

18 July 2025

Daniel Lamond
Douglas Shire Council
PO Box 723
Mossman QLD 4873

Attention: Environment & Planning

Dear Daniel,

RE: Proposed ancillary shed and deck minor change – 12 Murphy Street Port Douglas, Lot 113 on PTD2094

Collcon Pty Ltd is applying on behalf of our client Kim Cullen & Neil Biddle for a minor change to add an Ancillary shed building and deck adjacent to the pool. Demonstration of compliance with PO2 is below along with supporting drawings and renders.

In support of this Minor Change application the following material has been provided.

1. Change application form
2. Consent Form
3. Drawings
4. Performance Outcomes compliance statement

Should you require any further information please don't hesitate to contact Ross Holzman on 0458742365 or via email at rh@collcon.com.au

Regards,
Ross Holzman

Change application form

Planning Act Form 5 (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form is to be used for a change application made under section 78 of the *Planning Act 2016*. It is important when making a change application to be aware of whether the application is for a minor change that will be assessed under section 81 of the *Planning Act 2016* or for an other change that will be assessed under section 82 of the *Planning Act 2016*.

An applicant must complete all parts of this form, and provide any supporting information that the form identifies as being required to accompany the change application, unless stated otherwise. Additional pages may be attached if there is insufficient space on the form to complete any part.

Note: All terms used in this form have the meaning given under the *Planning Act 2016*, the *Planning Regulation 2017*, or the *Development Assessment Rules (DA Rules)*.

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Kim Cullen & Neil Biddle care of Collcon
Contact name (only applicable for companies)	Ross Holzman
Postal address (P.O. Box or street address)	10/11-17 Saint Crispens Avenue
Suburb	Port Douglas
State	QLD
Postcode	4877
Country	Australia
Email address (non-mandatory)	kpcullen@bigpond.net.au , rh@collcon.com.au
Mobile number (non-mandatory)	Ross Holzman - 0458742365
Applicant's reference number(s) (if applicable)	MCUC 2023_5563/1

2) Owner's consent - Is written consent of the owner required for this change application?	
Note: Section 79(1A) of the <i>Planning Act 2016</i> states the requirements in relation to owner's consent.	
<input checked="" type="checkbox"/> Yes – the written consent of the owner(s) is attached to this change application	
<input type="checkbox"/> No	

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)				
3.1) Street address and lot on plan				
<input checked="" type="checkbox"/> Street address AND lot on plan (all lots must be listed), or				
<input type="checkbox"/> Street address AND lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).				
a)	Unit No.	Street No.	Street Name and Type	Suburb
		12	Murphy Street	Port Douglas
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4877	113	PTD2094	Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

- ☐ Additional premises are relevant to the original development approval and the details of these premises have been attached in a schedule to this application
- ☐ Not required

PART 3 – RESPONSIBLE ENTITY DETAILS

4) Identify the responsible entity that will be assessing this change application

Note: see section 78(3) of the Planning Act 2016

Douglas Shire Council

PART 4 – CHANGE DETAILS

5) Provide details of the existing development approval subject to this change application

Approval type	Reference number	Date issued	Assessment manager/approval entity
<input checked="" type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval	MCUC 2023_5563/1	24 April 2024	Daniel Lamond
<input type="checkbox"/> Development permit <input type="checkbox"/> Preliminary approval			

6) Type of change proposed

6.1) Provide a brief description of the changes proposed to the development approval (e.g. changing a development approval for a five unit apartment building to provide for a six unit apartment building):

1. Reconfiguration of the boundary space next to the pool to include a trafficable deck and compliant pool fencing.
2. Addition of a utility shed at the bottom of the drive way. This will house a backup power generator, provide safe storage for LPG gas bottles and provide a storage space for recreational sundries such as push bikes and beach chairs

6.2) What type of change does this application propose?

- ☒ Minor change application – proceed to Part 5
- ☐ Other change application – proceed to Part 6

PART 5 – MINOR CHANGE APPLICATION REQUIREMENTS

7) Are there any affected entities for this change application

☒ No – proceed to Part 7

☐ Yes – list all affected entities below and proceed to Part 7

Note: section 80(1) of the Planning Act 2016 states that the person making the change application must give notice of the proposal and the details of the change to each affected entity as identified in section 80(2) of the Planning Act 2016.

Affected entity	Pre-request response provided? (where a pre-request response notice for the application has been given, a copy of the notice must accompany this change application)	Date notice given (where no pre-request response provided)
	<input type="checkbox"/> No <input type="checkbox"/> Yes – pre-request response is attached to this change application	
	<input type="checkbox"/> No <input type="checkbox"/> Yes – pre-request response is attached to this change application	
	<input type="checkbox"/> No <input type="checkbox"/> Yes – pre-request response is attached to this change application	

PART 6 – OTHER CHANGE APPLICATION REQUIREMENTS

Note: To complete this part it will be necessary for you to complete parts of DA Form 1 – Development application details and in some instances parts of DA Form 2 – Building work details, as mentioned below. These forms are available at <https://planning.dsdmip.qld.gov.au>.

8) Location details - Are there any additional premises included in this change application that were not part of the original development approval?

☐ No

☐ Yes

9) Development details

9.1) Is there any change to the type of development, approval type, or level of assessment in this change application?

☐ No

☐ Yes – the completed Sections 1 and 2 of Part 3 (Development details) of DA Form 1 – Development application details as these sections relate to the new or changed aspects of development are provided with this application.

9.2) Does the change application involve building work?

☐ No

☐ Yes – the completed Part 5 (Building work details) of DA Form 2 – Building work details as it relates to the change application is provided with this application.

10) Referral details – Does the change application require referral for any referral requirements?

Note: The application must be referred to each referral agency triggered by the change application as if the change application was the original development application including the proposed change.

☐ No

☐ Yes – the completed Part 5 (Referral details) of DA Form 1 – Development application details as it relates to the change application is provided with this application. Where referral is required for matters relating to building work the [Referral checklist for building work](#) is also completed.

11) Information request under Part 3 of the DA Rules

☐ I agree to receive an information request if determined necessary for this change application

☐ I do not agree to accept an information request for this change application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this change application will be assessed and decided based on the information provided when making this change application and the assessment manager and any referral agencies relevant to the change application are not obligated under the DA Rules to accept any additional information provided by the applicant for the change application unless agreed to by the relevant parties
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide: Forms 1 and 2](#).

12) Further details

- ☐ Part 7 of *DA Form 1 – Development application details* is completed as if the change application was a development application and is provided with this application.

PART 7 – CHECKLIST AND APPLICANT DECLARATION

13) Change application checklist

I have identified the:

- responsible entity in 4); and
- for a minor change, any affected entities; and
- for an other change all relevant referral requirement(s) in 10)

☐ Yes

Note: See the *Planning Regulation 2017* for referral requirements

For an other change application, the relevant sections of [DA Form 1 – Development application details](#) have been completed and is attached to this application

☐ Yes

☐ Not applicable

For an other change application, where building work is associated with the change application, the relevant sections of [DA Form 2 – Building work details](#) have been completed and is attached to this application

☐ Yes

☐ Not applicable

Supporting information addressing any applicable assessment benchmarks is attached to this application

Note: This includes any templates provided under 23.6 and 23.7 of *DA Form 1 – Development application details* that are relevant as a result of the change application, a planning report and any technical reports required by the relevant categorising instrument(s) (e.g. the local government planning scheme, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning report template](#).

☐ Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all relevant aspects of this change application. For further information, see [DA Forms Guide: Relevant plans](#).

☐ Yes

14) Applicant declaration

- ☒ By making this change application, I declare that all information in this change application is true and correct.
- ☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the responsible entity and any relevant affected entity or referral agency for the change application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*.

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the responsible entity and/or chosen assessment manager, any relevant affected entity or referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the change application.

All information relating to this change application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, *Planning Regulation 2017* and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 8 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			

LAND OWNER CONSENT FOR DEVELOPMENT APPLICATION UNDER PLANNING ACT 2016

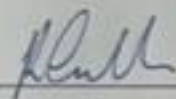
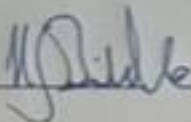
We,

Kim Cullen and Neil Biddle,

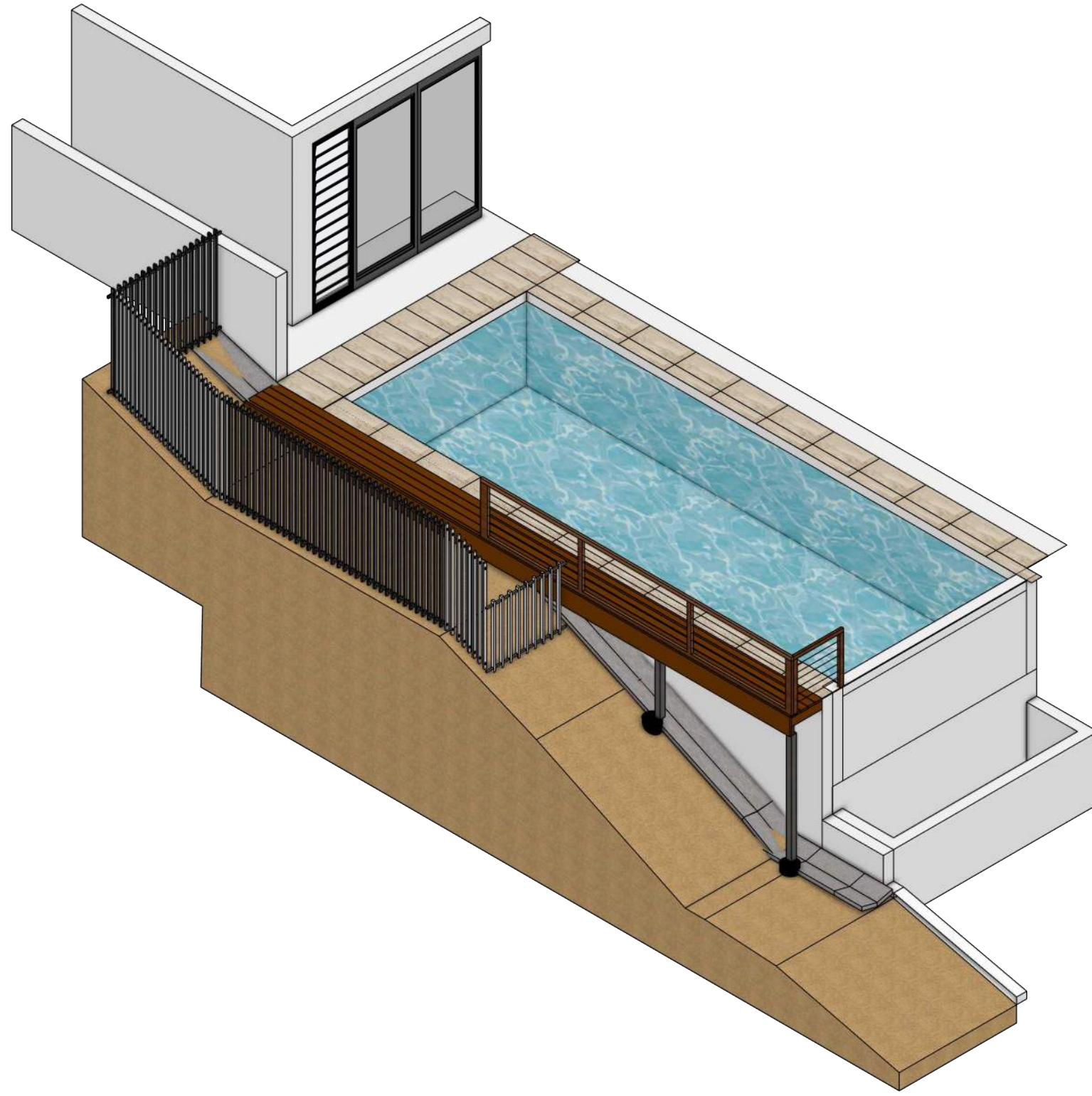
Kim Cullen + Neil Biddle

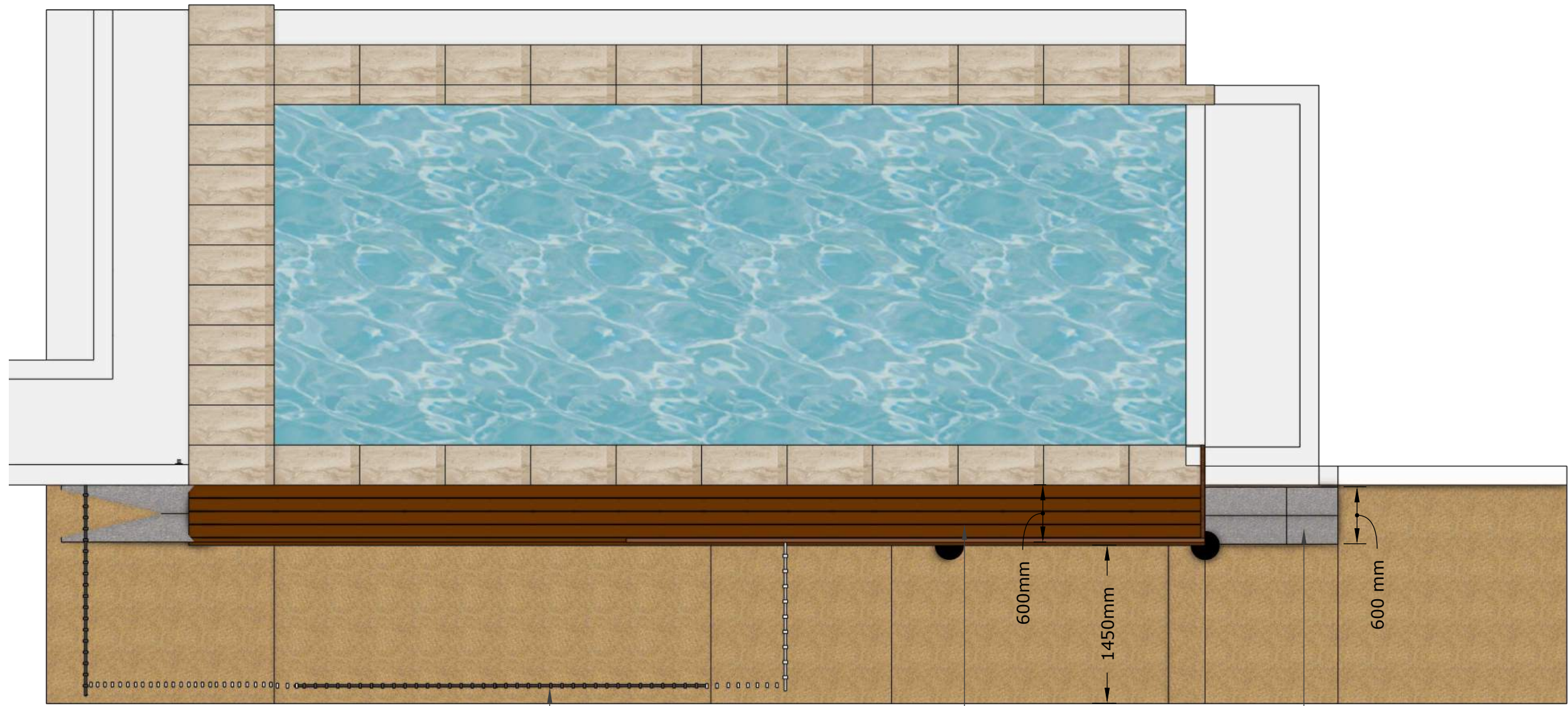
(Names)

Being the registered land owner of Lot 113 on PTD2094 at 12 Murphy Street, Port Douglas, hereby consent to the lodgement of a Minor Change Application by Colicon Pty Ltd over the subject land.

