

13 November 2025

Chief Executive Officer
Douglas Shire Council
PO Box 723
Mossman Qld 4873

Attention: Development Assessment

Dear Sir/Madam

RE: Application for Material Change of Use (Dwelling House siting) - Lot 8, Santacatterina Road Finlay Vale, Lot 8 on RP898230

Rapid Building Approvals acting on behalf of the owners (Jay & Casandra Cairns) of the abovementioned land, submit this application for Material Change of Use (Dwelling house) over land at **Lot 8, Santacatterina Road Finlay Vale.**

As per Table 5.6 .j Rural zone table of assessment, building works in this zone is self assessable however does not comply with the setbacks. The proposal needs to address the following codes:

Applicable Code	Compliance	Comment
Rural Zone	☒	Complies. Refer to the code assessment.

Supporting this application, the following is provided:

- Relevant assessment against applicable planning scheme code non-compliance;
- DA form 1;
- Confirmation Notice;
- Plans; and
- Fee.

Should you require any further information or assistance in relation to this manner please don't hesitate to contact Ryan Bird on [1300 163 814](tel:1300163814) or via email at approvals@rapidapprovals.com.au

Regards,
Ryan Bird

Rural Zone Code

Performance outcomes	Acceptable outcomes	Applicant response
For self-assessable and assessable development		
PO1 The height of buildings is compatible with the rural character of the area and must not detrimentally impact on visual landscape amenity.	AO1.1 Dwelling houses are not more than 8.5 metres in height. Note – Height is inclusive of roof height. AO1.2 Rural farm sheds and other rural structures are not more than 10 metres in height.	AO1.1 – Complies. The maximum height of the dwelling is 7.518 metres. AO1.2 – Not applicable.
Setbacks		
PO2 Buildings and structures are setback to maintain the rural character of the area and achieve separation from buildings on adjoining properties.	AO2 Buildings are setback not less than: (a) 40 metres from the property boundary and a State-controlled road; (b) 25 metres from the property boundary adjoining Cape Tribulation Road; (c) 20 metres from the boundary with any other road; (d) 6 metres from side and rear property boundaries.	Complies PO2. The proposed dwelling is located to the rear of the allotment, adjoining an unformed section of road. The dwelling house is proposed to be 3 metres from this setback. There are no perceived impacts on the amenity of the area as a result of the setback. As it has a large setback from the formed road frontage, there are no perceived impacts on the rural amenity or built form of the area. The proposed setback is consistent with other structures built close to the unformed road.

DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Jay & Casandra Cairns
Contact name (only applicable for companies)	Ryan Bird C/- RAPID Building Approvals
Postal address (P.O. Box or street address)	Suite 7 2-4 Stanton Road
Suburb	Smithfield
State	QLD
Postcode	4878
Country	Australia
Contact number	1300 163 814
Email address (non-mandatory)	approvals@rapidapprovals.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	2916/25
1.1) Home-based business	
☐ Personal details to remain private in accordance with section 264(6) of <i>Planning Act 2016</i>	
2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
☐ Yes – the written consent of the owner(s) is attached to this development application	
☒ No – proceed to 3)	

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
			Santacatterina Road	Finlay Vale
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	8	RP898230	Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		☐ WGS84 ☐ GDA94 ☐ Other:	

- ☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		☐ 54 ☐ 55 ☐ 56	☐ WGS84 ☐ GDA94 ☐ Other:	

3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
☒ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

☐ In or adjacent to a water body or watercourse or in or above an aquifer	
Name of water body, watercourse or aquifer:	
☐ On strategic port land under the <i>Transport Infrastructure Act 1994</i>	
Lot on plan description of strategic port land:	
Name of port authority for the lot:	
☐ In a tidal area	
Name of local government for the tidal area (if applicable):	
Name of port authority for tidal area (if applicable)	

☐ On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>
Name of airport:
☐ Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification:
☐ Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification:

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- ☒ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☐ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☒ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

Dwelling house

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).

- ☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

e) Relevant plans

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

- ☐ Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☒ Not required

6.4) Is the application for State facilitated development?

- ☐ Yes - Has a notice of declaration been given by the Minister?
- ☒ No

Section 2 – Further development details**7) Does the proposed development application involve any of the following?**

Material change of use	☒ Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	☐ Yes – complete division 2
Operational work	☐ Yes – complete division 3
Building work	☐ Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)
Dwelling house	Dwelling house		

8.2) Does the proposed use involve the use of existing buildings on the premises?

- ☐ Yes
- ☒ No

8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?

- ☐ Yes – provide details below or include details in a schedule to this development application
- ☒ No

Provide a general description of the temporary accepted development	Specify the stated period dates under the Planning Regulation

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

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9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

☐ Subdivision (complete 10)	☐ Dividing land into parts by agreement (complete 11)
☐ Boundary realignment (complete 12)	☐ Creating or changing an easement giving access to a lot from a constructed road (complete 13)

10) Subdivision**10.1) For this development, how many lots are being created and what is the intended use of those lots:**

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?

- ☐ Yes – provide additional details below
- ☐ No

How many stages will the works include?

What stage(s) will this development application apply to?

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment**12.1) What are the current and proposed areas for each lot comprising the premises?**

Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)

12.2) What is the reason for the boundary realignment?**13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement?**
(attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work**Note:** This division is only required to be completed if any part of the development application involves operational work.**14.1) What is the nature of the operational work?**

- | | | |
|--|-------------------------------------|--|
| ☐ Road work | ☐ Stormwater | ☐ Water infrastructure |
| ☐ Drainage work | ☐ Earthworks | ☐ Sewage infrastructure |
| ☐ Landscaping | ☐ Signage | ☐ Clearing vegetation |
| ☐ Other – please specify: _____ | | |

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)☐ Yes – specify number of new lots: _____☐ No

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Douglas Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

- ☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ SEQ northern inter-urban break – tourist activity or sport and recreation activity



Queensland
Government

- ☐ SEQ northern inter-urban break – community activity
- ☐ SEQ northern inter-urban break – indoor recreation
- ☐ SEQ northern inter-urban break – urban activity
- ☐ SEQ northern inter-urban break – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material *(from a watercourse or lake)*
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees *(category 3 levees only)*
- ☐ Wetland protection area

Matters requiring referral to the **local government**:

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) *(only if the ERA has been devolved to local government)*
- ☐ Heritage places – Local heritage places

Matters requiring referral to the **Chief Executive of the distribution entity or transmission entity**:

- ☐ Infrastructure-related referrals – Electricity infrastructure

Matters requiring referral to:

- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual
- ☐ Infrastructure-related referrals – Oil and gas infrastructure

Matters requiring referral to the **Brisbane City Council**:

- ☐ Ports – Brisbane core port land

Matters requiring referral to the **Minister responsible for administering the *Transport Infrastructure Act 1994***:

- ☐ Ports – Brisbane core port land *(where inconsistent with the Brisbane port LUP for transport reasons)*
- ☐ Ports – Strategic port land

Matters requiring referral to the **relevant port operator**, if applicant is not port operator:

- ☐ Ports – Land within Port of Brisbane's port limits *(below high-water mark)*

Matters requiring referral to the **Chief Executive of the relevant port authority**:

- ☐ Ports – Land within limits of another port *(below high-water mark)*

Matters requiring referral to the **Gold Coast Waterways Authority**:

- ☐ Tidal works or work in a coastal management district *(in Gold Coast waters)*

Matters requiring referral to the **Queensland Fire and Emergency Service**:

- ☐ Tidal works or work in a coastal management district *(involving a marina (more than six vessel berths))*

18) Has any referral agency provided a referral response for this development application?

- ☐ Yes – referral response(s) received and listed below are attached to this development application
- ☒ No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application *(if applicable)*.

PART 6 – INFORMATION REQUEST

19) Information request under the DA Rules

☒ I agree to receive an information request if determined necessary for this development application

☐ I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the [DA Forms Guide](#).

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

☐ Yes – provide details below or include details in a schedule to this development application

☒ No

List of approval/development application references	Reference number	Date	Assessment manager
☐ Approval			
☐ Development application			
☐ Approval			
☐ Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

☐ Yes – a copy of the receipted QLeave form is attached to this development application

☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid

☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$\$ 0.00		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

☐ Yes – show cause or enforcement notice is attached

☒ No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
- ☒ No

Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- ☐ Yes – *Form 536: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application
- ☒ No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- ☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- ☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- ☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- ☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- ☐ Yes – the development application involves premises in the koala habitat area in the koala priority area
- ☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area
- ☒ No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.desi.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

- ☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development
- ☒ No

Note: Contact the Department of Resources at www.resources.qld.gov.au for further information.

DA templates are available from planning.statedevelopment.qld.gov.au. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

- ☐ Yes – the relevant template is completed and attached to this development application
- ☒ No

DA templates are available from planning.statedevelopment.qld.gov.au. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

- ☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*
- ☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake under the *Water Act 2000***?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

Note: Contact the Department of Resources at www.resources.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water under the *Coastal Protection and Management Act 1995***?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

Note: Contact the Department of Environment, Science and Innovation at www.desi.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application
- ☒ No

Note: See guidance materials at www.resources.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - ☐ A certificate of title

☒ No

Note: See guidance materials at www.desi.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

☐ Yes – details of the heritage place are provided in the table below

☒ No

Note: See guidance materials at www.desi.qld.gov.au for information requirements regarding development of Queensland heritage places.

For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at www.planning.statedevelopment.qld.gov.au for information regarding assessment of Queensland heritage places.

Name of the heritage place:		Place ID:	
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Decision under section 62 of the Transport Infrastructure Act 1994

23.14) Does this development application involve new or changed access to a state-controlled road?

☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

☒ No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

Note: See guidance materials at www.planning.statedevelopment.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes

Note: See the *Planning Regulation 2017* for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

☐ Yes

☒ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

☒ Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

☐ Yes

☒ Not applicable



**Queensland
Government**

25) Applicant declaration

- ☒ By making this development application, I declare that all information in this development application is true and correct
- ☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	Dwelling		
QLeave project number			
Amount paid (\$)	\$ 0.00	Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form	Ryan Bird		

13 November 2025

Jason Dwyer

Confirmation Notice

Planning Regulation 2017

To Whom it May Concern,

Confirmation notice

(Given under section 2 OR section 3.4 OR section 3.6 OR section 26.2 of the Development Assessment Rules)

The development application described below was properly made to Rapid Building Approvals on 10/11/2025

Applicant Name	Jason Dwyer
Applicant Contact Number	0418 941 697
Our Reference	2916/25
Assessment Manager	Ryan Bird - Rapid Building Approvals
Description of Works	Dwelling
BCA Classification	1a
Address	Lot 8, Santacatterina Road Finlay Vale QLD 4873
Lot and Plan	8 RP898230

Public notification details

Part 4 of the Development Assessment Rules is not applicable to this development application.

Referral Agencies

Part 2 of the Development Assessment Rules is applicable to the development application.

The development application must be referred to all relevant referral agency(s) within 10 business days starting the day after receiving this notice, or a further period agreed with the assessment manager; otherwise the application will lapse under section 31 of the Development Assessment Rules.

The development application must be referred to the following referral agencies:

- Douglas Shire Council

Information Request

The assessment manager does intend to make an information request, and if you need further clarification please contact Rapid Building Approvals on 1300 163 814 who will be happy to assist.

Yours Sincerely

Ryan Bird

Accreditation No: A15019600



Liability limited by a scheme approved under Professional Standards Legislation

SANTACATTERINA ROAD

D.S.C PLANNING SCHEME

- 8.2.5 HILLSLOPES OVERLAY CODE
8.2.6 LANDSCAPE VALUES OVERLAY CODE

A02.1
DEVELOPMENT DOES NOT OCCUR ON LAND WITH A GRADIENT IN EXCESS OF 1 IN 6 (16.6%)

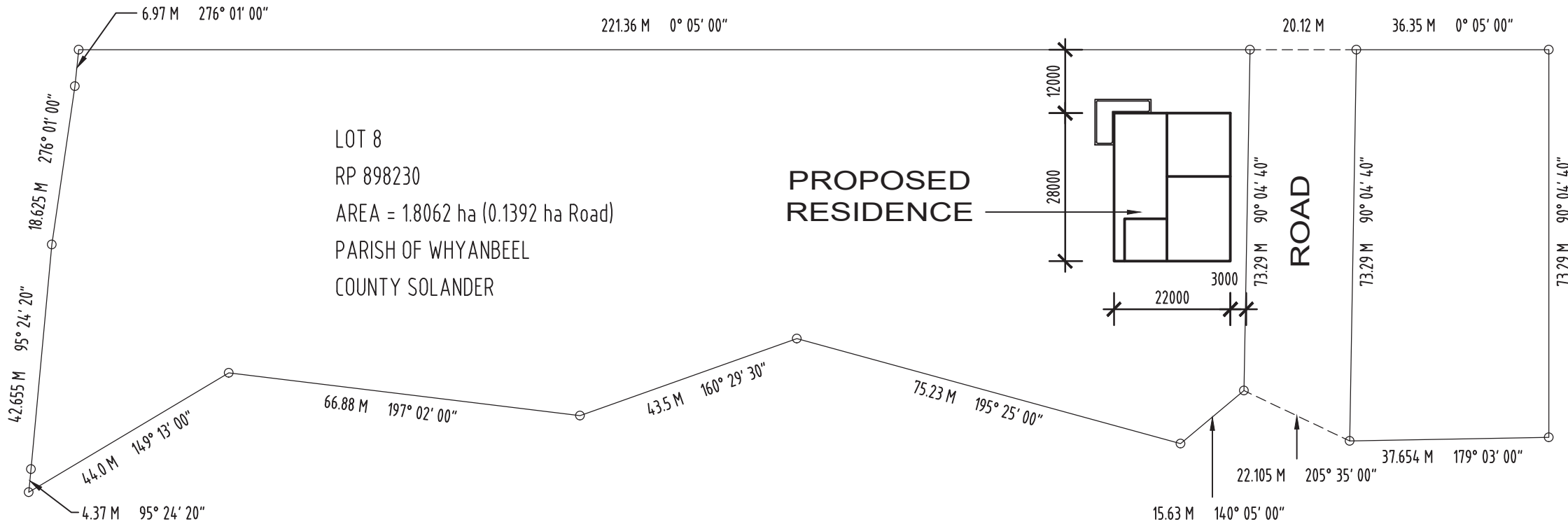
A02.3
ACCESS WAYS AND DRIVEWAYS ARE:

- (a) CONSTRUCTED WITH SURFACE MATERIALS THAT BLEND WITH THE SURROUNDING ENVIRONMENT;
(b) LANDSCAPED WITH DENSE PLANTING TO MINIMISE THE VISUAL IMPACT OF THE CONSTRUCTION;
(c) PROVIDED WITH EROSION CONTROL MEASURES IMMEDIATELY AFTER CONSTRUCTION

A02.7

BUILDINGS AND STRUCTURES:

- (a) ARE FINISHED PREDOMINANTLY IN THE FOLLOWING EXTERIOR COLOURS OR SURFACES:
(b) MODERATELY DARK TO DARKER SHADES OF OLIVE GREEN, BROWN, GREEN, BLUE, OR CHARCOAL; OR
(c) MODERATELY DARK TO DARKER WOOD STAINS THAT BLEND WITH THE COLOUR AND HUES OF THE SURROUNDING VEGETATION AND LANDSCAPE;
(d) ARE NOT FINISHED IN THE FOLLOWING EXTERIOR COLOURS OR SURFACES:
(e) PASTEL OR TERRACOTTA COLOURS, REDS, YELLOWS, SHADES OF WHITE OR BEIGE, OR OTHER BRIGHT COLOURS THAT DO NOT BLEND WITH THE SURROUNDING VEGETATION AND LANDSCAPE;
(f) REFLECTIVE SURFACES.



SITE PLAN
1:1000



TERMITE CONTROL

ALL PRIMARY BUILDING ELEMENTS - TERMITE RESISTANT

REFERENCES:- AS 3660.1, AS 3660.2, AS 3660.3, AS 1684, AS 1720, AS 2870, AS 4773 AND NASH STANDARD PART 2 - DESIGN SOLUTIONS - SECTION B4.3

GENERAL NOTES

- TIMBER MEMBER SIZES AND CONNECTIONS NOT SHOWN ON PLANS SHALL COMPLY WITH AS 1684.3
- ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT S.A.A. CODES AND THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITY EXCEPT WHERE VARIED BY THE PROJECT SPECIFICATION.
- EXECUTION AND CONTROL TESTING OF EARTHWORKS AND ASSOCIATED SITE PREPARATION WORKS SHALL COMPLY WITH A.S. 3798.
- ALL DIMENSIONS SHOWN SHALL BE VERIFIED ON SITE
- IF ANY DISCREPANCY OCCURS ON THE ENGINEERS DRAWINGS THE CONTRACTOR SHALL ASSUME THE LARGER/GREATER. ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH ANY WORK. SUBSTITUTIONS MUST BE APPROVED BY THE ENGINEER.

ALL POOL FENCES AND BARRIERS MUST COMPLY WITH QUEENSLAND DEVELOPMENT CODE - MP 3.4 - "SWIMMING POOL BARRIERS". THIS CODE CALLS UP AND MODIFIES THE AUSTRALIAN STANDARD AS1926.2007.

ROOF AND SITE STORMWATER DRAINAGE

ROOFWATER SHALL BE CONVEYED TO THE KERB AND CHANNEL OR AN INTER-ALLOTMENT DRAINAGE SYSTEM IN ACCORDANCE WITH AS/NZ3500.3.2.

