (*below high-water mark*)

Matters requiring referral to the Gold Coast Waterways Authority:

- Tidal works or work in a coastal management district (*in Gold Coast waters*)

Matters requiring referral to the Queensland Fire and Emergency Service:

- Tidal works or work in a coastal management district (*involving a marina (more than six vessel berths)*)

18) Has any referral agency provided a referral response for this development application?

- Yes – referral response(s) received and listed below are attached to this development application
- No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (*if applicable*).

PART 6 – INFORMATION REQUEST

19) Information request under the DA Rules

I agree to receive an information request if determined necessary for this development application

I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the [DA Forms Guide](#).

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

Yes – provide details below or include details in a schedule to this development application

No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

Yes – a copy of the receipted QLeave form is attached to this development application

No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid

Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$\$ 0.00		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

Yes – show cause or enforcement notice is attached

No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
- No

Note: Application for an environmental authority can be found by searching "ESR/2015/1791" as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- Yes – *Form 536: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application
- No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- Yes – the development application involves premises in the koala habitat area in the koala priority area
- Yes – the development application involves premises in the koala habitat area outside the koala priority area
- No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.desi.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

No

Note: Contact the Department of Resources at www.resources.qld.gov.au for further information.

DA templates are available from planning.statedevelopment.qld.gov.au. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

Yes – the relevant template is completed and attached to this development application

No

DA templates are available from planning.statedevelopment.qld.gov.au. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake under the *Water Act 2000***?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

Note: Contact the Department of Resources at www.resources.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water under the *Coastal Protection and Management Act 1995***?

Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

No

Note: Contact the Department of Environment, Science and Innovation at www.desi.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application

No

Note: See guidance materials at www.resources.qld.gov.au for further information.



Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- Yes – the following is included with this development application:
- Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - A certificate of title

No

Note: See guidance materials at www.desi.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

Yes – details of the heritage place are provided in the table below

No

Note: See guidance materials at www.desi.qld.gov.au for information requirements regarding development of Queensland heritage places.

For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at www.planning.statedevelopment.qld.gov.au for information regarding assessment of Queensland heritage places.

Name of the heritage place:

Place ID:

Decision under section 62 of the Transport Infrastructure Act 1994

23.14) Does this development application involve new or changed access to a state-controlled road?

Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

No

Note: See guidance materials at www.planning.statedevelopment.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

Yes

Note: See the *Planning Regulation 2017* for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

Yes

Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

Yes

Not applicable



25) Applicant declaration

- By making this development application, I declare that all information in this development application is true and correct
- Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager’s and/or referral agency’s website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	Shed		
QLeave project number			
Amount paid (\$)	\$ 0.00	Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager	02/20/2026		
Name of officer who sighted the form	Scott Wheeler		

DA Form 2 – Building work details

Approved form (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving building work**.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use *DA Form 1 – Development application details* and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	William Farmer William Farmer Constructions C/- Rapid Building Approvals
Contact name (only applicable for companies)	Scott Wheeler
Postal address (PO Box or street address)	72 Jim Weir Road
Suburb	Julatten
State	QLD
Postcode	4871
Country	
Contact number	0427557546
Email address (non-mandatory)	williamscott.farmer@hotmail.com
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	0797/26

PART 2 – LOCATION DETAILS

2) Location of the premises (complete 2.1 and 2.2 if applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

2.1) Street address and lot on plan

- Street address **AND** lot on plan (all lots must be listed), **or**
 Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

Unit No.	Street No.	Street Name and Type	Suburb
----------	------------	----------------------	--------

	4990	Captain Cook Highway	Oak Beach
Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
4877	1	RP744764	Douglas Shire Council

2.2) Additional premises

Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application

Not required

3) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the [DA Forms Guide](#)

Yes – All easement locations, types and dimensions are included in plans submitted with this development application

No

PART 3 – FURTHER DETAILS

4) Is the application only for building work assessable against the building assessment provisions?

Yes – proceed to 8)

No

5) Identify the assessment manager(s) who will be assessing this development application

Douglas Shire Council

6) Has the local government agreed to apply a superseded planning scheme for this development application?

Yes – a copy of the decision notice is attached to this development application

The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached

No

7) Information request under Part 3 of the DA Rules

I agree to receive an information request if determined necessary for this development application

I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.

- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

8) Are there any associated development applications or current approvals?

Yes – provide details below or include details in a schedule to this development application

No

List of approval/development application	Reference	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

9) Has the portable long service leave levy been paid?

Yes – a copy of the receipted QLeave form is attached to this development application

<input type="checkbox"/> No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid <input checked="" type="checkbox"/> Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)		
Amount paid	Date paid (dd/mm/yy)	QLLeave levy number (A, B or E)
\$ 0.00		
10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?		
<input type="checkbox"/> Yes – show cause or enforcement notice is attached <input checked="" type="checkbox"/> No		

11) Identify any of the following further legislative requirements that apply to any aspect of this development application		
<input type="checkbox"/> The proposed development is on a place entered in the Queensland Heritage Register or in a local government's Local Heritage Register . See the guidance provided at www.des.qld.gov.au about the requirements in relation to the development of a Queensland heritage place		
Name of the heritage place:		Place ID:

PART 4 – REFERRAL DETAILS

12) Does this development application include any building work aspects that have any referral requirements?	
<input type="checkbox"/> Yes – the <i>Referral checklist for building work</i> is attached to this development application <input checked="" type="checkbox"/> No – proceed to Part 5	

13) Has any referral agency provided a referral response for this development application?		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application <input type="checkbox"/> No		
Referral requirement	Referral agency	Date referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (if applicable)		

PART 5 – BUILDING WORK DETAILS

14) Owner's details	
<input type="checkbox"/> Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.	
Name(s) (individual or company full name)	
Contact name (applicable for companies)	Mick Cooper
Postal address (P.O. Box or street address)	
Suburb	
State	
Postcode	
Country	
Contact number	
Email address (non-mandatory)	mmcooperfamily@bigpond.com

Mobile number <i>(non-mandatory)</i>	0418 176 109		
Fax number <i>(non-mandatory)</i>			
15) Builder's details			
<input type="checkbox"/> Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.			
Name(s) <i>(individual or company full name)</i>	William Farmer Constructions		
Contact name <i>(applicable for companies)</i>	William Farmer		
QBCC licence or owner – builder number	15029759		
Postal address <i>(P.O. Box or street address)</i>	72 Jim Weir Road		
Suburb	Julatten		
State	QLD		
Postcode	4871		
Contact number	0427557546		
Email address <i>(non-mandatory)</i>	williamscott.farmer@hotmail.com		
Mobile number <i>(non-mandatory)</i>			
Fax number <i>(non-mandatory)</i>			
16) Provide details about the proposed building work			
What type of approval is being sought?			
<input checked="" type="checkbox"/> Development permit			
<input type="checkbox"/> Preliminary approval			
b) What is the level of assessment?			
<input checked="" type="checkbox"/> Code assessment			
<input type="checkbox"/> Impact assessment <i>(requires public notification)</i>			
c) Nature of the proposed building work (tick all applicable boxes)			
<input checked="" type="checkbox"/> New building or structure		<input type="checkbox"/> Repairs, alterations or additions	
<input type="checkbox"/> Change of building classification <i>(involving building work)</i>		<input type="checkbox"/> Construction of Swimming pool or spa	
<input type="checkbox"/> Extension		<input type="checkbox"/> Re-erection	
<input type="checkbox"/> Demolition		<input type="checkbox"/> Relocation or removal	
<input type="checkbox"/> Construction of swimming pool or spa barrier		<input type="checkbox"/> Other	
d) Provide a description of the work below or in an attached schedule.			
Shed			
e) Proposed construction materials			
External walls	<input type="checkbox"/> Double Brick	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick Veener	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input checked="" type="checkbox"/> Concrete/Stone/Slate	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Concrete/Stone/Slate	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Other
f) Existing building use/classification? <i>(if applicable)</i>			
Dwelling			
g) New building use/classification? <i>(if applicable)</i>			

10a
h) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>
<input checked="" type="checkbox"/> Relevant plans of the proposed works are attached to the development application
17) What is the monetary value of the proposed building work?
\$100,000.00

18) Has Queensland Home Warranty Scheme Insurance been paid?		
<input checked="" type="checkbox"/> Yes – provide details below		
<input type="checkbox"/> No		
Amount paid	Date paid (dd/mm/yy)	Reference number
\$899.80	20/02/26	15095941

PART 6 – CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist	
The relevant parts of <i>Form 2 – Building work details</i> have been completed	<input checked="" type="checkbox"/> Yes
This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not applicable
Relevant plans of the development are attached to this development application <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.</i>	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (<i>see 9</i>)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable

20) Applicant declaration
<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct
<input checked="" type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i> <i>Note: It is unlawful to intentionally provide false or misleading information.</i>
Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i> , Planning Regulation 2017 and the DA Rules except where: <ul style="list-style-type: none"> • such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the Planning Regulation 2017, and the access rules made under the <i>Planning Act 2016</i> and Planning Regulation 2017; or • required by other legislation (including the <i>Right to Information Act 2009</i>); or • otherwise required by law. This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i> .

PART 7 – FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference numbers:

For completion by the building certifier

Classification(s) of approved building work

10a		
Name	QBCC Certification Licence number	QBCC Insurance receipt number
Scott Wheeler	A15149770	15095941

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

Additional information required by the local government

Confirm proposed construction materials:

External walls	<input type="checkbox"/> Double brick	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input checked="" type="checkbox"/> Concrete/Stone/Slate	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Concrete/Stone/Slate	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Other

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	Shed		
QLeave project number			
Amount paid (\$)	0.0000	Date paid (dd/mm/yy)	
Date received form sighted by assessment manager			
Name of officer who sighted the form	Scott Wheeler		

Additional building details required for the Australian Bureau of Statistics

Existing building use/classification? (if applicable)	Dwelling		
New building use/classification?	10a		
Site area (m ²)	48430m ²	Floor area (m ²)	144m ²



GENERAL NOTES

These documents show the general arrangement of the building and include some items not supplied (refer to the quotation for nomination of all items to be provided). All items not nominated therein shall be supplied and installed by others.

The plans provided here are the latest at the time of print. Earlier plans provided may have become outdated due to engineering changes and should not be used. The plans and drawings are extensive and give all the information needed for a competent person to erect the building. The building is not designed to stand up by itself when it is partially complete. Consequently, construction bracing is critical during erection.

The owner has been requested to check off the BOM after the building delivery. You should check that you are able to locate all materials nominated in the BOM. You should also confirm that the length and size (including thickness), nominated in the BOM is what has been provided. Any missing items are the responsibility of the client once correct delivery has been confirmed as per Terms and Conditions of Sale.

DESIGN CRITERIA

These building plans have been prepared to comply with the standards nominated in the engineer's letter. All plans are not to Scale.

ADDITIONAL DOCUMENTATION TO BE SUPPLIED BY PURCHASER/OWNER

The Purchaser/Owner is responsible for:

- *Provision of Soils Report for the site and in the building area on which the building is to be erected
- *Site Plan and Drainage Plans
- *Any other plans not covered by these engineering plans requested by the local Council or the authority

RAINWATER AND DRAINAGE

All Rainwater and drainage designs are the responsibility of the purchaser/owner. Residential gutters and downpipes where supplied are based on average rainfall for the state and may not be sufficient for your building size or usage. Please speak to your building designer or contractor to ensure gutters are fit for purpose.

BUILDING CONSTRUCTION REQUIREMENTS

The Builder and Purchaser are to ensure that all construction is carried out in accordance with the Plans, the Construction Manual and the Bill of Materials (BOM).

It is the responsibility of the builder to ensure that they are familiar with the operational risks and their obligations in carrying out construction work.

The builder must ensure that they have an appropriate Health & Safety Plan (The Plan) compliant with and as required by their local, state and federal regulations. The Plan will need to take into account the site conditions, the size of the building and the experience of the construction personnel. The Plan will, most likely, differ for each project.

The builder must ensure that The Plan is adhered to. Particular attention should be paid to the requirements to ensure that any person working at heights are properly trained and following the requirements as set out by The Plan.

It is recommended that you check with the appropriate authority in your area as to your responsibilities.

TEMPORARY SUPPORT, LIFTING AND SHORING

The design of temporary propping shoring, lifting and support during construction has not been undertaken and is not included in our engagement. This work is the responsibility of the Contractor undertaking the construction of the building.

SLAB DETAILS - GENERAL

Piers

* The minimum size of Piers under the columns and End Wall Mullions are nominated on the Material Specifications Plan. When the slab and piers are poured as one pour, the depth of the pier is to the top of the slab.

Concrete Slab

- * Footings and slabs, including internal and edge beams, must be founded on natural soil with a minimum allowable bearing pressure of 100kPa. Design covers soil classifications of A, S, M, H1 or H2 for a class 10a building.
- * The footing designs have been calculated with cohesion values of 0kPa, 50kPa and 100kPa for dense sandy soils and clay soils only.
- * A site specific geotechnical investigation has not been performed. The builder will need to verify the soil type and conditions.
- * Site conditions different to those specified require a modified design.
- * Sub grade shall be excavated and compacted to a minimum of 100% standard dry density ratio and within 2% of the OMC to comply with AS2159.
- * Designs are in accordance with AS 3600:2018
- * All concrete to be in accordance with AS 3600:2018. Minimum 25 Mpa, with 80mm slump.
- * Concrete should be cured for 7 days before commencing construction of the building.
- * Refer to connection details.
- * Saw construction joints to be 25mm deep x 5mm wide. Saw cuttings shall take place no later than 24 hours after pouring. Saw construction joints to be placed at a maximum spacing of 6.3m (in both the length and the span). Care should be taken to avoid construction cuts intersecting where any fixing to the slab is to be made.
- * Where columns or end wall mullions have been removed, piers are not required.
- * End wall mullion spacing may move due to location of openings or doors. Check layout and component position plan, and relocate piers as required.
- * The Slab Plan indicates those parts of the slab which are 50mm below main slab/piers.

For Class A, S or M Sites

* Slab thickness to be a minimum of 100mm with SL 82 mesh and 40mm top cover.

* Concrete piers under Roller Doors Jambs to be a minimum size as below: MC25019 - 450mm dia x 550mm deep, centered to the C Section
Where heavy traffic is to go through the roller doors, it is recommended that the slab edge should be thickened to 200mm deep by 300mm wide for the length between the mullions. Place an additional section of SL 82 mesh, 50mm from the base in all thickenings.

For Class H1 or H2 Sites

* Slab thickness to be a minimum of 100mm with SL 92 mesh and 40mm top cover.

- * Perimeter beams 550mm deep x 300mm wide with Y12 3 bar Trench Mesh to the perimeter of the building.
- * Internal beams 550mm deep by 300mm wide with Y12 3 bar Trench Mesh at a max spacing of 4m.
- * Concrete piers under Roller Doors Jambs to be a minimum size as below: MC25019 - 450mm dia x 700mm deep, centered to the C Section

SHEETED PORTALS AND MULLIONS

All end and dividing wall mullions provide critical support to portal frames and cannot be repositioned or removed under any circumstances without engineering approval.