Signed  

Date 22/07/2025

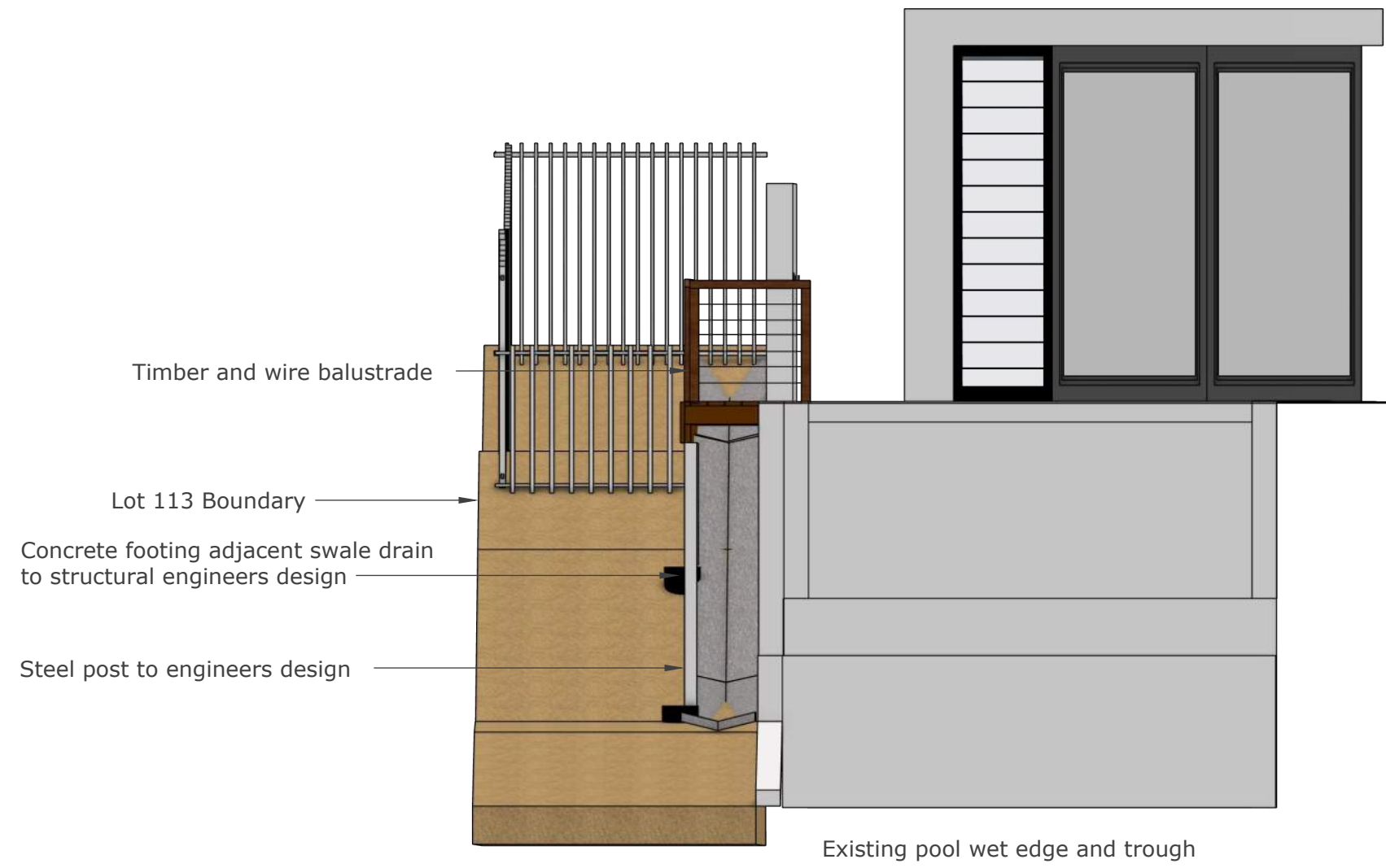


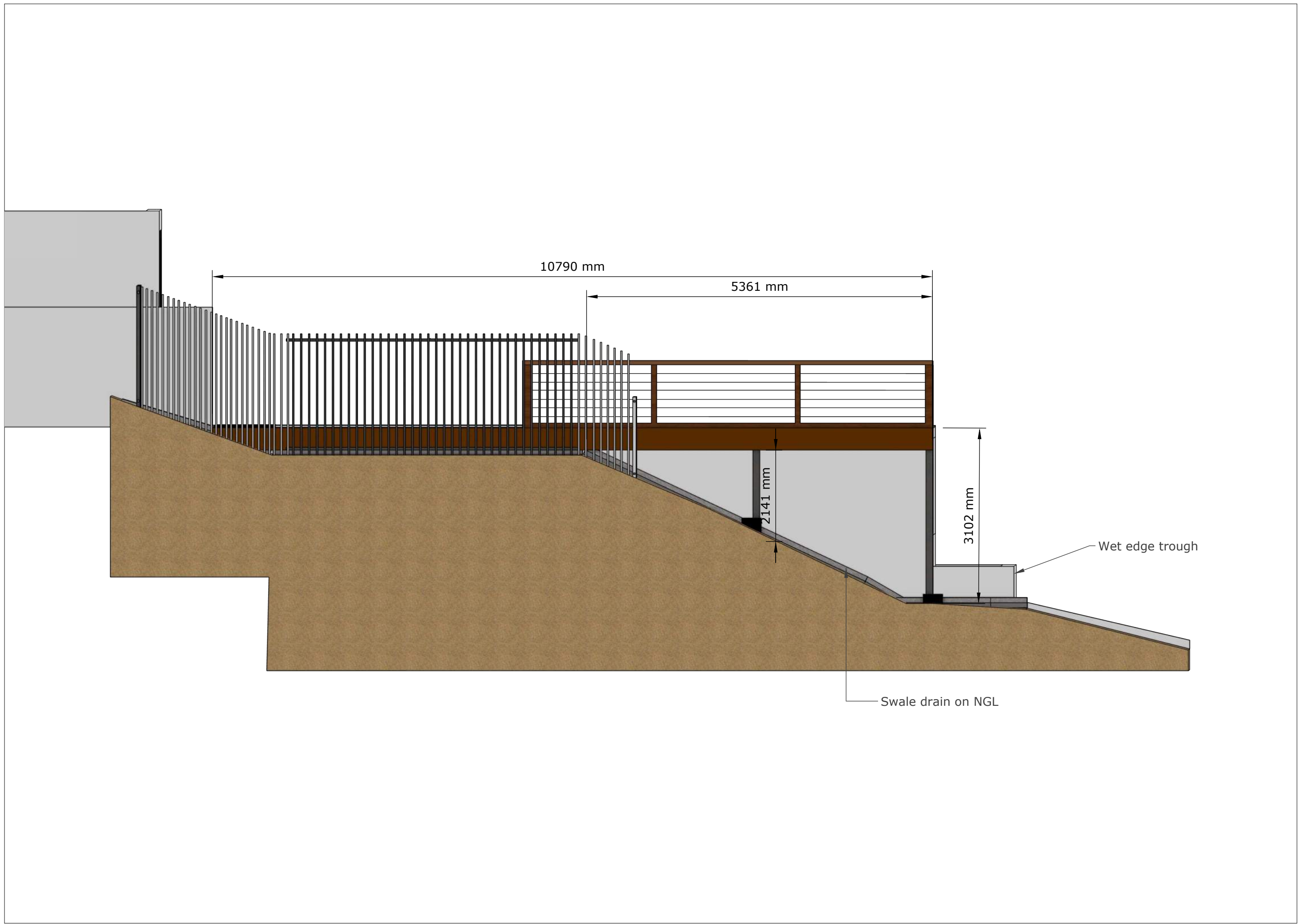


1.8m Aluminium pool fence

Proposed deck
Everdeck composite decking in
grey or brown

Existing swale drain
as per civil drawings











#	DESCRIPTION	TYPE	REFERENCE	DOOR WIDTH	OPENING HEIGHT	HEAD HEIGHT	FRAME MATERIAL	GLAZING & FINISH	SCREENING
01	THREE PANEL SLIDING GLASS DOOR	OXX SCD	UPPER FLOOR	4,500mm	2,900mm	2,900mm	POWDERCOAT ALUMINUM	GREY GLASS	FLY SCREEN
02	FIVE PANEL SLIDING GLASS DOOR	OXX SCD	UPPER FLOOR	7,200mm	2,900mm	2,900mm	POWDERCOAT ALUMINUM	GREY GLASS	FLY SCREEN
03	THREE PANEL SLIDING GLASS DOOR	OXX SCD	UPPER FLOOR	4,500mm	2,500mm	2,500mm	POWDERCOAT ALUMINUM	GREY GLASS	FLY SCREEN
04	TWO PANEL SLIDING GLASS DOOR	XO SCD	UPPER FLOOR	2,500mm	2,900mm	2,900mm	POWDERCOAT ALUMINUM	GREY GLASS	FLY SCREEN
05	SINGLE 920 x 2340 HINGED ALUMINUM DOOR WITH CLEAR GLAZED INSERT	920	UPPER FLOOR	1,000mm	2,400mm	2,400mm	POWDERCOAT ALUMINUM	OBSCURE GLASS	FLY SCREEN
06	TWO PANEL SLIDING GLASS DOOR	XO SCD	LOWER FLOOR	1,500mm	2,900mm	2,900mm	POWDERCOAT ALUMINUM	GREY GLASS	FLY SCREEN
07	TWO PANEL SLIDING GLASS DOOR	XO SCD	LOWER FLOOR	2,500mm	2,900mm	2,900mm	POWDERCOAT ALUMINUM	GREY GLASS	FLY SCREEN
08	TWO PANEL SLIDING GLASS DOOR	XO SCD	LOWER FLOOR	3,000mm	2,900mm	2,900mm	POWDERCOAT ALUMINUM	GREY GLASS	FLY SCREEN
09	TWO PANEL SLIDING GLASS DOOR	XO SCD	LOWER FLOOR	2,400mm	2,900mm	2,900mm	POWDERCOAT ALUMINUM	GREY GLASS	FLY SCREEN
10	SINGLE 1020 x 2540 TIMBER PIVOT DOOR WITH GLAZED INSERT	1020	GROUND FLOOR	1,000mm	2,600mm	2,600mm	POWDERCOAT ALUMINUM	PAINTED TAMBOR	NONE
11	FLUSH MOUNTED TILT UP GARGE DOOR ALUMINUM SLATS TO MATCH WALL CLADDING	PLD	GROUND FLOOR	5,200mm	2,700mm	2,700mm	METAL	METAL	NONE
12	SINGLE 920 x 2340 HINGED TIMBER DOOR	920	UPPER FLOOR	1,000mm	2,400mm	2,400mm	PAINTED TAMBOR	PAINTED TAMBOR	NONE
13	SINGLE 920 x 2400 HINGED TIMBER DOOR	920	UPPER FLOOR	1,000mm	2,400mm	2,500mm	PAINTED TAMBOR	PAINTED TAMBOR	NONE
14	SINGLE 920 x 2400 CAVITY SLIDING DOOR	CSD	UPPER FLOOR	1,000mm	2,400mm	2,400mm	PAINTED TAMBOR	PAINTED TAMBOR	NONE
15	DOUBLE 720 x 2400 CAVITY SLIDING DOOR	2 / 720 CSD	UPPER FLOOR	1,500mm	2,400mm	2,500mm	PAINTED TAMBOR	PAINTED TAMBOR	NONE
16	SINGLE 920 x 2440 HINGED TIMBER DOOR	920	UPPER FLOOR	1,000mm	2,400mm	2,500mm	PAINTED TAMBOR	PAINTED TAMBOR	NONE
17	SINGLE 920 x 2440 HINGED TIMBER DOOR	920	UPPER FLOOR	1,000mm	2,400mm	2,500mm	PAINTED TAMBOR	PAINTED TAMBOR	NONE
18	SINGLE 920 x 2440 HINGED TIMBER DOOR	920	UPPER FLOOR	1,000mm	2,400mm	2,500mm	PAINTED TAMBOR	PAINTED TAMBOR	NONE
19	SINGLE 920 x 2400 CAVITY SLIDING DOOR	CSD	UPPER FLOOR	1,000mm	2,400mm	2,400mm	PAINTED TAMBOR	PAINTED TAMBOR	NONE
20	SINGLE 920 x 2840 HINGED TIMBER DOOR	920	LOWER FLOOR	1,000mm	2,400mm	2,900mm	PAINTED TAMBOR	PAINTED TAMBOR	NONE
21	SINGLE 920 x 2840 HINGED TIMBER DOOR	920	LOWER FLOOR	1,000mm	2,400mm	2,400mm	PAINTED TAMBOR	PAINTED TAMBOR	NONE
22	SINGLE 920 x 2840 HINGED TIMBER DOOR	920	LOWER FLOOR	1,000mm	2,400mm	2,900mm	PAINTED TAMBOR	PAINTED TAMBOR	NONE
23	SINGLE 920 x 2840 HINGED TIMBER DOOR	920	LOWER FLOOR	1,000mm	2,400mm	2,900mm	PAINTED TAMBOR	PAINTED TAMBOR	NONE
24	SINGLE 920 x 2840 HINGED TIMBER DOOR	920	LOWER FLOOR	1,000mm	2,400mm	2,900mm	PAINTED TAMBOR	PAINTED TAMBOR	NONE
25	SINGLE 920 x 2340 HINGED TIMBER DOOR	920	LOWER FLOOR	1,000mm	2,400mm	2,400mm	PAINTED TAMBOR	PAINTED TAMBOR	NONE
26	SINGLE 920 x 2400 CAVITY SLIDING DOOR	CSD	LOWER FLOOR	1,000mm	2,400mm	2,600mm	PAINTED TAMBOR	PAINTED TAMBOR	NONE
27	SINGLE 920 x 2540 HINGED SOLID TIMBER DOOR	920	GROUND FLOOR	1,000mm	2,400mm	2,600mm	METAL	PAINTED TAMBOR	NONE
28	SINGLE 1020 x 2540 HINGED SOLID ALUMINUM DOOR WITH VENTILATED SLATS	1020	GROUND FLOOR	1,000mm	2,400mm	2,500mm	METAL	PAINTED TAMBOR	NONE
29	SINGLE 920 x 2540 HINGED SOLID TIMBER DOOR	920	GROUND FLOOR	1,000mm	2,400mm	2,600mm	METAL	PAINTED TAMBOR	NONE
30	SINGLE 920 x 2540 HINGED SOLID TIMBER DOOR	920	GROUND FLOOR	1,000mm	2,400mm	2,600mm	METAL	PAINTED TAMBOR	NONE
31	SINGLE 920 x 2840 HINGED TIMBER DOOR	920	LOWER FLOOR	1,000mm	2,400mm	2,900mm	PAINTED TAMBOR	PAINTED TAMBOR	NONE
32	SINGLE 920 x 2840 HINGED TIMBER DOOR	920	LOWER FLOOR	1,000mm	2,400mm	2,600mm	PAINTED TAMBOR	PAINTED TAMBOR	NONE
33	SINGLE 920 x 2840 HINGED TIMBER DOOR	920	LOWER FLOOR	1,000mm	2,400mm	2,900mm	PAINTED TAMBOR	PAINTED TAMBOR	NONE
34	SINGLE 920 x 2840 HINGED TIMBER DOOR	920	LOWER FLOOR	1,000mm	2,400mm	2,900mm	PAINTED TAMBOR	PAINTED TAMBOR	NONE
35	SINGLE 920 x 2400 CAVITY SLIDING DOOR	CSD	UPPER FLOOR	1,000mm	2,400mm	2,500mm	PAINTED TAMBOR	PAINTED TAMBOR	NONE



WINDOW & DOOR NOTES

WIND CLASS C3

a = 2.4m

STAIRS

LEGEND	
DIA	SELECTED TOUGHENED GLASS BALLISTRADÉ TO MCC

CONSTRUCTION ISSUE

Issue	Revision Description	Date
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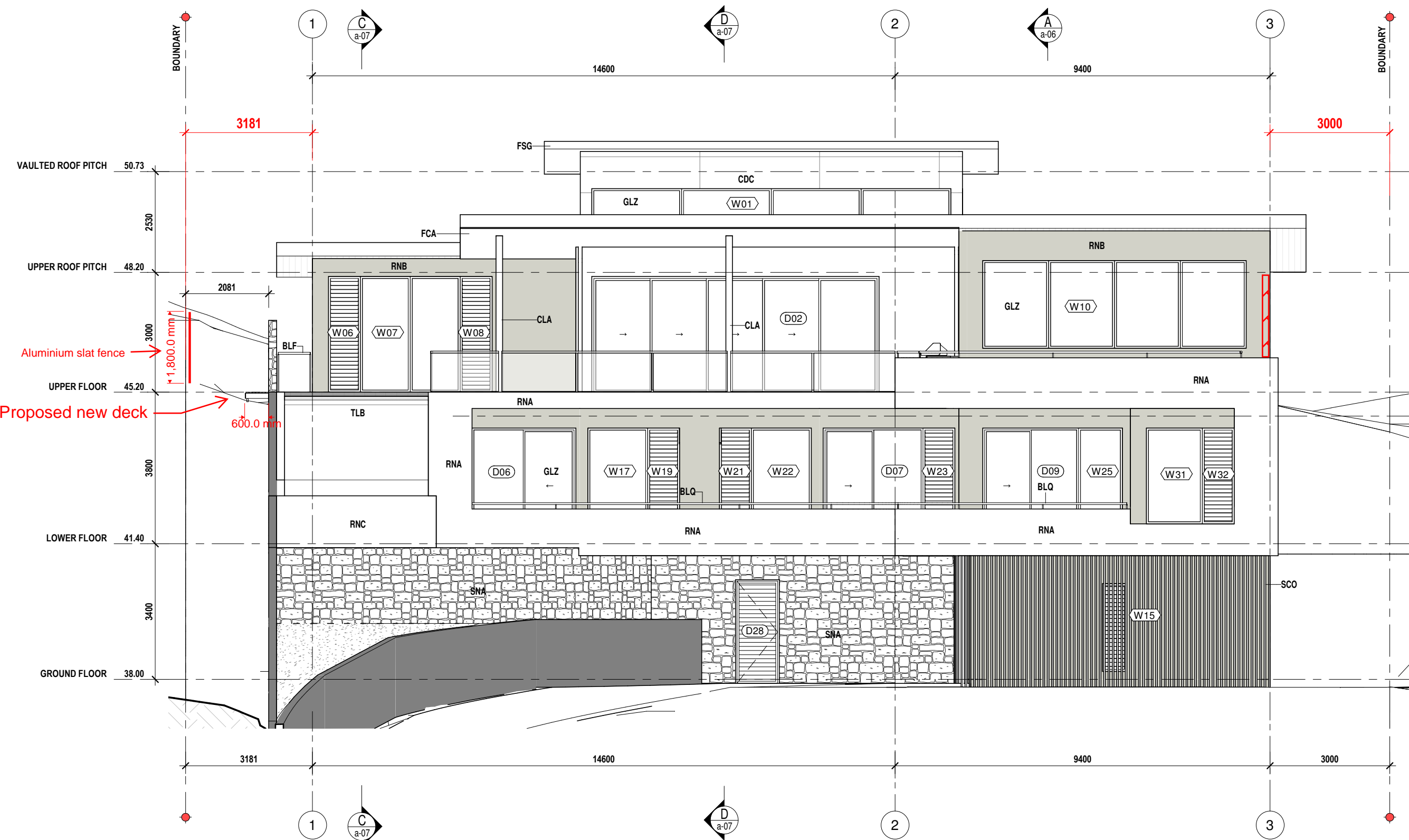
GENERAL NOTES

ALL DESIGN, CONSTRUCTION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC)