WHERE AN INTER-ALLOTMENT DRAINAGE IS NOT AVAILABLE OR IT IS NOT POSSIBLE TO CONVEY THE ROOF AND SURFACE WATER TO THE KERB AND CHANNEL, ABSORPTION TRENCHES SHALL BE INSTALLED AT LEAST 5 m FROM ANY BUILDING OR DOWNSTREAM BOUNDARY.

DOWNPIPES AND GUTTERS TO COMPLY WITH BCA 3.5.2

SURFACE WATER TO BE DISCHARGED BY NATURAL FALL OF THE GROUND AND EARTH OR CONCRETE SPOON DRAINS

WIND CLASSIFICATION - C2

WIND CLASSIFICATION	MAXIMUM DESIGN GUST WIND SPEED (M/S)	
	PERMISSIBLE STRESS	LIMIT STATE
C1	41 (W41C)	50
C2	50 (W50C)	61
C3	60 (W60C)	74

CERTIFIED AS
STRUCTURALLY ADEQUATE



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1/38-42 Pease St, Cairns | PO Box 927, Cairns Q 4870
P: 07 40320492 | F: 07 40320092 | E: email@kfbeng.com.au

Date: 26/6/24 Signed: [Signature]
Job No: K-11880 RPEQ No: 5711

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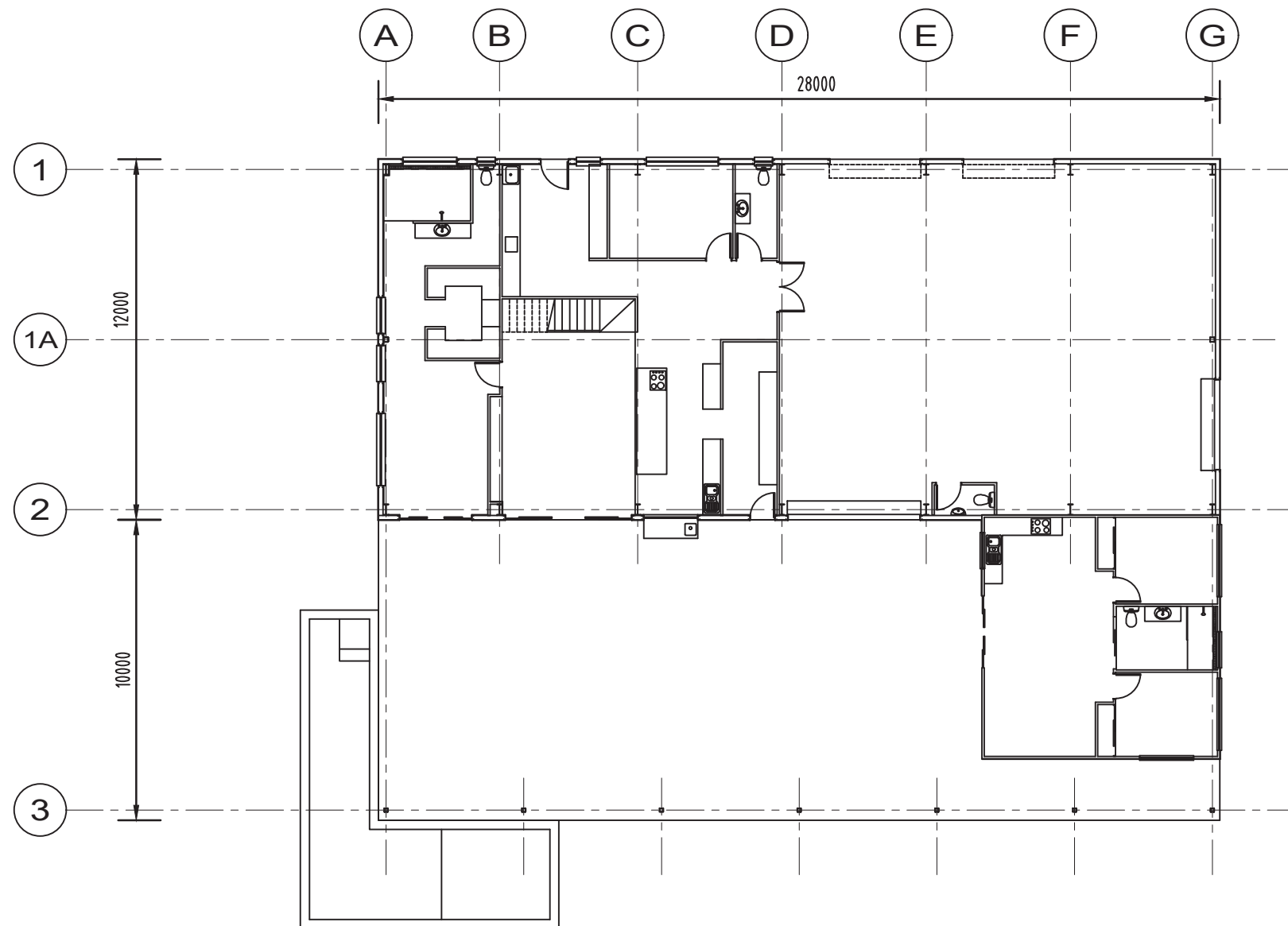
Drawn G.W.M.
Scale AS SHOWN
Date MAR. 2024

MARSHALL DESIGN

20 KABAN GROVE, TRINITY PARK. Ph: 07 4057 9985
Email: george@marshalldesign.biz
Q.B.C.C. No. 63487

PROPOSED RESIDENCE
LOT 8 SANTACATTERINA ROAD
FINLAYVALE

For JAY & CASANDRA CAIRNS



ALL POOL FENCES AND BARRIERS MUST COMPLY WITH QUEENSLAND DEVELOPMENT CODE - MP 3.4 - "SWIMMING POOL BARRIERS". THIS CODE CALLS UP AND MODIFIES THE AUSTRALIAN STANDARD AS1926.2007.

PROPOSED OVERALL FLOOR PLAN
1:200

STEELWORK

- ALL STEELWORK SHALL BE IN ACCORDANCE WITH AS4100 STEEL STRUCTURES CODE. & AS/NZS 4600 COLD FORMED STEEL STRUCTURES.

STEEL SHALL BE:

- AS3679.1 GRADE 300 PLUS FOR HOT ROLLED SECTIONS.
- AS1163 GRADE 350 FOR HOLLOW SECTIONS.
AS1397 G450 Z350 FOR C SECTIONS.
- BOLTS SHALL BE COMMERCIAL GRADE 4.6/S SNUG TIGHTENED GENERALLY U.N.O.
- BOLT SHALL BE GALVANISED AND OF SUFFICIENT LENGTH TO EXCLUDE THE THREAD FOR THE SHEAR PLANE.
- A SUITABLE WASHER SHALL BE USED UNDER ALL NUTS.

UNLESS OTHERWISE SPECIFIED THE FOLLOWING SHALL APPLY:

- WELDING 6mm CONTINUOUS FILLET WELD TO FULL PERIMETER CONTACT.
- MEMBER SPLICES IF REQUIRED SHALL BE FULL PENETRATION BUTT WELDS.
- CLEATS, BRACKETS, STIFFENERS - EX. 10mm PLATE
- 5 PL END PL TO ALL HOLLOW SECTIONS.
- BOLT HOLE CLEARANCE 2mm
- HOLDDOWN BOLT HOLE CLEARANCE 4mm
- GROUT OF 2:1 CEMENT/SAND, MORTAR OF DAMP EARTH CONSISTANCY UNDER ALL BASE PLATES.
- CHEMSET ANCHORS TO BE RAMSET HAMMER CAPSULES or EQUIVALENT.
- ALL STEELWORK NOT HOT DIP GALVANISED SHALL BE ABRASIVE CLEANED TO CLASS 2.5 LEVEL AND PAINTED.
- PAINTING SHALL CONSIST OF ONE COAT OF APPROVED METAL PRIMER & TWO FINISH COATS.
- CORROSION PROTECTION IS TO COMPLY WITH SECTION 6.3.9 OF THE ABCB HOUSING PROVISIONS.

STAIR & RAMP NOTES

- (A)
TREADS MUST HAVE -
- (I)
A SURFACE WITH A SLIP-RESISTANCE CLASSIFICATION NOT LESS THAN THAT LISTED IN TABLE 3.9.13 WHEN TESTED IN ACCORDANCE WITH AS 4586; OR
- (II)
A NOSING STRIP WITH A SLIP-RESISTANCE CLASSIFICATION NOT LESS THAN THAT LISTED IN TABLE 3.9.13 WHEN TESTED IN ACCORDANCE WITH AS 4586.
- (B)
THE FLOOR SURFACE OF A RAMP MUST HAVE A SLIP-RESISTANCE CLASSIFICATION NOT LESS THAN THAT LISTED IN TABLE 3.9.13 WHEN TESTED IN ACCORDANCE WITH AS 4586.
- (C)
WHERE THE EDGE LEADS TO THE FLIGHT BELOW, MUST HAVE
- (I)
A SURFACE WITH A SLIP-RESISTANCE CLASSIFICATION NOT LESS THAN THAT LISTED IN TABLE 3.9.13 WHEN TESTED IN ACCORDANCE WITH AS 4586, FOR NOT LESS THAN 190 MM FROM THE STAIR NOSING; OR
- (II)
A NOSING STRIP WITH A SLIP-RESISTANCE CLASSIFICATION NOT LESS THAN THAT LISTED IN TABLE 3.9.13 WHEN TESTED IN ACCORDANCE WITH AS 4586.

TABLE 3.9.13 SLIP-RESISTANCE CLASSIFICATION

APPLICATION	SURFACE CONDITIONS	
	DRY	WET
RAMP NOT STEEPER THAN 1:8	P4 or R10	P5 or R12
TREAD SURFACE	P3 or R10	P4 or R11
NOSING OR LANDING EDGE STRIP	P3	P4

REFER SHEET 13 FOR STRUCTURAL MEMBER LEGEND AND NOTES

AREAS GROUND FLOOR

LIVING	188.30m2
PATIO	217.08m2
GARAGE	146.39m2
GRANNY FLAT	64.23m2
SUB-TOTAL	616.00m2

FIRST FLOOR

LIVING	156.13m2
(GROUND FLOOR LIVING MINUS VOID)	
GRAND TOTAL	772.13m2

CERTIFIED AS STRUCTURALLY ADEQUATE

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1/38-42 Pease St, Cairns | PO Box 927, Cairns Q 4870
P: 07 40320492 | F: 07 40320092 | E: email@kfbeng.com.au

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Job No: K-11880 RPEQ No: 5711

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Q.B.C.C. No. 63487

[illegible]

TRANSITION ZONE WHERE BALUSTRADE OR OTHER BARRIER ALLOWED TO CONTINUE THRU UNTIL IT MEETS LANDING BALUSTRADE HEIGHT

865 min.

1000

125mm SPHERE MUST NOT PASS THRU OPENING

R

G

125 TOE SPACE

125mm SPHERE MUST NOT PASS THRU TREADS

STAIR / BALUSTRADE DETAIL

IN ACCORDANCE WITH B.C.A. PART 3.9.1 & 3.9.2

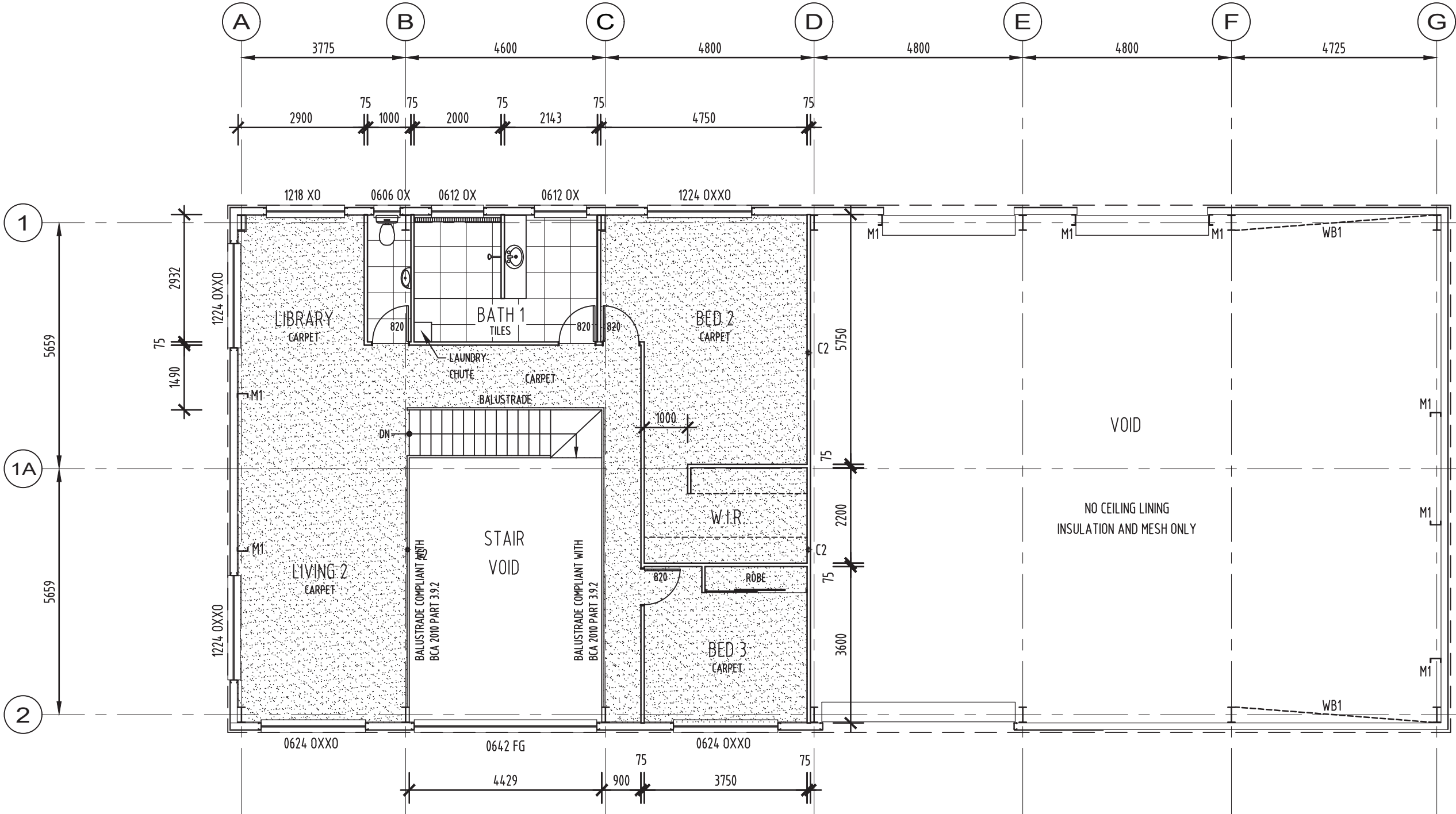


ELEVATION KEY

REFER SHEET 13 FOR STRUCTURAL MEMBER LEGEND AND NOTES

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WIND CLASSIFICATION - C2



REFER SHEET 13 FOR STRUCTURAL MEMBER LEGEND AND NOTES

CEILINGS

ALL FIRST FLOOR CEILINGS ARE TO BE RAKING 10mm PLASTERBOARD FIXED ON BATTENS AT 450 CRS. WITH THE EXCEPTION OF BATHROOM, TOILET, AND BEDROOMS WHICH ARE TO HAVE CEILING JOISTS AT 900 CRS. & 10mm PLASTERBOARD CEILING LINING AT 2700 HEIGHT, FIXED TO BATTENS AT 450 CRS.