BRACING NOTES


- * Refer to Connection Details.
- * All Cross Bracing is achieved with 30 mm x 1.6 mm strap G450.
- * Knee bracing clearance from FFL is X = Main Building: 2.343m.
- * Cross bracing is to be fixed taut and secured with 14.20 x 22 frame screws at each end, quantity as per connection details.
- * Fly bracing to be fixed to the purlins/girts on all mid portal rafters, columns and end wall mullions. Fly bracing is to be fitted to every second purlin/girt, or, on every one, where the spacing between fly braces would exceed the maximum specified below for the relevant column/rafter size:
 - C150 - maximum 1800mm spacing
 - C200, C250 - maximum 2200mm spacing
 - C300 - maximum 2800mm spacing
 - C350 - maximum 2800mm spacing
 - C400 - maximum 2800mm spacing

Initial measurement is from the haunch of the column/rafter, and from the rafter for any end wall mullions.

* The first fly brace is to be placed at the purlin/girt closest to the haunch or top of the mullion.* Open bays to have fly bracing fitted to every available girt supporting the header sheets.

* Where windows/GSD are placed in any bay where cross bracing is shown, then

- a) this can be replaced by moving the bracing to another bay OR
- b) due to the bracing provided by the window jambs, where space permits, bracing should be placed under and over the window.

Revision	Date	Initial			General Notes NOT FOR CONSTRUCTION Page 1 of 2 ©Copyright Steelx IP Pty Ltd	Seller: Sheds n Homes Cairns Name: FNQ Sheds Pty Ltd Phone: 0417 416 420 Fax: Email: cairns@shedsnhomes.com.au	Apex Engineering Group PTY LTD ACN 632 588 562 MIE Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES; Practising Professional Structural & Civil Engineers Signature:  John Ronaldson Date: 03/02/2026
			Purchaser Name: Mick Cooper				
			Site Location: 4990 Captain Cook Hwy Oak Beach QLD 4877 Australia				
			Drawing # SCNS260003 - 2	Print Date: 03/02/2026			

* All bracing strap ends to be located as close as practical to structural member's (columns, rafters, mullions) centerline.

BOLTS

* Unless otherwise nominated, all bolts are grade 4.6

* All tensioned bolts shall be tensioned using the part turn method (refer to AS4100). For the erector, full details are in the construction manual.

ROLLER DOORS

All Roller doors are wind rated. All comments regarding roller doors are referenced from inside the building looking out.

OTHER MATERIALS NOTES


* All Sheeting, Flashing and framing screws are Climaseal 4.

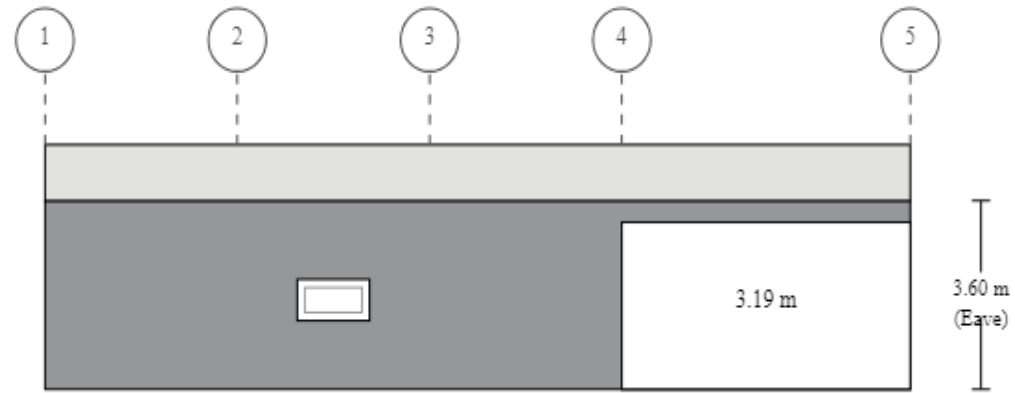
* All purlin material has Z350 zinc coating with minimum strength of 450MPa.

SOLAR PANELS

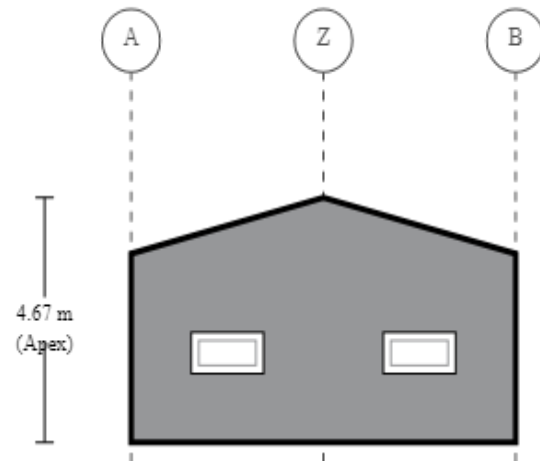
* The building has been engineered for the panels to be placed on the left side of the main building.

* Refer to Solar Panel Connection Detail drawing.

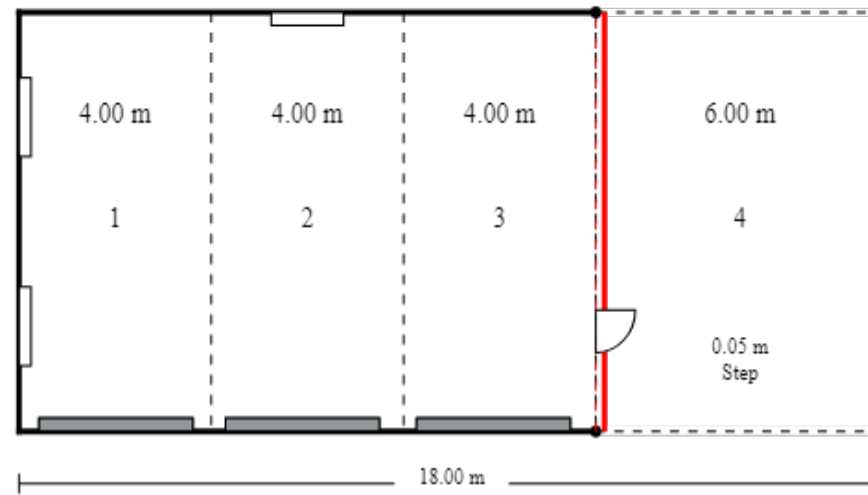
Revision	Date	Initial			General Notes NOT FOR CONSTRUCTION Page 2 of 2 ©Copyright Steelx IP Pty Ltd	Seller: Sheds n Homes Cairns Name: FNQ Sheds Pty Ltd Phone: 0417 416 420 Fax: Email: cairns@shedsnhomes.com.au	Apex Engineering Group PTY LTD ACN 632 588 562 MIE Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES; Practising Professional Structural & Civil Engineers Signature:  John Ronaldson Date: 03/02/2026
			Purchaser Name: Mick Cooper				
			Site Location: 4990 Captain Cook Hwy Oak Beach QLD 4877 Australia				
			Drawing # SCNS260003 - 2	Print Date: 03/02/2026			



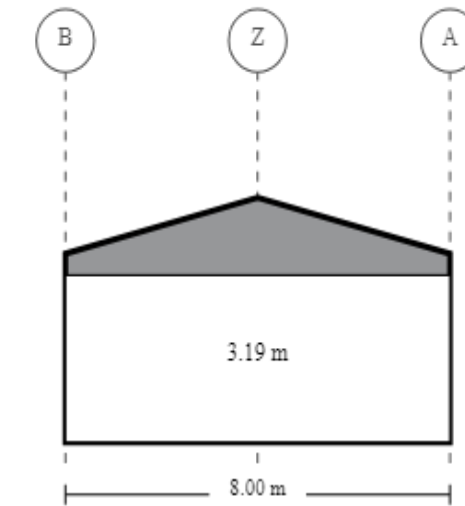
Left Side



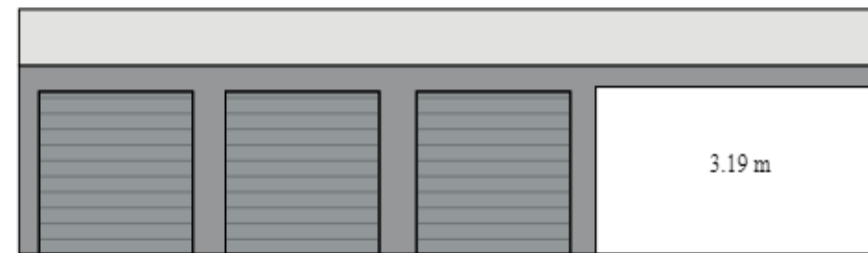
Left End



Right Side



Right End



Purchaser Name: Mck Cooper

Site Location: 4990 Captain Cook Hwy Oak Beach QLD 4877 Australia

Drawing # SCNS260003 - 3

Print Date: 03/02/2026

Layout
NOT FOR CONSTRUCTION
 Not to Scale
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Seller: Sheds n Homes Cairns
 FNQ Sheds Pty Ltd
 Phone: 0417 416 420
 Fax:
 Email: cairns@shedsnhomes.com.au

Apex Engineering Group PTY LTD
 ACN 632 588 562
 ME Aust. (Registered NER Structural) 5276680
 QLD : RPEQ No. 24223; TAS : 185770492; VC : PE0003848; N.T : 303557ES;
 Practising Professional Structural & Civil Engineers

Signature:  Date: John Ronaldson
 Date: 03/02/2026

MATERIAL SPECIFICATIONS

For further information regarding the tabulated values shown, refer to the General Notes

Building Dimensions

Categories	Span	Length	Pitch	Height	Grid(s)	Portal(s)
Main Building	8	18	15 °	3.6	A - B	1 - 5

Portal Frame Elements

Grid / Portal Number		1	2	3	4	5
Columns	A	MC15012	MC20024	MC20024	MC15012	2MC15012
	B	MC15012	MC20024	MC20024	MC15012	2MC15012
Rafters	A - Apex	MC15012	MC20019	MC20019	MC15019	MC15024
	Apex - B	MC15012	MC20019	MC20019	MC15019	MC15024
End Wall Mullions	Z	MC25019	-	-	MC25019	MC15012
Apex Braces	Apex	-	MC15015 @ 2.4	MC15015 @ 2.4	-	MC15015 @ 2.4
Knee Braces	A - Apex		MC20015 @ 1.7	MC20015 @ 1.7		
	Apex - B		MC20015 @ 1.7	MC20015 @ 1.7		

Bay Section Elements

Bay Number		1	2	3	4
Bay Widths		4	4	4	6
Roof Purlins (refer to Purlin And Girt Plan)		Z150	Z150	Z150	Z150
Roof Purlin Bridging (Rows)	A - Apex	-	-	-	YES (1)
	Apex - B	-	-	-	YES (1)
Roof Purlin Spacing (End)	A - Apex	1.3	1.3	1.3	1.3
	Apex - B	1.3	1.3	1.3	1.3
Roof Purlin Spacing (Internal Spans)	A - Apex	1.344	1.344	1.344	1.344
	Apex - B	1.344	1.344	1.344	1.344
Eave Purlin	A	MC20015	MC20015	MC20015	2MC20024
	B	MC20015	MC20015	MC20015	2MC20019
Side Girts (refer to Purlin And Girt Plan)		Z150	Z150	Z150	-
Side Girts Spacing (End)	A	1.685	1.685	1.685	1.7
	B	1.685	1.685	1.685	1.7
Side Girts Spacing (Internal)	A	1.685	1.685	1.685	1.7
	B	1.685	1.685	1.685	1.7
Roller Door Header	B	MC15012	MC15012	MC15012	-
Roller Door Jambs	B	MC25019	MC25019	MC25019	-

End Bay Section Elements

Grid / Portal Number		1	4	5
End Girts (refer to Purlin And Girt Plan)		Z100	Z100	Z100
End Girts Spacing (End)	A - Z	1.123	1.123	0.31
	Z - B	1.123	1.123	0.31
End Girts Spacing (Internal)	A - Z	1.123	1.123	0.31
	Z - B	1.123	1.123	0.31
PA Door Header	Z - B	-	C10010	-
PA Door Jambs	Z - B	-	C10012	-

Roller Door

Location - Side & Bay Number	RightSide 1	RightSide 2	RightSide 3
Roller Door Size	3.1x3.2	3.1x3.2	3.1x3.2
Roller Door Header	MC15012	MC15012	MC15012
Roller Door Jambs	MC25019	MC25019	MC25019
Roller Door Clip Config	1 clips	1 clips	1 clips
Roller Door Manufacturer	CENTURION	CENTURION	CENTURION

Revision	Date	Initial		
			Purchaser Name: Mick Cooper	
			Site Location: 4990 Captain Cook Hwy Oak Beach QLD 4877 Australia	
			Drawing # SCNS260003 - 4	Print Date: 03/02/2026

Material Specification Sheet NOT FOR CONSTRUCTION

Page 1 of 3
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Seller: Sheds n Homes Cairns
Name: FNQ Sheds Pty Ltd
Phone: 0417 416 420
Fax:
Email: cairns@shedsnshomes.com.au

Apex Engineering Group PTY LTD
ACN 632 588 562
MIE Aust. (Registered NER Structural) 5276680
QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES;
Practising Professional Structural & Civil Engineers

Signature:  John Ronaldson
Date: 03/02/2026

MATERIAL SPECIFICATIONS

For further information regarding the tabulated values shown, refer to the General Notes

PA Door

Location - Side & Bay Number	RightEnd 3
PA Door Header	C10010
PA Door Jambs	C10012
PA Door	2.040 x 0.820 - Larnec Shed Door - 3 Sided Frame - Single Skin - Pre-Hung - RH swing
PA Door Manufacturer	LARNEC

Cladding Elements


Category	Colour	Product
Roof Sheeting	Surfmist	TRIMCLAD® 0.42 BMT
Roof Flashings	COLORBOND® steel	BlueScope 0.55 BMT
Wall Sheeting	Bluegum	TRIMCLAD® 0.42 BMT
Wall Flashing	COLORBOND® steel	BlueScope 0.55 BMT

Pier Sizes

Cohesion	Soil Description	Diameter	Depth - with Slab						Reinforcement (1)	Min Depth for Reo (2)
			BP1	BP2	BP3	BP4	BP5	BP6		
0kPa	Sandy Soil	0.3	0.45	-	-	-	-	1.2	4-N12	1.2
		0.45	0.45	0.45	1	1.2	0.45	0.9	4-N12	1.2
		0.6	0.45	0.45	0.9	0.9	0.45	0.6	4-N16	1.2
50.00 kPa	Soft to Firm Clay	0.3	0.7	-	-	-	-	0.7	4-N12	1
		0.45	0.7	0.45	0.8	0.8	0.45	0.7	4-N12	1.2
		0.6	0.7	0.45	0.8	0.8	0.45	0.7	4-N16	1.2
100.00 kPa	Stiff to Very Stiff Clay	0.3	0.7	-	-	-	-	0.7	4-N12	0.9
		0.45	0.7	0.45	0.7	0.7	0.45	0.7	4-N12	1.2
		0.6	0.7	0.45	0.7	0.7	0.45	0.7	4-N16	1.2
		Embedment Depth	0	0	0	0	0	0	N/A	N/A

Note 1
For pier reinforcement: Deformed bar to be within 100mm of base and minimum 75mm top cover.
Minimum side cover 75mm, maximum 100mm.
Rod to be caged horizontally at least twice with minimum 6mm cage tie at a maximum spacing of 300mm.

Note 2
No reinforcement is required for piers less than this depth. For all other pier depths refer to the table and Note 1.