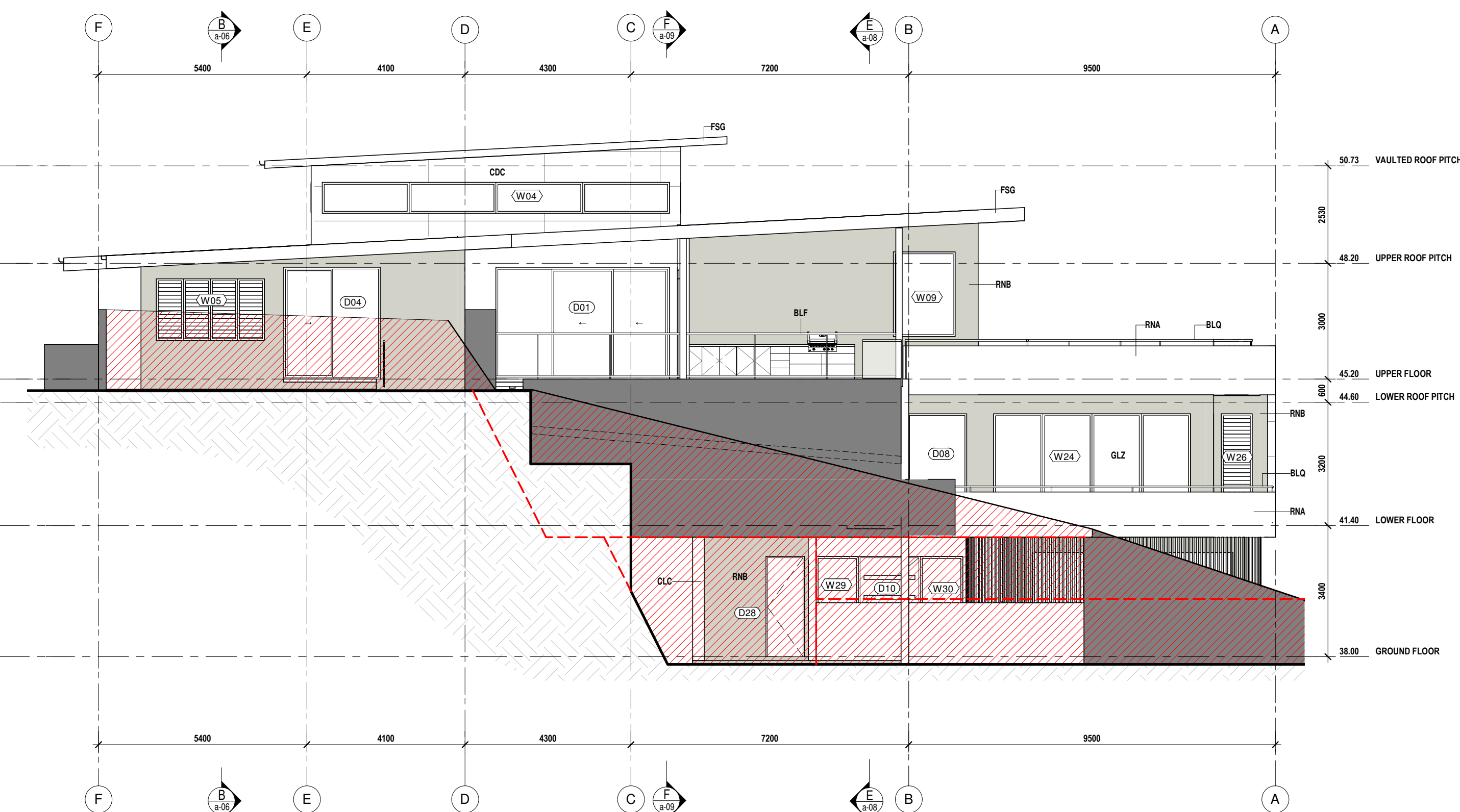
Project Name...
M & NEIL BIDDLE

DOOR PLANS

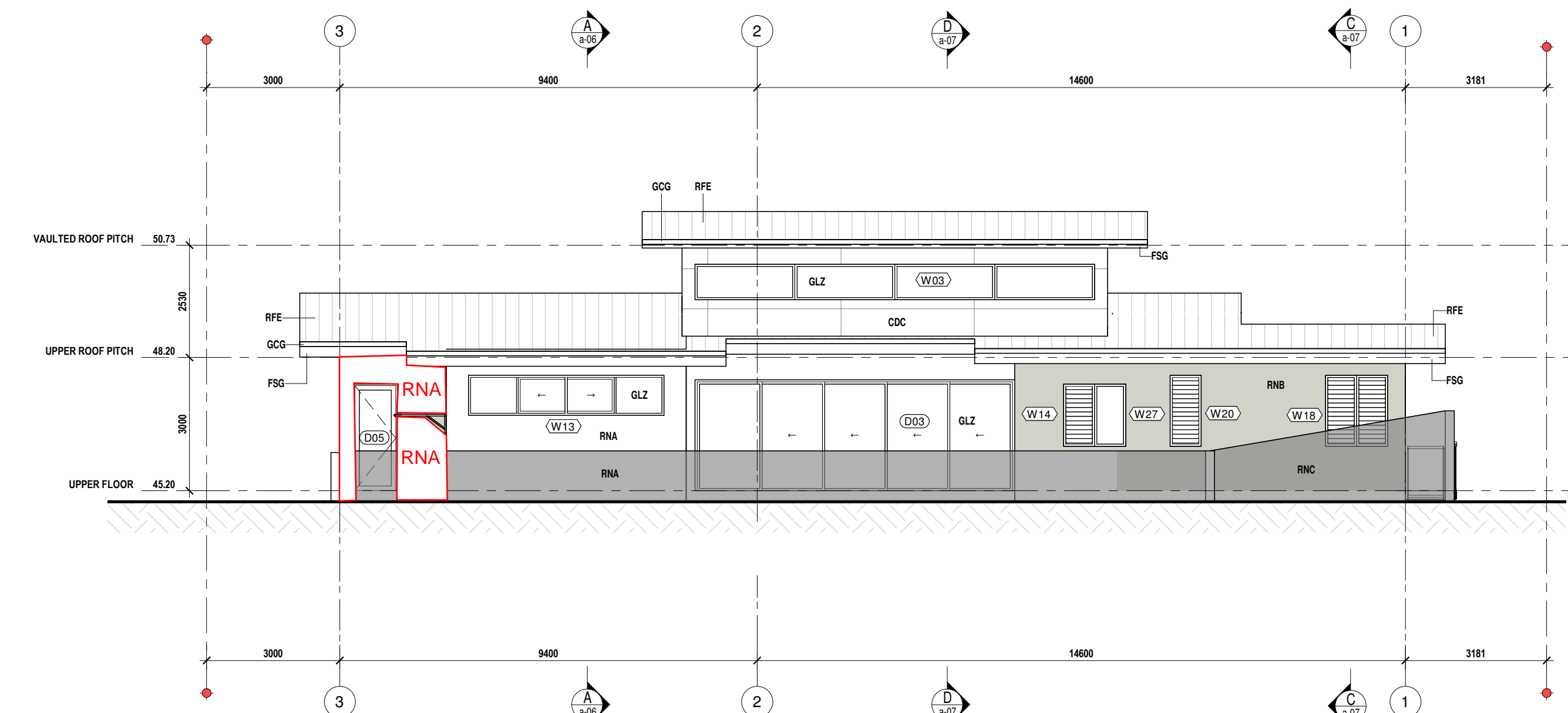
designed by	matt nixemelli	
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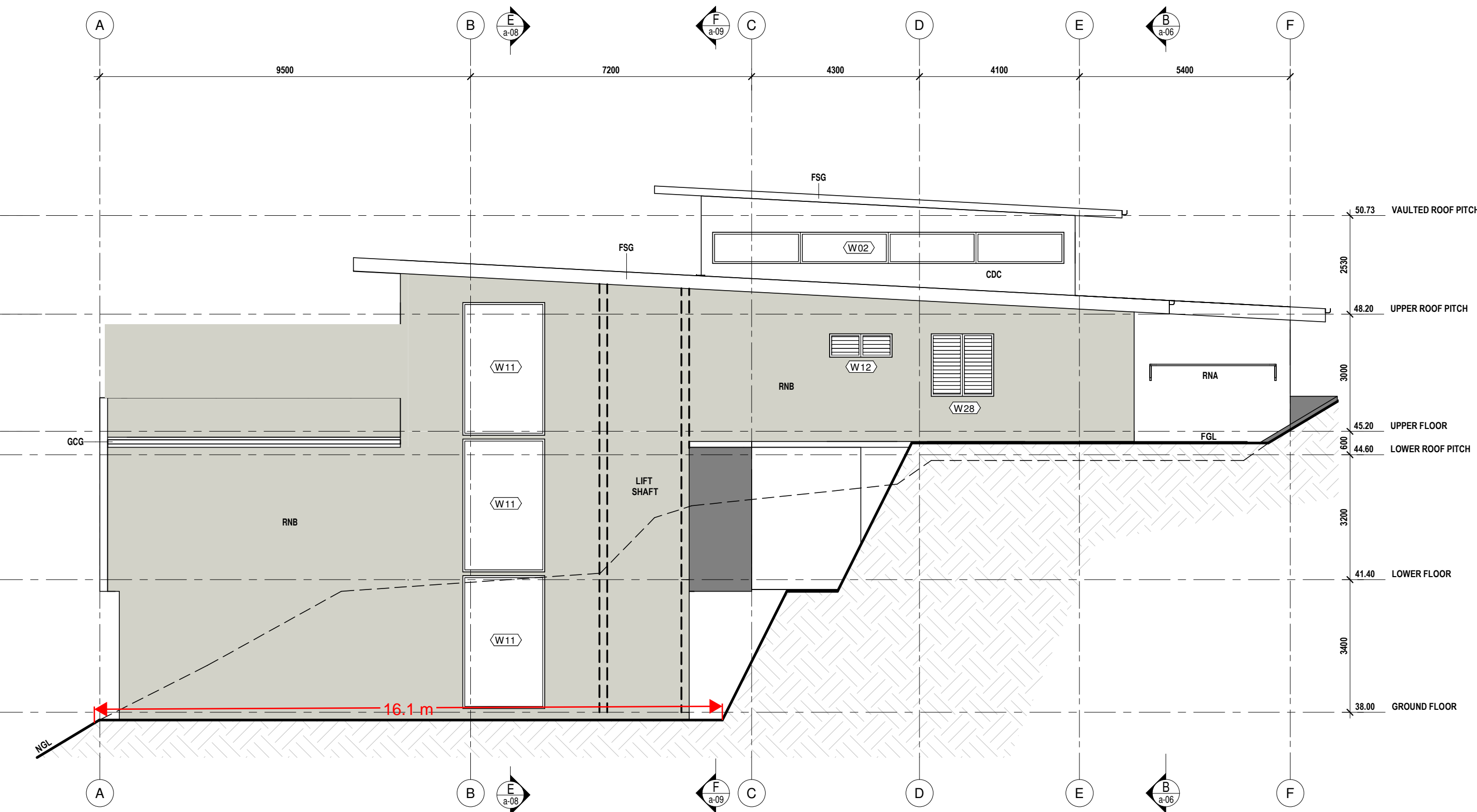
1 ELEVATION 1
a-01 SCALE 1: 100 ON A1



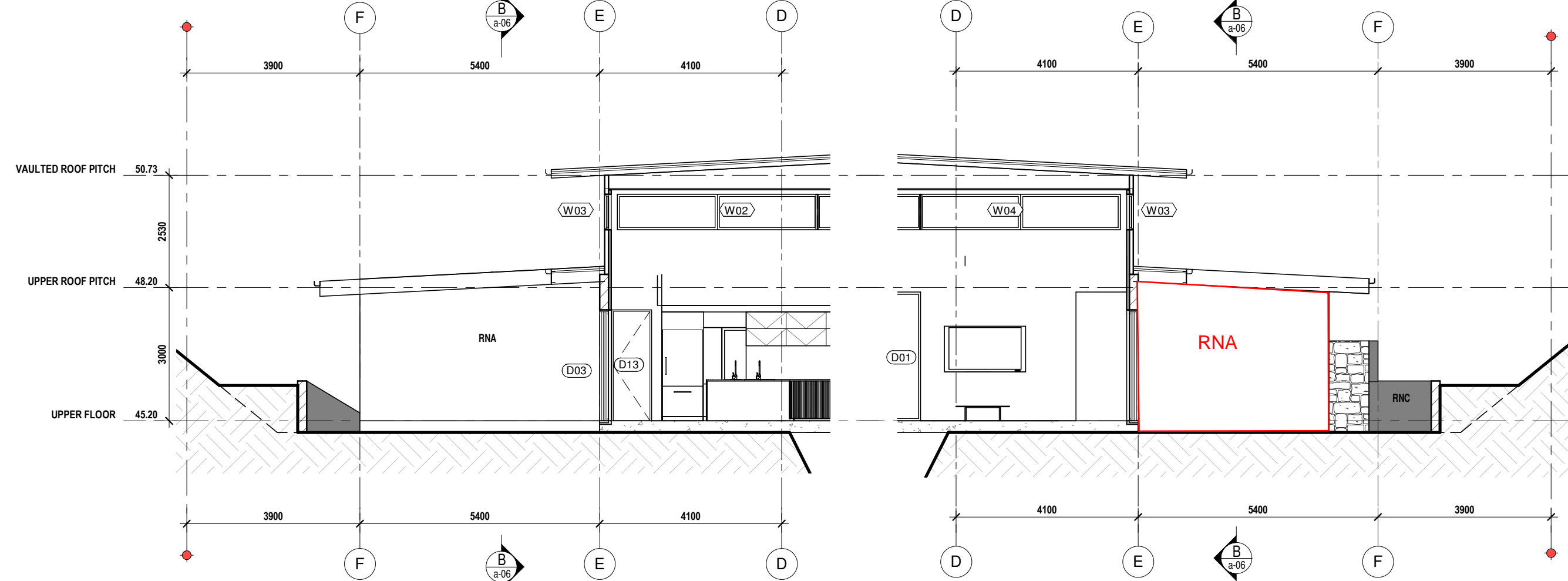
2 ELEVATION 2
a-01 SCALE 1: 100 ON A1



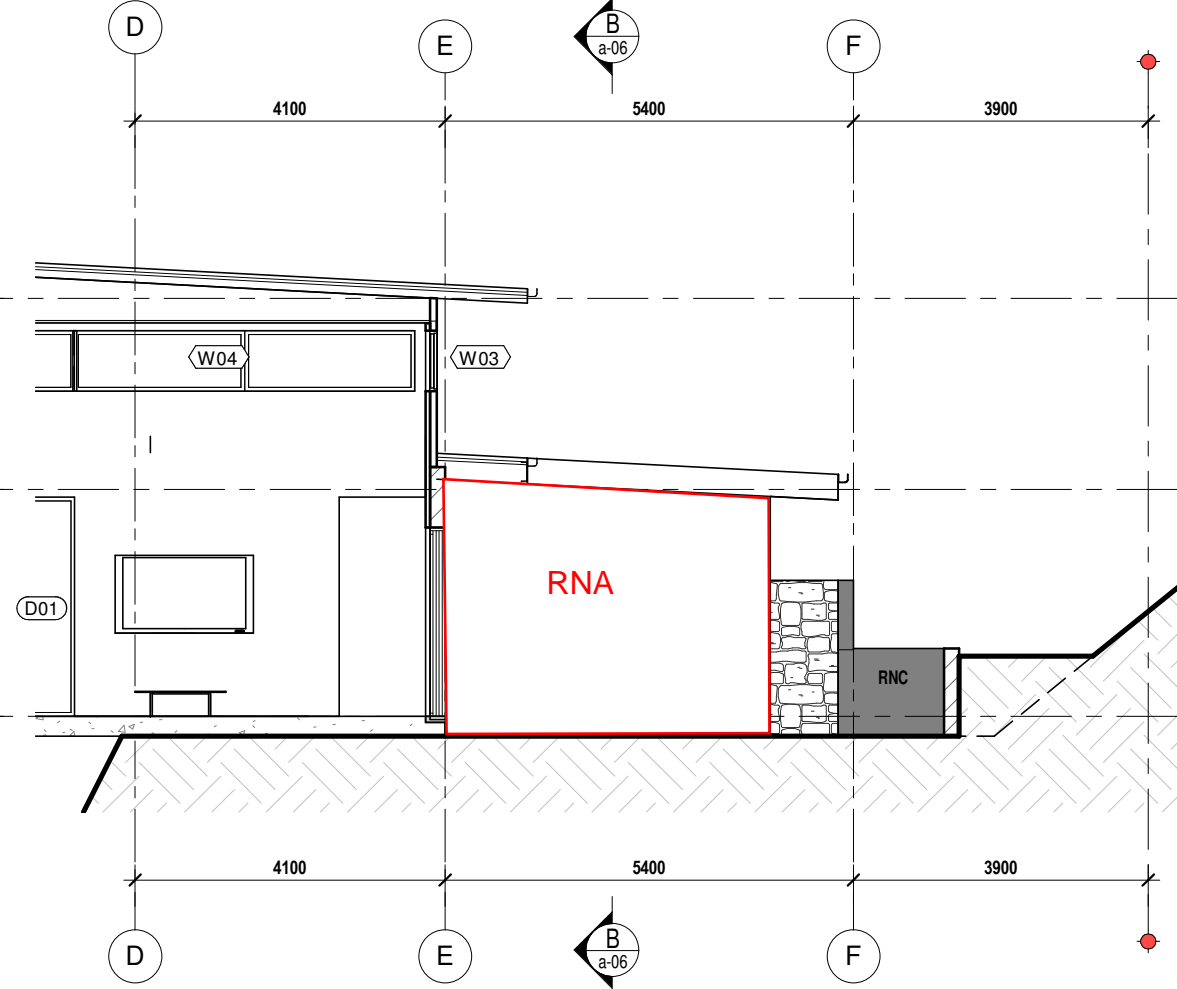
3 ELEVATION 3
a-01 SCALE 1: 100 ON A1



4 ELEVATION 4
a-01 SCALE 1: 100 ON A1



5 ELEVATION 5
a-01 SCALE 1: 100 ON A1



6 ELEVATION 6
a-01 SCALE 1: 100 ON A1

LEGEND	
BLF	SELECTED SEMI-FRAMELESS GLASS POOL FENCE TO OLD DEVELOPMENT CODE MP 3.4 & NCC REQUIREMENTS
BLO	SELECTED STAINLESS STEEL BALUSTRADE TO NCC REQUIREMENTS
CDC	SELECTED FIBRE CEMENT CLADDING. REFER TO SPECIFICATION
CLA	STEEL COLUMN. REFER TO STRUCTURAL LEGEND FOR SIZE
CLC	CONCRETE COLUMN. REFER TO STRUCTURAL LEGEND FOR SIZE
FCA	FIBRE CEMENT EAVE LINING - RAKING EAVE - BUTT FINISH (NO PVC STRIPS) INSTALLED TO MANUFACTURERS INSTRUCTIONS
FSG	PROPRIETARY COLORBOND ULTRA FASCIA
GCG	COLORBOND ULTRA GUTTER. REFER TO SPECIFICATION FOR COLOUR AND HYDRAULICS DRAWINGS FOR SIZE
GLZ	CLADDING. REFER TO WINDOW & DOOR SCHEDULE
RFE	COLORBOND ULTRA TRIMDEK ROOF SHEETING. SCREW FIXED TO FURLINS / BATTENS AS PER MANUFACTURERS INSTRUCTIONS
RNA	SELECT RENDER FINISH. REFER TO SCHEDULE OF FINISHES
RNB	SELECT RENDER FINISH. REFER TO SCHEDULE OF FINISHES
RNC	SELECT RENDER FINISH. REFER TO SCHEDULE OF FINISHES
SCO	ALUMINIUM EXTRUDED SCREENING. DECO WOODGRAIN COASTAL SPOTTED GUM FINISH. INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION
SNA	SELECT STONE CLADDING. REFER TO SCHEDULE OF FINISHES
TLB	TILE TYPE B. REFER TO SPECIFICATION