--- FIRST FLOOR - PARTIAL FLOOR PLAN - A
--- 1:100

**CERTIFIED AS
STRUCTURALLY ADEQUATE**



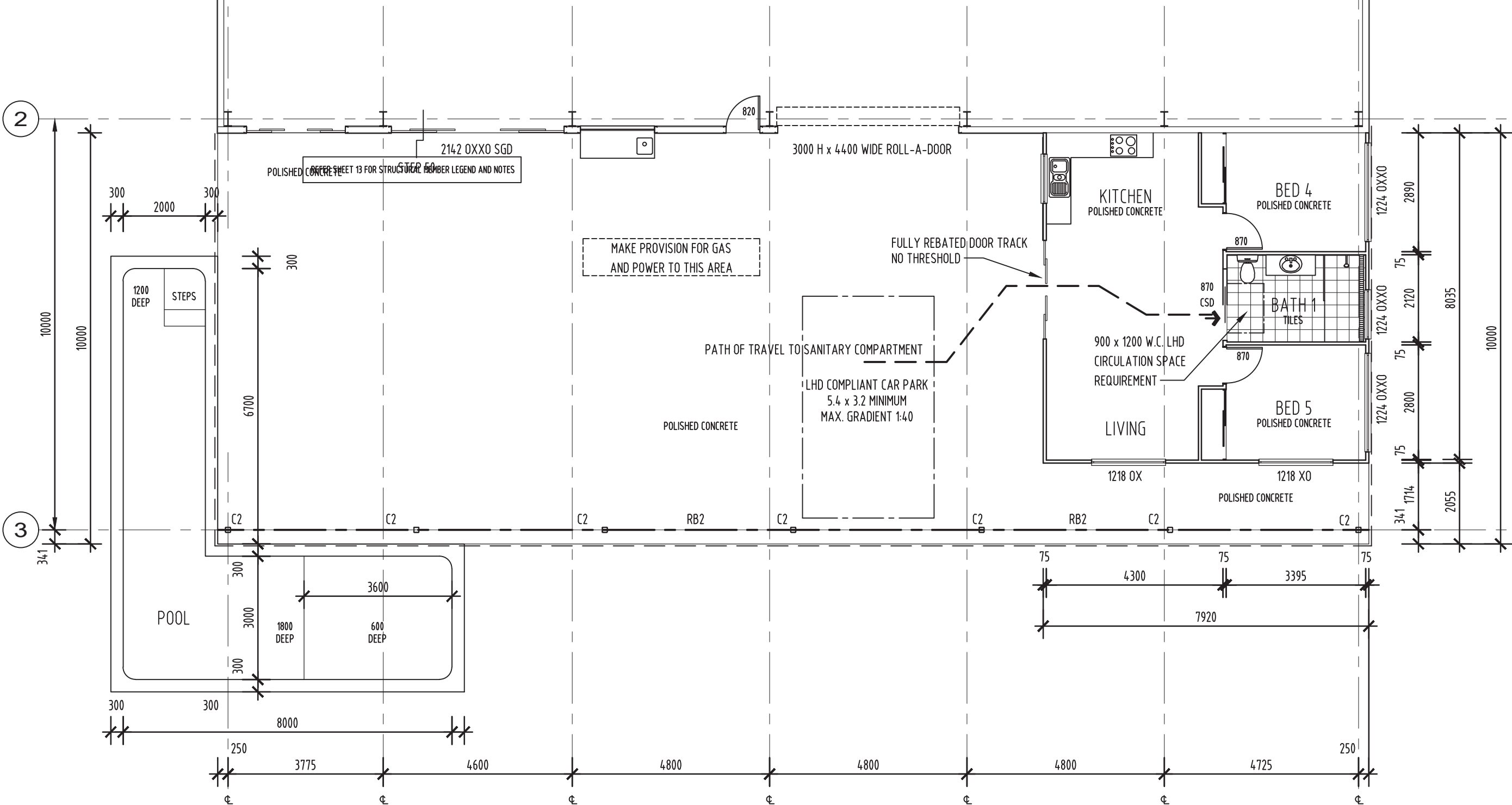
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WIND CLASSIFICATION - C2

REFER PARTIAL FLOOR PLAN - A FOR CONTINUATION



ALL POOL FENCES AND BARRIERS MUST COMPLY WITH QUEENSLAND DEVELOPMENT CODE - MP 3.4 - "SWIMMING POOL BARRIERS". THIS CODE CALLS UP AND MODIFIES THE AUSTRALIAN STANDARD AS1926.2007.

REFER SHEET 13 FOR STRUCTURAL MEMBER LEGEND AND NOTES

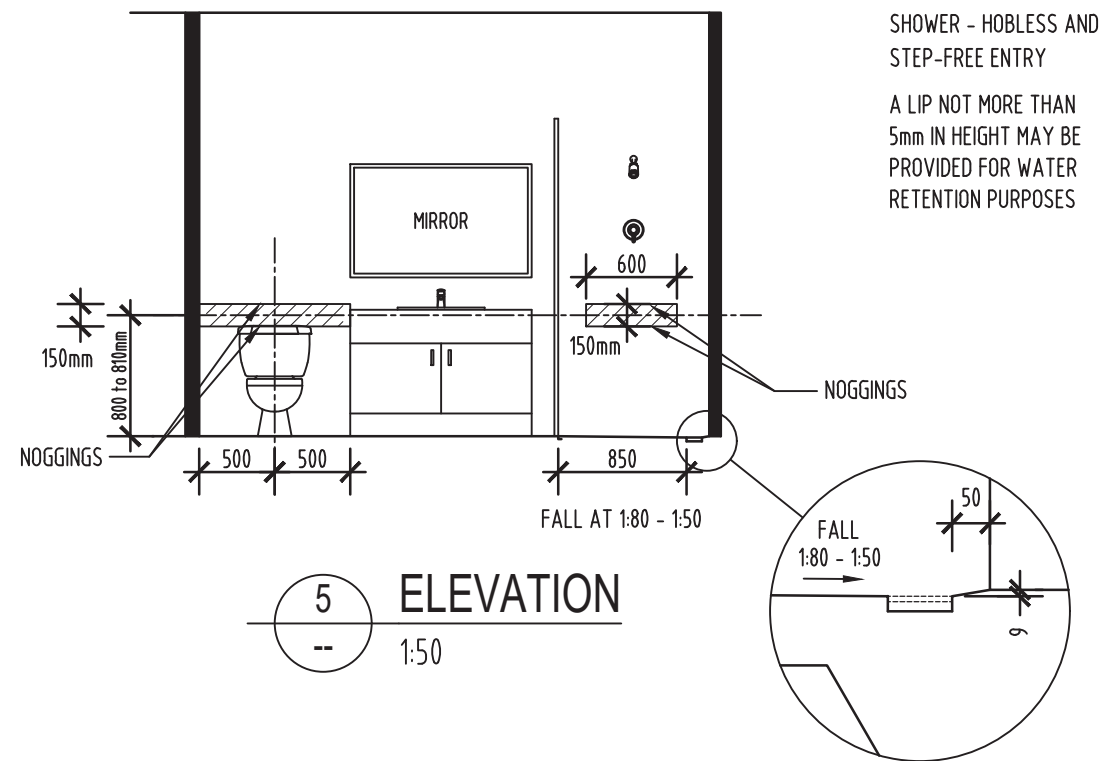
GROUND FLOOR - PARTIAL FLOOR PLAN - B
1:100 INCL. LIVEABLE HOUSING DESIGN INFORMATION

CERTIFIED AS STRUCTURALLY ADEQUATE

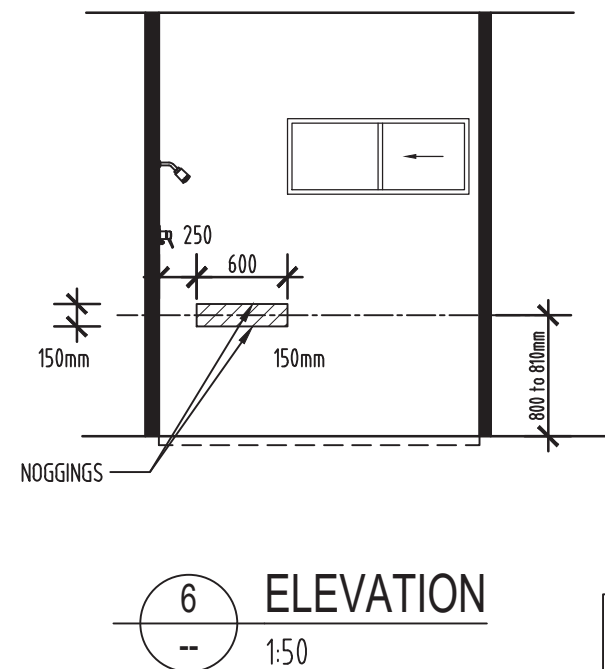
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Date: 26/6/24 Signed: [Signature]
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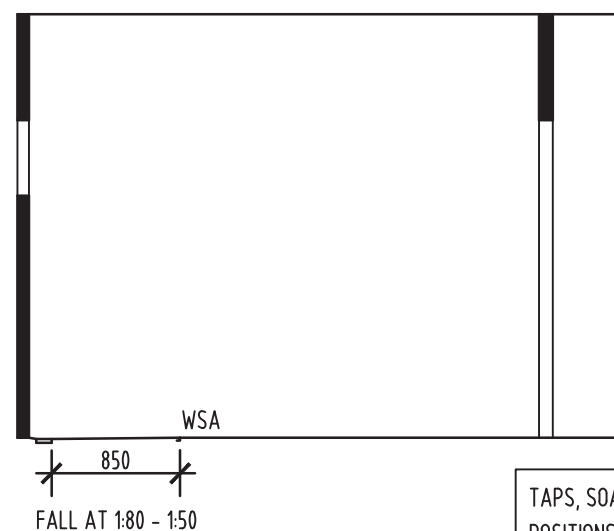
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5 ELEVATION
-- 1:50

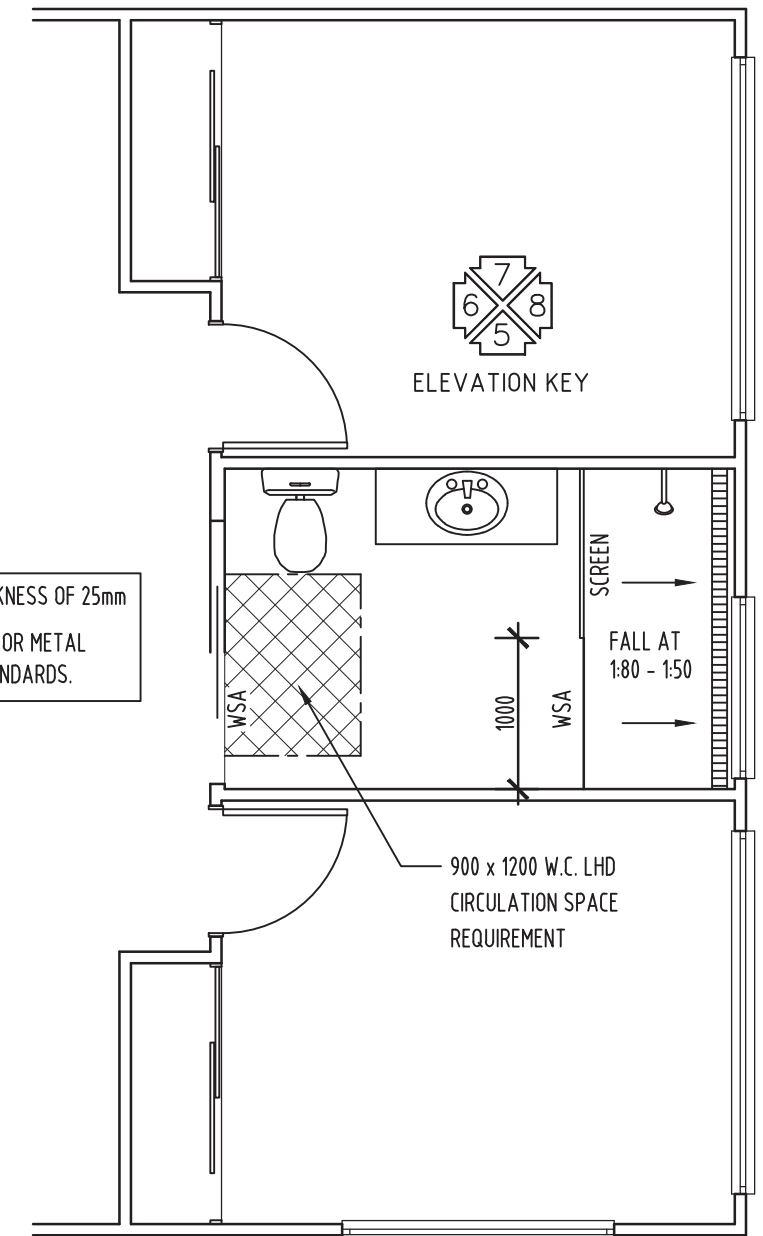
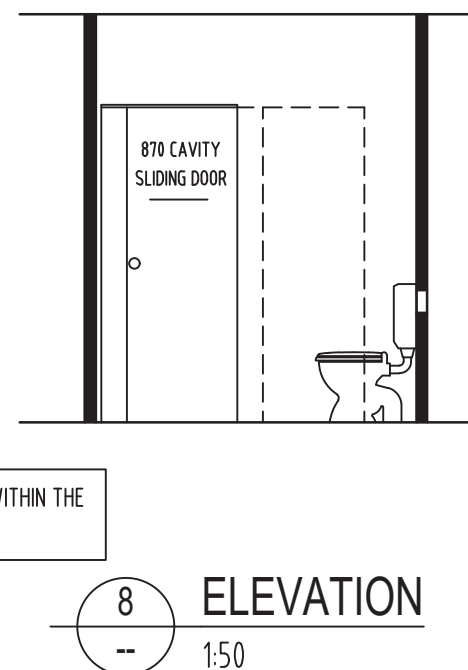


TIMBER NOGGINGS WITH A MINIMUM THICKNESS OF 25mm
LIGHT GAUGE STEEL FRAMING NOGGINGS OR METAL
PLATE IN ACCORDANCE WITH NASH STANDARDS.



TAPS, SOAP HOLDERS AND THE LIKE MAY BE LOCATED WITHIN THE
POSITIONS DESIGNATED FOR WALL REINFORCING.

-- DETAILED ELEVATIONS
-- 1:50 LHD - (LIVEABLE HOUSING DESIGN)



-- DETAILED FLOOR PLAN
-- 1:50 LIVEABLE HOUSING DESIGN

WET AREA WATERPROOFING TO COMPLY WITH PART H4D2 OF THE NCC VOL 2 AND 10.2 OF THE ABCB HOUSING PROVISIONS OR AS3740-2021

SECTION 10.2.18 OF THE ABCB HOUSING PROVISIONS STATES:- AN UNENCLOSED SHOWER MUST BE CONSTRUCTED AS FOLLOWS:-

(a) A WATER STOP MUST BE INSTALLED A MINIMUM HORIZONTAL DISTANCE OF 1500 mm FROM THE SHOWER ROSE.

WATERPROOFING MUST EXTEND THIS DISTANCE ON THE WALLS AS WELL.

(b) THE VERTICAL LEG OF THE WATERSTOP MUST FINISH:-

(i) FLUSH WITH THE TOP SURFACE OF THE FLOOR (SEE FIGURE 10.2.18 BELOW); AND

(ii) WHERE THE WATERSTOP INTERSECTS WITH A WALL OR IS JOINED:-

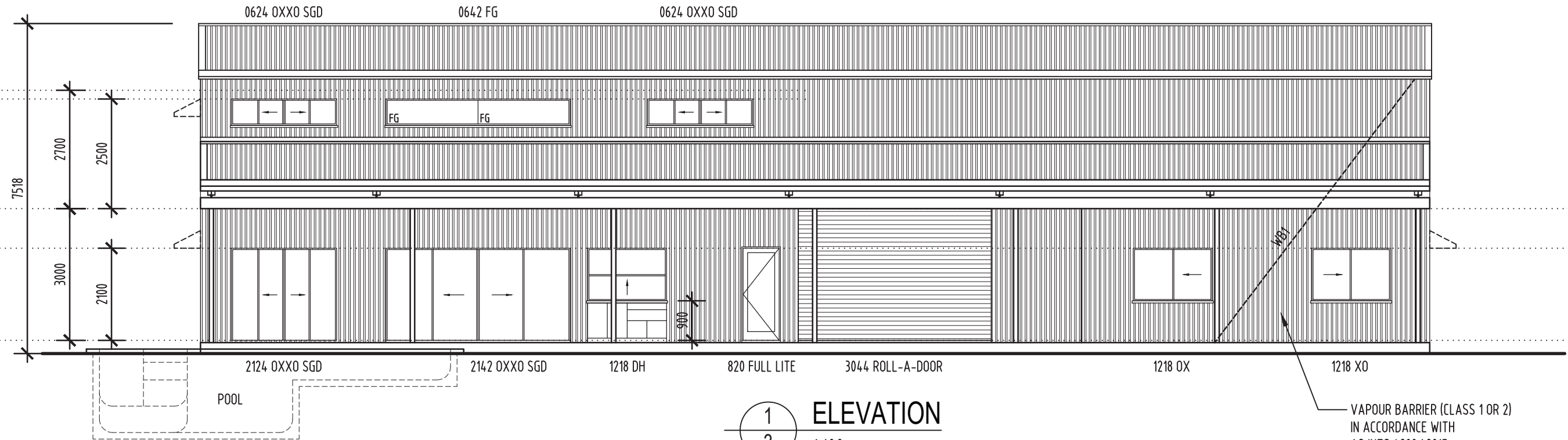
(A) THE JUNCTION MUST BE WATERPROOF; OR

(B) THE WHOLE WET AREA FLOOR MUST BE WATERPROOFED AND DRAINED TO A FLOOR WASTE AS FOR THE SHOWER AREA.

IN THE CASE OF (b)(ii)(b), AT DOORWAYS, WHERE THE HEIGHT OF THE TILING ANGLE NEEDS TO BE ADJUSTED FOR TILING PURPOSES, THE ANGLE MUST BE FIXED WITH A SEALANT COMPATIBLE WITH THE WATERPROOFING MEMBRANE WITHOUT DAMAGING THE WATERPROOFING SYSTEM.