Revision	Date	Initial	Purchaser Name: Mick Cooper		Material Specification Sheet NOT FOR CONSTRUCTION Page 2 of 3 ©Copyright Steelx IP Pty Ltd	Seller: Sheds n Homes Cairns Name: FNQ Sheds Pty Ltd Phone: 0417 416 420 Fax: Email: cairns@shedsnhomes.com.au	Apex Engineering Group PTY LTD ACN 632 588 562 MIE Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES; Practising Professional Structural & Civil Engineers Signature:  John Ronaldson Date: 03/02/2026
			Site Location: 4990 Captain Cook Hwy Oak Beach QLD 4877 Australia				
			Drawing # SCNS260003 - 4	Print Date: 03/02/2026			


MATERIAL SPECIFICATIONS

For further information regarding the tabulated values shown, refer to the General Notes

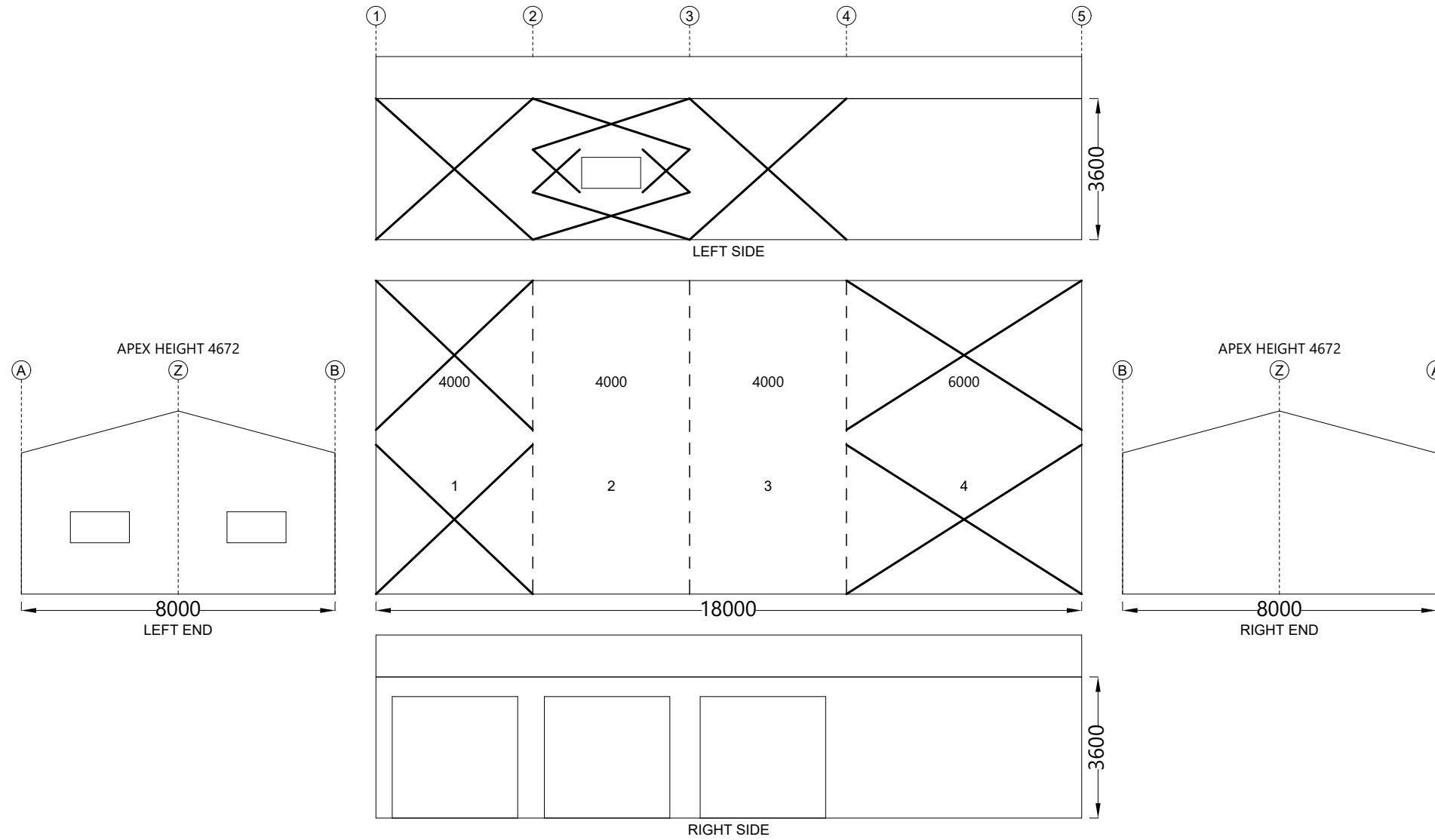
Cohesion	Soil Description	Diameter	Pier Sizes							Reinforcement (1)	Min Depth for Reo (2)
			Depth - when NO Slab								
			BP1	BP2	BP3	BP4	BP5	BP6	BP7		
0kPa	Sandy Soil	0.3	1.2	-	-	-	1.5	-	1.7	4-N12	1.2
		0.45	0.9	1.2	1.6	1.7	1.1	1.6	1.3	4-N12	1.2
		0.6	0.7	1.1	1.3	1.4	0.9	1.3	1	4-N16	1.2
50.00 kPa	Soft to Firm Clay	0.3	1.3	-	-	-	1.4	-	1.3	4-N12	0.7
		0.45	1.3	1.7	1.8	1.8	1.4	1.7	1.3	4-N12	1
		0.6	1.3	1.7	1.8	1.8	1.4	1.7	1.3	4-N16	1.2
100.00 kPa	Stiff to Very Stiff Clay	0.3	1.2	-	-	-	1.2	-	1.2	4-N12	0.6
		0.45	1.2	1.4	1.5	1.5	1.2	1.4	1.2	4-N12	0.9
		0.6	1.2	1.4	1.5	1.5	1.2	1.4	1.2	4-N16	1
		Embedment Depth	0	0	0	0	0	0	0	N/A	N/A

Note 1
 For pier reinforcement: Deformed bar to be within 100mm of base and minimum 75mm top cover.
 Minimum side cover 75mm, maximum 100mm.
 Rod to be caged horizontally at least twice with minimum 6mm cage tie at a maximum spacing of 300mm.

Note 2
 No reinforcement is required for piers less than this depth. For all other pier depths refer to the table and Note 1.

Revision	Date	Initial	Purchaser Name: Mick Cooper		Material Specification Sheet NOT FOR CONSTRUCTION Page 3 of 3 ©Copyright Steelx IP Pty Ltd	Seller: Sheds n Homes Cairns Name: FNQ Sheds Pty Ltd Phone: 0417 416 420 Fax: Email: cairns@shedsnhomes.com.au	Apex Engineering Group PTY LTD ACN 632 588 562 MIE Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES; Practising Professional Structural & Civil Engineers Signature:  John Ronaldson Date: 03/02/2026
			Site Location: 4990 Captain Cook Hwy Oak Beach QLD 4877 Australia				
			Drawing # SCNS260003 - 4	Print Date: 03/02/2026			

Cross Bracing is achieved with 30 mm x 1.6 mm strap. Refer to Connection Details.
 Bracing around windows cannot be relocated. The windows must remain in the fixed location that has been specified where bracing is present.




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			Drawing # SCNS260003 - 5	Print Date: 03/02/2026

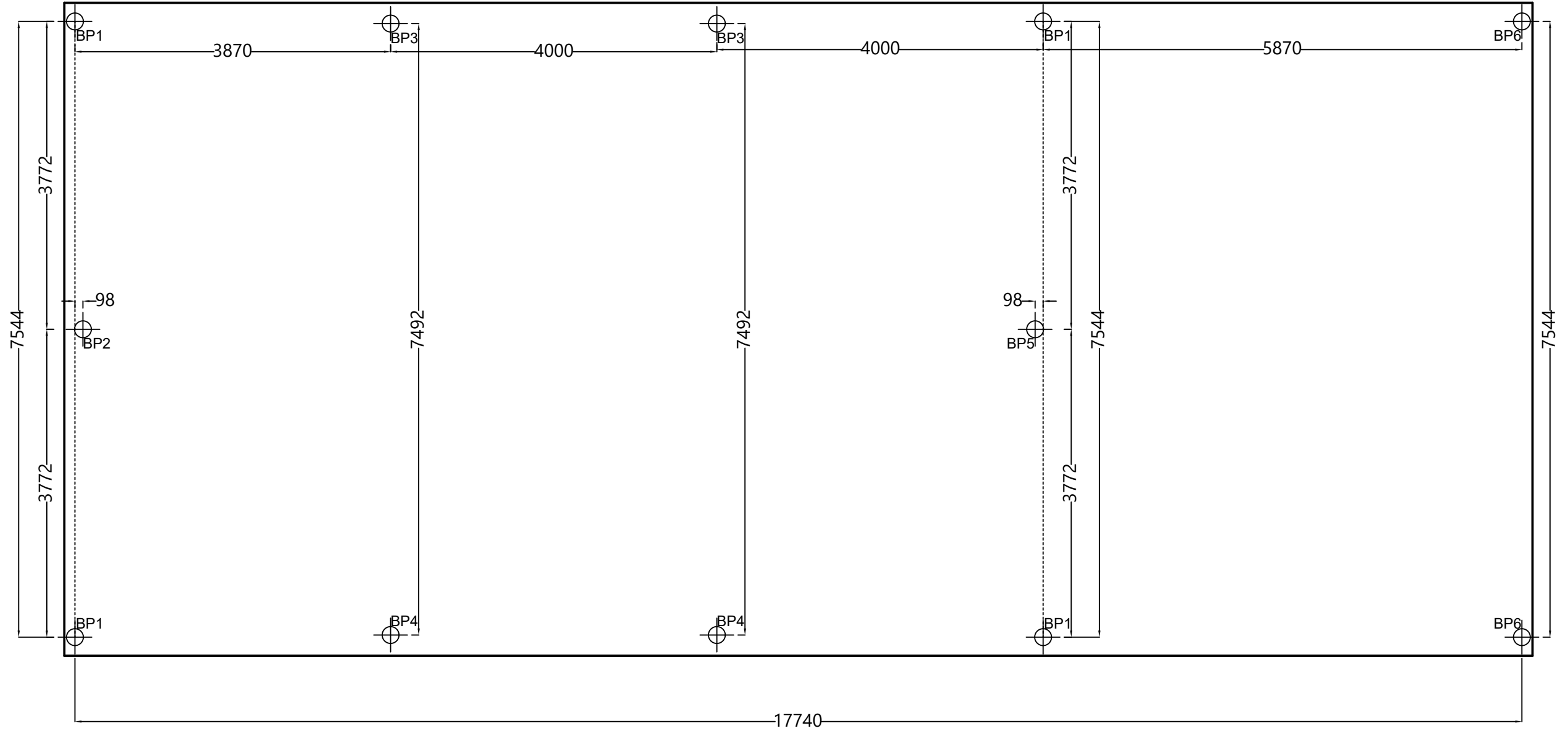
Bracing
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 Name: FNQ Sheds Pty Ltd
 Phone: 0417 416 420
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 ACN 632 588 562
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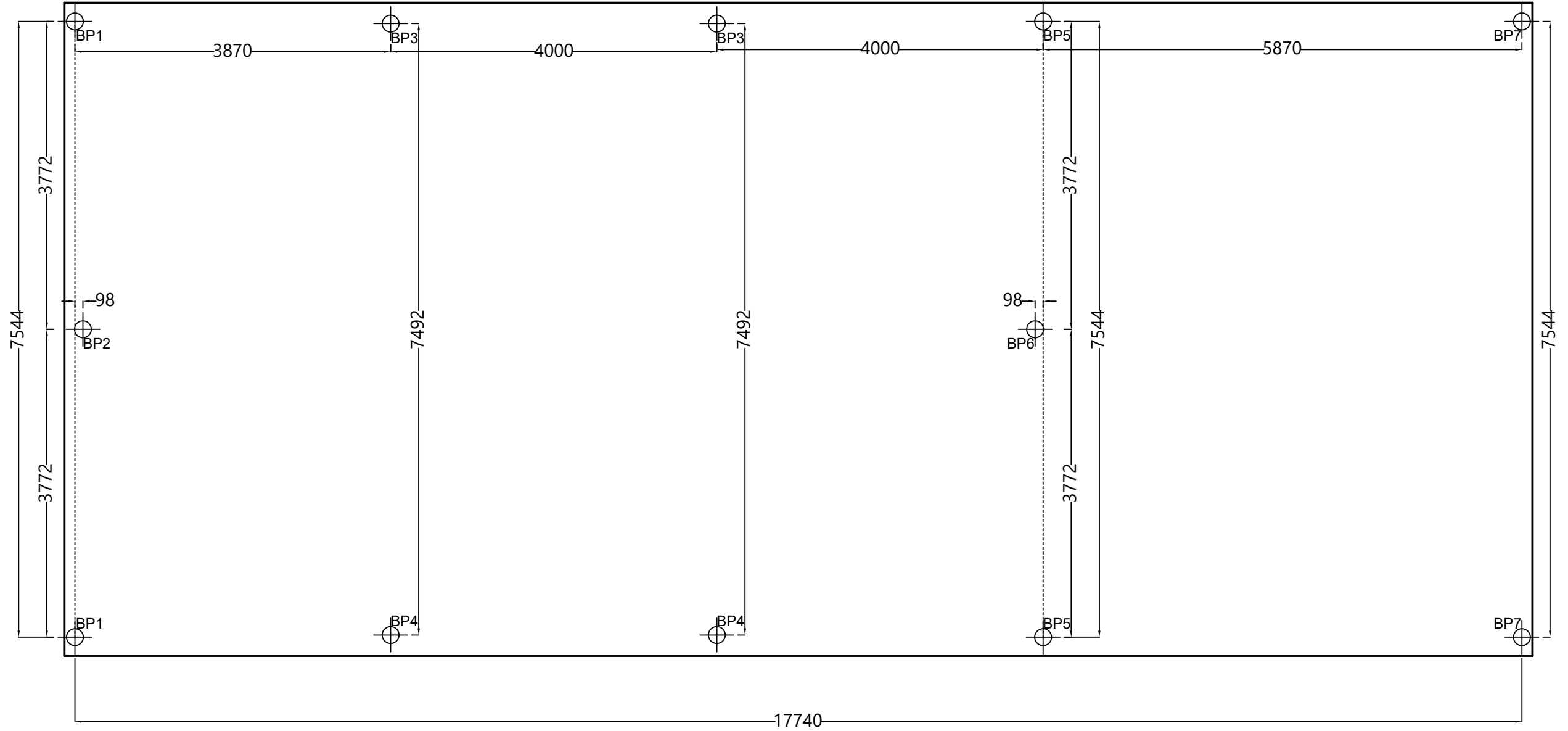
Signature:  John Ronaldson
 Date: 03/02/2026


Concrete Piers (Slab)
 These dimensions are provided as a guide only. It is the responsibility of the concreter to confirm that all dimensions are correct.
 Refer to Material Specification Sheet(s) for the Pier Sizes.
 Refer to Slab Plan for concrete stepdowns.