CONSTRUCTION ISSUE

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION	
DATE	30/10/24
C.M.G. CONSULTING ENGINEERS	208 BUCHAN ST. CAIRNS QLD 4870 PH (07) 4051 2775 FAX (07) 4051 9013
ACN 011 065 375	
W	REVISED ROOF FRAMING PLANS
V	NEW BALCONY UPPER SUSPENDED SLAB UPDATES
U	NEW BALCONY ARCHITECTURAL ISSUE FOR COUNCIL
T	BORED PIERS TO GARAGE LIFT PIT FOOTING, FULL HEIGHT VOID WINDOW & BALCONY OVER BED 2
S	CLIENT CHANGES TO ARCHITECTURAL SET
R	BORED PIER REINFORCEMENT
Q	IFC ARCHITECTURAL DRAWING
P	REVISED PRELIMINARY CONSTRUCTION DRAWINGS
O	PRELIMINARY CONSTRUCTION DRAWINGS
N	PRELIMINARY STRUCTURE ISSUE
M	TENDER ISSUE
Issue	Revision Description
Date	

bálay Vandyke
designing CAIRNS since 1988 PTY LTD

71-73 ARDISIA ST SMITHFIELD
admin@balayvandyke.com.au

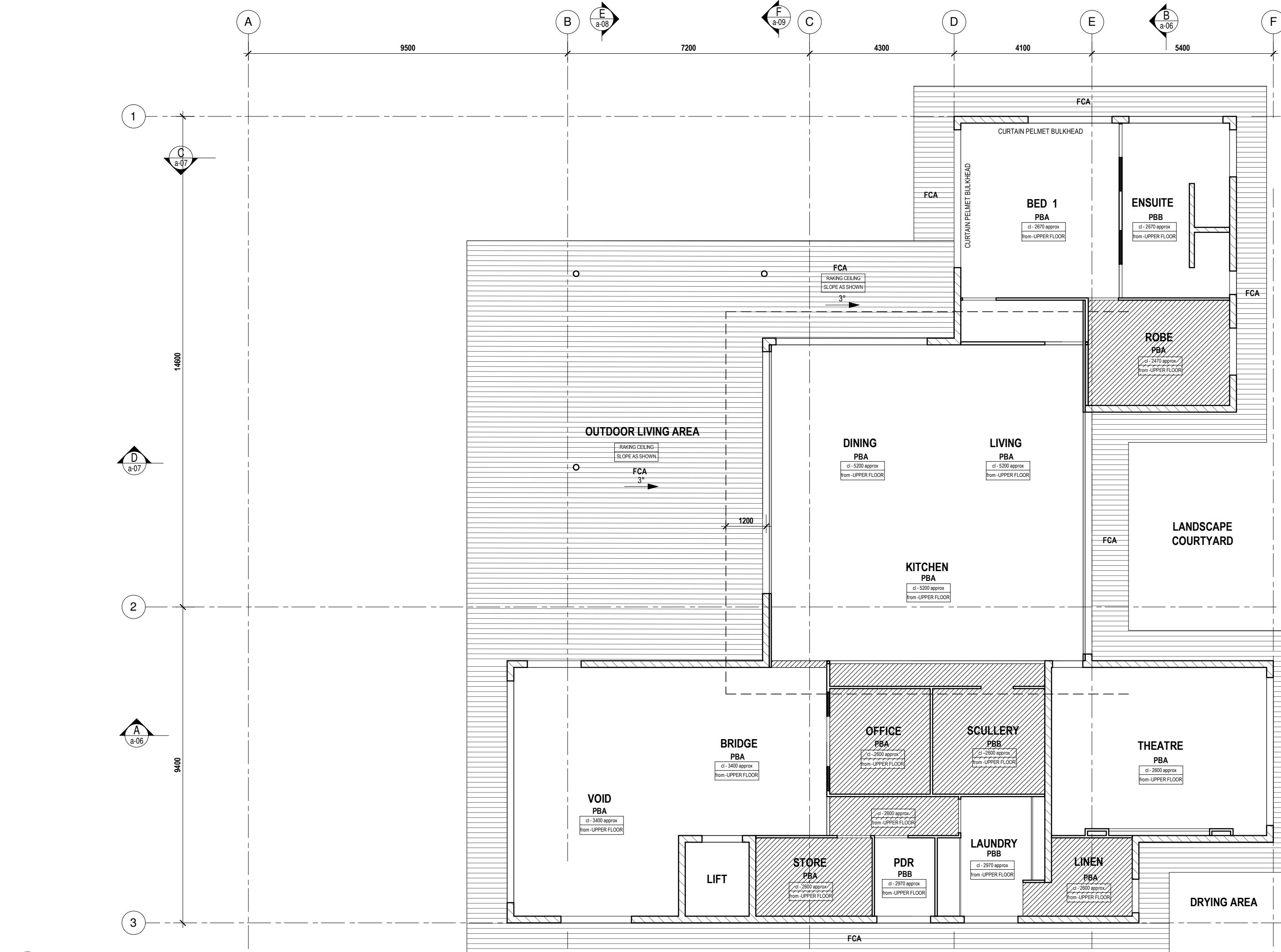
PH 4051 8228
QBCC LIC. 1506 5698

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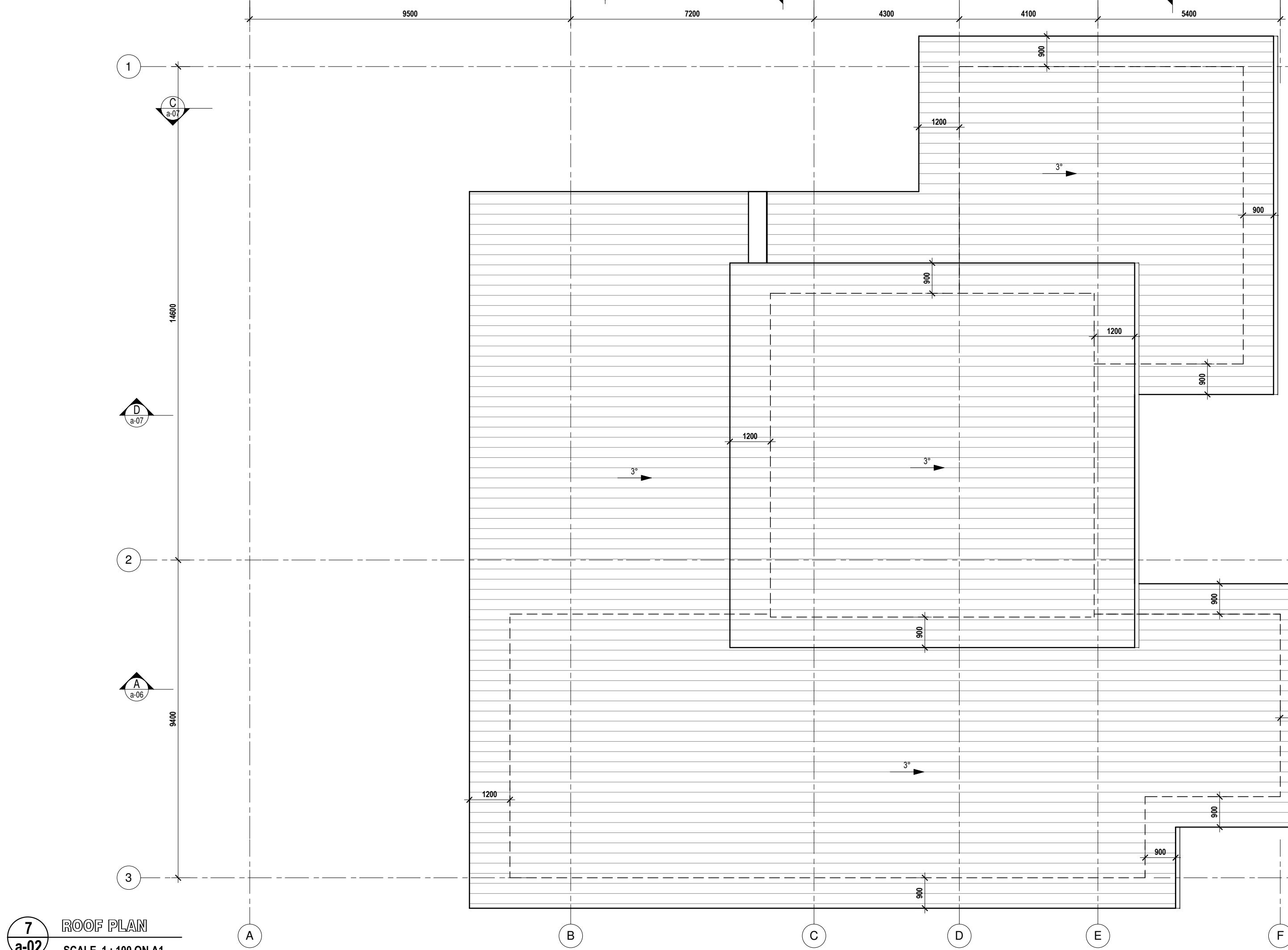
GENERAL NOTES
1. ALL DESIGN, CONSTRUCTION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH:
* THE NATIONAL CONSTRUCTION CODE (NCC)
* THE QUEENSLAND DEVELOPMENT CODE (QDC)
* ABC BUILDING PROVISIONS
* CURRENT ISSUES OF AUSTRALIAN STANDARDS
2. MANUFACTURERS SPECIFICATIONS AND INSTALLATION DETAILS FOR MATERIALS USED.
3. REFER TO BUILDERS SPECIFICATION WHERE A FINISH OR BUILDING COMPONENT HAS NOT BEEN NOMINATED WITHIN THE DOCUMENTATION PREPARED BY THIS OFFICE. THIS SET OF DRAWINGS AND ALL ACCOMPANYING DOCUMENTATION TO TAKE PRECEDENCE OVER INCLUSIONS NOMINATED IN BUILDERS SPECIFICATION.
4. DO NOT SCALE FROM DRAWINGS. ONLY DIMENSIONS SHALL BE USED. ANY DISCREPANCIES MUST BE REFERRED TO THIS OFFICE OTHERWISE NO RESPONSIBILITY WILL BE TAKEN BY BALAY VANDYKE. IN DOUBT - JUST ASK.
5. ALL DIMENSIONS SHALL BE CHECKED ON SITE PRIOR TO COMMENCING CONSTRUCTION.

Project Name...	
KIM & NEIL BIDDLE	
LOT 113 MURPHY STREET PORT DOUGLAS	
Drawing Title...	
ELEVATIONS	
Designed by	matt piromalli
Issue...	W Job #... 231921

a-02

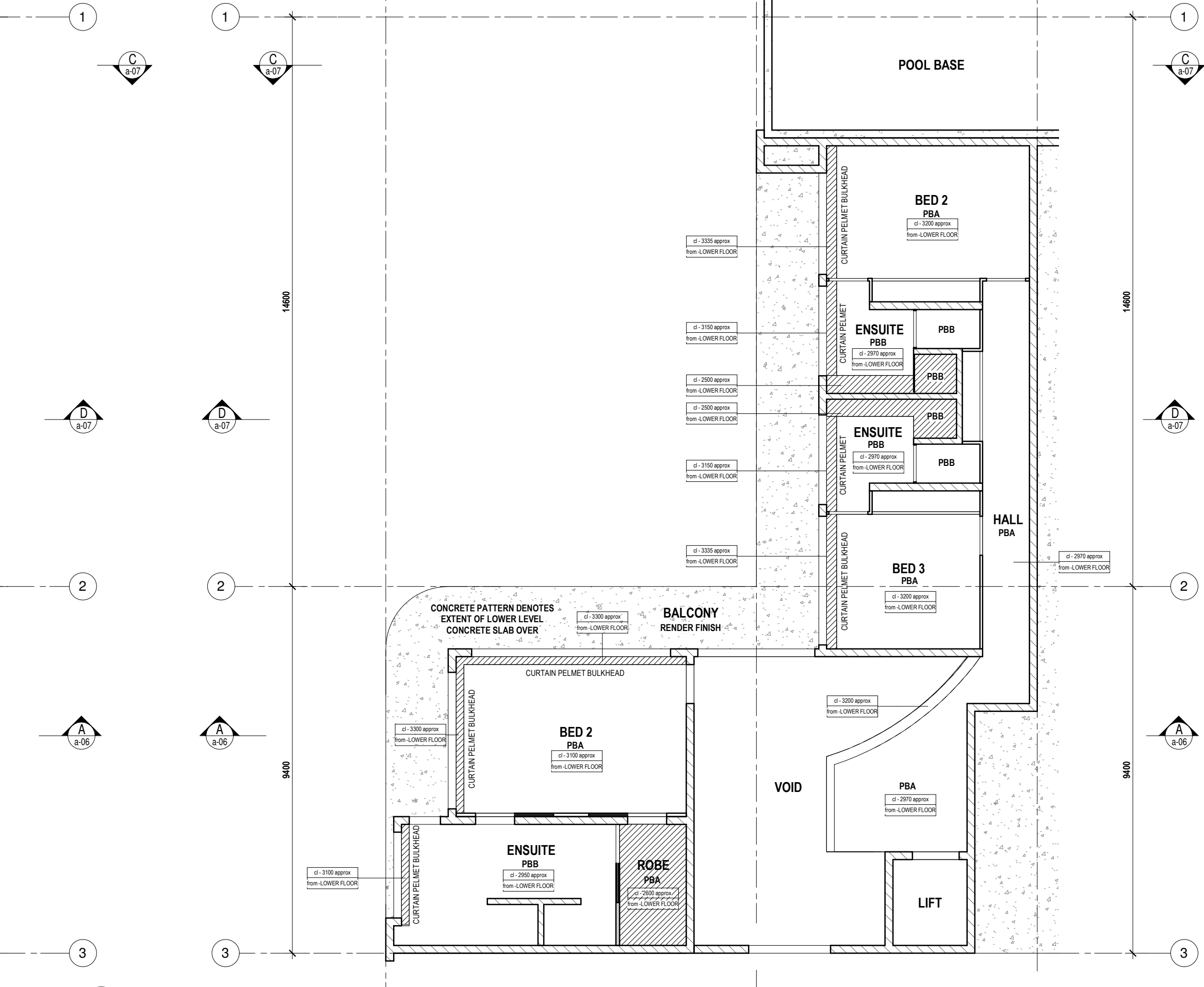


5 UPPER CEILING PLAN
a-02 SCALE 1:100 ON A1

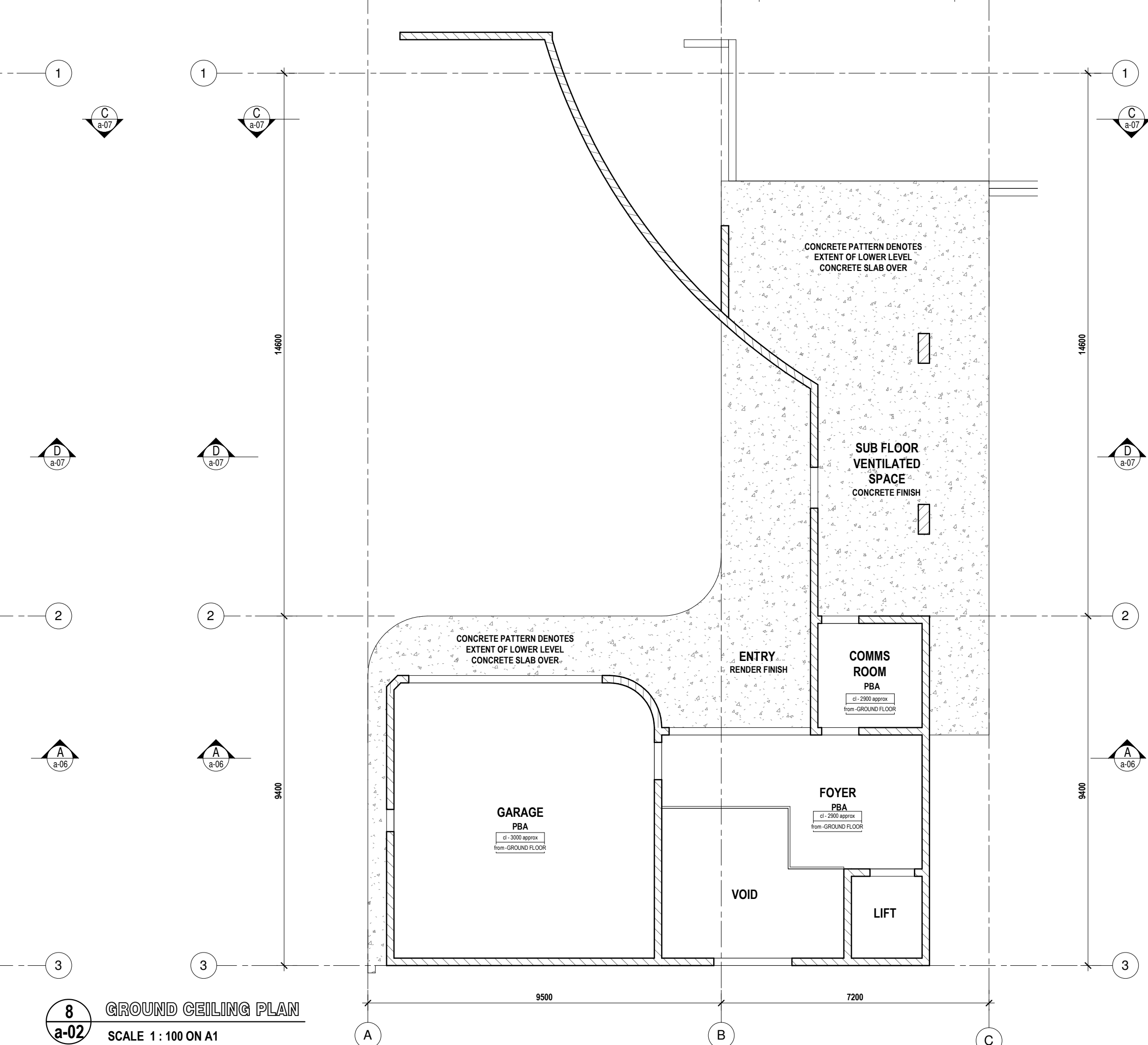


7 ROOF PLAN
a-02 SCALE 1:100 ON A1

CEILING LINING	
FCA	7.5mm HARDGROOVE FIBRE CEMENT CEILING LINING
PBA	10mm PLASTERBOARD
PBB	10mm HIGH MOISTURE RESISTANT PLASTERBOARD