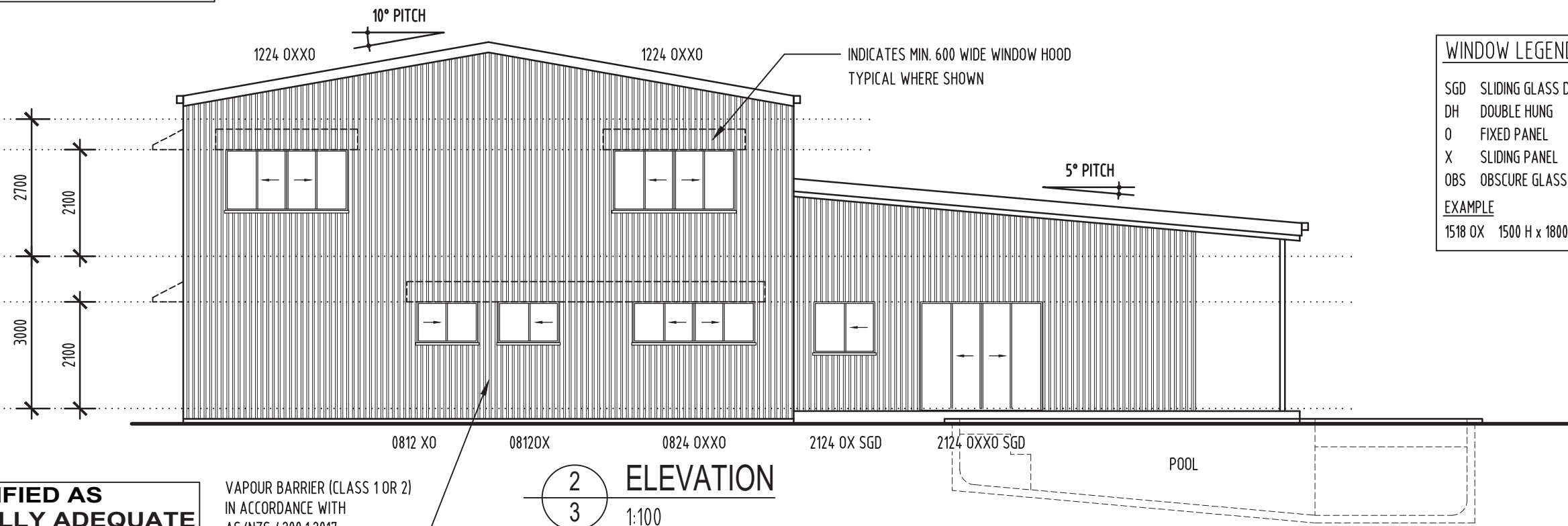
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WIND CLASSIFICATION - C2



ALL POOL FENCES AND BARRIERS MUST COMPLY WITH QUEENSLAND DEVELOPMENT CODE - MP 3.4 - "SWIMMING POOL BARRIERS". THIS CODE CALLS UP AND MODIFIES THE AUSTRALIAN STANDARD AS1926.2007.

- GARAGE DOORS ARE TO COMPLY WITH THE AUSTRALIAN STANDARD AS/NZS 4505 & AS/NZS 1170.2
- ALL WINDOWS ARE TO COMPLY WITH PART 3.9.2.6 OF THE BCA VOLUME 2 AND N.C.C. D2.24 WINDOW FLASHING DETAILS AS PER PART 3.5.4.6 OF THE NCC VOL. 2



WINDOW LEGEND	
SGD	SLIDING GLASS DOOR
DH	DOUBLE HUNG
O	FIXED PANEL
X	SLIDING PANEL
OBS	OBSCURE GLASS
EXAMPLE	
1518 OX	1500 H x 1800 W - FIXED / SLIDING

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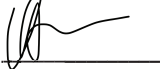
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Civil & Structural

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P: 07 40320492 | F: 07 40320092 | E: email@kfbeng.com.au

Date: 26/6/24

Signed: 

Job No: K-11880

RPEQ No: 5711

Drawn G.W.M.

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Date MAR.2024

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Job Number 24041

Sheet Number WD-1/7

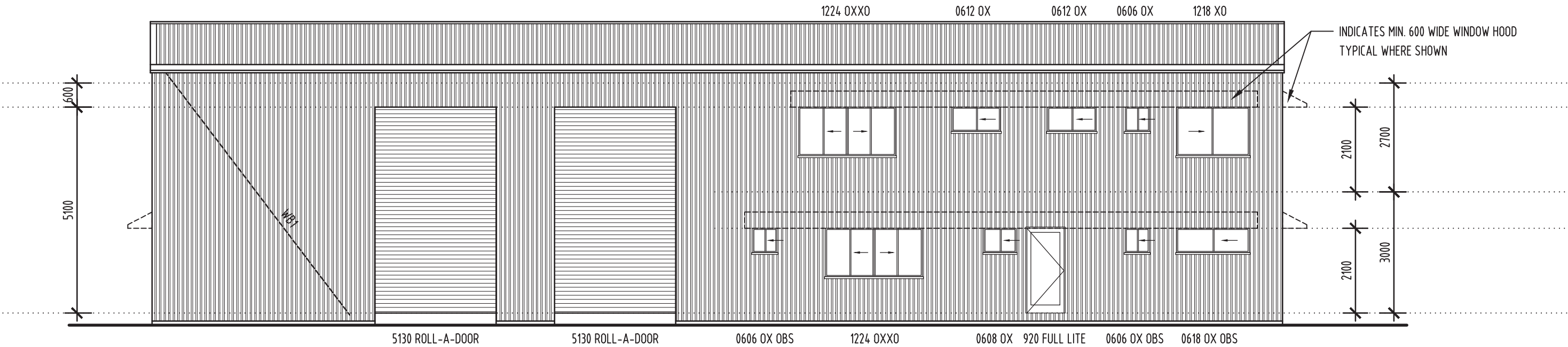
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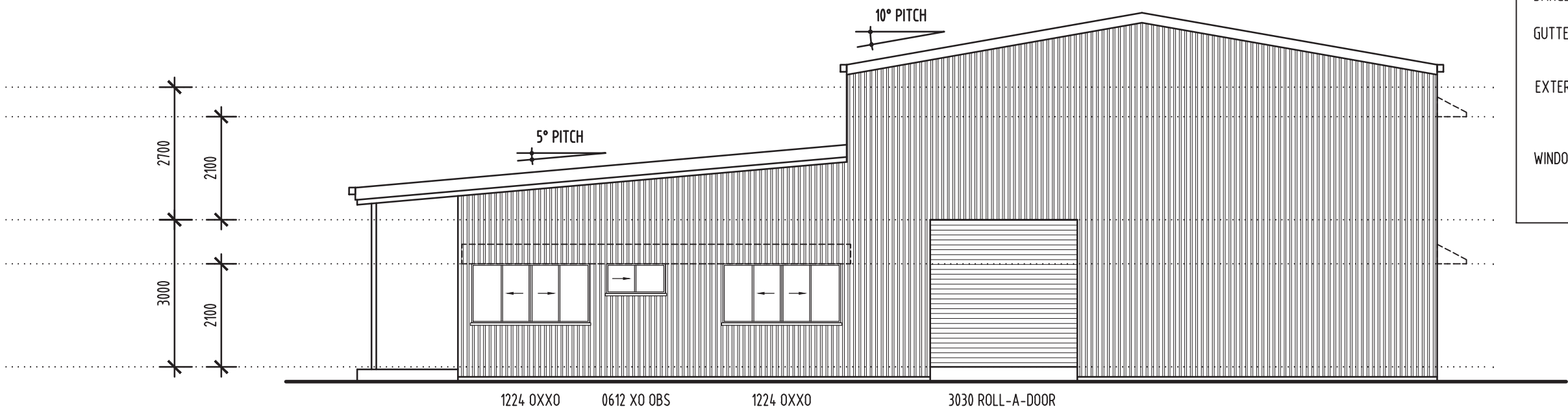
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WIND CLASSIFICATION - C2



3
3 ELEVATION
1:100

GARAGE DOORS ARE TO COMPLY WITH THE AUSTRALIAN STANDARD AS/NZS 4505 & AS/NZS 1170.2



4
3 ELEVATION
1:100

ELEVATION NOTES

ROOF	COLORBOND CUSTOM TRIMDEK SHEETING FIXED TO MANUF. SPEC. FOR WIND CLASSIFICATION C2
FASCIAS & BARGES	COLORBOND G.I. METAL SELECT COLOUR BARGES
GUTTERING	SELECT COLORBOND SQUARELINE GUTTERING.
EXTERNAL WALL	COLORBOND CUSTOM TRIMDEK SHEETING FIXED TO MANUF. SPEC. FOR WIND CLASSIFICATION C2
WINDOWS	POWDER COATED ALUMINIUM FRAME CLEAR GLAZING - U.N.O. REFER PLAN FOR SIZE & LOCATION

CERTIFIED AS
STRUCTURALLY ADEQUATE

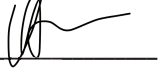


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Date: 26/6/24

Signed: 

Job No: K-11880

RPEQ No: 5711

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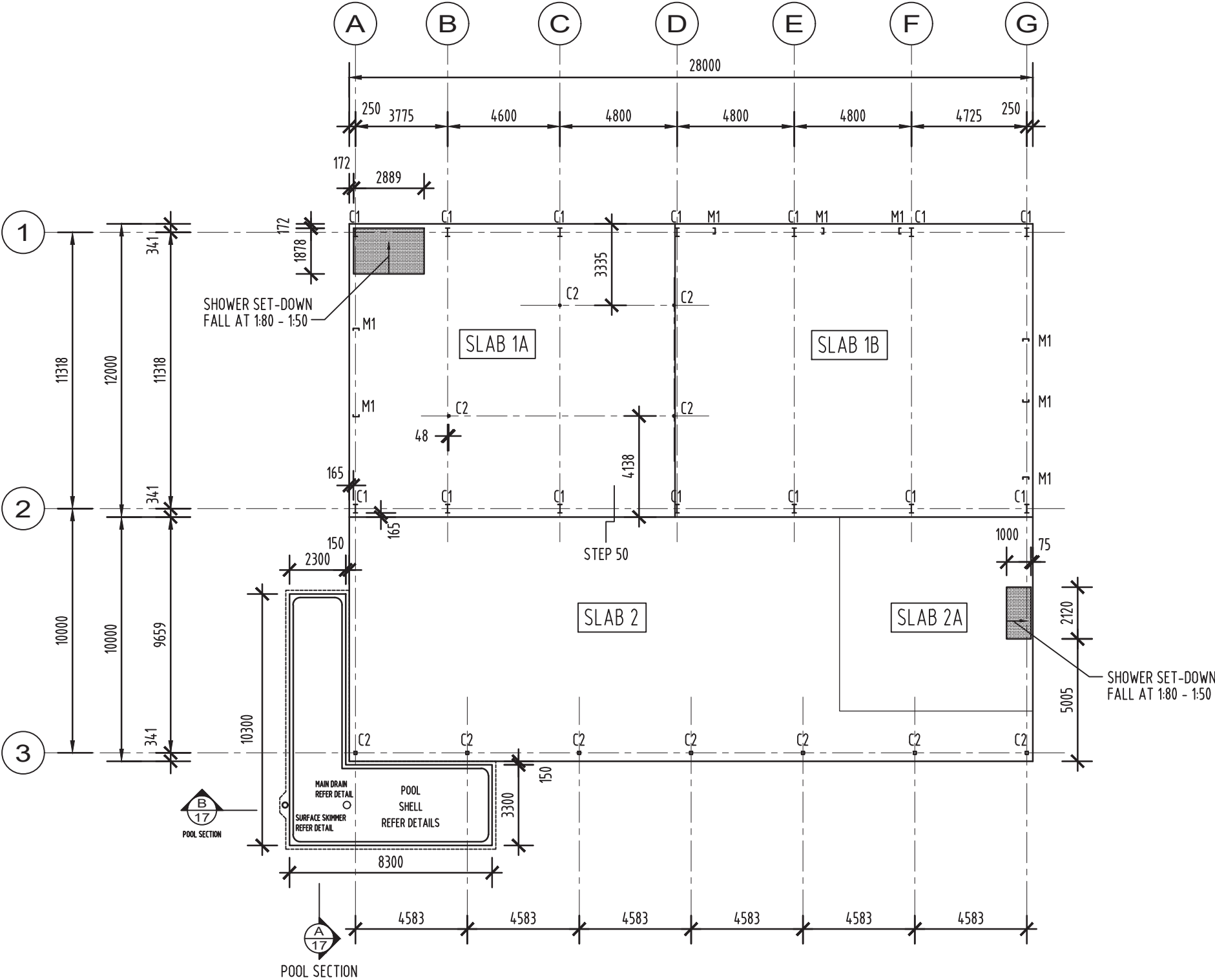
MARSHALL DESIGN

Q.B.C.C. No. 63487

J & C CAIRNS - LOT 8 SANTACATTERINA ROAD, FINLAYVALE

POOL NOTES

1. ALL WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH AS2783-
CONCRETE SWIMMING POOLS CODE AND AS3600-CONCRETE STRUCTURES CODE
AND ACCEPTED BUILDING PRACTICE.
2. ALL CONCRETE TO BE PNEUMATICALLY APPLIED WITH A CHARACTERISTIC
COMPRESSIVE STRENGTH OF 25 MPA AT 28 DAYS UNLESS POOL IS WITHIN 1 KM
OF THE COAST WHEN IT SHALL BE 32 MPA AT 28 DAYS ALL IN ACCORDANCE
WITH AS2783. USE EVAPORATIVE RETARDANT IMMEDIATELY AFTER SCREEDING
CONCRETE SURFACE AND CURE SHELL FOR 7 DAYS.
3. ALL CONCRETE TO BE 150mm THICK U.N.O.
4. ALL REINFORCEMENT TO BE N12 BARS U.N.O.
ALSO "ONESTEEL" GRADE 250S 12mm "POOL STEEL" MAY BE USED.
5. CROSS BARS NOT NOTED OTHERWISE TO BE N12 AT 300 CRS.
6. ALL BARS TO HAVE SPLICE LENGTH 600mm U.N.O.
7. MINIMUM CONCRETE COVER TO REINFORCEMENT BASED ON NON-AGGRESIVE
GROUND WATER TO BE AS FOLLOWS WITHIN AS2783 TOLERANCES U.N.O.
-65mm TO CONCRETE PLACED IN CONTACT WITH GROUND
-50mm TO EXPOSED OR WATER FACE U.N.O.
8. SPLICING IN BARS TO BE STAGGERED AND THE MINIMUM DISTANCE
BETWEEN BARS SHALL BE 50mm.
9. THIS DESIGN APPLIES WHERE POOL WALL DOES NOT PROJECT MORE THAN
1200mm ABOVE GROUND LEVEL.
10. DEEP END IS TO HAVE AT LEAST 1000mm OF SUPPORTING SOIL
FOR STANDARD POOL.
11. SUPPORTING SOIL TO BE A SOUND NATURAL SOIL OR WELL CONSOLIDATED
FILL WITH BEARING CAPACITY MIN. 75 KPA.
12. DESIGN TO BE MODIFIED IF EXCESSIVE GROUND WATER IS ENCOUNTERED
DURING EXCAVATION.
13. ALL DIMENSIONS ON THE SITE PLAN SHOWING THE LOCATION OF THE POOL
ARE TO THE WATER FACE U.N.O. DIMENSIONS MUST NOT BE SCALED.
14. ENSURE EQUIPOTENTIAL BONDING IS CARRIED OUT TO THE REINFORCING
AND POOL SURROUNDS TO F.N.Q.E.B.SPECIFICATIONS.
15. F92 MESH MAY BE USED AS AN ALTERNATIVE TO N12-300 CRS TO THE POOL
FLOOR. LAPS TO MESH SHALL BE TWO TRANSVERSE WIRES. LAP TO BARS
SHALL BE 600mm.
16. PROVIDE INSPECTION STANDPIPE TO FACILITATE CHECKING GROUND
WATER LEVEL IN CASES WHERE GROUND WATER COULD CAUSE UPLIFT
WHEN DEWATERING THE POOL.
17. THE RESISTANCE OF THIS POOL AGAINST UPLIFT RELIES ON THE WATER
LEVEL WITHIN THE POOL BEING MAINTAINED NO LOWER THAN GROUND
WATER LEVEL AT ALL TIMES. ENSURE THAT THE HYDROSTATIC VALVE
FUNCTIONS ADEQUATELY. DO NOT OBSTRUCT THE HYDROSTATIC VALVE
IN SERVICE. DO NOT ALLOW THE POOL WATER LEVEL TO FALL BELOW GROUND
WATER LEVEL. DO NOT PUMP OUT THE POOL AT A RATE WHICH EXCEEDS
THE FLOW CAPACITY OF THE HYDROSTATIC VALVE. IF DEWATERING POOL
DO NOT DISCHARGE WATER ONTO GROUND NEAR POOL.