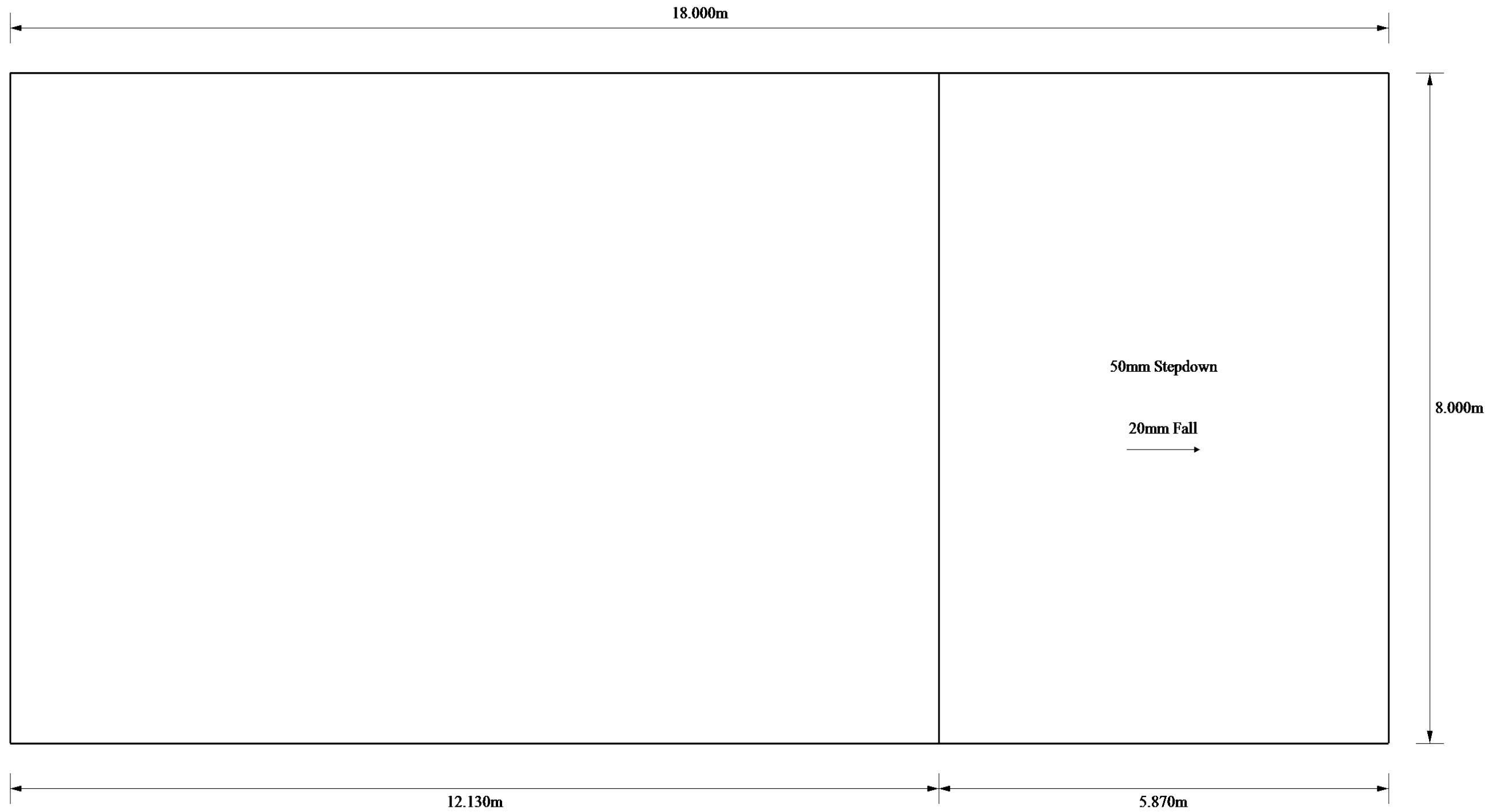
Revision	Date	Initial			Concrete Piers (Slab) PIER MEASUREMENT ONLY. NOT FOR CONSTRUCTION NOT TO SCALE Page 1 of 1 ©Copyright Steelx IP Pty Ltd	Seller: Sheds n Homes Cairns Name: FNQ Sheds Pty Ltd Phone: 0417 416 420 Fax: Email: cairns@shedsnhomes.com.au		Apex Engineering Group PTY LTD ACN 632 588 562 MIE Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES; Practising Professional Structural & Civil Engineers			
			Purchaser Name: Mick Cooper			Signature:  John Ronaldson Date: 03/02/2026					
			Site Location: 4990 Captain Cook Hwy Oak Beach QLD 4877 Australia								
			Drawing # SCNS260003 - 6	Print Date: 03/02/2026							

Concrete Piers (NO Slab)
 These dimensions are provided as a guide only. It is the responsibility of the concreter to confirm that all dimensions are correct.
 Refer to Material Specification Sheet(s) for the Pier Sizes.
 Refer to Slab Plan for concrete stepdowns.



Revision	Date	Initial						
			Purchaser Name: Mick Cooper		Concrete Piers (NO Slab) PIER MEASUREMENT ONLY. NOT FOR CONSTRUCTION NOT TO SCALE Page 1 of 1 ©Copyright Steelx IP Pty Ltd	Seller: Sheds n Homes Cairns Name: FNQ Sheds Pty Ltd Phone: 0417 416 420 Fax: Email: cairns@shedsnhomes.com.au	Apex Engineering Group PTY LTD ACN 632 588 562 MIE Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES; Practising Professional Structural & Civil Engineers Signature:  John Ronaldson Date: 03/02/2026	
			Site Location: 4990 Captain Cook Hwy Oak Beach QLD 4877 Australia					
			Drawing # SCNS260003 - 6	Print Date: 03/02/2026				

These dimensions are provided as a guide only. It is the responsibility of the concreter to confirm that all dimensions are correct.



Purchaser Name: Mck Cooper

Site Location: 4990 Captain Cook Hwy Oak Beach QLD 4877 Australia

Drawing # SCNS260003 - 7

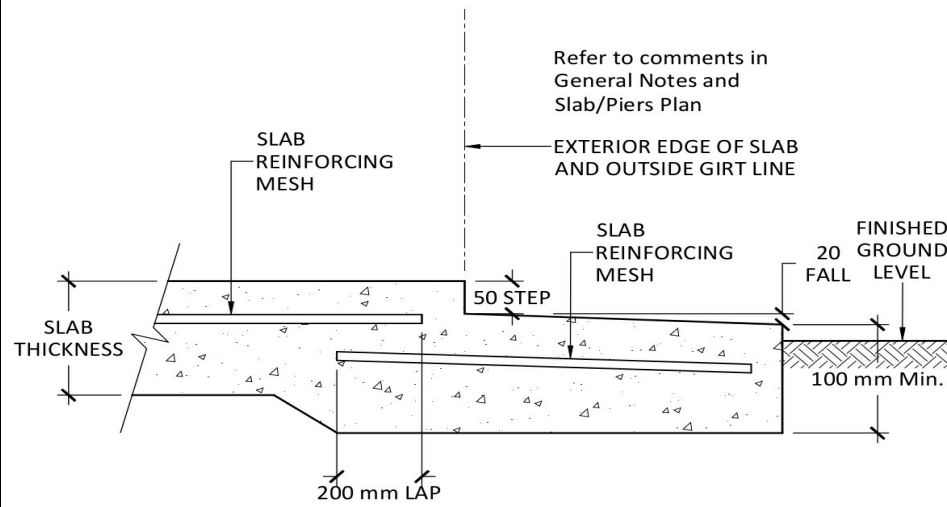
Print Date: 03/02/2026

Slab Dimensions
Also refer to Concrete Piers Plan. NOT FOR CONSTRUCTION
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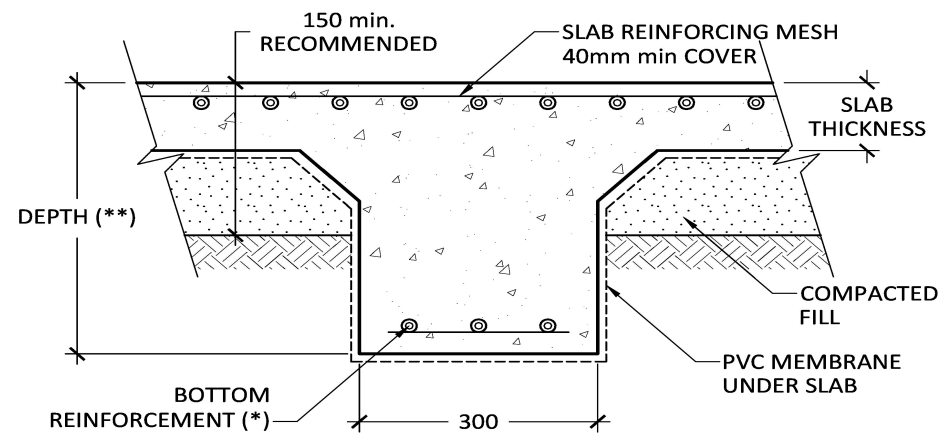
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FNQ Sheds Pty Ltd
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Fax:
Email: cairns@shedsnhomes.com.au

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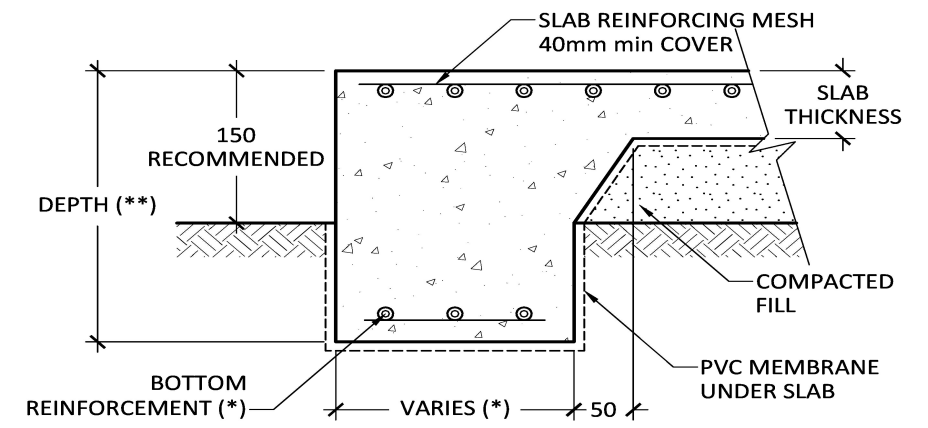
Signature:  Date: John Ronaldson
Date: 03/02/2026



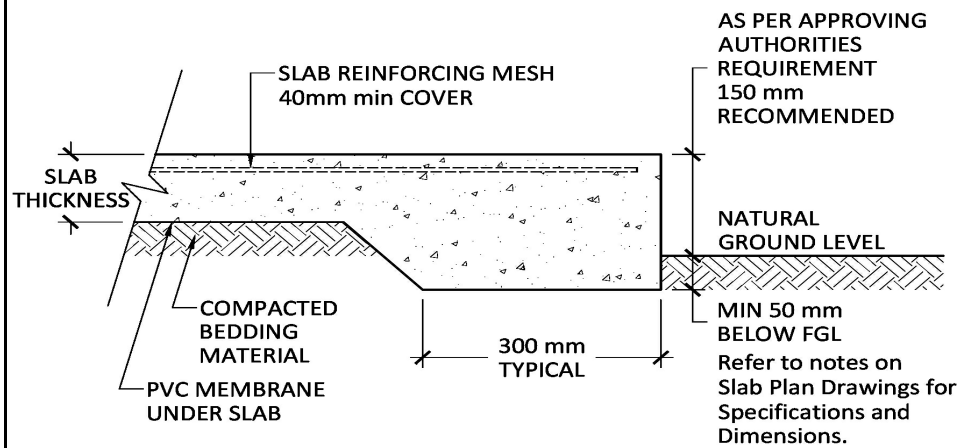
**CONCRETE SLAB with
50 mm STEP DOWN**



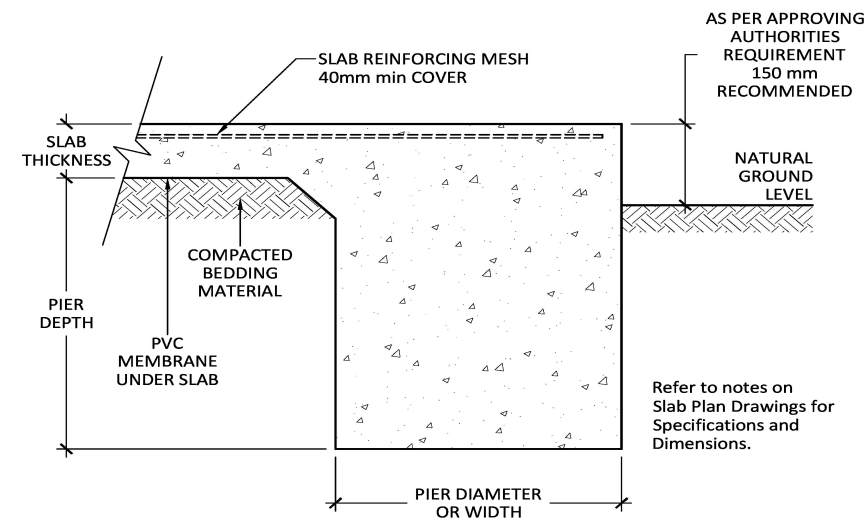
**INTERNAL BEAM
(H1 & H2 SOIL TYPE, OPTIONAL A, S & M)**



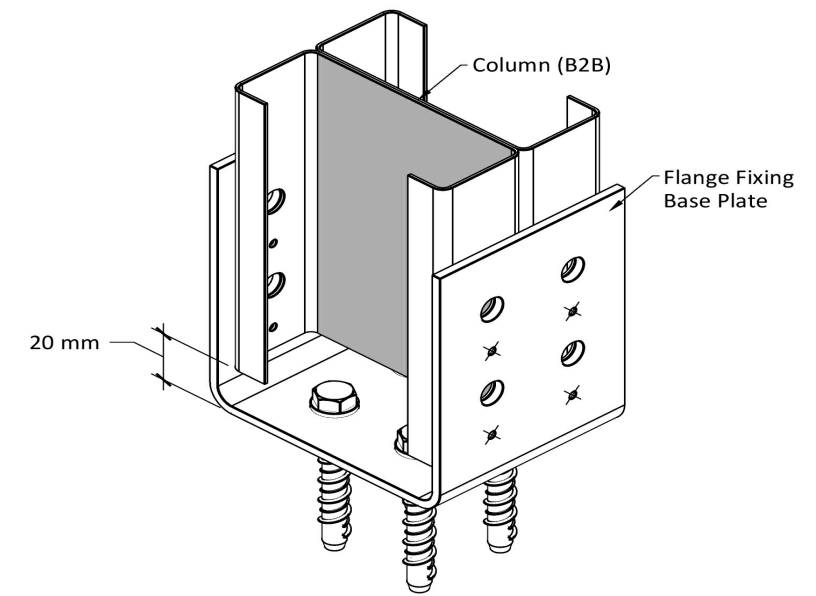
**PERIMETER BEAM
(H1 & H2 SOIL TYPE, OPTIONAL A, S & M)**



**SLAB PERIMETER THICKENING BETWEEN PIER
A, S & M SOIL TYPES**



SLAB AND PIER DETAIL



**FOOTING BOLTS - 4 of M12 x 100 SCREWBOLT
FIXING BOLTS - 8 of M12 x 30 Galv.
FIXING SCREWS - 8 of 12.24 x 38 Series 500
2C150 COLUMN FIXING (BF)**