6 LOWER CEILING PLAN
a-02 SCALE 1:100 ON A1



8 GROUND CEILING PLAN
a-02 SCALE 1:100 ON A1

EXTERNAL WALL TYPE LEGEND

- EW-01**
150mm BLOCKWORK
-5mm RENDER EXTERNAL
-10mm PB LINING ON 28mm FURRING CHANNEL INTERNAL
FOIL & BUBBLE INSULATION EMISSIVITY VALUE 0.03 / 0.05
PAINT FINISH AS SCHEDULED BY DULUX
- EW-02**
150mm BLOCKWORK
-5mm RENDER EXTERNAL
-10mm HMR PB LINING ON 28mm FURRING CHANNEL INTERNAL
FOIL & BUBBLE INSULATION EMISSIVITY VALUE 0.03 / 0.05
PAINT FINISH AS SCHEDULED BY DULUX
- EW-03**
150mm BLOCKWORK
-5mm RENDER EXTERNAL
PAINT FINISH AS SCHEDULED BY DULUX
-NO FINISH INTERNAL SIDE
- EW-04**
150mm BLOCKWORK
-5mm RENDER ON BOTH SIDES
PAINT FINISH AS SCHEDULED BY DULUX
- EW-05**
150mm BLOCKWORK
-5mm RENDER EXTERNAL
PAINT FINISH AS SCHEDULED BY DULUX
-5mm VB + WPM ON 28mm FURRING CHANNEL INTERNAL TILE CLADDING
FOIL & BUBBLE INSULATION EMISSIVITY VALUE 0.03 / 0.05
- EW-06**
90mm x 35mm MGP12 TIMBER STUD
9mm FC CLADDING EXTERNAL
-10mm PB LINING INTERNAL
PAINT FINISH AS SCHEDULED BY DULUX
FOIL & BUBBLE INSULATION EMISSIVITY VALUE 0.03 / 0.05
- EW-07**
150mm BLOCKWORK
-5mm RENDER + EXTRUDED ALUMINUM CLADDING EXTERNAL
-10mm PB LINING ON 28mm FURRING CHANNEL INTERNAL
FOIL & BUBBLE INSULATION EMISSIVITY VALUE 0.03 / 0.05
PAINT FINISH AS SCHEDULED BY DULUX
- EW-08**
150mm BLOCKWORK
STONE VENEER CLADDING EXTERNAL
-10mm PB LINING ON 28mm FURRING CHANNEL
FOIL & BUBBLE INSULATION EMISSIVITY VALUE 0.03 / 0.05
PAINT FINISH AS SCHEDULED BY DULUX
- EW-09**
150mm BLOCKWORK
-STONE VENEER CLADDING EXTERNAL
-5mm RENDER EXTERNAL
PAINT FINISH AS SCHEDULED BY DULUX
- EW-10**
150mm BLOCKWORK
-10mm PB LINING ON 28mm FURRING CHANNEL INTERNAL
PAINT FINISH AS SCHEDULED BY DULUX
-WPM EXTERNAL
- EW-11**
150mm BLOCKWORK
-WPM EXTERNAL
-NO FINISH ON INTERNAL SIDE
- EW-12**
200mm CONCRETE POOL WALL
-5mm RENDER EXTERNAL
PAINT FINISH AS SCHEDULED BY DULUX
-WP + TILE FINISH INTERNAL
- EW-13**
200mm CONCRETE POOL WALL
-WP + TILE FINISH BOTH SIDES
- EW-14**
200mm CONCRETE POOL WALL
-WP + TILE FINISH INTERNAL
-WPM EXTERNAL
- EW-15**
150mm BLOCKWORK
-STONE VENEER CLADDING EXTERNAL
-WPM ON BACKFILL SIDE
- EW-16**
150mm BLOCKWORK
-5mm RENDER EXTERNAL
-WPM ON BACKFILL SIDE
- EW-17**
150mm BLOCKWORK
-5mm RENDER EXTERNAL
-10mm PB LINING ON 48mm FURRING CHANNEL INTERNAL
FOIL & BUBBLE INSULATION EMISSIVITY VALUE 0.03 / 0.05
PAINT FINISH AS SCHEDULED BY DULUX
- EW-18**
140mm BLOCKWORK
-5mm RENDER EXTERNAL
PAINT FINISH AS SCHEDULED BY DULUX
-APPROVED WATERPROOF MEMBRANE INTERNAL
- EW-19**
140mm BLOCKWORK
-5mm RENDER BOTH SIDES
PAINT FINISH AS SCHEDULED BY DULUX

CONSTRUCTION ISSUE

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION		DATE 30/10/24
C.M.G. CONSULTING ENGINEERS ACN 011 065 375		208 BUCHAN ST. CAIRNS QLD 4870 PH (07) 4051 2775 FAX (07) 4051 9013
W	REVISED ROOF FRAMING PLANS	30/10/24
V	NEW BALCONY UPPER SUSPENDED SLAB UPDATES	16/10/24
U	NEW BALCONY ARCHITECTURAL ISSUE FOR COUNCIL	02/10/24
T	BORED PIERS TO GARAGE, LIFT PIT FOOTING, FULL HEIGHT VOID WINDOW & BALCONY OVER BED 2	10/09/24
S	CLIENT CHANGES TO ARCHITECTURAL SET	12/08/24
R	BORED PIER REINFORCEMENT	03/07/24
Q	IFC ARCHITECTURAL DRAWING	29/05/24
P	REVISED PRELIMINARY CONSTRUCTION DRAWINGS	28/03/24
O	PRELIMINARY CONSTRUCTION DRAWINGS	25/03/24
N	PRELIMINARY STRUCTURE ISSUE	18/03/24
M	TENDER ISSUE	13/03/24

Issue	Revision Description	Date
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71-73 ARDISIA ST SMITHFIELD
admin@balayvandyke.com.au

PH 4051 8228
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 - THE QUEENSLAND DEVELOPMENT CODE (QDC)
 - AS/NZS 4600:2018 STEEL STRUCTURAL DESIGN
 - CURRENT ISSUES OF AUSTRALIAN STANDARDS
 - MANUFACTURERS SPECIFICATIONS AND INSTALLATION DETAILS FOR MATERIALS USED.
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Project Name...

KIM & NEIL BIDDLE
LOT 113 MURPHY STREET PORT DOUGLAS

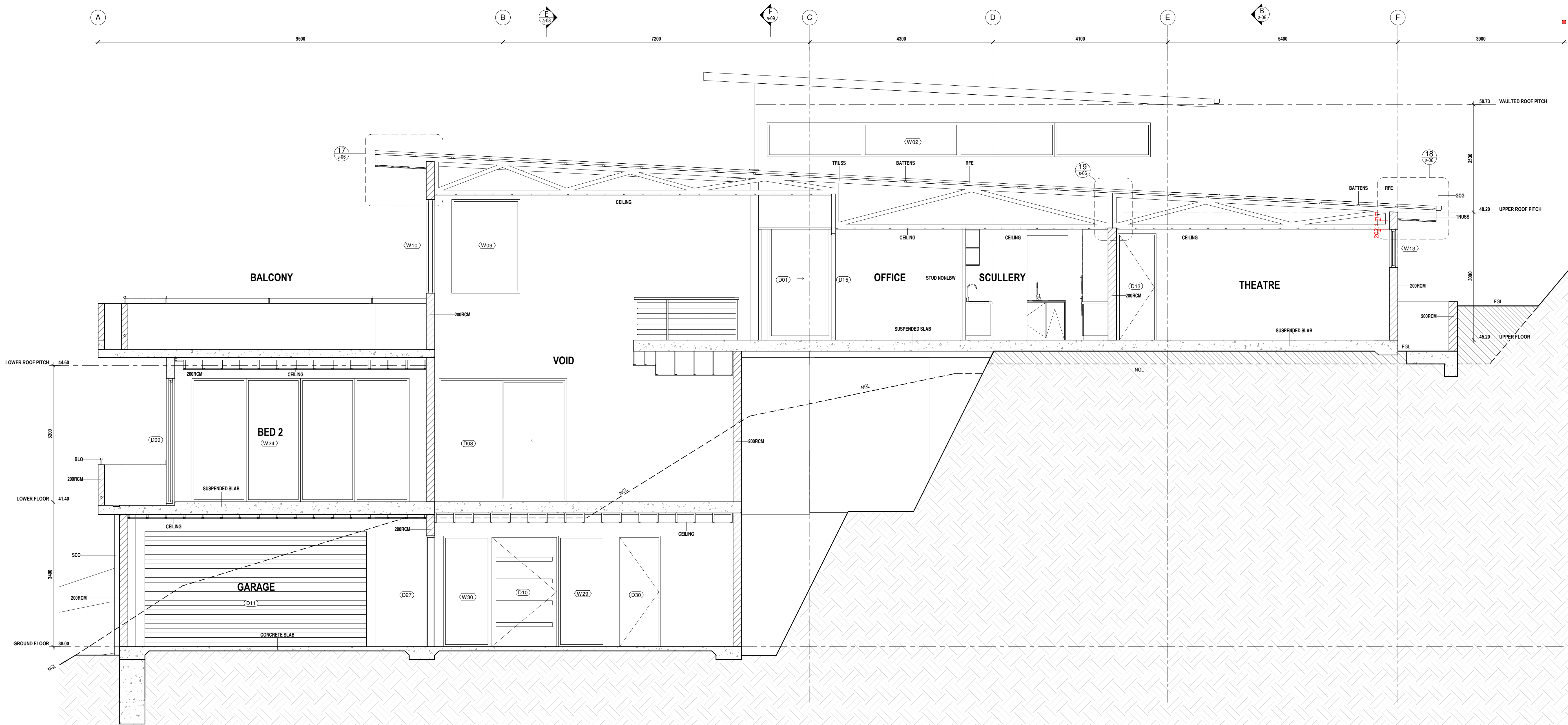
Drawing Title...

CEILING & ROOF PLANS

Designed by **matt piromalli**

Issue... **W** Job #... **231921**

a-03



LEGEND	
200RCM	200 SERIES REINFORCED CONCRETE MASONRY WALL. REFER TO WALL NOTES
BATTENS	ROOF BATTENS. REFER TO ROOF BATTEN NOTES FOR SIZE AND CTS
BLO	SELECTED STAINLESS STEEL BALUSTRADE TO NCC REQUIREMENTS
CEILING	CEILING BATTENS AS SCHEDULED. REFER TO NOTES FOR SIZE & CTS
CONCRETE SLAB	REINFORCED CONCRETE SLAB. REFER TO FOOTINGS PLAN & DETAILS
GCG	COLORBOND ULTRA GLITTER. REFER TO SPECIFICATION FOR COLOUR AND HYDRAULICS DRAWINGS FOR SIZE
RFE	COLORBOND ULTRA TRIMDEK ROOF SHEETING. SCREW FIXED TO PURLINS / BATTENS AS PER MANUFACTURERS INSTRUCTIONS
SCO	ALUMINIUM EXTRUDED SCREENING. DECO WOODGRAIN. COASTAL SPOTTED OUM FINISH. INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION
STUD	NON LOADBEARING TIMBER STUD FRAMED WALL. REFER TO NON LBW WALL NOTES
SUSPENDED SLAB	REINFORCED CONCRETE SUSPENDED SLAB. REFER TO SUSPENDED SLAB PLANS & DETAILS
TRUSS	PRE-FABRICATED ROOF TRUSSES. REFER TO TRUSS NOTES FOR CTS

CONSTRUCTION ISSUE

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C.M.G. CONSULTING ENGINEERS ACN 011 065 375		208 BUCHAN ST. CAIRNS QLD 4870 PH (07) 4051 2775 FAX (07) 4051 9013
		WIND CLASS C3
W	REVISED ROOF FRAMING PLANS	30/10/24
V	NEW BALCONY UPPER SUSPENDED SLAB UPDATES	16/10/24
U	NEW BALCONY ARCHITECTURAL ISSUE FOR COUNCIL	02/10/24
T	BORED PIERS TO GARAGE. LIFT PIT FOOTING, FULL HEIGHT VOID WINDOW & BALCONY OVER BED 2	10/09/24
S	CLIENT CHANGES TO ARCHITECTURAL SET	12/08/24
R	BORED PIER REINFORCEMENT	03/07/24
Q	IFC ARCHITECTURAL DRAWING	29/05/24
P	REVISED PRELIMINARY CONSTRUCTION DRAWINGS	28/03/24
O	PRELIMINARY CONSTRUCTION DRAWINGS	25/03/24
N	PRELIMINARY STRUCTURE ISSUE	19/03/24
M	TENDER ISSUE	13/03/24