SLAB & FOOTING SET-OUT PLAN
1:200

REFER SHEET 13 FOR STRUCTURAL MEMBER LEGEND AND NOTES

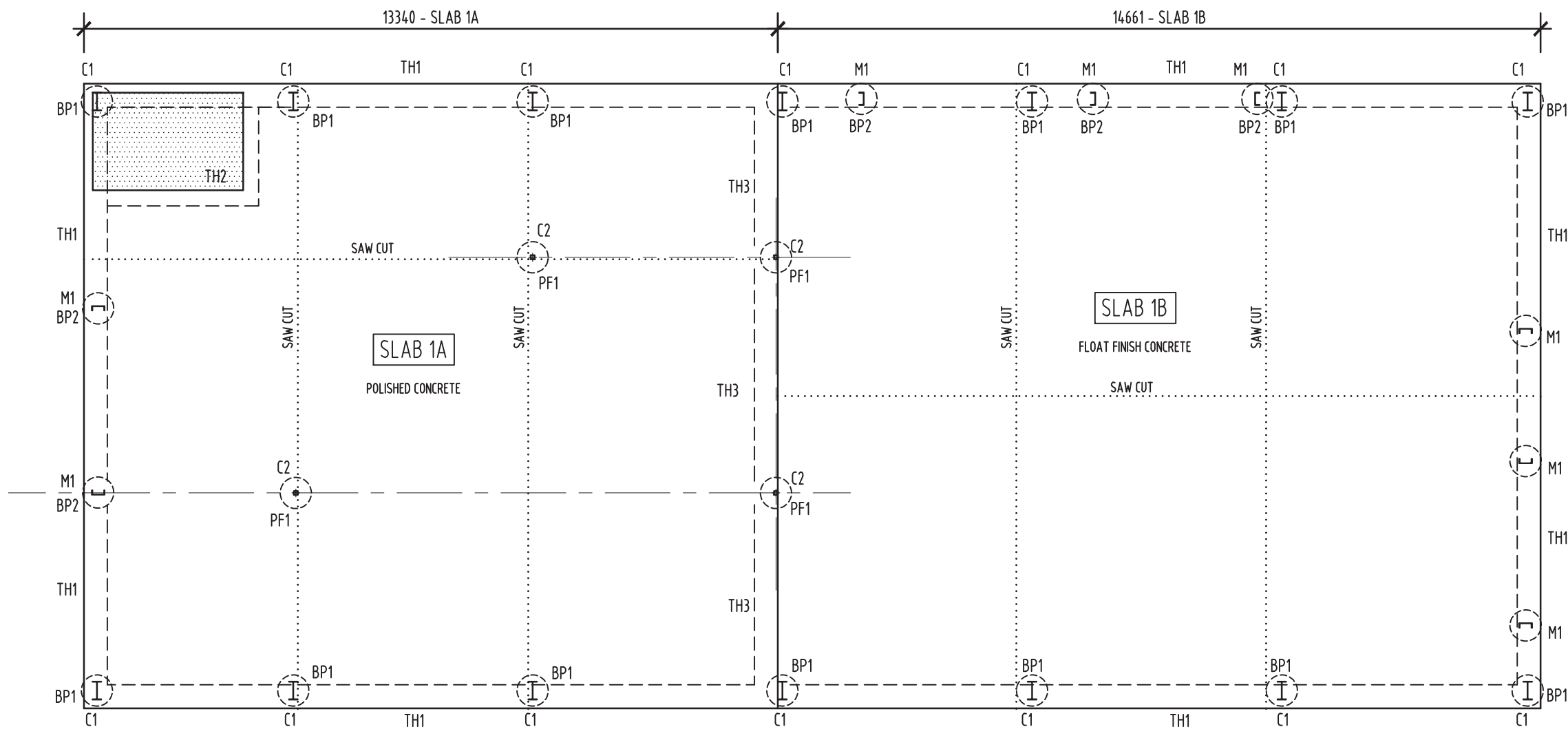
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Date: 26/6/24 Signed: [Signature]
Job No: K-11880 RPEQ No: 5711

Drawn G.W.M. Job Number 24041
Scale AS SHOWN Sheet Number WD-1/9
Date MAR.2024 © Copyright Retained
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FOOTING AND SLAB NOTES

- FOOTINGS HAVE BEEN DESIGNED FOR A MINIMUM ALLOWABLE BEARING PRESSURE OF 100 kPa AND CLASS "P" SITE CLASSIFICATION ACCORDING "EARTH TEST" REPORT No. SI 507.2-21 DATED MAY 2022
- NATURAL FOUNDATIONS TO BE GRUBBED OUT AND FREE FROM ORGANIC MATTER AND DEBRIS AND COMPACTED TO A MIN. 95% SRDD AT -5% TO +2% OF OPTIMUM MOISTURE CONTENT, OR NOT LESS THAN 70% DENSITY INDEX FOR COHESIONLESS SOILS. FILL TO SLAB AND FOUNDATIONS SHALL BE AN APPROVED NON-PLASTIC MATERIAL, COMPACTED IN MAX. 150mm LAYERS, TO 95% SRDD AT -5% TO +2% OF OPTIMUM MOISTURE CONTENT, OR NOT LESS THAN 70% DENSITY INDEX FOR COHESIONLESS SOILS.
- FOOTING TRENCHES SHALL BE CLEAN AND DRY AT THE TIME OF CASTING WITH ANY SOFTENED MATERIAL REMOVED. BASE OF FOOTINGS TO BE FOUNDED ON FIRM NATURAL GROUND WITH MIN. SAFE BEARING CAPACITY OF 100 kPa.
- REMOVE GRASS AND TOPSOIL CONTAINING ROOTS FROM SLAB SITE.
- PROVIDE COMPACTED SAND BEDDING UNDER SLAB.
- PROVIDE 0.2mm POLYTHENE MOISTURE BARRIER UNDER SLAB AND FOOTINGS.

CONCRETE MUST COMPLY WITH THE FOLLOWING:

- CONCRETE MUST BE MANUFACTURED TO COMPLY WITH AS 3600; AND
(i) HAVE A STRENGTH AT 28 DAYS OF NOT LESS THAN 20 MPa (DENOTED AS N20 GRADE); AND
(ii) HAVE A 20mm MAXIMUM NOMINAL AGGREGATE SIZE; AND
(iii) HAVE A NOMINAL 100mm SLUMP.
 - WATER MUST NOT BE ADDED TO THE MIX TO INCREASE THE SLUMP TO A VALUE IN EXCESS OF THAT SPECIFIED.
 - CONCRETE MUST BE PLACED, COMPACTED AND CURED IN ACCORDANCE WITH GOOD BUILDING PRACTICE.
- VIBRATE ALL CONCRETE, CURE SLAB 7 DAYS MINIMUM.
 - CONCRETE COVER TO BE MAINTAINED BY THE USE OF APPROVED CHAIRS SPACED AT APPROX. 750 CRS. CONDUITS AND PIPES SHALL NOT BE PLACED WITHIN COVER CONCRETE.
 - LAPS SHALL BE:- N12 - 450mm, N16 - 600mm, FABRIC - ONE COMPLETE MESH OVERLAP BETWEEN SHEETS.
 - CAST IN ITEMS SHALL BE HOT-DIPPED GALVANISED.
 - FOOTINGS SHALL NOT BE LOCATED CLOSER TO THE NEAREST EDGE OF A STORMWATER/SEWER TRENCH THAN THE DEPTH OF THE TRENCH.
 - SITE AREA SHOULD BE GRADED TO READILY REMOVE SURFACE WATER AND PREVENT PONDING ADJACENT TO FOUNDATIONS & DRIVEWAY.

SLAB & FOOTING SET-OUT PLAN

1:100 SLABS 1A & 1B

REFER SHEET 13 FOR STRUCTURAL MEMBER LEGEND AND NOTES

SLAB 1A - POLISHED

MINIMUM 150mm THICK N32 CONCRETE
SL92 MESH - 40mm TOP COVER

SLAB 1B - UNPOLISHED

MINIMUM 150mm THICK N32 CONCRETE
SL82 MESH - 40mm TOP COVER

ALL SLABS

LAI D ON 200um VISQUEEN OVER
NON-PLASTIC FILL MATERIAL COMPACTED TO
MINIMUM 95% SRDD or 70% DENSITY INDEX

CERTIFIED AS STRUCTURALLY ADEQUATE



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Signed: [Signature]

Job No: K-11880

RPEQ No: 5711

Drawn G.W.M.

Job Number 24041

Scale AS SHOWN

Sheet Number WD-1/10

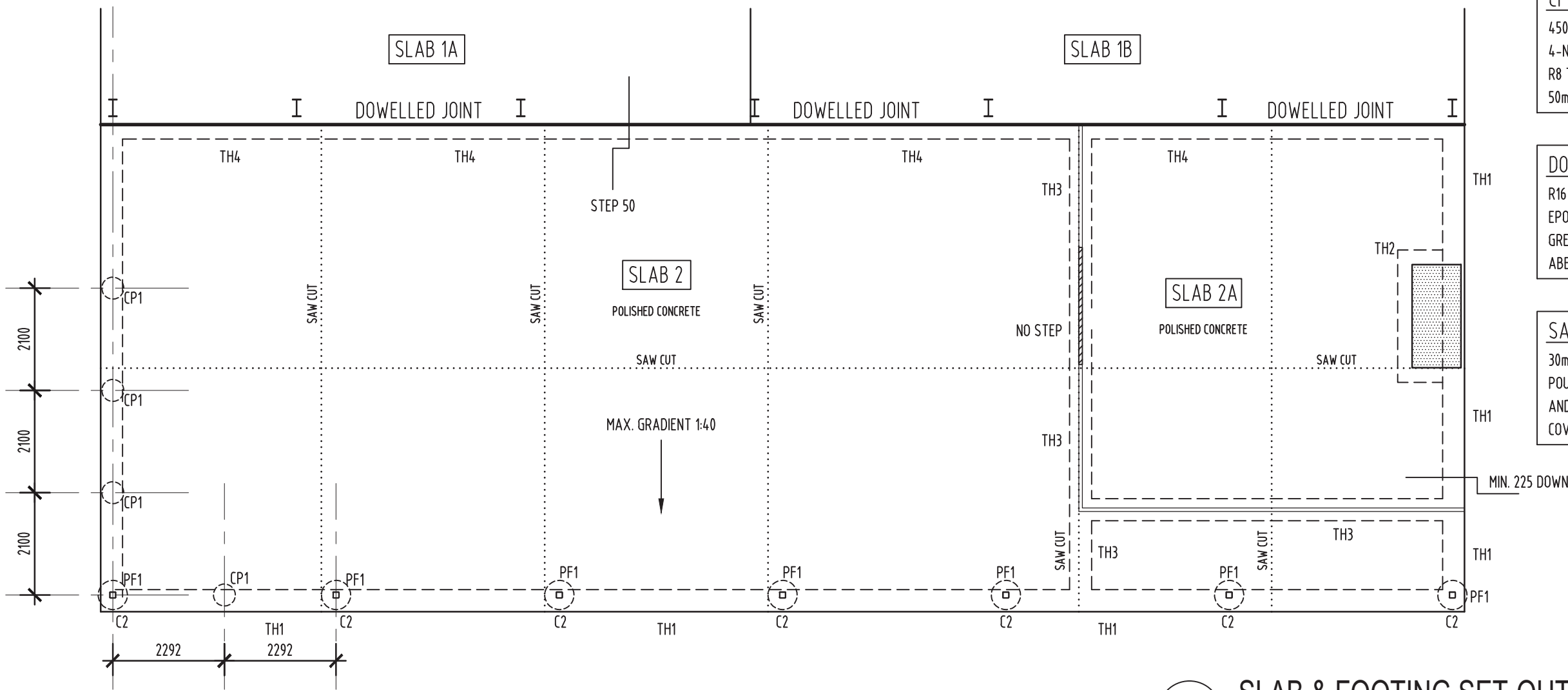
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CP1 FOOTING
450 ϕ x 2000mm DEEP N32 CONCRETE PIERS
4-N12 BARS COG 500mm INTO SLAB
R8 TIES AT 200 CRS.
50mm COVER

DOWELLED JOINT
R16 GALV. DOWELS x 450mm LONG
EPOXY 150mm INTO SLAB 1A AND 1B TH1
GREASE 300mm.
ABELFLEX AND SEALANT TO JOINT.

SAW CUT
30mm SAW CUT MADE WITHIN 36 HRS OF
POUR. CUT EVERY 2nd WIRE UNDER JOINT
AND DEPRESS MESH LOCALLY TO MAINTAIN
COVER.

FOOTING AND SLAB NOTES

- FOOTINGS HAVE BEEN DESIGNED FOR A MINIMUM ALLOWABLE BEARING PRESSURE OF 100 kPa AND CLASS "P" SITE CLASSIFICATION ACCORDING "EARTH TEST" REPORT No. SI 507.2-21 DATED MAY 2022
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SLAB & FOOTING SET-OUT PLAN

1:100 SLAB 2

REFER SHEET 13 FOR STRUCTURAL MEMBER LEGEND AND NOTES

SLAB 2 - POLISHED

MINIMUM 110mm THICK N32 CONCRETE
SL92 MESH - 30mm TOP COVER

SLAB 2A - POLISHED

MINIMUM 150mm THICK N32 CONCRETE
SL92 MESH - 30mm TOP COVER

ALL SLABS

LAI D ON 200um VISQUEEN OVER
NON-PLASTIC FILL MATERIAL COMPACTED TO
MINIMUM 95% SRDD OR 70% DENSITY INDEX

CERTIFIED AS STRUCTURALLY ADEQUATE



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Date: 26/6/24

Signed: [Signature]

Job No: K-11880

RPEQ No: 5711

Drawn G.W.M.

Job Number 24041

Scale AS SHOWN

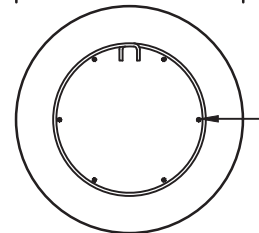
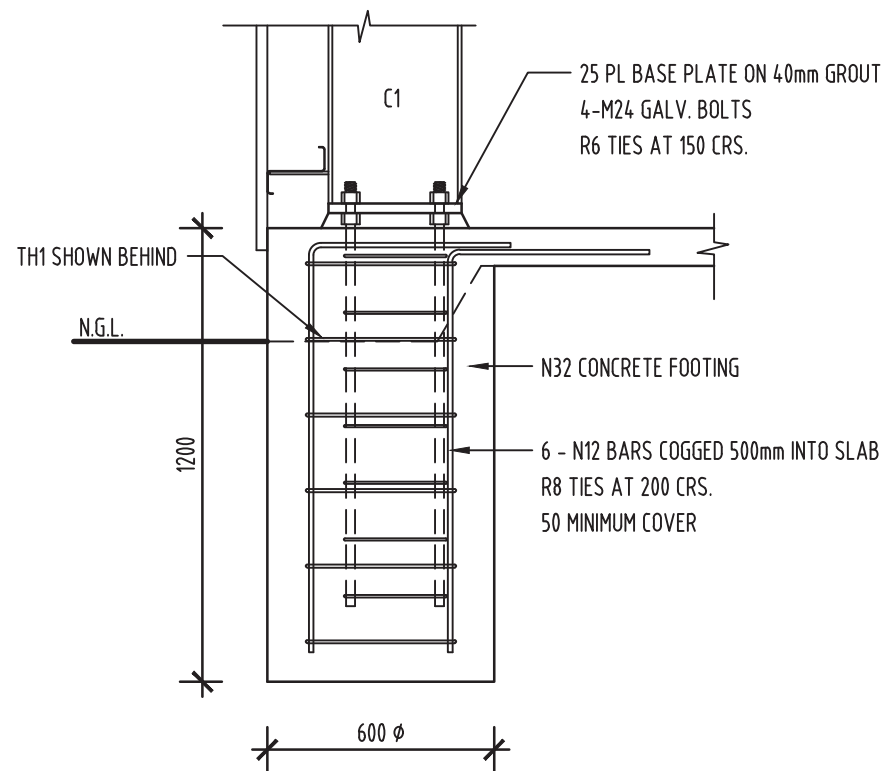
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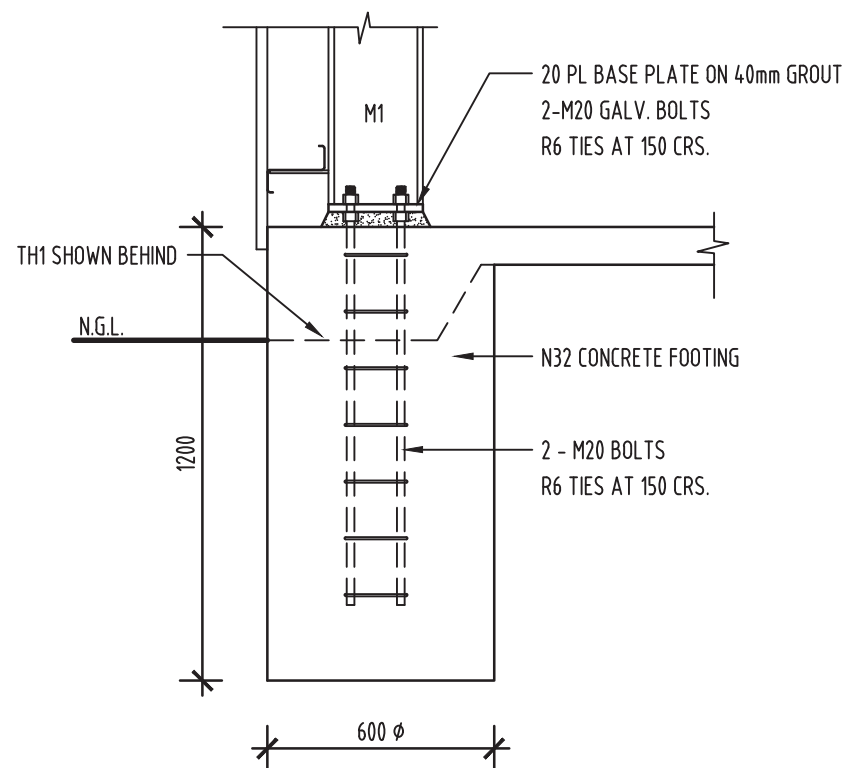
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Client:-