Purchaser Name: Mck Cooper

Site Location: 4990 Captain Cook Hwy Oak Beach QLD 4877 Australia

Drawing # SCNS260003 - 8

Print Date: 03/02/2026

**Connection Details
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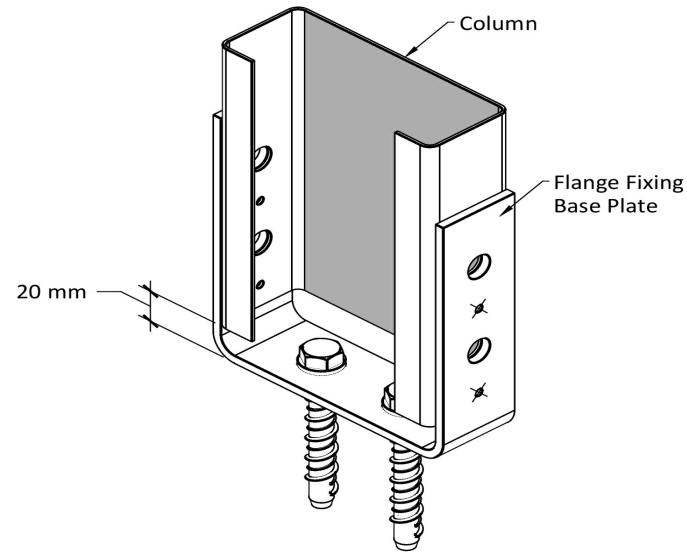
Seller: Sheds n Homes Cairns
FNQ Sheds Pty Ltd
Phone: 0417 416 420
Fax:
Email: cairns@shedsnhomes.com.au

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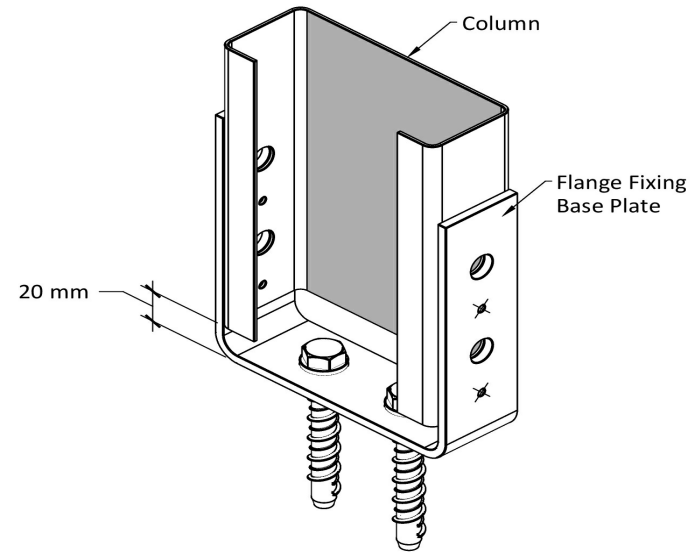
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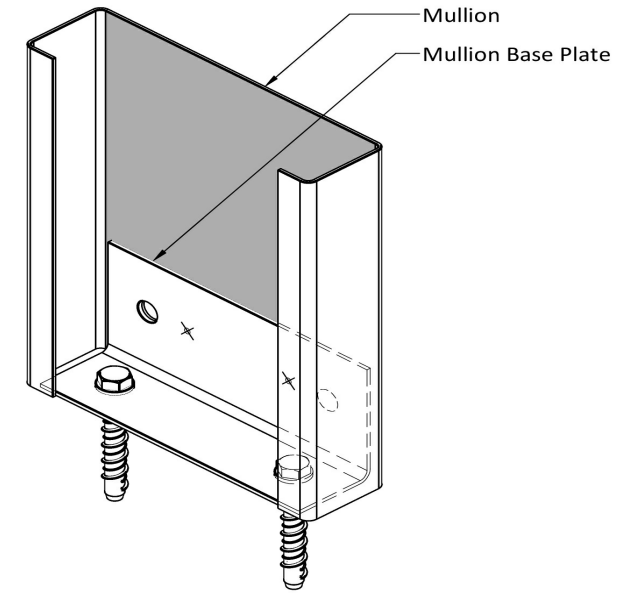
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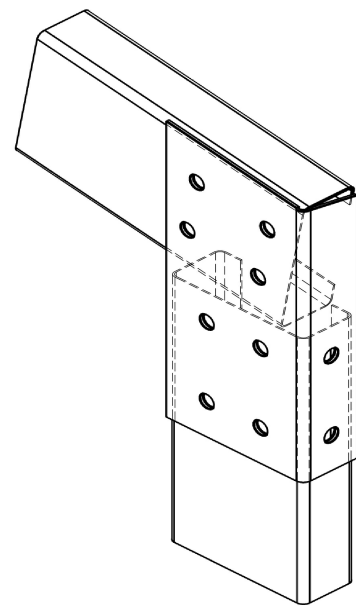
FOOTING BOLTS - 2 of M12 x 100 SCREWBOLT
 ○ FIXING BOLTS - 4 of M12 x 30 Galv.
 × FIXING SCREWS - 4 of 12.24 x 38 Series 500
C150 COLUMN FIXING (BF)



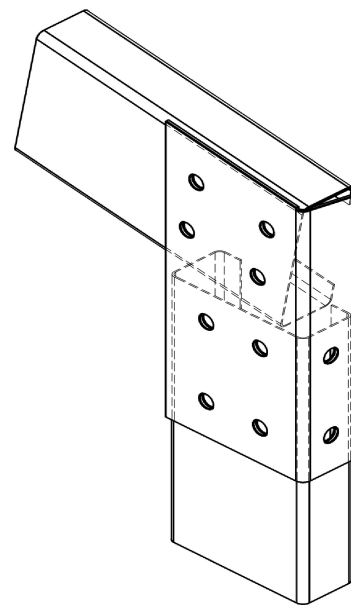
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 × FIXING SCREWS - 4 of 12.24 x 38 Series 500
C200 COLUMN FIXING (BF)



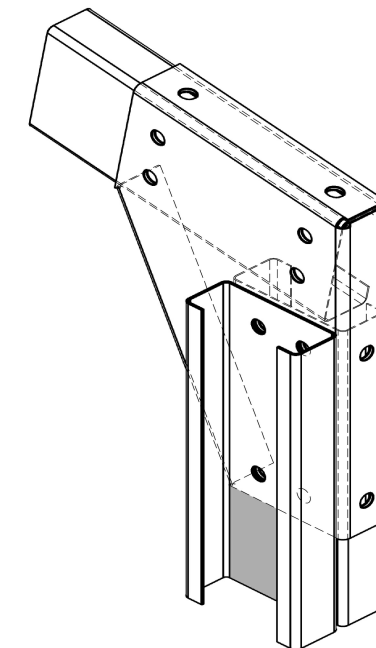
FOOTING BOLTS - 2 of M16 x 150 SCREWBOLTS
 ○ FIXING BOLTS - 2 of M16 x 30
 × FIXING SCREWS - 2 of 14.20 x 22
C250 MULLION BASE PLATE (B)



○ FIXING BOLTS - 10 of M12 x 30 (8.8)
FLAT PLATE HAUNCH BRACKET (X&Y) - C150, 15°



○ FIXING BOLTS - 10 of M12 x 30 (8.8)
FLAT PLATE HAUNCH BRACKET (X&Y) - C200, 15°



○ FIXING BOLTS - 12 of M12 x 40 (8.8)
KNEE HAUNCH BRACKET (HS&HT) - 2C150 - C150, 15°

Purchaser Name: Mck Cooper

Site Location: 4990 Captain Cook Hwy Oak Beach QLD 4877 Australia

Drawing # SCNS260003 - 8

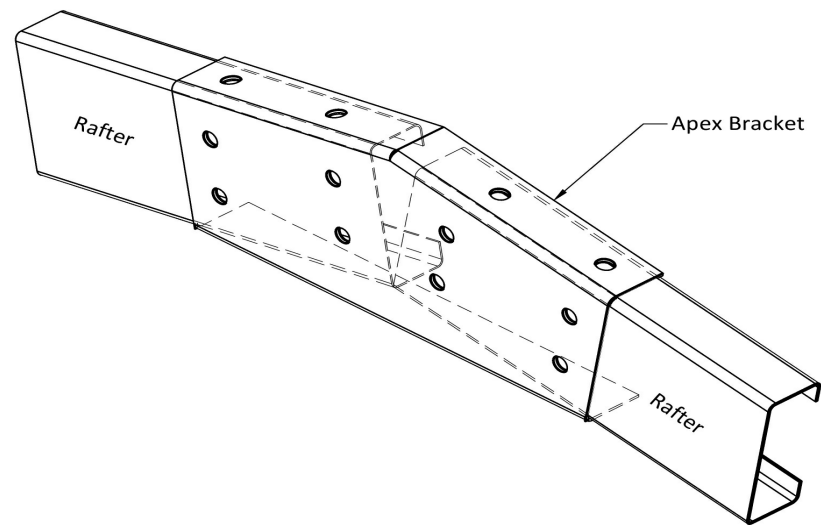
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Connection Details
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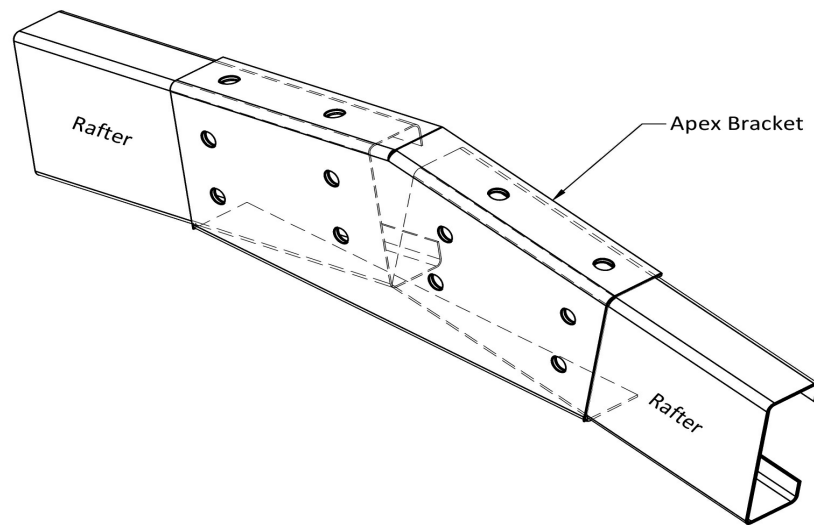
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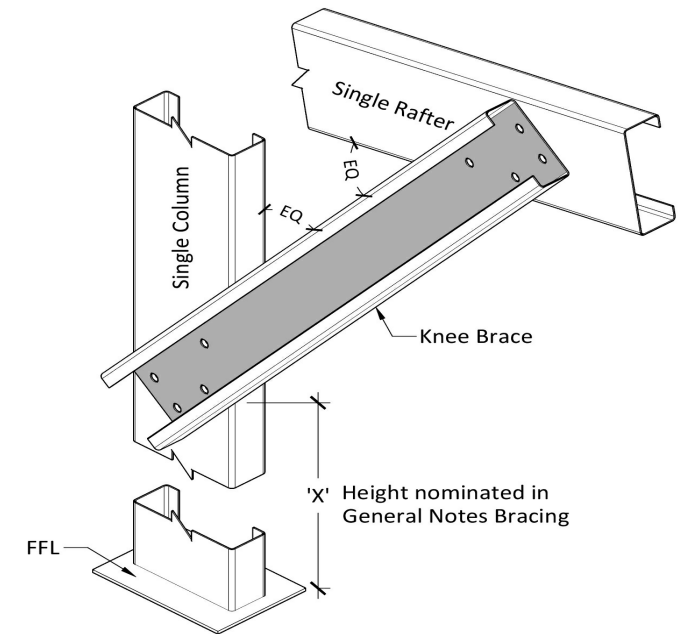
Signature:  Date: John Ronaldson
 Date: 03/02/2026



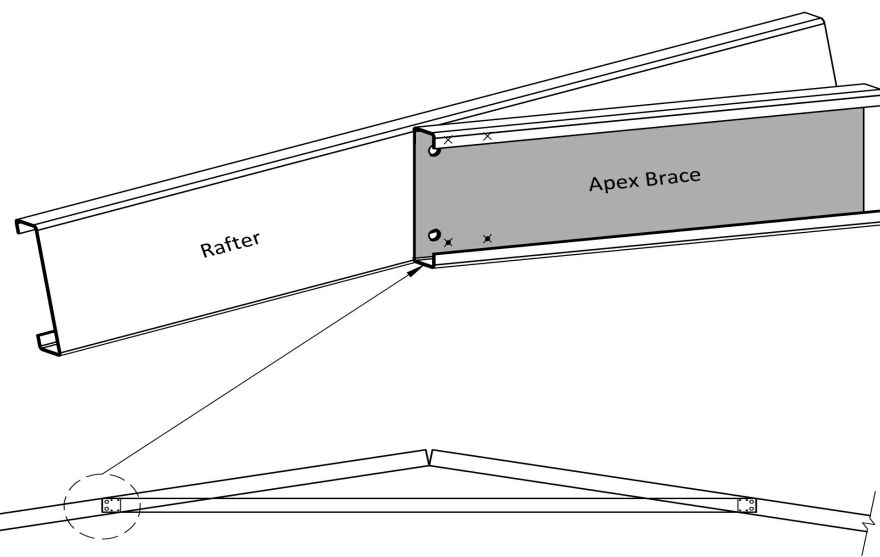
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APEX BRACKET (A) - C150, 15°



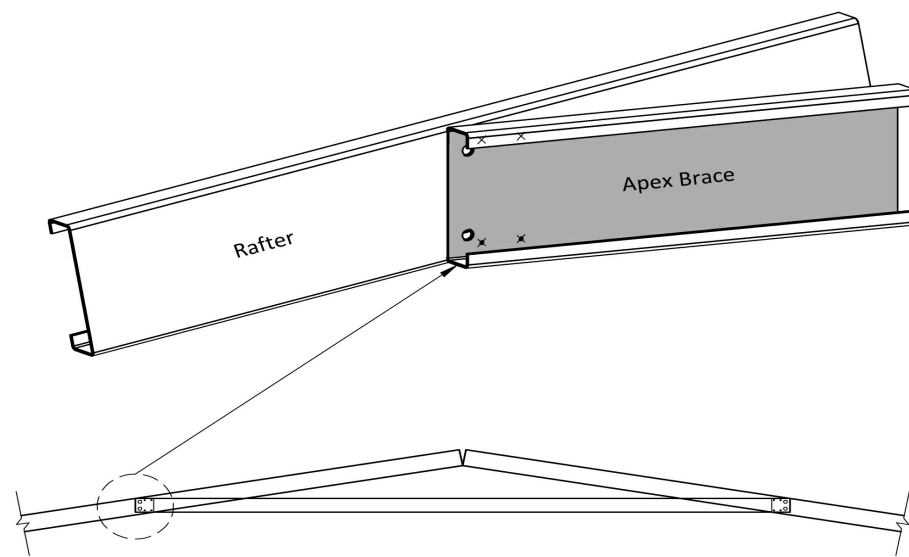
○ FIXING BOLTS - 12 of M12 x 30 (8.8)
APEX BRACKET (A) - C200, 15°