Issue	Revision Description	Date
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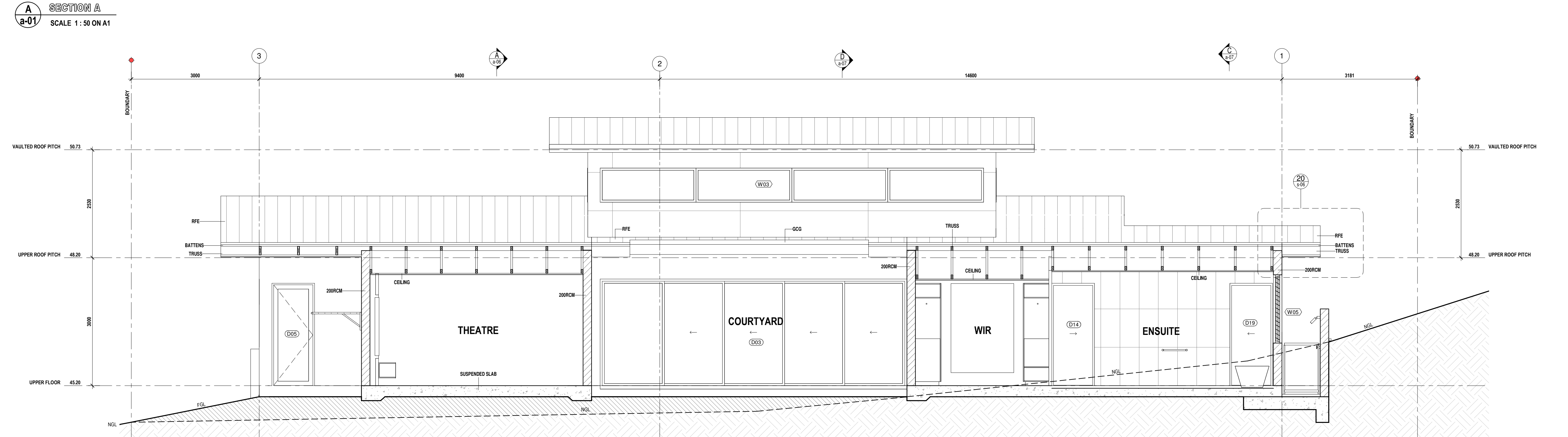
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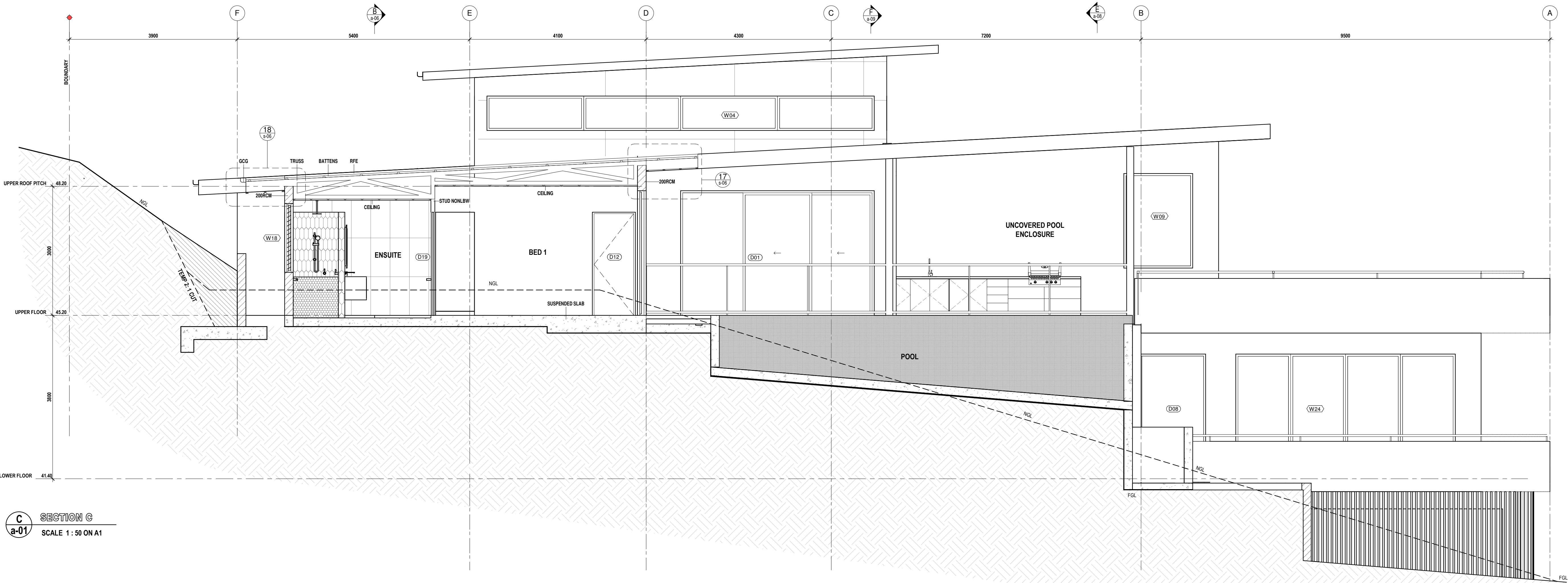
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 - THE NATIONAL CONSTRUCTION CODE (NCC)
 - THE QUEENSLAND DEVELOPMENT CODE (QDC)
 - ASBC BUILDING PROVISIONS
 - CURRENT ISSUES OF AUSTRALIAN STANDARDS
 - MANUFACTURERS SPECIFICATIONS AND INSTALLATION DETAILS FOR MATERIALS USED.
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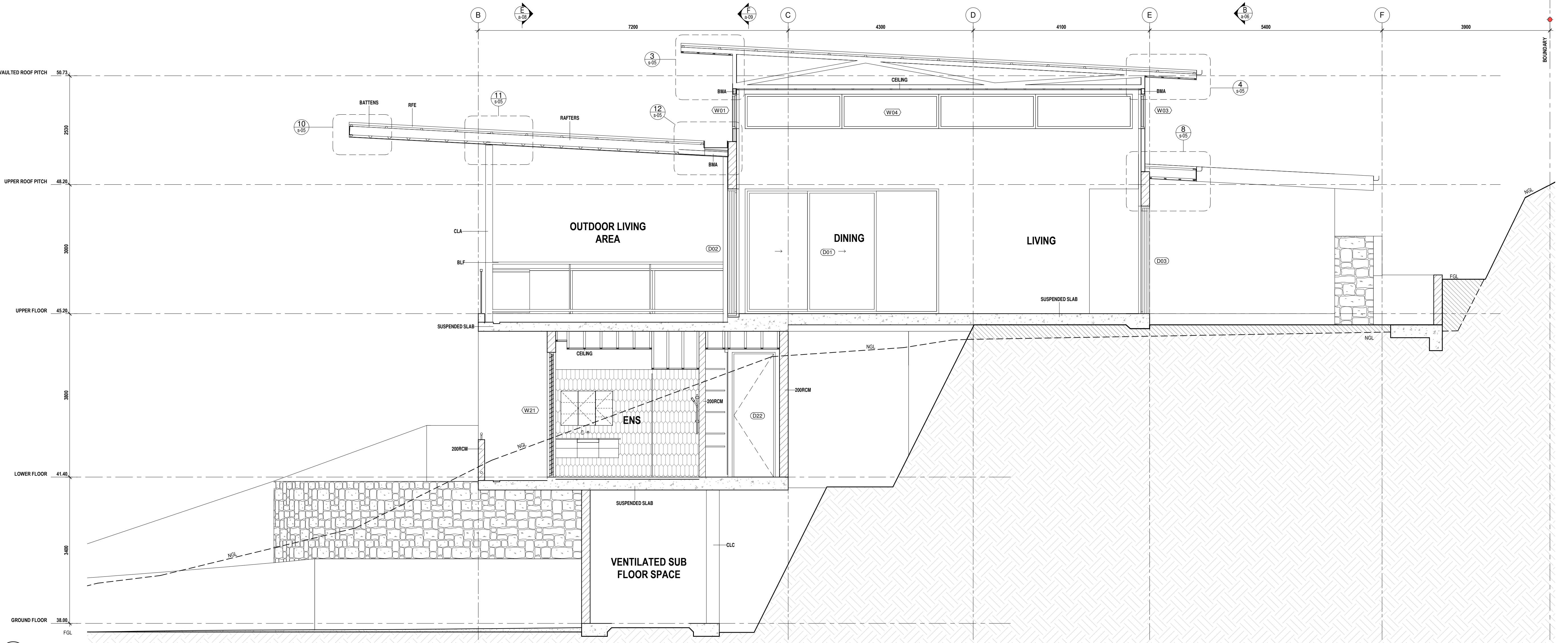
Project Name... KIM & NEIL BIDDLE LOT 113 MURPHY STREET PORT DOUGLAS	
Drawing Title... CROSS SECTION A & B	
Designed by matt piromalli	a-06
Issue... W Job #... 239121	



SECTION B
SCALE 1 : 50 ON A1



C
a-01 SECTION C
SCALE 1 : 50 ON A1



D
a-01 SECTION D
SCALE 1 : 50 ON A1

LEGEND	
200RCM	200 SERIES REINFORCED CONCRETE MASONRY WALL. REFER TO WALL NOTES
BATTENS	ROOF BATTENS. REFER TO ROOF BATTEN NOTES FOR SIZE AND CTS
BLF	SELECTED SEMI-FRAMELESS GLASS POOL FENCE TO OLD DEVELOPMENT CODE MP 3.4 & NCC REQUIREMENTS
BMA	STEEL STRUCTURAL MEMBER. REFER TO STRUCTURAL LEGEND FOR SIZE
CEILING	CEILING BATTENS AS SCHEDULED. REFER TO NOTES FOR SIZE & CTS
CLA	STEEL COLUMN. REFER TO STRUCTURAL LEGEND FOR SIZE
CLC	CONCRETE COLUMN. REFER TO STRUCTURAL LEGEND FOR SIZE
CGG	COLORBOND ULTRA GUTTER. REFER TO SPECIFICATION FOR COLOUR AND HYDRAULICS DRAWINGS FOR SIZE
RAFTERS	RAFTERS AS SCHEDULED. REFER TO STRUCTURAL LEGEND
RFE	COLORBOND ULTRA TRIMDEX ROOF SHEETING. SCREW FIXED TO PURLINS. BATTENS AS PER MANUFACTURERS INSTRUCTIONS
STUD	NON LOADBEARING TIMBER STUD FRAMED WALL. REFER TO NON LSW WALL NOTES
SUSPENDED SLAB	REINFORCED CONCRETE SUSPENDED SLAB. REFER TO SUSPENDED SLAB PLANS & DETAILS
TRUSS	PRE-FABRICATED ROOF TRUSSES. REFER TO TRUSS NOTES FOR CTS

CONSTRUCTION ISSUE

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION		DATE 30/10/24	WIND CLASS CYCLONIC C3
C.M.G. CONSULTING ENGINEERS ACN 011 065 375		208 BUCHAN ST. CAIRNS QLD 4870 PH (07) 4051 2775 FAX (07) 4051 9013	
W	REVISED ROOF FRAMING PLANS	30/10/24	
V	NEW BALCONY UPPER SUSPENDED SLAB UPDATES	16/10/24	
U	NEW BALCONY ARCHITECTURAL ISSUE FOR COUNCIL	02/10/24	
T	BORED PIERS TO GARAGE. LIFT PIT FOOTING, FULL HEIGHT VOID WINDOW & BALCONY OVER BED 2	10/09/24	
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Q	IFC ARCHITECTURAL DRAWING	29/05/24	
P	REVISED PRELIMINARY CONSTRUCTION DRAWINGS	28/03/24	
O	PRELIMINARY CONSTRUCTION DRAWINGS	25/03/24	
N	PRELIMINARY STRUCTURE ISSUE	19/03/24	
M	TENDER ISSUE	13/03/24	

Issue	Revision Description	Date
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* AS/NZS 1170:2006
* CURRENT ISSUES OF AUSTRALIAN STANDARDS
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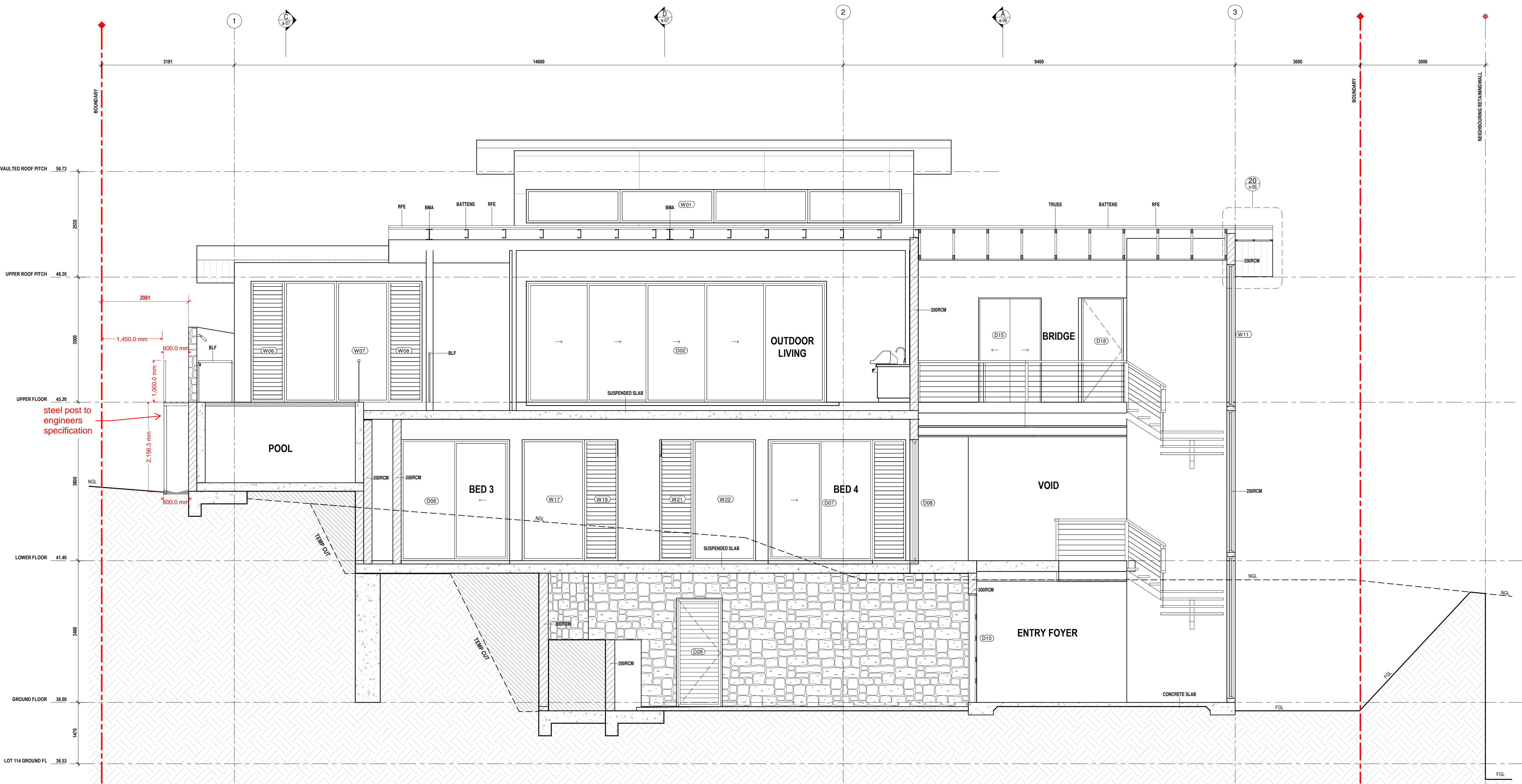
Project Name...
KIM & NEIL BIDDLE
LOT 113 MURPHY STREET PORT DOUGLAS

Drawing Title...
CROSS SECTION C & D

Designed by matt piromalli

Issue... W **Job #...** 231921

a-07



E
a-01 SECTION E
SCALE 1: 50 ON A1

LEGEND	
200RCM	200 SERIES REINFORCED CONCRETE MASONRY WALL. REFER TO WALL NOTES
BATTENS	ROOF BATTENS. REFER TO ROOF BATTEN NOTES FOR SIZE AND CTS
BLF	SELECTED SEMI-FRAMELESS GLASS POOL FENCE TO OLD DEVELOPMENT CODE MP 3.4 & NCC REQUIREMENTS
BMA	STEEL STRUCTURAL MEMBER. REFER TO STRUCTURAL LEGEND FOR SIZE
CONCRETE SLAB	REINFORCED CONCRETE SLAB. REFER TO FOOTINGS PLAN & DETAILS
RFE	COLORBOND ULTRA TRIMDEK ROOF SHEETING. SCREEN FIXED TO PURLINS / BATTENS AS PER MANUFACTURERS INSTRUCTIONS
SUSPENDED SLAB	REINFORCED CONCRETE SUSPENDED SLAB. REFER TO SUSPENDED SLAB PLANS & DETAILS
TRUSS	PRE-FABRICATED ROOF TRUSSES. REFER TO TRUSS NOTES FOR CTS

CONSTRUCTION ISSUE

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION		DATE 30/10/24	WIND CLASS CYCLONIC
C.M.G. CONSULTING ENGINEERS ACN 011 065 375		208 BUCHAN ST. CAIRNS QLD 4870 PH (07) 4051 2775 FAX (07) 4051 9013	C3
W	REVISED ROOF FRAMING PLANS	30/10/24	
V	NEW BALCONY UPPER SUSPENDED SLAB UPDATES	16/10/24	
U	NEW BALCONY ARCHITECTURAL ISSUE FOR COUNCIL	02/10/24	
T	BORED PIERS TO GARAGE LIFT PIT FOOTING, FULL HEIGHT VOID WINDOW & BALCONY OVER BED 2	10/09/24	
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N	PRELIMINARY STRUCTURE ISSUE	19/03/24	
M	TENDER ISSUE	13/03/24	

Issue	Revision Description	Date
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 - AS/NZS 1170:2002
 - CURRENT ISSUES OF AUSTRALIAN STANDARDS
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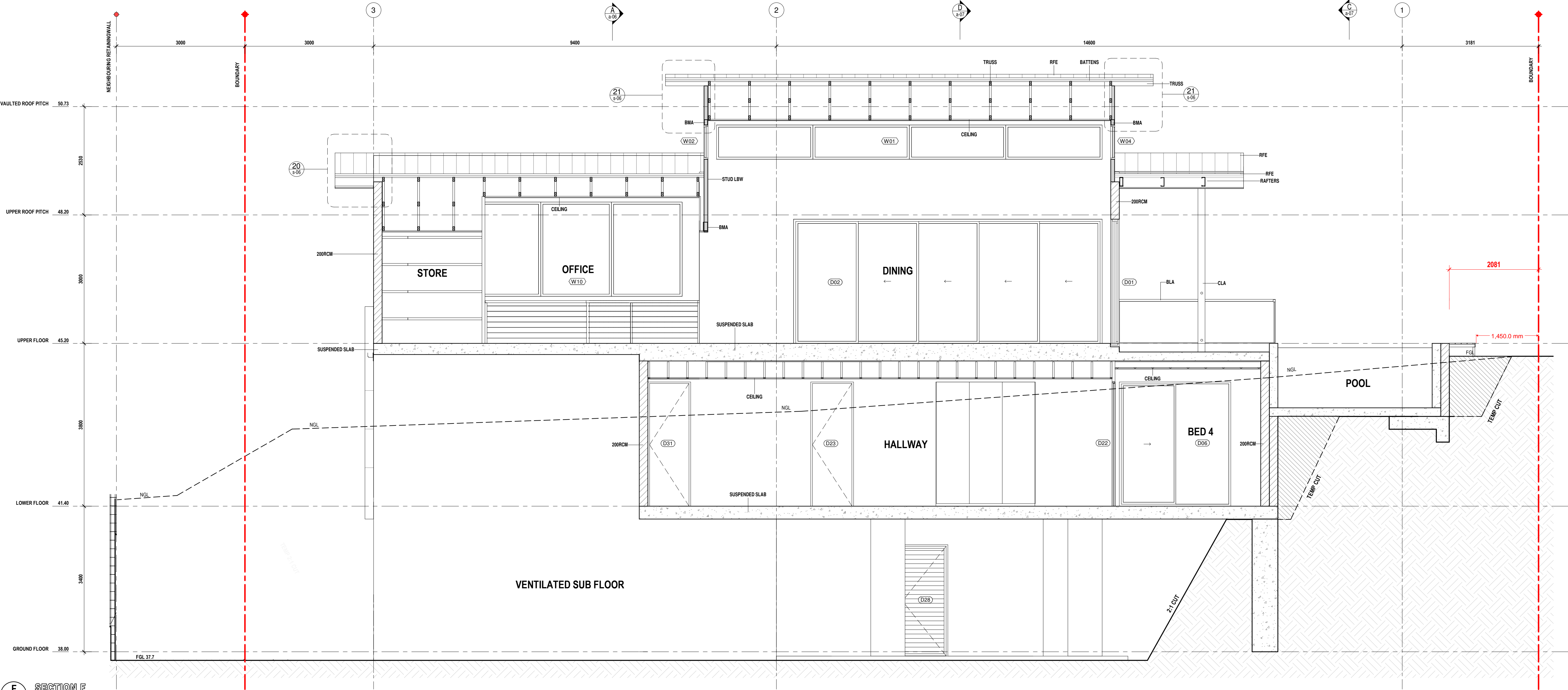
Project Name...
KIM & NEIL BIDDLE
LOT 113 MURPHY STREET PORT DOUGLAS