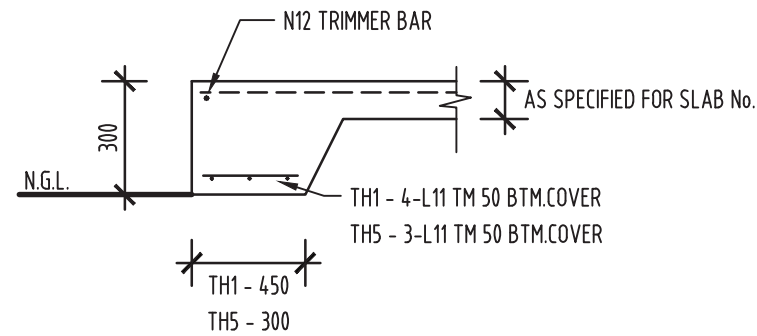
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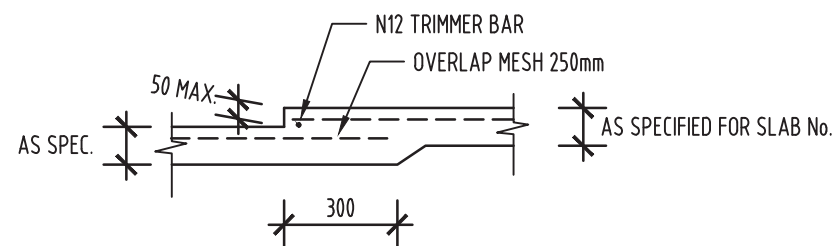
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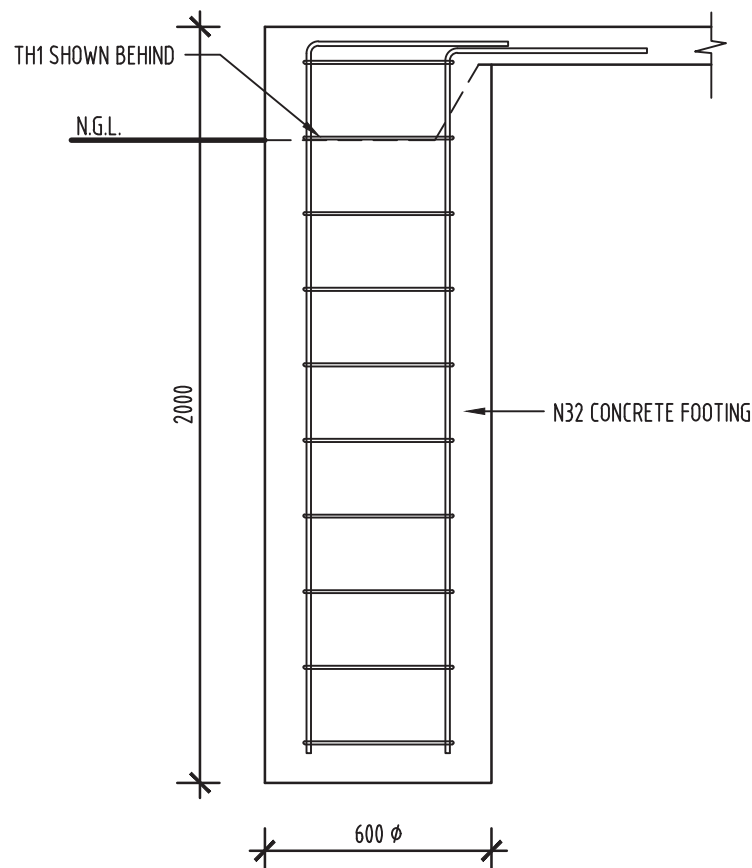
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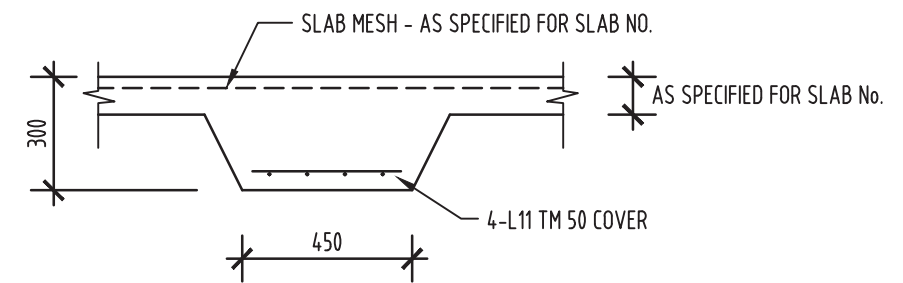
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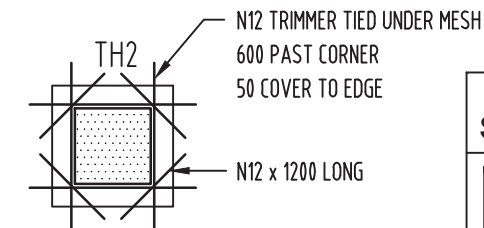
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CP1 1:20

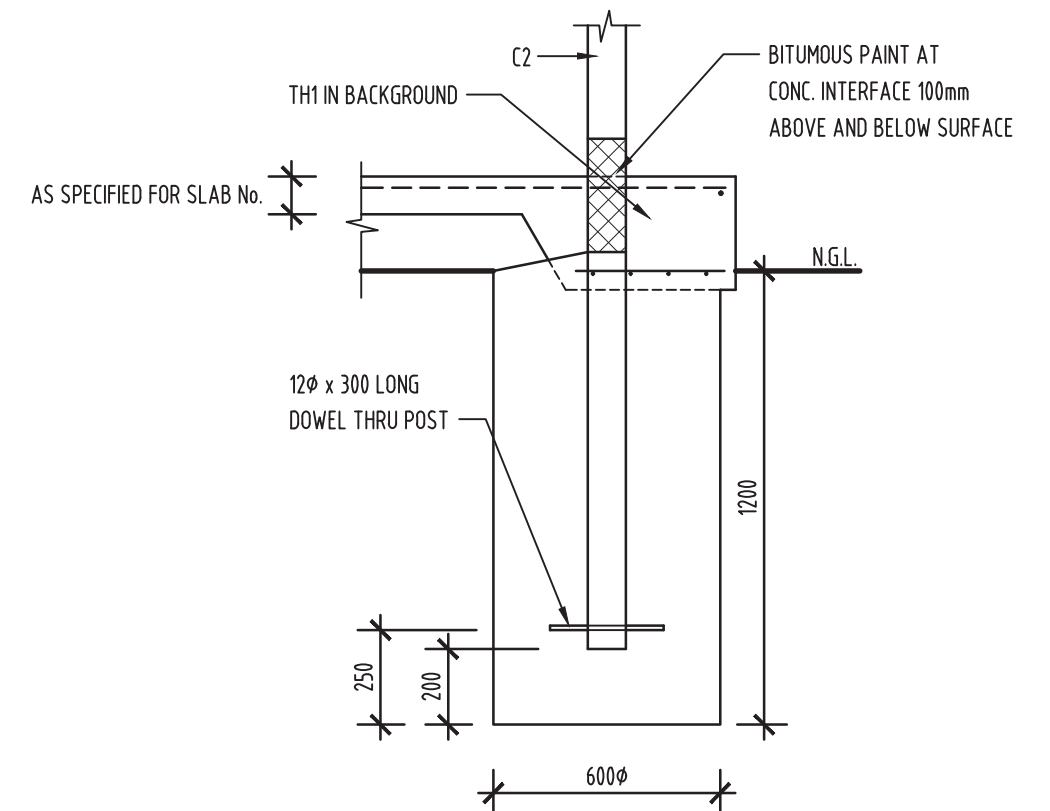


TH3 1:20



SHOWER SET-DOWN DETAIL
SET-DOWN 50mm MAX.

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Date: 26/6/24	Signed: 
Job No: K-11880	RPEQ No: 5711



PF1 1:20

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STRUCTURAL MEMBER LEGEND

C1	360 UB56.7 COLUMN
C2	75 x 5 SHS COLUMN
C3	100 x 5 SHS COLUMN
FB	50 x 6 EQUAL ANGLE FLY BRACE
FB1	310 UB40 FLOOR BEARER
FB2	250 PFC FLOOR BEARER
J1	C15015 FLOOR JOISTS AT 450 CRS. IN BEARER PLANE
J2	FLOOR JOISTS AT 450 CRS. IN BEARER PLANE
M1	250 PFC MULLION
PU1	Z15015 PURLINS - LAP 900 1 ROW BRIDGING
R1	360 UB56.7 RAFTER
R2	360 UB44.7 RAFTER
RB1	200 x 100 x 5 RHS ROOF BEAM
RB2	250 x 150 x 6.0 RHS ROOF BEAM
T1	100 x 200 x 4 RHS TIE - ON THE FLAT
T2	100 x 4 SHS TIE
XB1	M20 CROSSBRACING WITH TENSIONERS
XB2	M16 CROSSBRACING WITH TENSIONERS
WB1	200 x 5 SHS WALL BRACE

REFER SHED BUILDER'S SPEC. FOR ALL
STRUCTURAL MEMBER SIZES & CONNECTIONS

WALL FRAMING NOTES

- EXTERNAL WALL FRAMING IS 75 x 1.2 STEEL
- STUDS AT 450 CRS
- FIX BOTTOM PLATE TO SLAB WITH M12 x 75 GALV.
POWERS BLU-TIP SCREWBOLTS AT 900 CRS. MAX.
- INTERNAL WALL FRAMING IS 75 x 1.2
- STUDS AT 600 CRS.
- WALL GIRTS - C or Z 15015 AT MAX. 900 CRS.
LAP 900.
1 ROW OF BRIDGING

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RPEQ No: 5711

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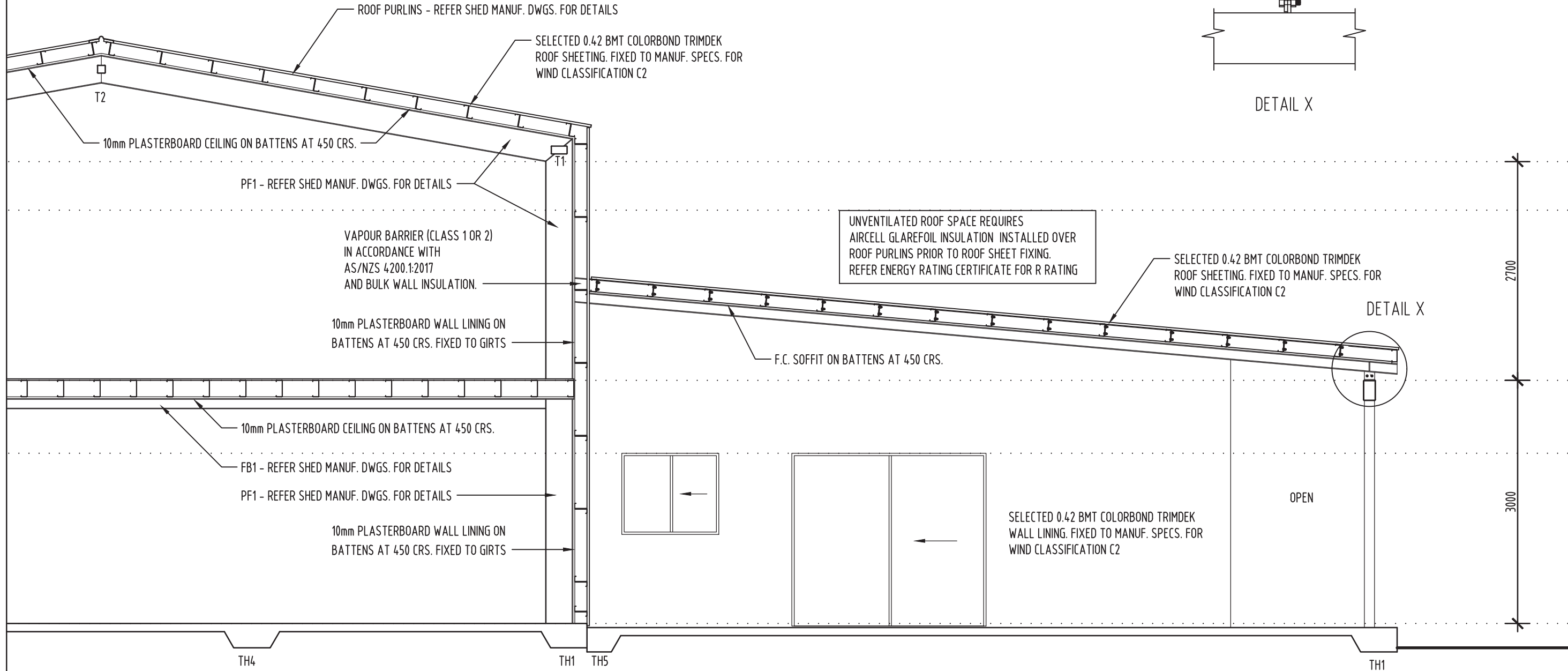
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WIND CLASSIFICATION - C2

UNVENTILATED ROOF SPACE REQUIRES AIRCELL GLAREFOIL INSULATION INSTALLED OVER ROOF PURLINS PRIOR TO ROOF SHEET FIXING. REFER ENERGY RATING CERTIFICATE FOR R RATING



SECTION 1:50

**KFB Engineers**

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Date: 26/6/24
Job No: K-11880

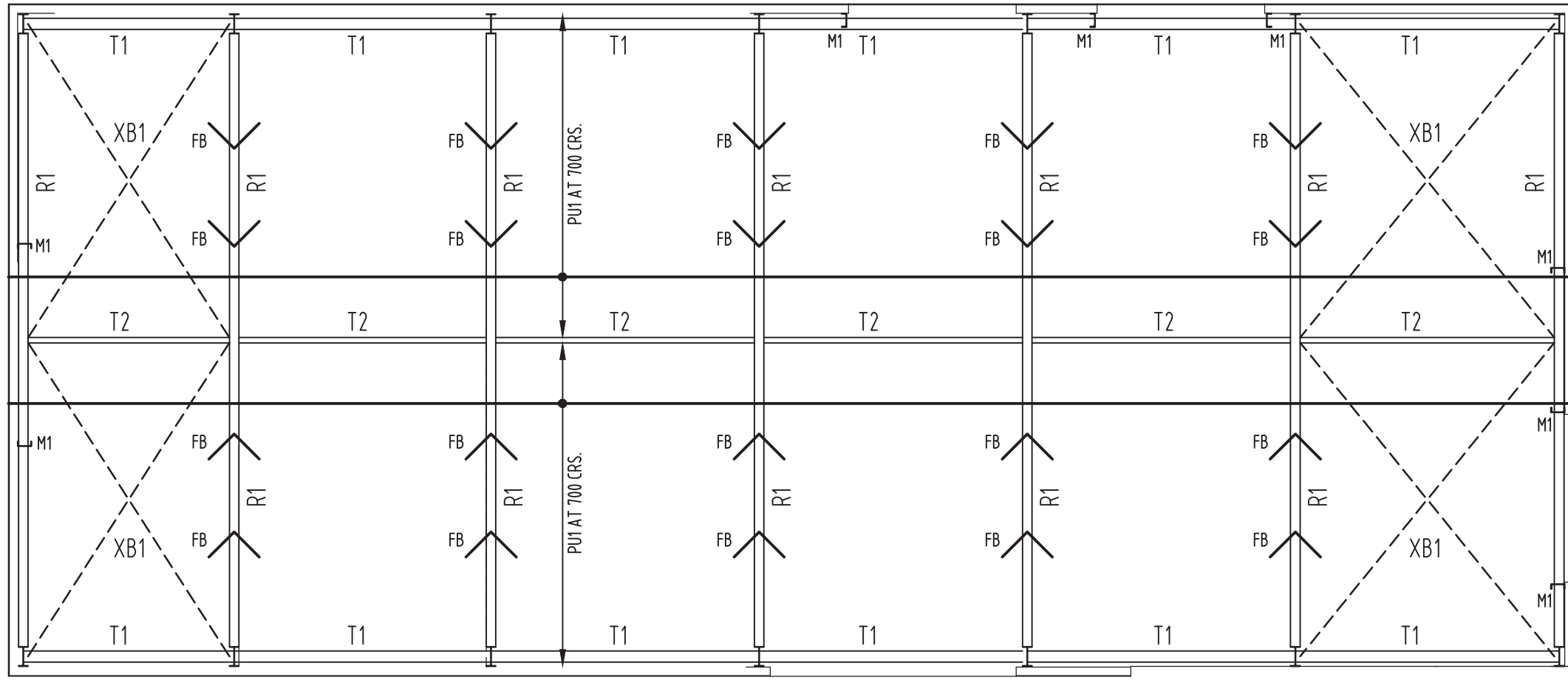
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Date MAR.2024
Client:-