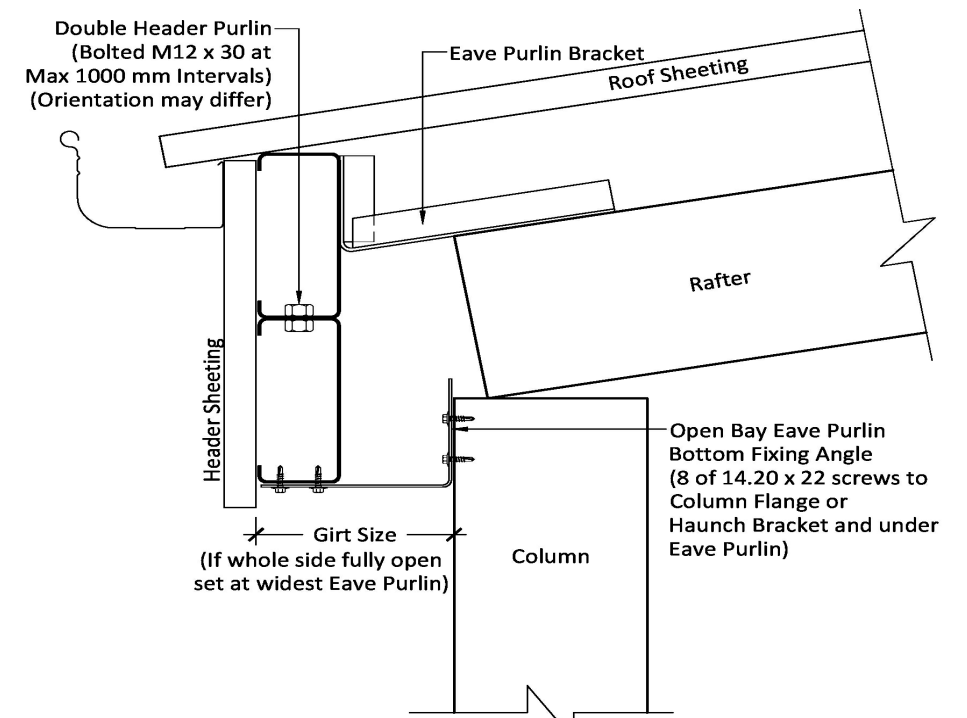
○ FIXING BOLTS - 8 of M12 x 30 (8.8)
KNEE BRACE FOR SINGLE COLUMN + SINGLE RAFTER



○ FIXING BOLTS - 2 of M12 x 30 (8.8)
 × FIXING SCREWS - 4 of 14.20 x 22
APEX BRACE FOR SINGLE RAFTER - C150-C150



○ FIXING BOLTS - 2 of M12 x 30 (8.8)
 × FIXING SCREWS - 4 of 14.20 x 22
APEX BRACE FOR SINGLE RAFTER - C200-C150



DOUBLE HEADER PURLIN CONNECTION

Purchaser Name: Mck Cooper

Site Location: 4990 Captain Cook Hwy Oak Beach QLD 4877 Australia

Drawing # SCNS260003 - 8

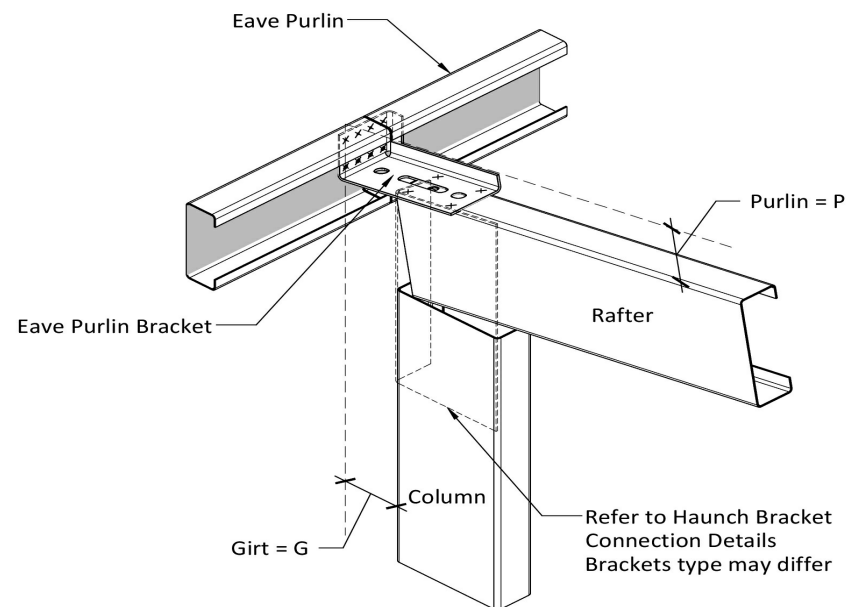
Print Date: 03/02/2026

Connection Details
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 Page 3 of 10
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 FNQ Sheds Pty Ltd
 Phone: 0417 416 420
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 Email: cairns@shedsnhomes.com.au

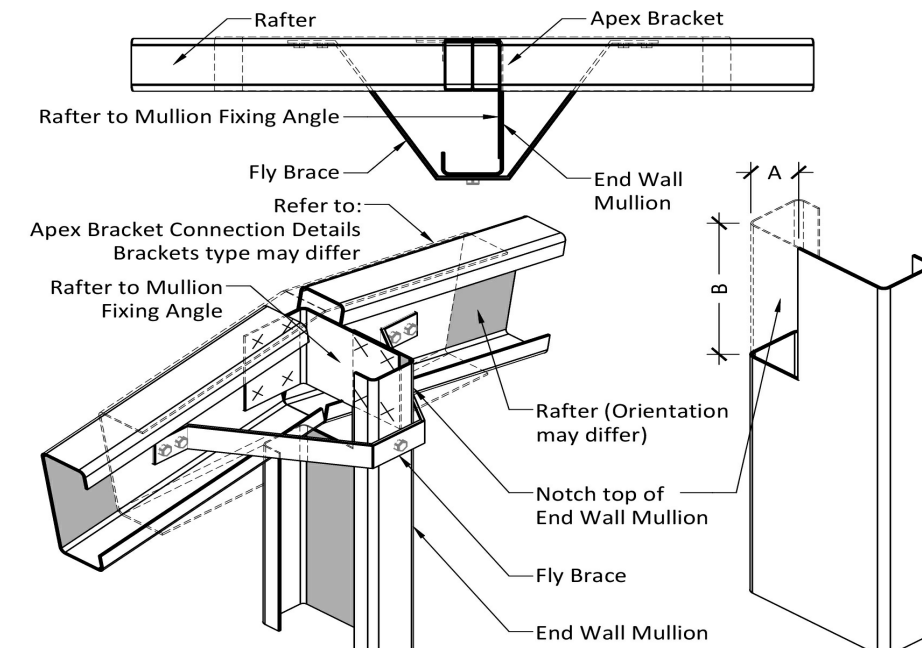
Apex Engineering Group PTY LTD
 ACN 632 588 562
 ME Aust. (Registered NER Structural) 5276680
 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T. : 303557ES;
 Practising Professional Structural & Civil Engineers

Signature:  Date: John Ronaldson
 Date: 03/02/2026



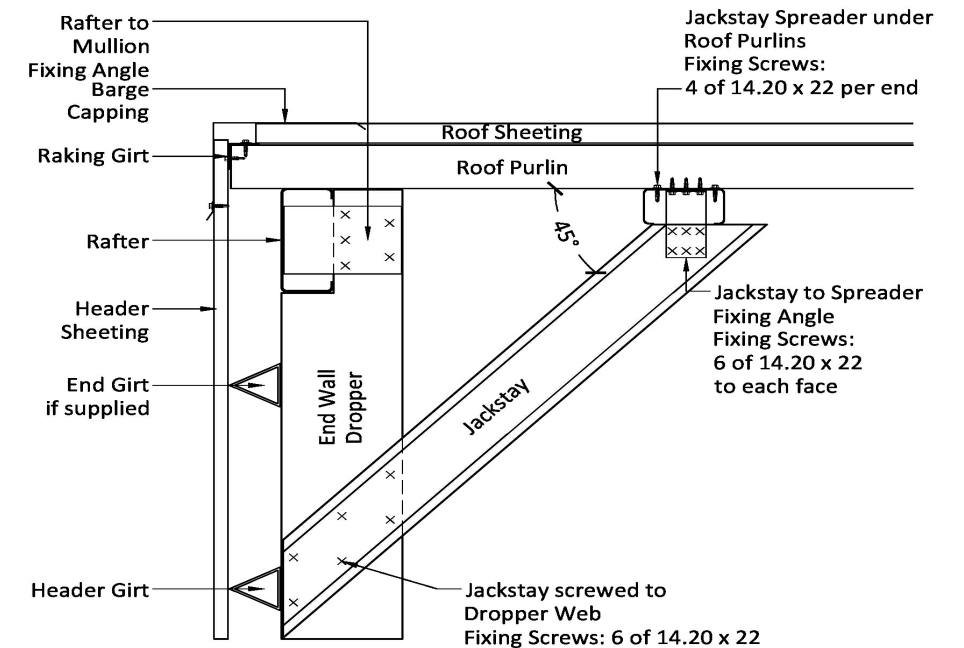
* P/G - Z100 - TH120 - Z150
 ○ FIXING BOLTS - 1 of M12 x 30
 × FIXING SCREWS - 12 of 14.20 x 22