Drawing Title...
CROSS SECTION E

Designed by matt piromalli

Issue... W **Job #...** 231921

a-08



F
a-01 SECTION F
SCALE 1 : 50 ON A1

LEGEND	
200RCM	200 SERIES REINFORCED CONCRETE MASONRY WALL. REFER TO WALL NOTES
BATTENS	ROOF BATTENS. REFER TO ROOF BATTEN NOTES FOR SIZE AND
CTS	TO WALL NOTES
BLA	SELECTED TOUGHENED GLASS BALUSTRADE TO NCC REQUIREMENTS
BMA	STEEL STRUCTURAL MEMBER. REFER TO STRUCTURAL
	LEGEND FOR SIZE
CEILING	CEILING BATTENS AS SCHEDULED. REFER TO NOTES FOR SIZE & CTS
CLA	STEEL COLUMN. REFER TO STRUCTURAL LEGEND FOR SIZE
RAFTERS	RAFTERS AS SCHEDULED. REFER TO NOTES FOR SIZE & CTS
RFE	COLORBOND ULTRA TRIMDEK ROOF SHEETING. SCREW FIXED TO PURLINS / BATTENS AS PER MANUFACTURERS INSTRUCTIONS
STUD LBW	LOADBEARING TIMBER STUD FRAMED WALL. REFER TO LBW WALL NOTES & ELEVATIONS FOR FINISH
SUSPENDED SLAB	REINFORCED CONCRETE SUSPENDED SLAB. REFER TO SUSPENDED SLAB PLANS & DETAILS
TRUSS	PRE-FABRICATED ROOF TRUSSES. REFER TO TRUSS NOTES FOR CTS

CONSTRUCTION ISSUE

WE HEREBY CERTIFY THE STRUCTURAL DETAILS AS SHOWN ON THESE DRAWINGS FOR CONSTRUCTION IN WIND CLASSIFICATION		DATE 30/10/24
C.M.G. CONSULTING ENGINEERS ACN 011 065 375		208 BUCHAN ST. CAIRNS QLD 4870 PH (07) 4051 2775 FAX (07) 4051 9013
		WIND CLASS CYCLONIC C3
W	REVISED ROOF FRAMING PLANS	30/10/24
V	NEW BALCONY UPPER SUSPENDED SLAB UPDATES	16/10/24
U	NEW BALCONY ARCHITECTURAL ISSUE FOR COUNCIL	02/10/24
T	BORED PIERS TO GARAGE. LIFT PIT FOOTING, FULL HEIGHT VOID WINDOW & BALCONY OVER BED 2	10/09/24
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R	BORED PIER REINFORCEMENT	03/07/24
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P	REVISED PRELIMINARY CONSTRUCTION DRAWINGS	28/03/24
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N	PRELIMINARY STRUCTURE ISSUE	19/03/24
M	TENDER ISSUE	13/03/24

Issue	Revision Description	Date
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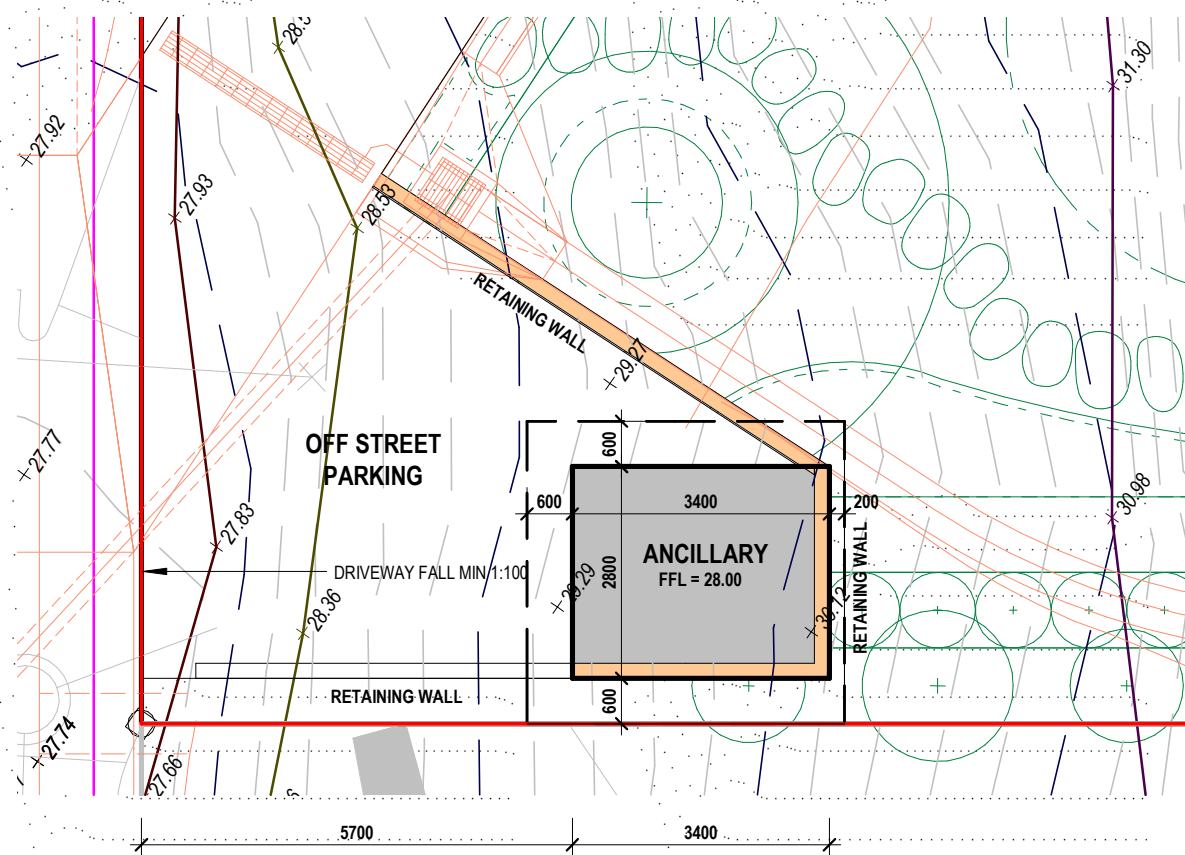
Project Name...
KIM & NEIL BIDDLE
LOT 113 MURPHY STREET PORT DOUGLAS

Drawing Title...
CROSS SECTION F

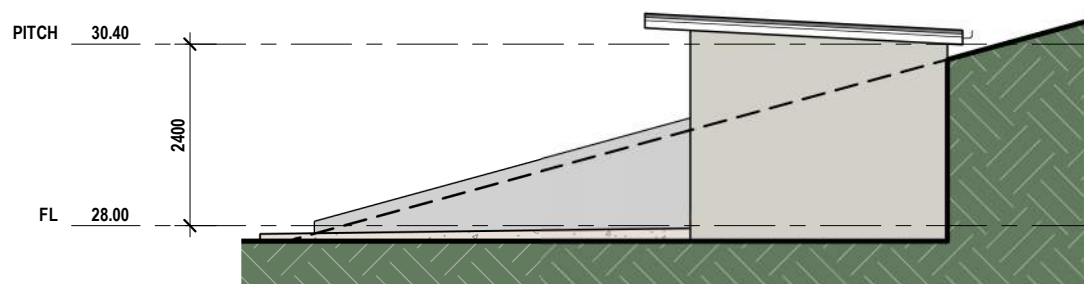
Designed by matt piromalli

Issue... W **Job #...** 231921

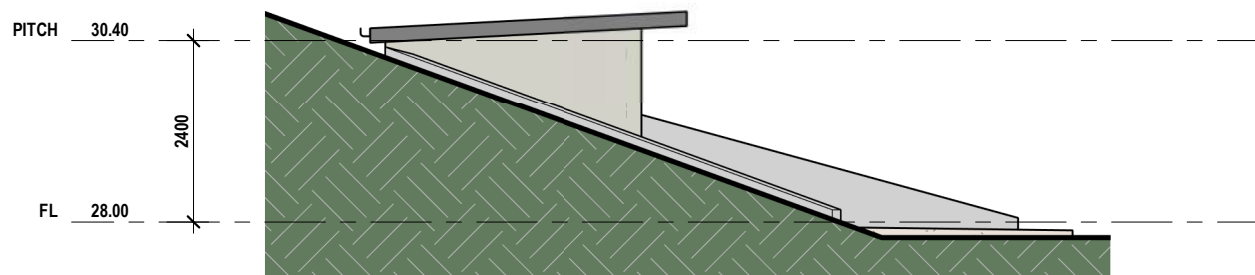
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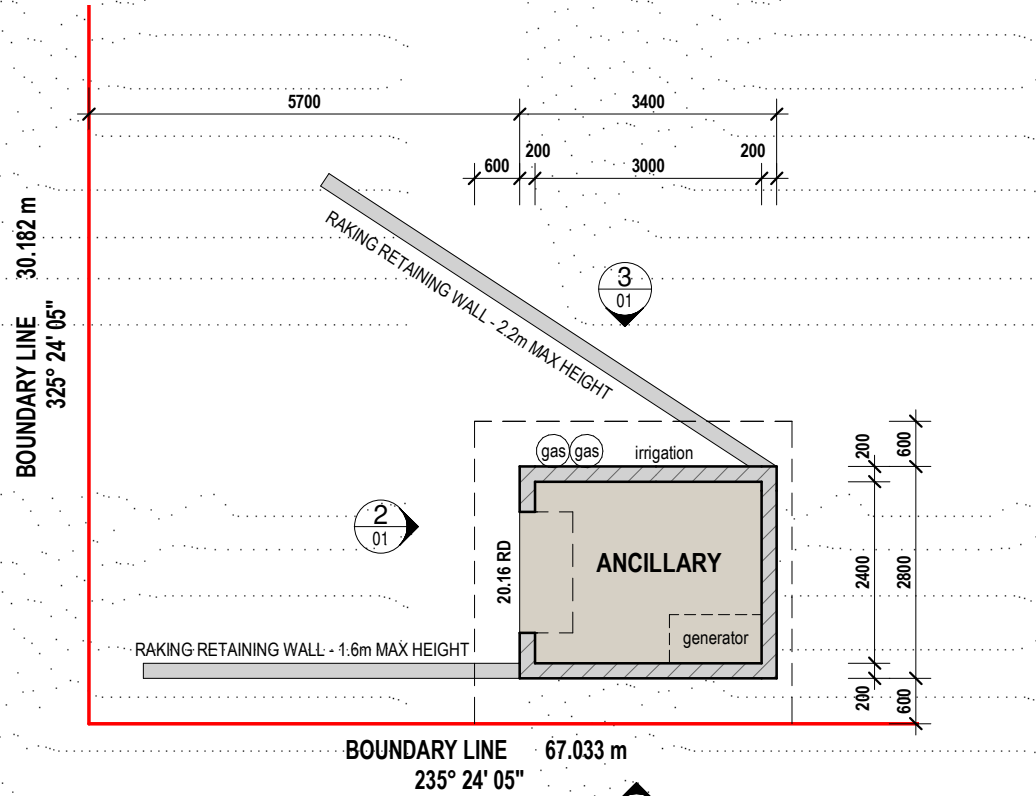
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a-02 **SITE**
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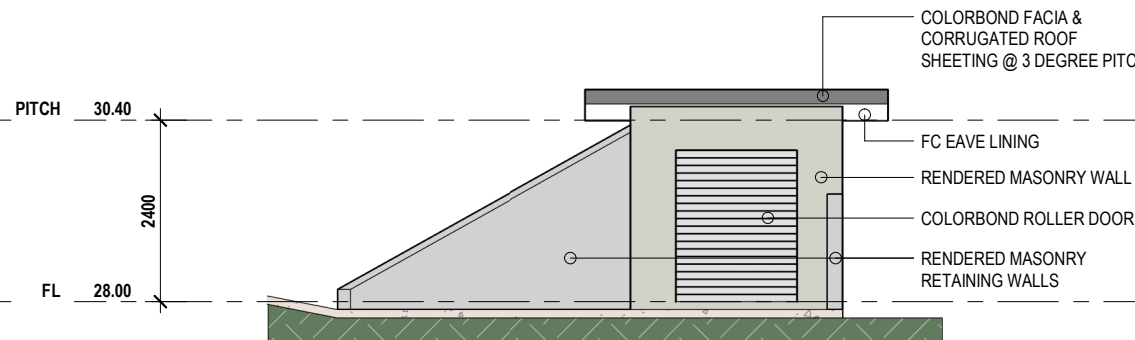
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01 **ELEV 1**
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3
01 **ELEV 3**
SCALE 1 : 100 ON A3



B
01 **FLOOR PLAN**
SCALE 1 : 100 ON A3



2
01 **ELEV 2**
SCALE 1 : 100 ON A3

THIS PAGE IS FOR ARCHITECTURAL REFERENCE ONLY.
STRUCTURAL INFORMATION ON PAGES THAT ARE SIGNED BY
THE CERTIFYING ENGINEER ARE TO TAKE PRECEDENCE OVER
ANY STRUCTURAL INFORMATION PROVIDED ON THIS PAGE.

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bálay Vandyke
BUILDING DESIGN

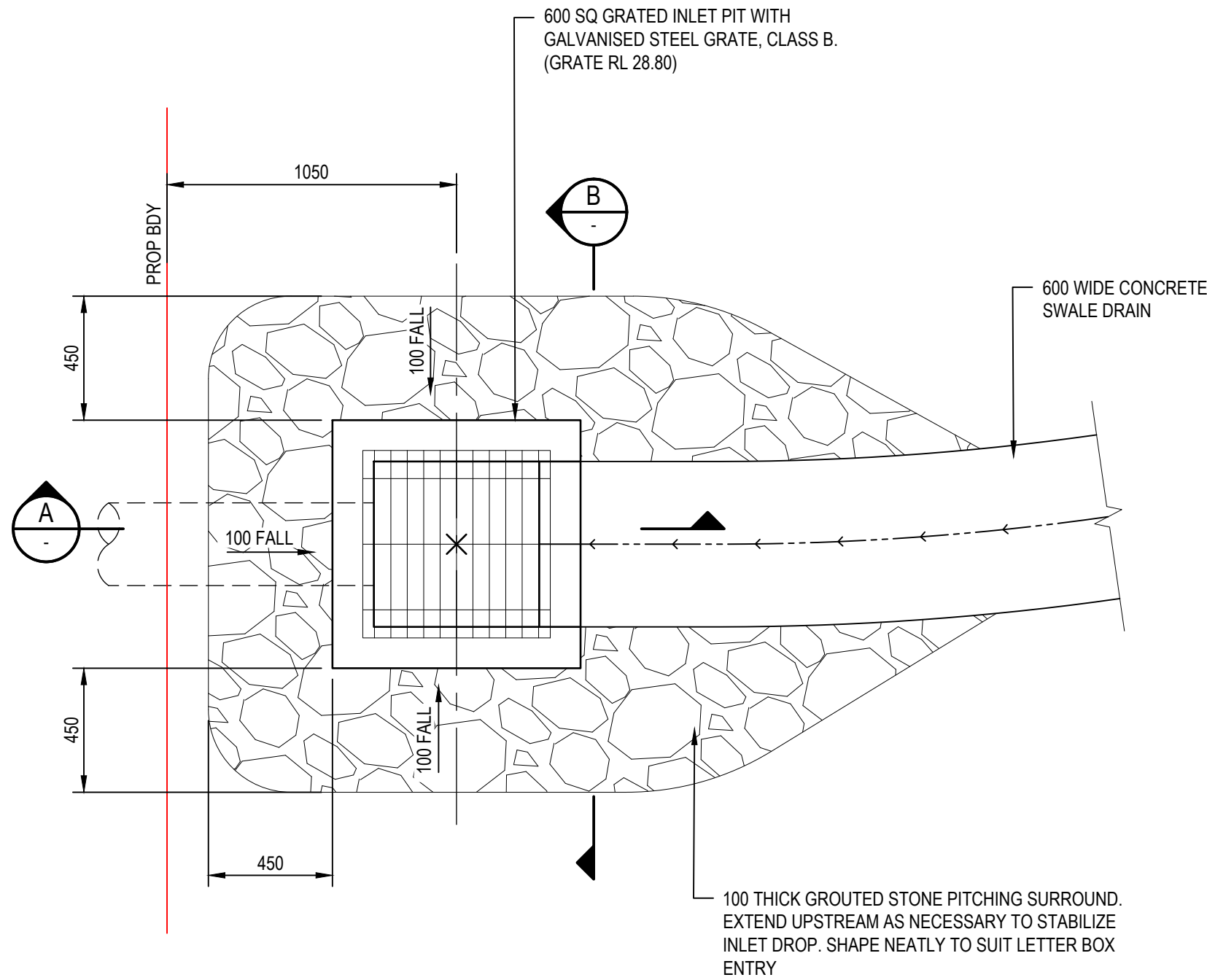
PH: 4051 8228 www.balay.com.au 6 / 175 Bunda Street CAIRNS QLD 4870 QBCC 15065698

1. ALL DESIGN, CONSTRUCTION METHODS AND MATERIALS
TO BE IN ACCORDANCE WITH: THE BUILDING CODE OF
AUSTRALIA (BCA), THE QUEENSLAND DEVELOPMENT CODE
(QDC), BUILDING REGULATIONS, CURRENT ISSUES OF
AUSTRALIAN STANDARDS MANUFACTURERS SPECIFICATIONS
AND INSTALLATION DETAILS FOR MATERIALS USED.
2. ALL PLANS ARE TO BE READ IN CONJUNCTION WITH THE
CONSTRUCTION NOTES PROVIDED IN THIS SET OF DRAWINGS.
3. REFER TO BUILDERS SPECIFICATION WHERE A FINISH OR
BUILDING COMPONENT HAS NOT BEEN NOMINATED WITHIN THE
DOCUMENTATION PREPARED BY THIS OFFICE. THIS SET OF
DRAWINGS AND ALL ACCOMPANYING DOCUMENTATION TO TAKE
PRECEDENCE OVER INCLUSIONS NOMINATED IN BUILDERS SPEC.