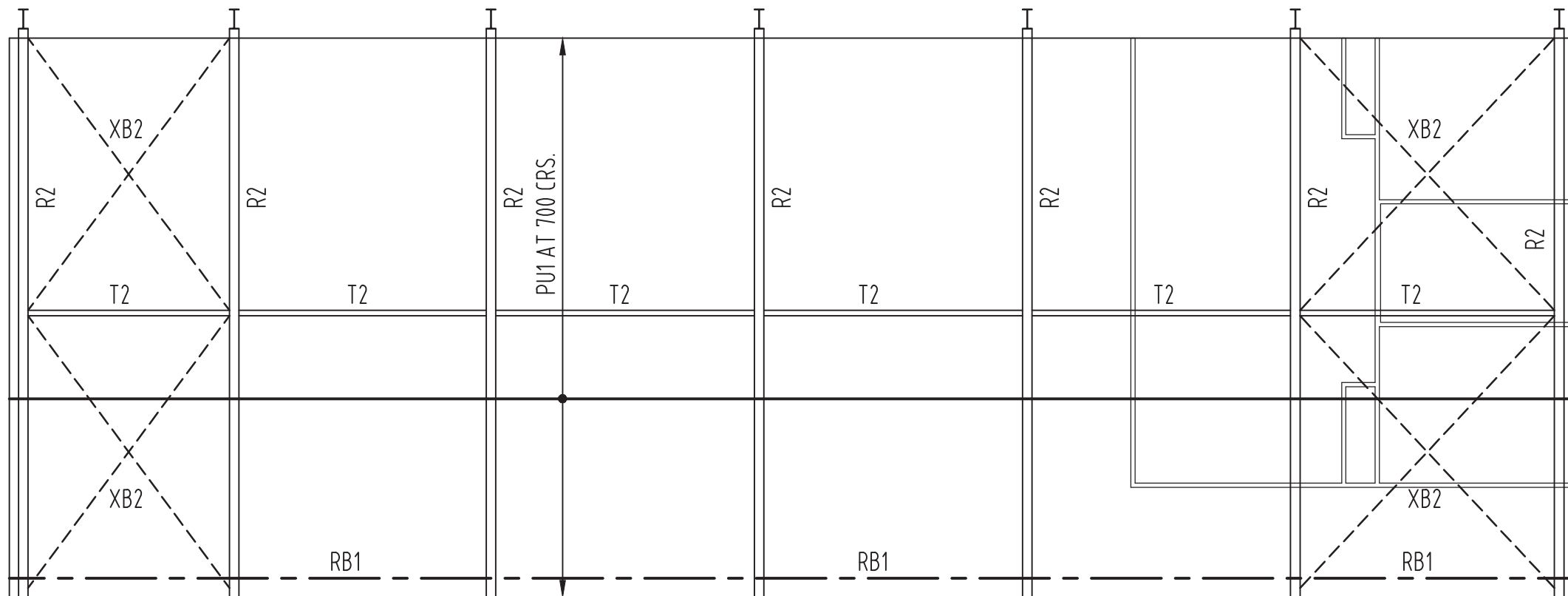
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ROOF FRAMING PLAN
1:100 UPPER ROOF

REFER SHEET 13 FOR STRUCTURAL MEMBER LEGEND AND NOTES



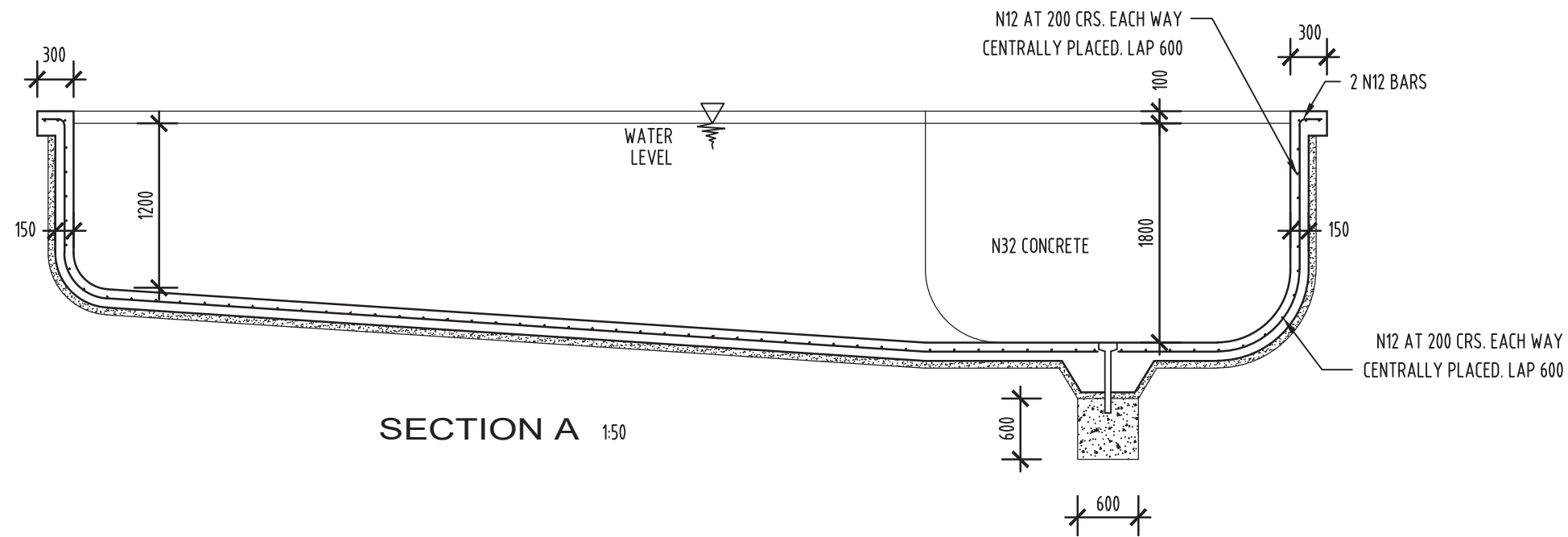
ROOF FRAMING PLAN
1:100 LOWER ROOF

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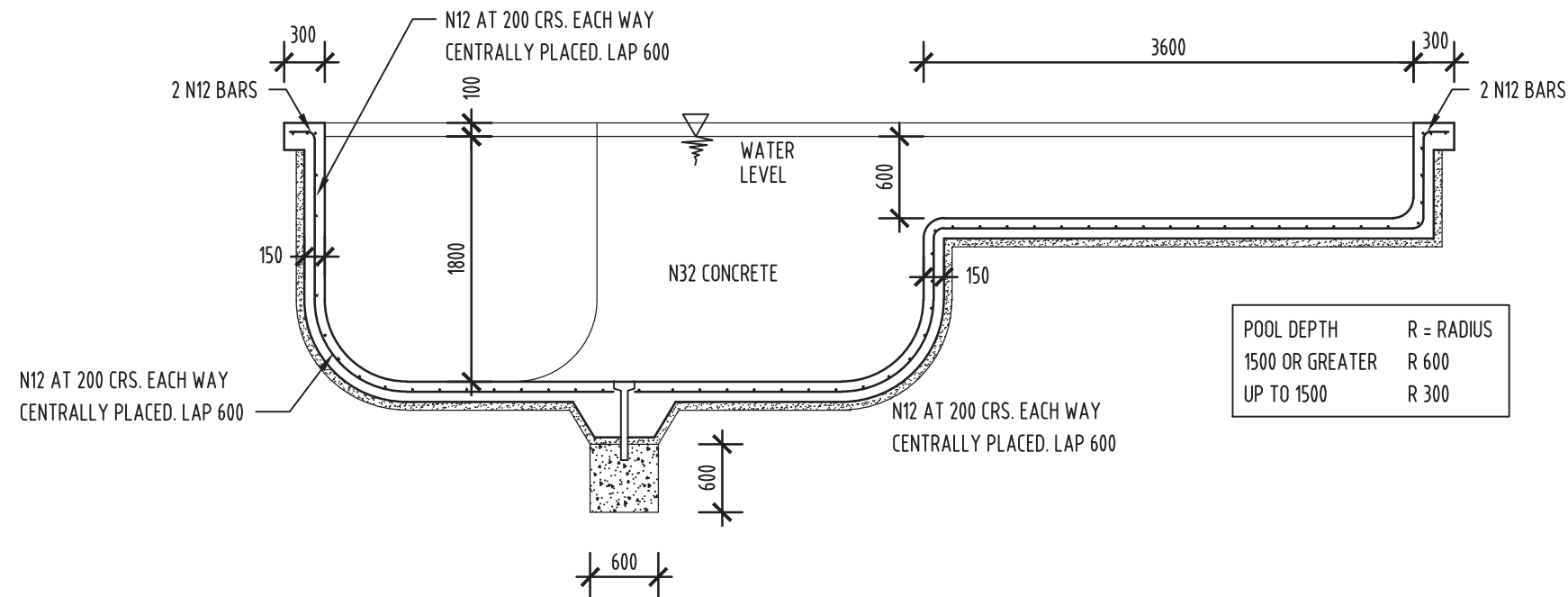
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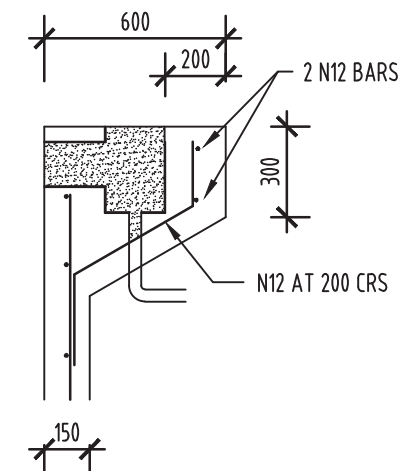
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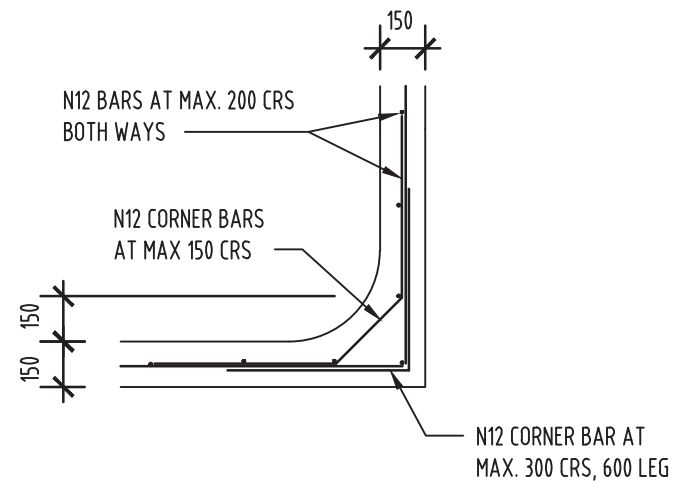
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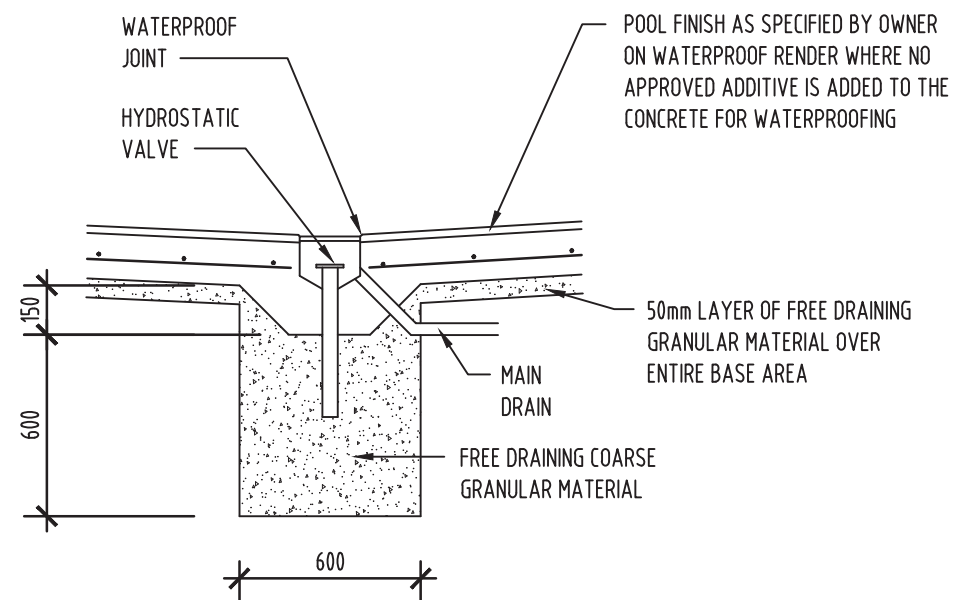
SECTION B 1:50



SKIMMER DETAIL



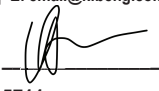
CORNER DETAIL



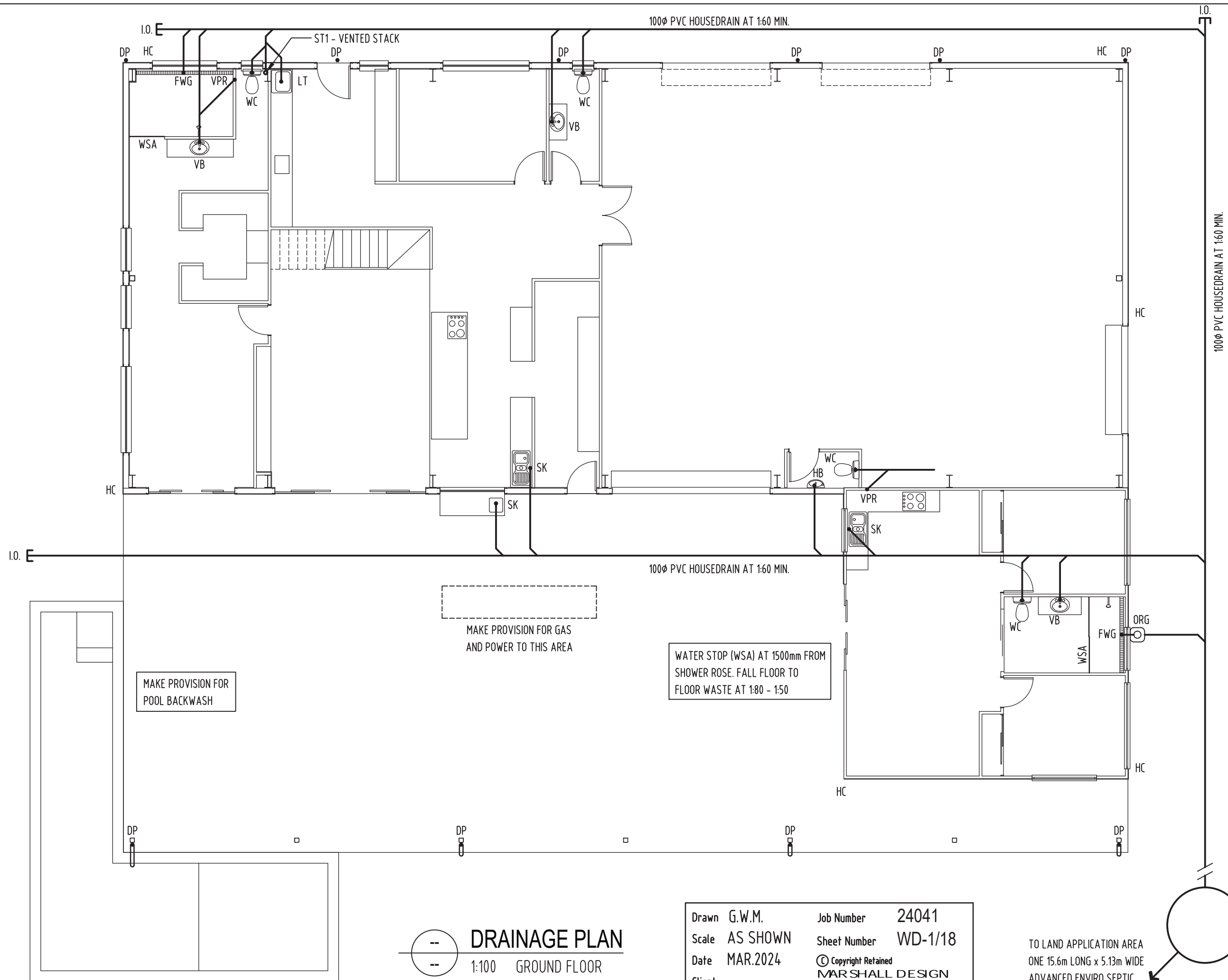
MAIN DRAIN

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-- --
DRAINAGE PLAN
1:100 GROUND FLOOR

Drawn	G.W.M.	Job Number	24041
Scale	AS SHOWN	Sheet Number	WD-1/18
Date	MAR.2024	© Copyright Retained	
Client:-	J & C CAIRNS - LOT 8 SANTACATTERINA ROAD, FINLAYVALE	MARSHALL DESIGN	
		Q.B.C.C. No. 63487	

TO LAND APPLICATION AREA
ONE 15.6m LONG x 5.13m WIDE
ADVANCED ENVIRO SEPTIC
BED - REFER WASTE WATER REPORT

MIN. 3500 LITRE
ALL-WASTE
SEPTIC TANK

PLUMBING NOTES

- WATER PRESSURE WILL NOT EXCEED 500KPA, OR A PRESSURE LIMITING DEVICE WILL BE FITTED.
- SHOWER ROSES HAVE A MINIMUM 3 STAR WATER EFFICIENCY LABELLING AND STANDARDS RATING.
- DUAL FLUSH CISTERNS HAVE A MINIMUM 4 STAR WATER EFFICIENCY LABELLING AND STANDARDS RATING. BE COMPATIBLE WITH THE SIZE OF BOWL TO ALLOW PROPER FUNCTIONING OF THE TOILET.
- TAPWARE TO LAUNDRY TUBS, KITCHEN SINKS AND BASINS TO A MINIMUM 3 STAR WATER EFFICIENCY LABELLING AND STANDARDS RATING.
- ENSURE THAT NO DOOR OPENINGS WITHIN 1500mm OF THE SHOWER ROSE IF THERE ARE NO SCREENS PRESENT.
- A CERTIFICATE WILL BE PROVIDED BY THE PLUMBER TO CERTIFY THAT THE ABOVE ITEMS HAVE BEEN COMPLIED WITH

A WATERPROOFING MEMBRANE AND WATER-STOP ANGLE AT DOORS ARE TO BE INSTALLED IN WET AREAS IN ACCORDANCE WITH B.C.A. TABLE F1.7 AND COMPLY WITH A.S. 3740.