EAVE PURLIN BRACKET TO RAFTER

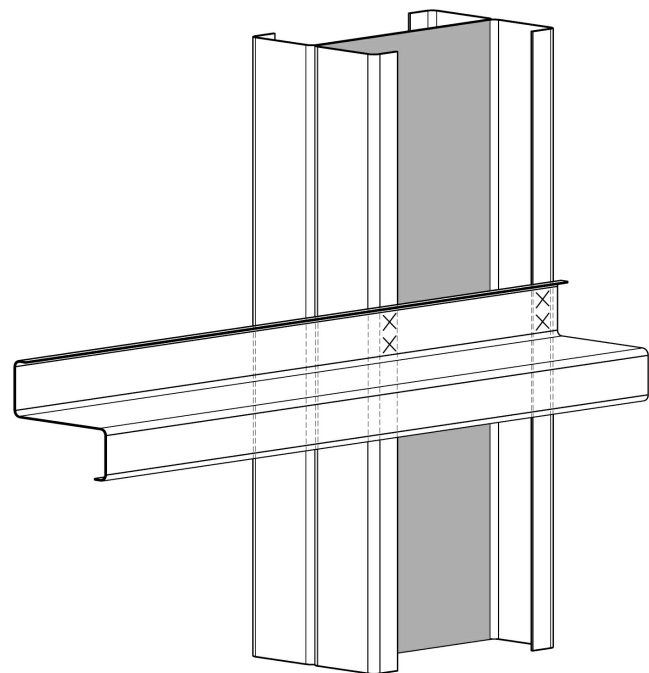


FIXING SCREWS:
 RAFTER TO MULLION FIXING ANGLE - 8 of 14.20 x 22
 FLY BRACE - 5 of 14.20 x 22

END WALL MULLION TO APEX

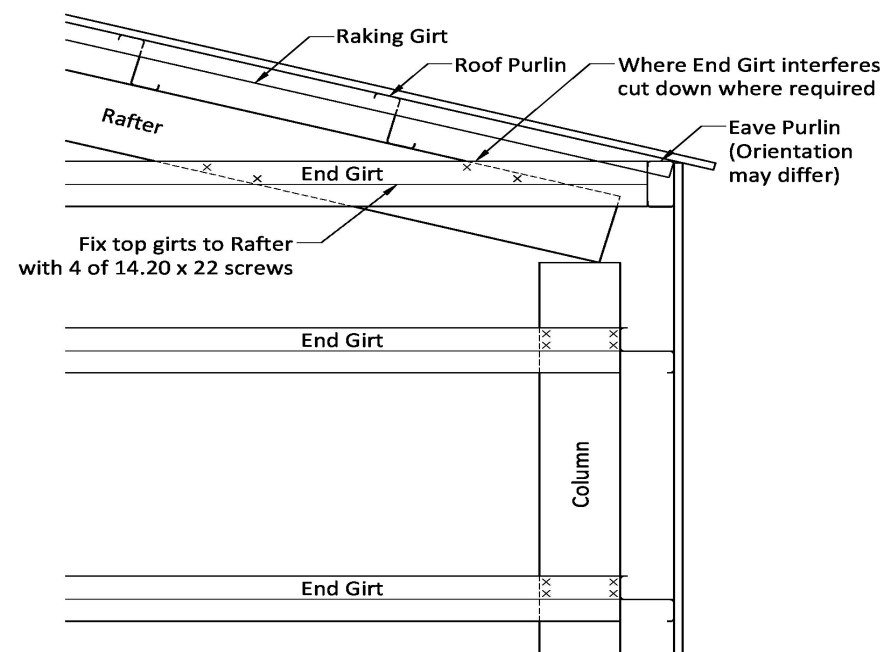


JACKSTAYS - GABLE INFILL CONNECTION

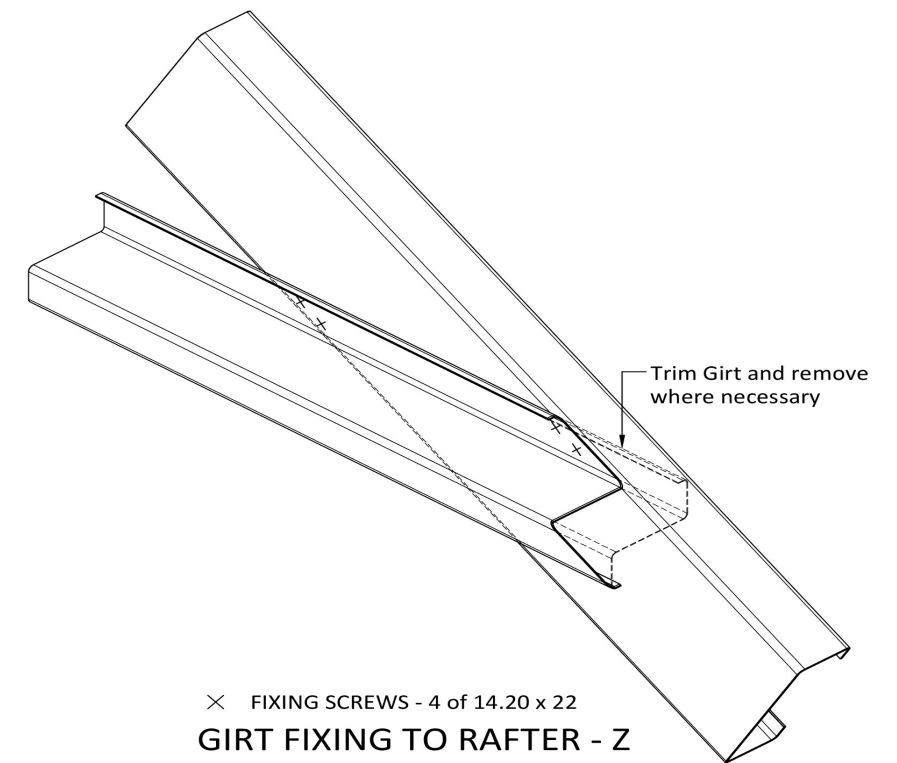


× FIXING SCREWS - 4 of 14.20 x 22

GIRT FIXING TO B2B COLUMN - Z



GABLE END TOP END GIRT FIXING - Z



× FIXING SCREWS - 4 of 14.20 x 22

GIRT FIXING TO RAFTER - Z

Purchaser Name: Mck Cooper

Site Location: 4990 Captain Cook Hwy Oak Beach QLD 4877 Australia

Drawing # SCNS260003 - 8

Print Date: 03/02/2026

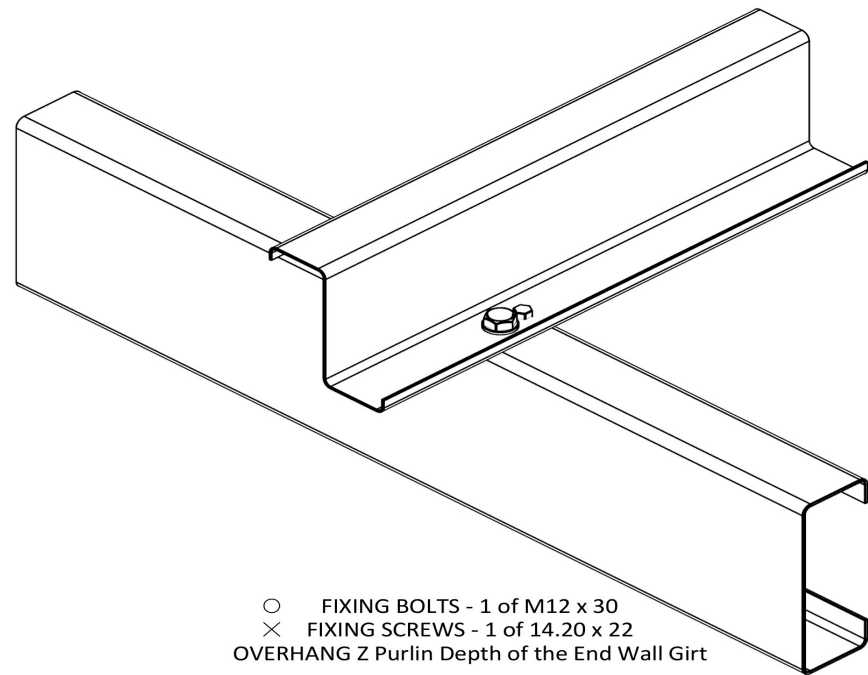
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 FNQ Sheds Pty Ltd
 Phone: 0417 416 420
 Fax:
 Email: cairns@shedsnhomes.com.au

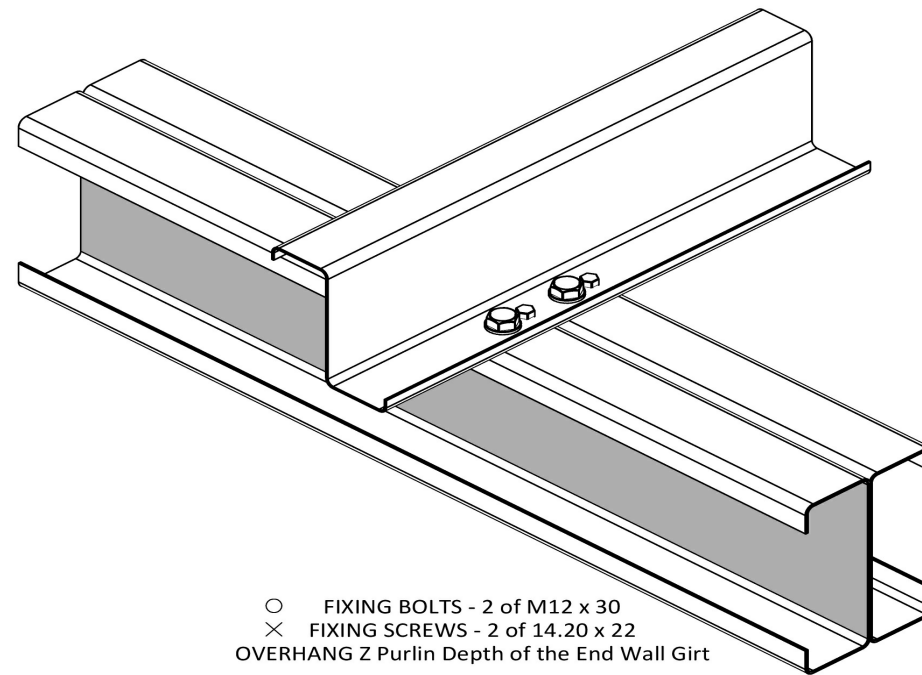
Apex Engineering Group PTY LTD
 ACN 632 588 562
 ME Aust. (Registered NER Structural) 5276680
 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES;
 Practising Professional Structural & Civil Engineers

Signature: Date: John Ronaldson
 Date: 03/02/2026



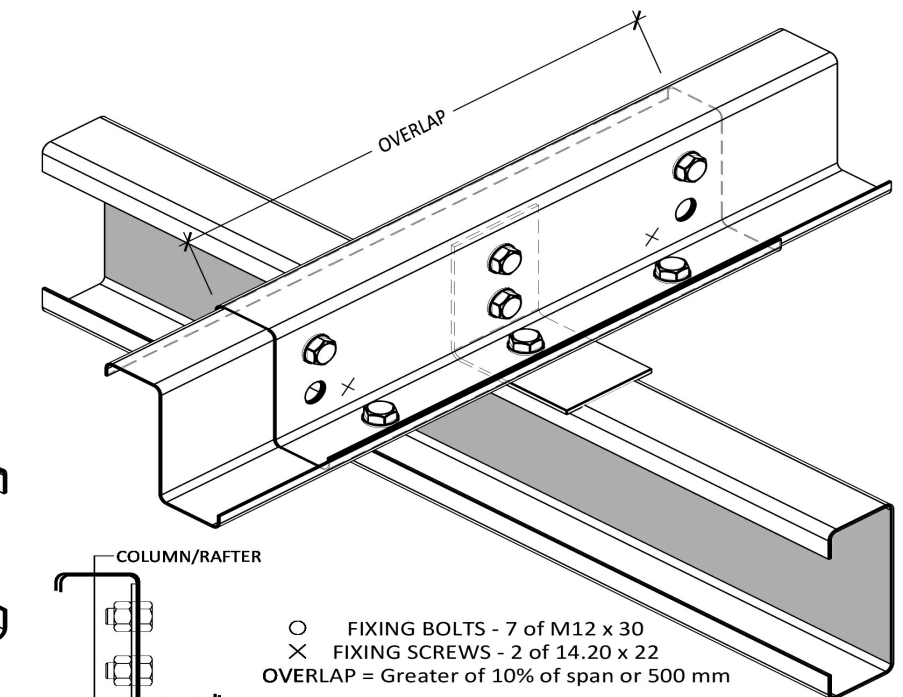
- FIXING BOLTS - 1 of M12 x 30
- × FIXING SCREWS - 1 of 14.20 x 22

OVERHANG Z Purlin Depth of the End Wall Girt
PURLIN & SIDE GIRT END WALL FIXING
Z PURLIN - SINGLE COLUMN OR RAFTER



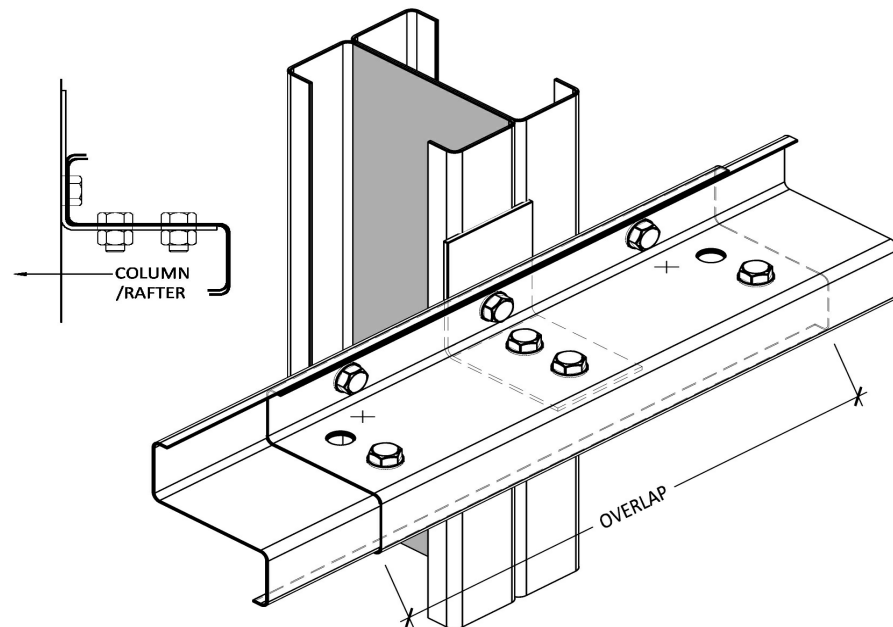
- FIXING BOLTS - 2 of M12 x 30
- × FIXING SCREWS - 2 of 14.20 x 22

OVERHANG Z Purlin Depth of the End Wall Girt
PURLIN & SIDE GIRT END WALL FIXING
Z PURLIN - BACK TO BACK COLUMN OR RAFTER



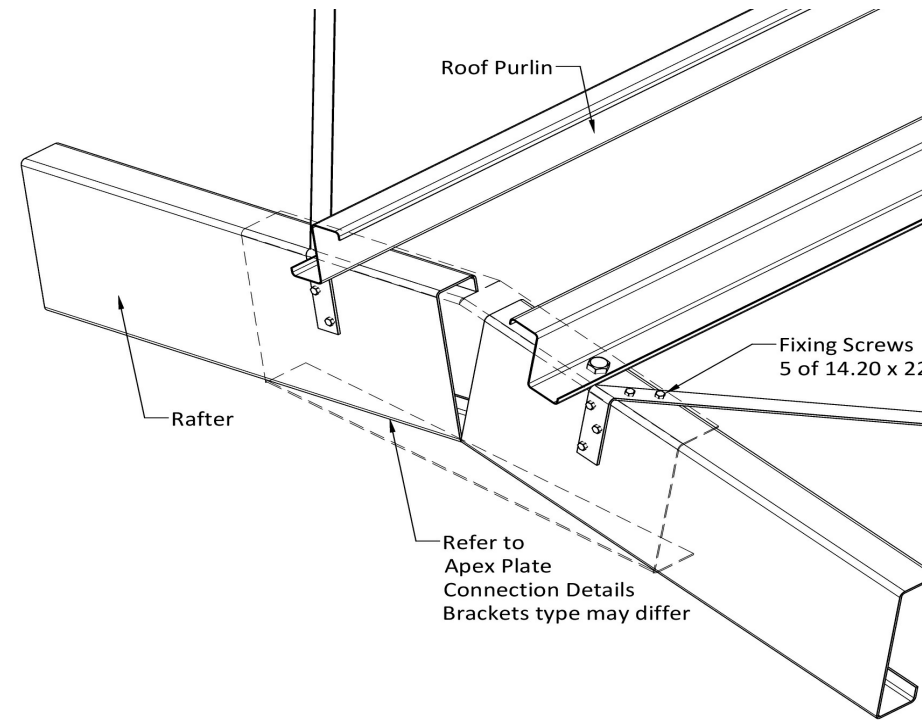
- FIXING BOLTS - 7 of M12 x 30
- × FIXING SCREWS - 2 of 14.20 x 22

OVERLAP = Greater of 10% of span or 500 mm
PURLIN/GIRT FIXING
SINGLE C SECTION COLUMNS OR RAFTERS

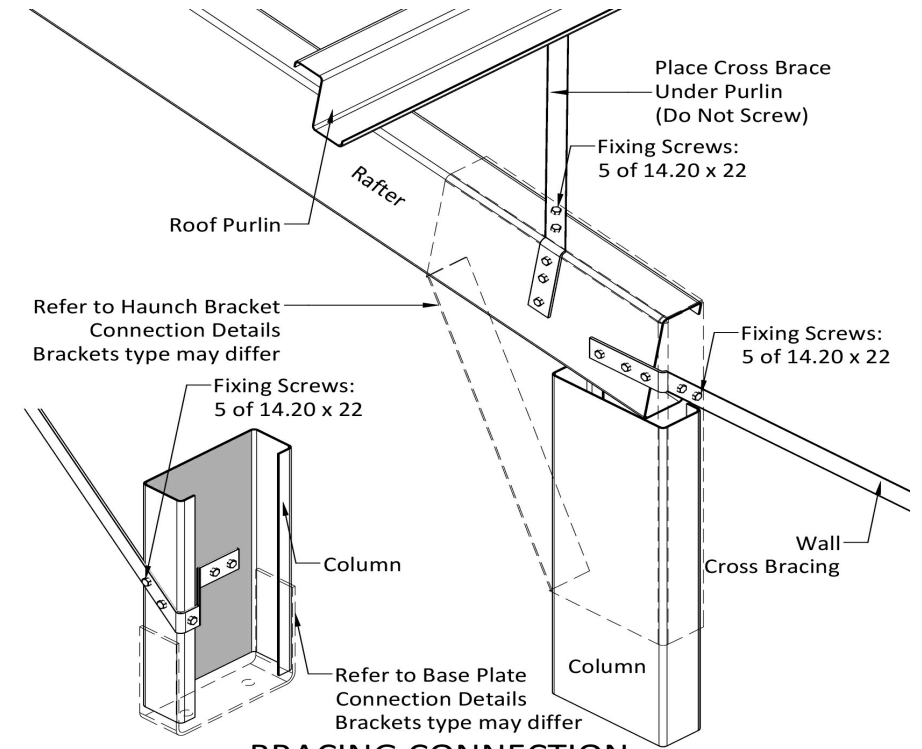


- FIXING BOLTS - 7 of M12 x 30
- × FIXING SCREWS - 2 of 14.20 x 22

OVERLAP = Greater of 10% of span or 500 mm
PURLIN/GIRT FIXING BACK TO BACK
C SECTION COLUMNS (WITH SINGLE RAFTER)



Refer to Apex Plate Connection Details Brackets type may differ
BRACING CONNECTION AT APEX



Refer to Haunch Bracket Connection Details Brackets type may differ
 Refer to Base Plate Connection Details Brackets type may differ
BRACING CONNECTION