REFER TO WASTE WATER REPORT No. SI 507.2-21 DATED MAY 2022 BY "EARTH TEST" FOR LOCATION AND TYPE OF SYSTEM TO BE INSTALLED

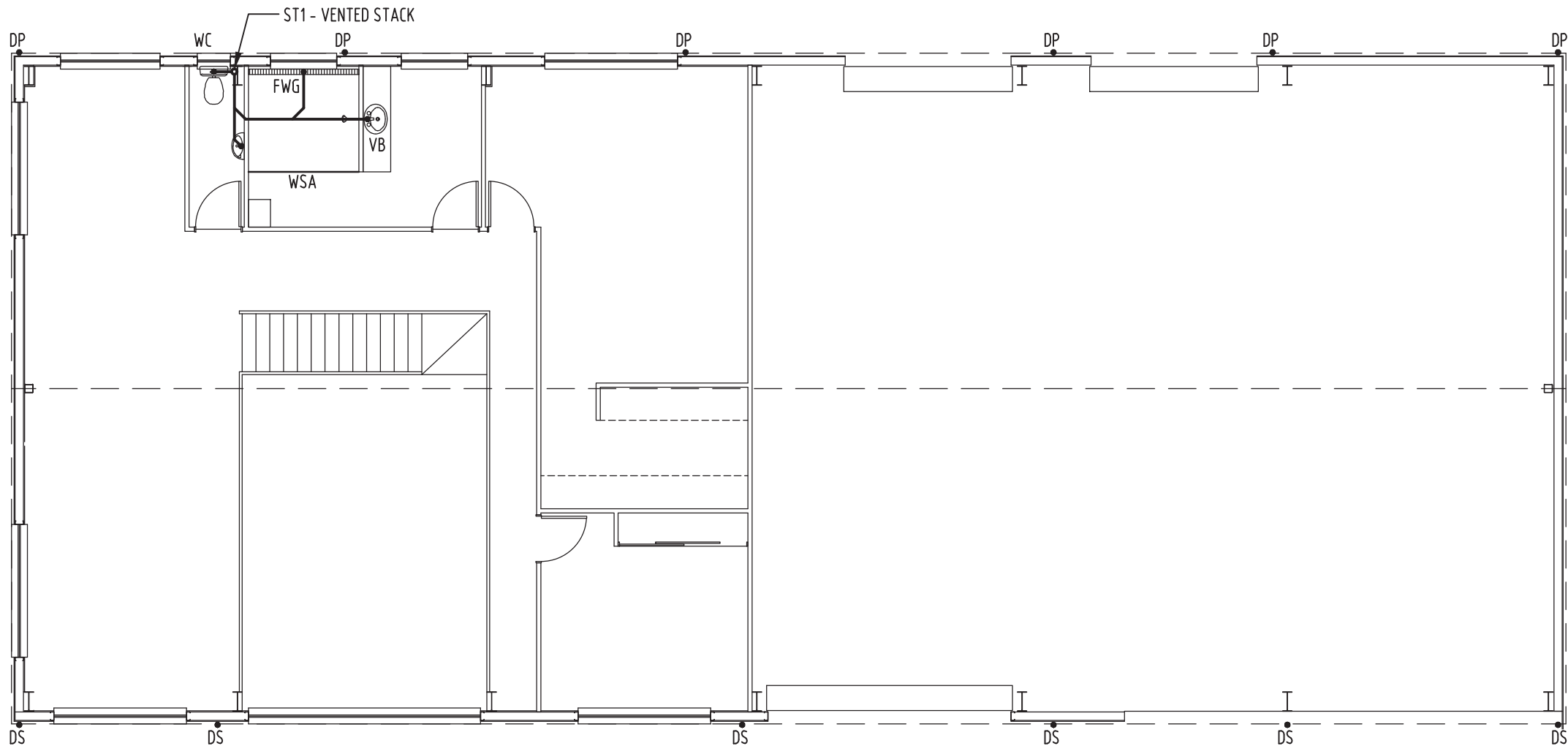
LEGEND

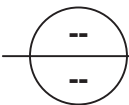
DRAINAGE FIXTURES	SK	SINK
	LT	LAUNDRY TUB
	VB	VANITY BASIN
	HB	HAND BASIN
	SHR	SHOWER
	WC	WATER CLOSET
	FWG	FLOOR WASTE GULLY
	DFW	DRY FLOOR WASTE FITTED WITH FROG FLAP
	VPR	VENT PIPE RISER
	ORG	OVERFLOW RELIEF GULLY
	I.O.	INSPECTION OPENING
	DP	STORMWATER DOWNPIPE
	DS	DOWNPIPE WITH SPITTER TO LOWER ROOF
	WSA	WATER-STOP ANGLE

DRAINAGE LAYOUT SHOWN IS DIAGRAMMATIC ONLY & WILL BE CONFIRMED ON SITE BY PLUMBER.

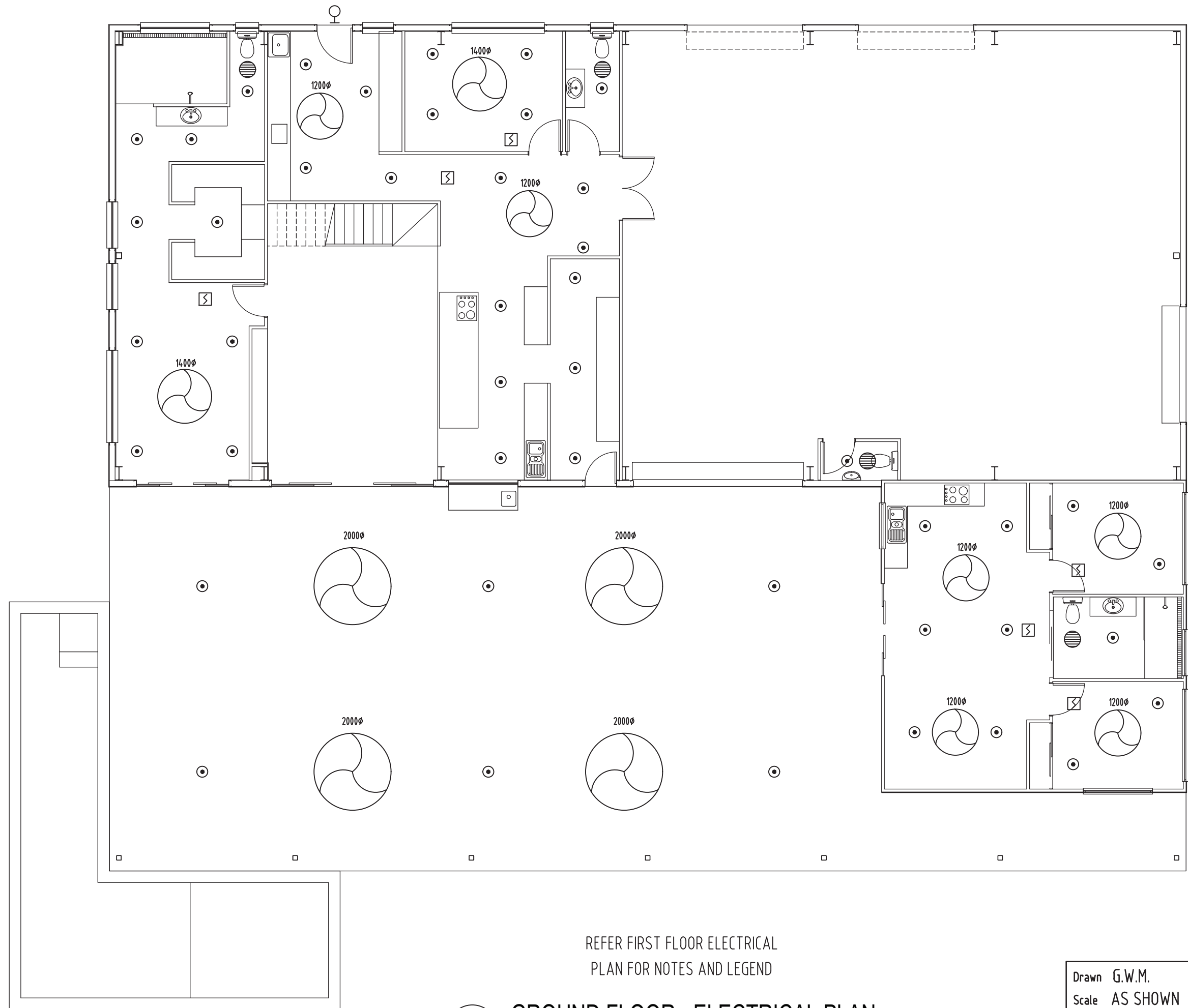
SPECIAL NOTE

ALL WORK CARRIED OUT BY LICENSED PLUMBER ARE TO BE TO RELEVANT CODES, STANDARDS AND BY-LAWS THAT HAVE BEEN AMENDED AS OF JUNE 1998. PLUMBER IS TO ENSURE THAT ALL WORKS ARE COMPLIANT WITH THESE CHANGES AND CONFIRMED BEFORE COMMENCEMENT WITH LOCAL AUTHORITY PLUMBING INSPECTOR.

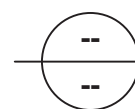


 DRAINAGE PLAN
1:100 FIRST FLOOR

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	J & C CAIRNS - LOT 8 SANTACATTERINA ROAD, FINLAYVALE		



REFER FIRST FLOOR ELECTRICAL
PLAN FOR NOTES AND LEGEND



GROUND FLOOR - ELECTRICAL PLAN

1:100

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Scale	AS SHOWN	Sheet Number	WD-1/20
Date	MAR.2024	© Copyright Retained	MARSHALL DESIGN
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SMOKE ALARM

DENOTES IONIZATION or
PHOTO-ELECTIC ALARMS
240V/9V BATTERY BACK-UP
INTERCONNECTED

NOTE

LOCATIONS OF ALARMS ARE INDICATIVE
ONLY & ARE TO COMPLY WITH RELEVANT
BCA PART 3.7.2

In accordance with the Building Regulations 2021 Part 4, smoke alarms
must not be installed in the following locations:

- a) A joist or beam with a depth of more than 300mm when measured from the ceiling to the underside of the exposed joist or beam.
- b) Within 300mm of a light fitting.
- c) If the smoke alarm is installed on a ceiling--within 300mm of a corner of the ceiling and a wall.
- d) If the smoke alarm is installed in a stairwell-- where smoke rising in the stairwell will not reach the smoke alarm because of an obstruction.
- e) Within 400mm of an opening from which air is supplied from an air conditioner or forced air ventilation.
- f) Within 400mm of the blades of a ceiling fan.

For smoke alarms located on walls, smoke alarms must be located in an area that is between 100mm and 300mm from the ceiling and more than 300mm from the corner of 2 walls; and for smoke alarms installed on sloping ceilings, the smoke alarm must be in an area of the ceiling that is between 500mm and 1,500mm from the apex of the ceiling.

ELECTRICAL LEGEND



METER BOX



INTERNAL SUB-BOARD



LED DOWNLIGHT - IC RATED



WALL LIGHT



FLOOD LIGHT



FLUORESCENT



ROUND FLUORESCENT



CEILING FAN



EXHAUST FAN



TELEVISION OUTLET



TELEPHONE POINT



USB (MAX AMP)/POWER POINT



SINGLE 10 AMP SOCKET OUTLET



DOUBLE 10 AMP SOCKET OUTLET



SINGLE/DOUBLE 10 AMP SOCKET OUTLET



(EXTERNAL WATERPROOF)



AIR CONDITIONING HEAD UNIT



AIR CONDITIONING CONDENSER UNIT

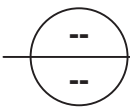
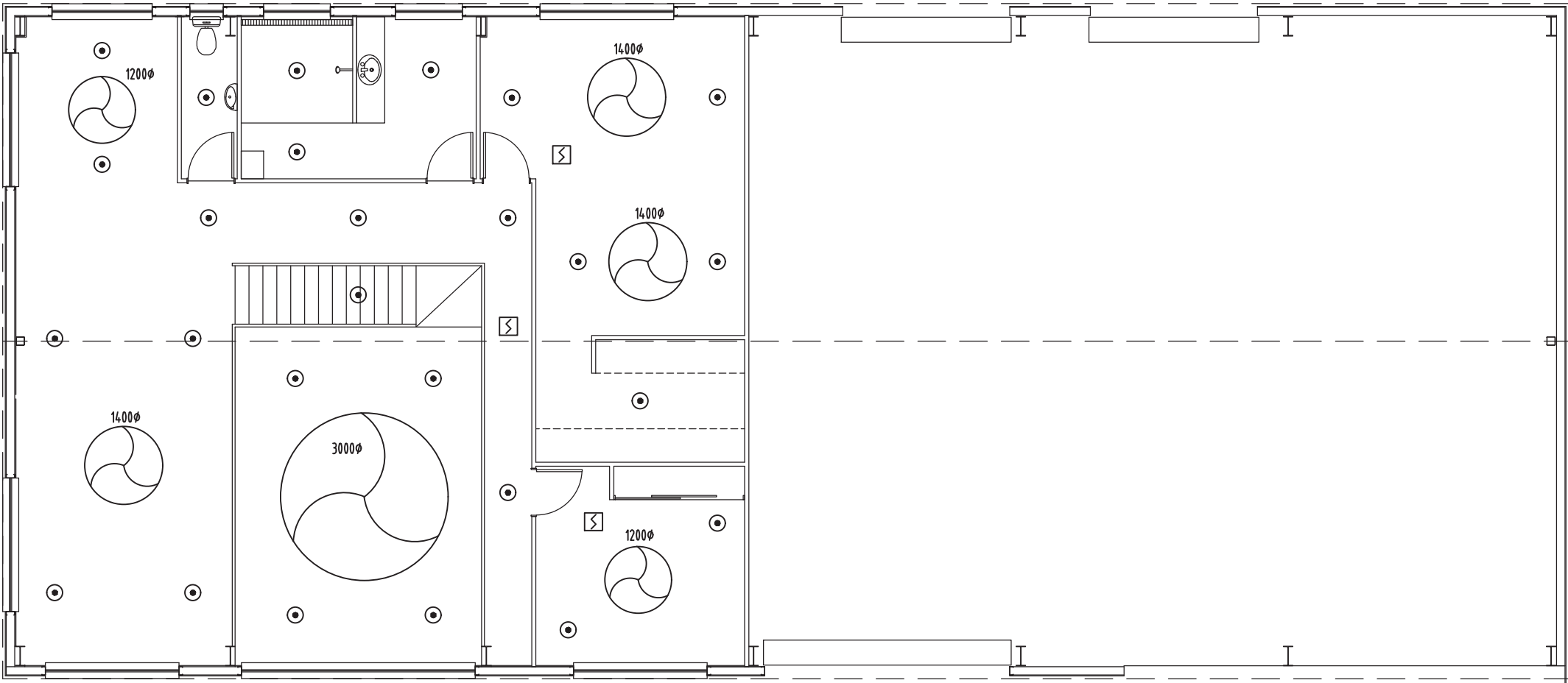
NOTES

ALL POWER OUTLETS OTHER THAN THE FOLLOWING
TO BE AT 300 ABOVE FL (UNO):

KITCHEN BENCH	1000	DISHWASHER (DW)	600
RANGEHOOD (RH)	1800	WASHING MACHINE (WM)	1500
MICROWAVE (MW)	1800	LAUNDRY BENCH	1000
REFRIGERATOR (REF)	1500	VANITIES	1000

- LIGHT SWITCHES AT 1150 ABOVE FL
- WALL MOUNTED LIGHTS AT 2000 ABOVE FL UNO
- GARBAGE DISPOSAL TO HAVE ISOLATOR AT BENCH LEVEL ENGRAVED "WASTE"
- HOTPLATES & OVEN TO HAVE A SINGLE PHASE PERMANENT CONNECTION AND AN ISOLATOR WITH NEON ABOVE THE BENCH

- HARD-WIRED AIRCONDITIONERS HAVE AN ENERGY EFFICIENCY RATING OF AT LEAST 2.9
- 80% OF THE TOTAL FIXED INTERNAL LIGHTING IS TO BE FITTED WITH ENERGY EFFICIENT GLOBES.
- A CERTIFICATE WILL BE PROVIDED BY THE ELECTRICIAN TO CERTIFY THAT THE ABOVE ITEMS HAVE BEEN COMPLIED WITH



FIRST FLOOR - ELECTRICAL PLAN

1:100

Drawn G.W.M. Job Number 24041
Scale AS SHOWN Sheet Number WD-1/21
Date MAR.2024 © Copyright Retained
Client:- MARSHALL DESIGN
J & C CAIRNS - LOT 8 SANTACATTERINA ROAD, FINLAYVALE Q.B.C.C. No. 63487