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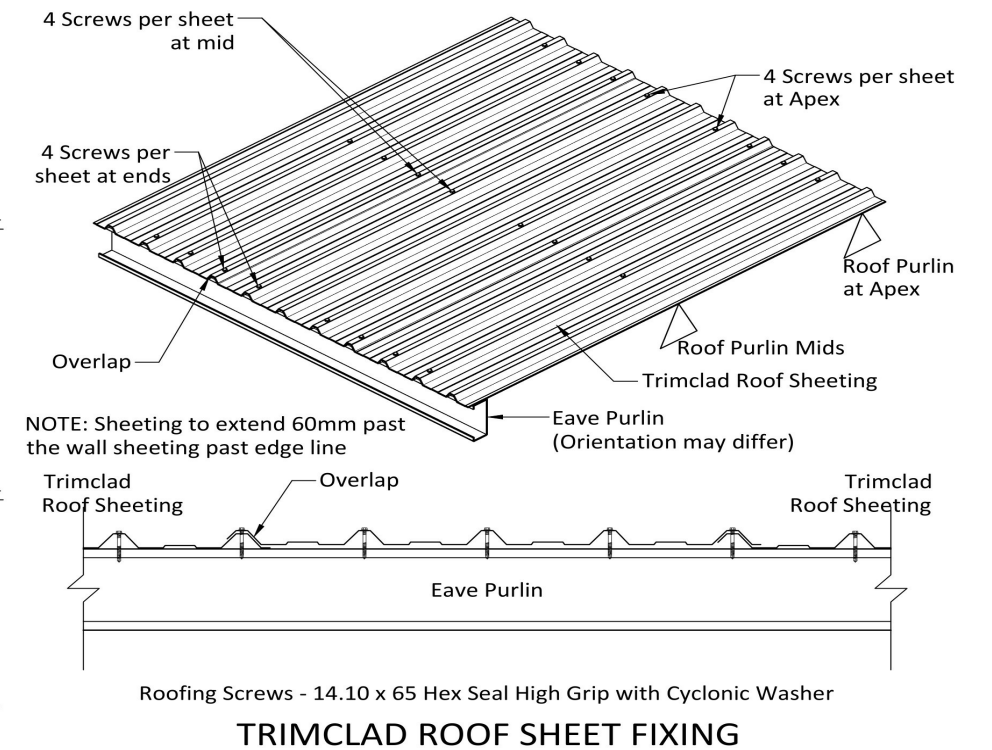
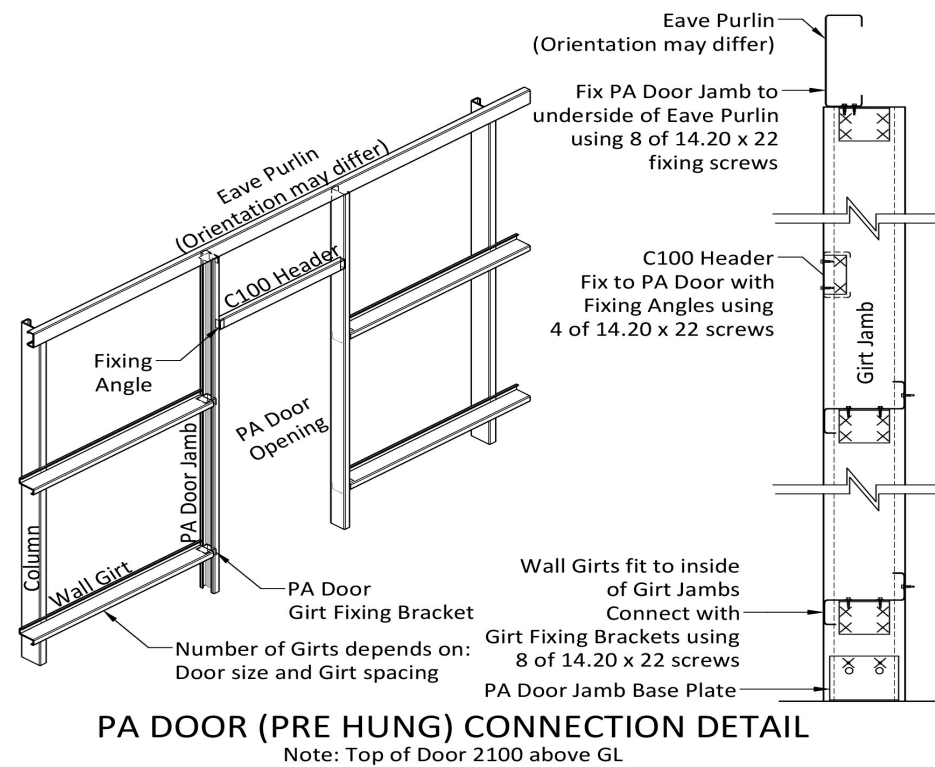
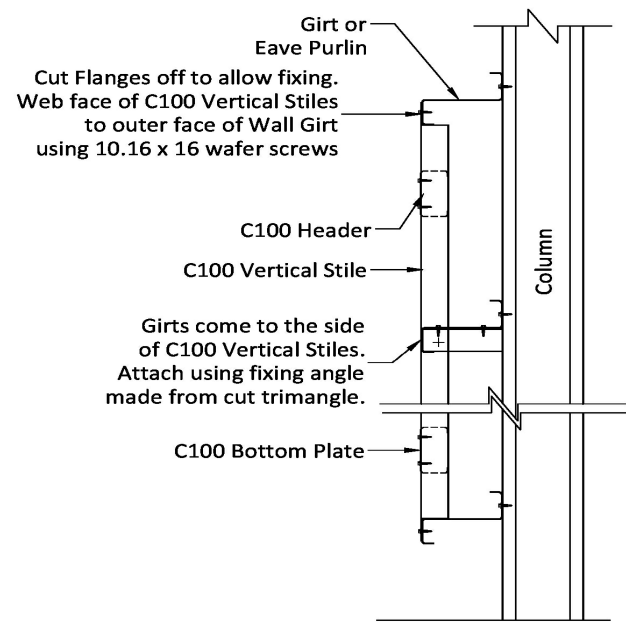
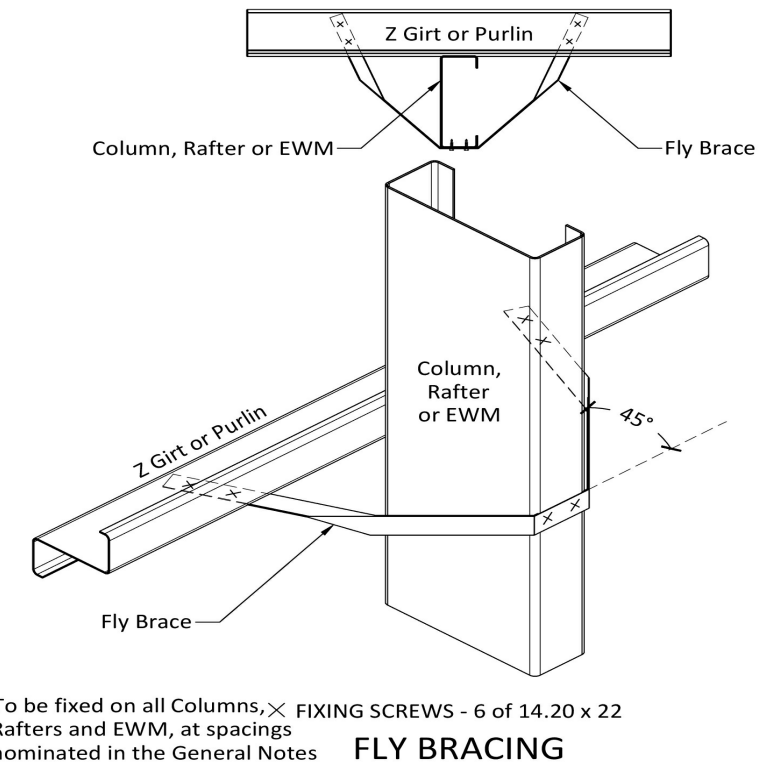
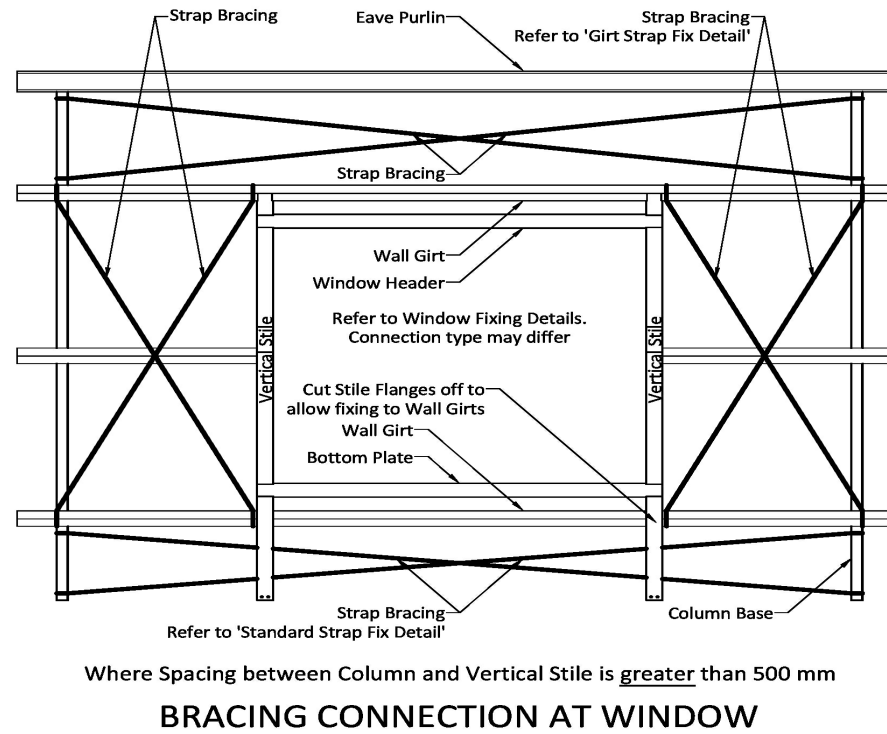
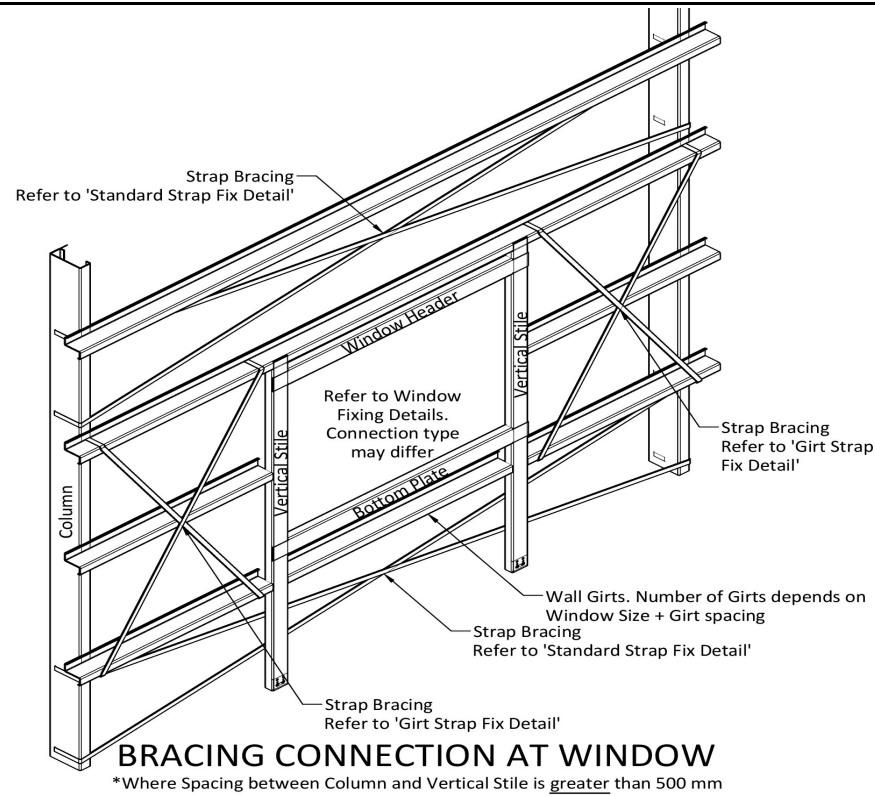
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 FNQ Sheds Pty Ltd
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 Practising Professional Structural & Civil Engineers

Signature:

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Date: 03/02/2026



Purchaser Name: Mck Cooper

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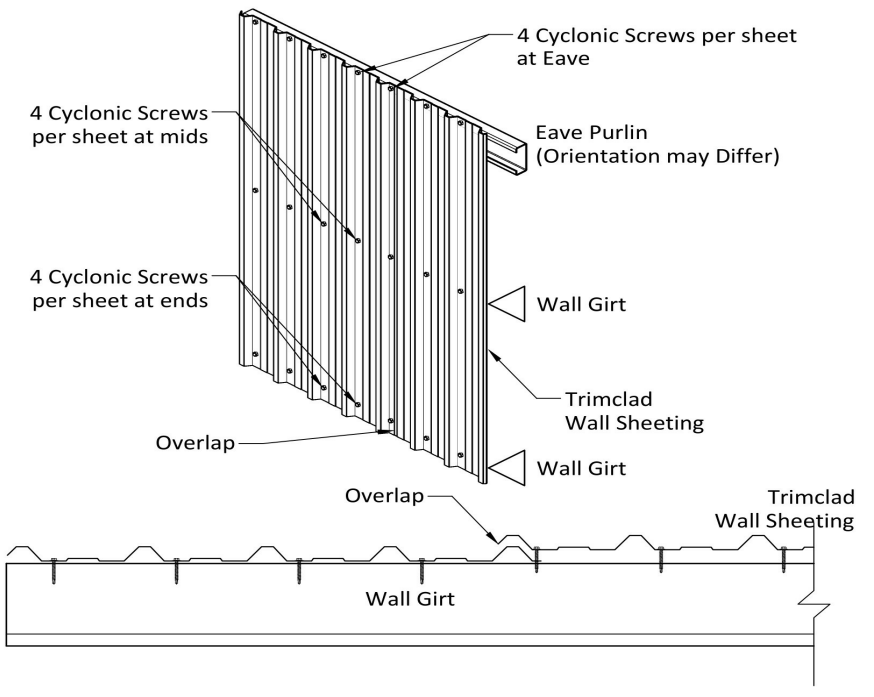
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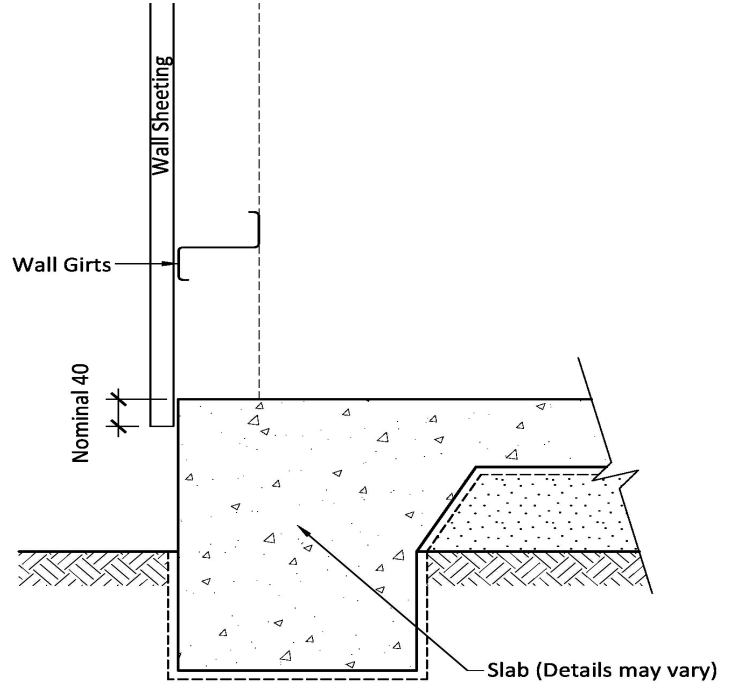
Signature:

Date: John Ronaldson

Date: 03/02/2026



Wall Screws - 14.10 x 25 Hex with Seal
WALL SHEETING CONNECTION DETAILS




WALL SHEET OVERHANG DETAIL

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Site Location: 4990 Captain Cook Hwy Oak Beach QLD 4877 Australia	
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