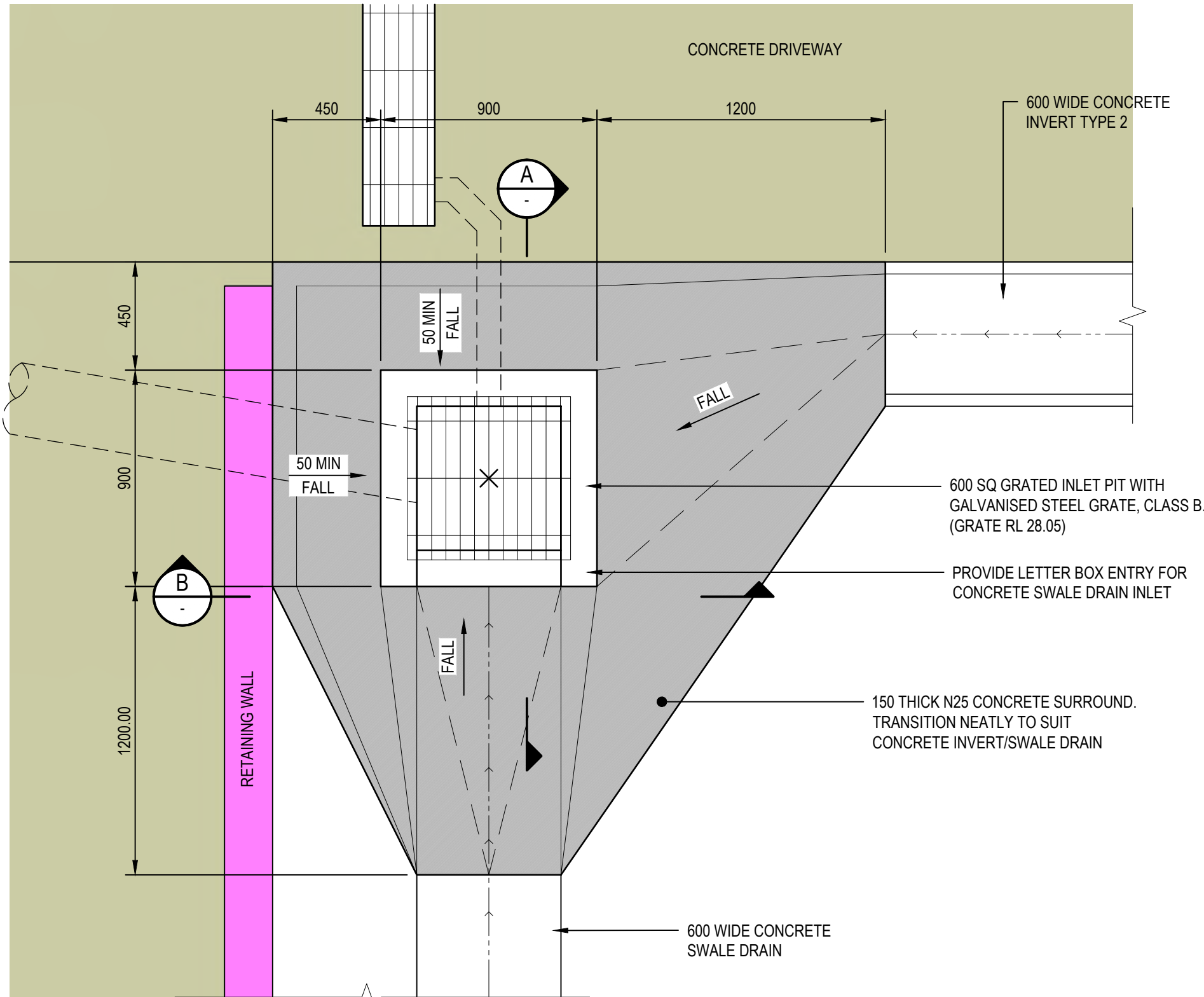
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ONLY FIGURED DIMENSIONS SHALL BE USED.
ANY DISCREPANCIES MUST BE REFERRED TO THIS OFFICE
OTHERWISE NO RESPONSIBILITY WILL BE TAKEN BY
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5. ALL DIMENSIONS SHALL BE CHECKED ON SITE PRIOR TO
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#	DATE	DESCRIPTION
M	13/05/25	ANCILLARY DESIGN DRAWINGS
FILE PATH	D:\balay Vandyke\balay Vandyke\231921-Cullen Biddlec Drawings & Specifications\1 Drawings - Current\231921-Y.rvt	

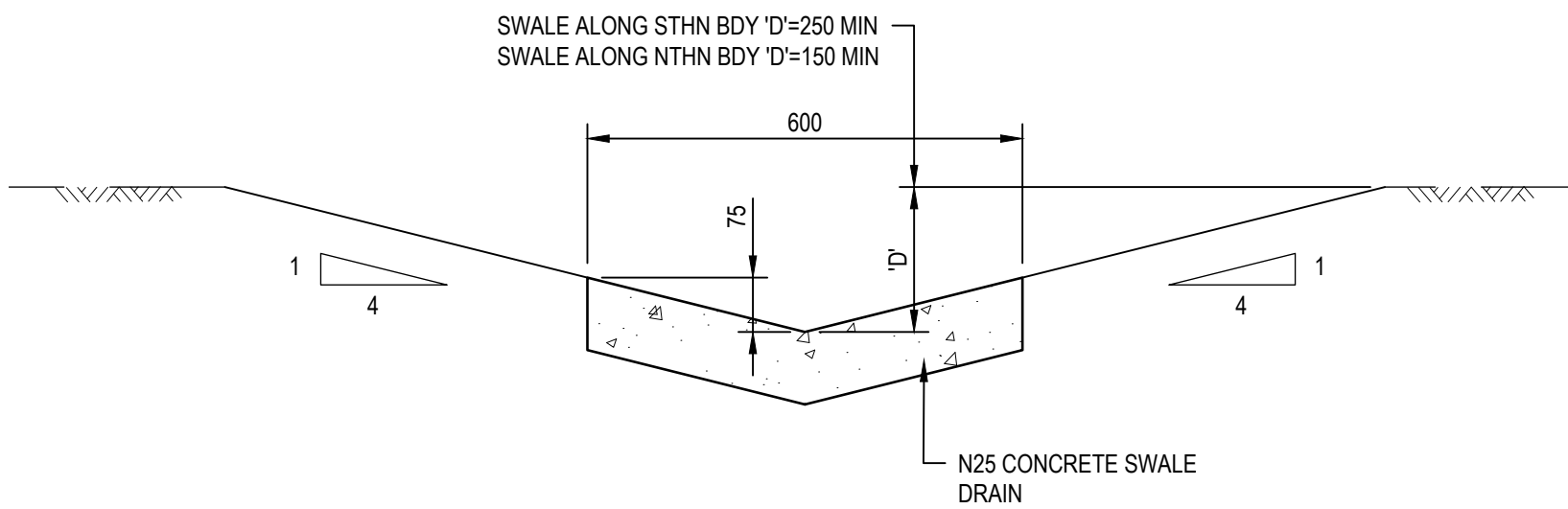
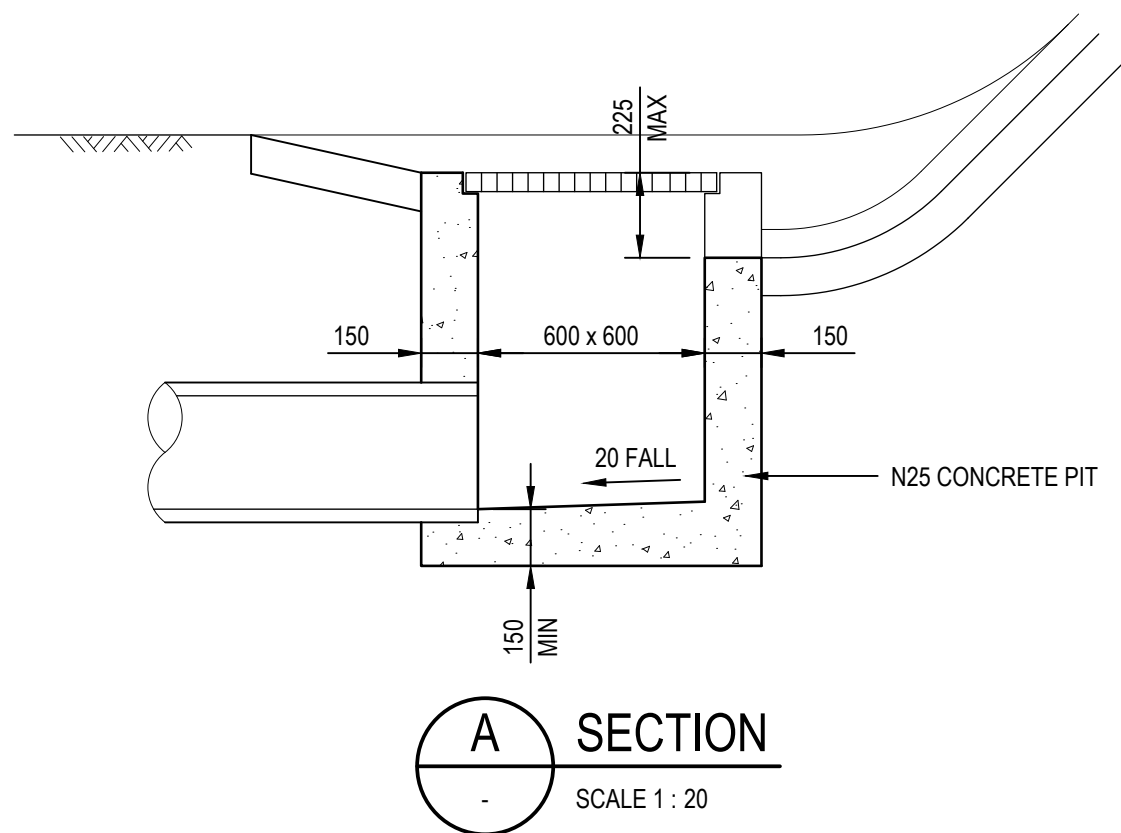
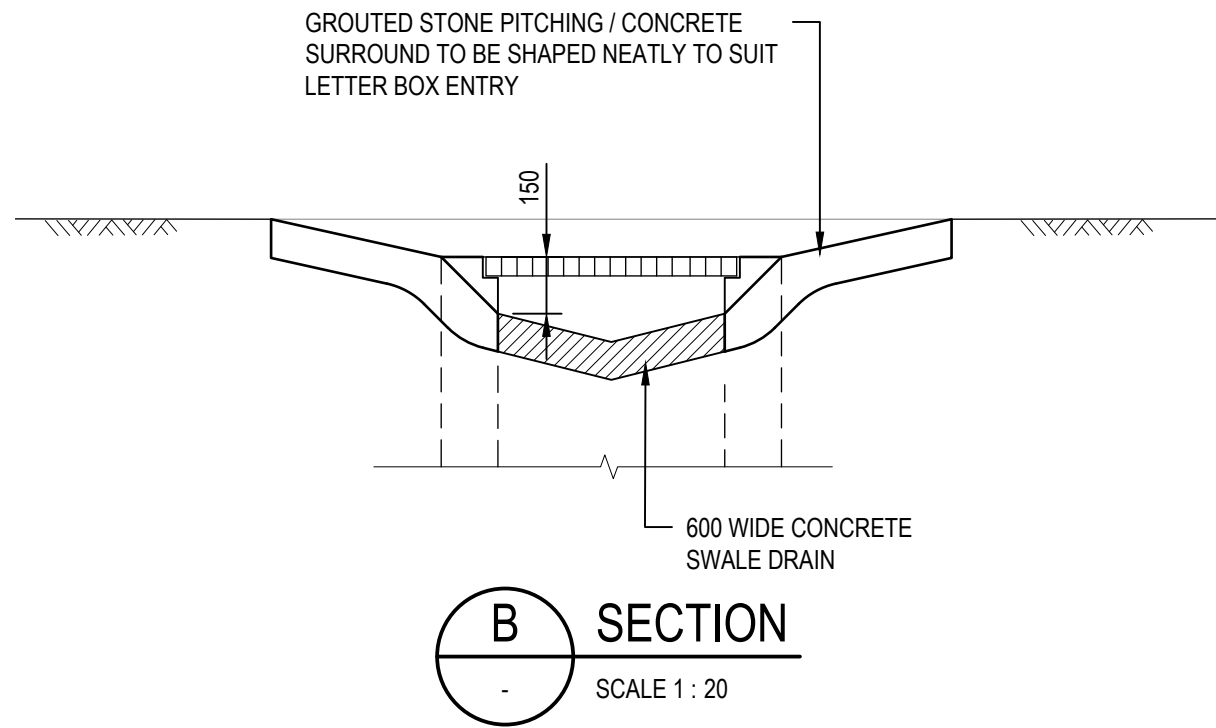
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LOT 113 MURPHY STREET PORT DOUGLAS		DATE 13/05/2025 10:43:49 AM	# PAGES 01
KIM & NEIL BIDDLE		PRELIMINARY ONLY	



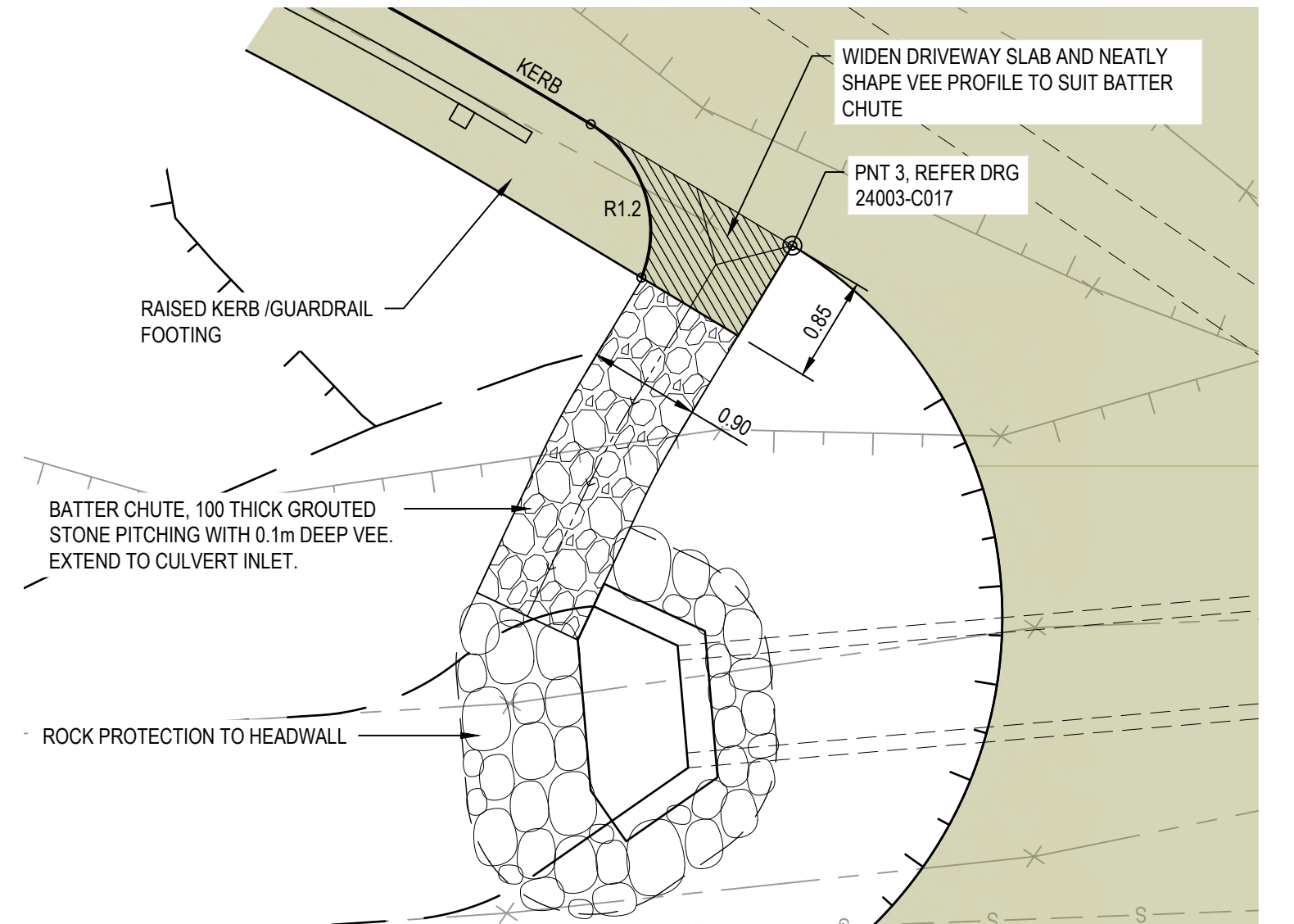
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SCALE 1:20



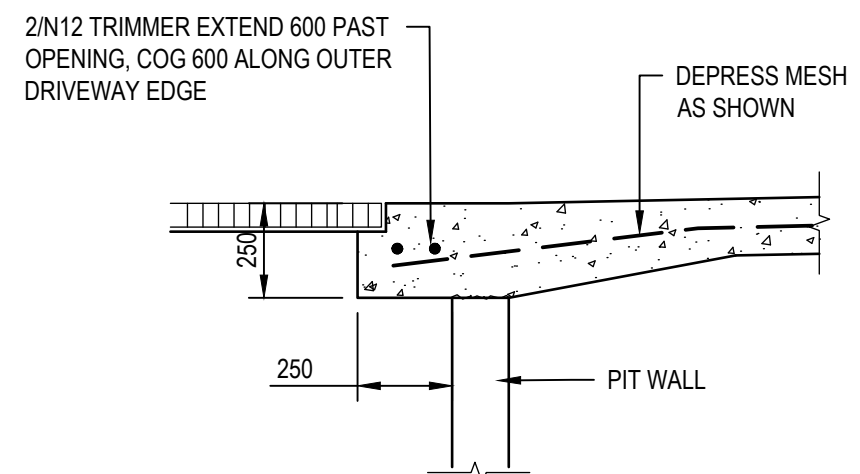
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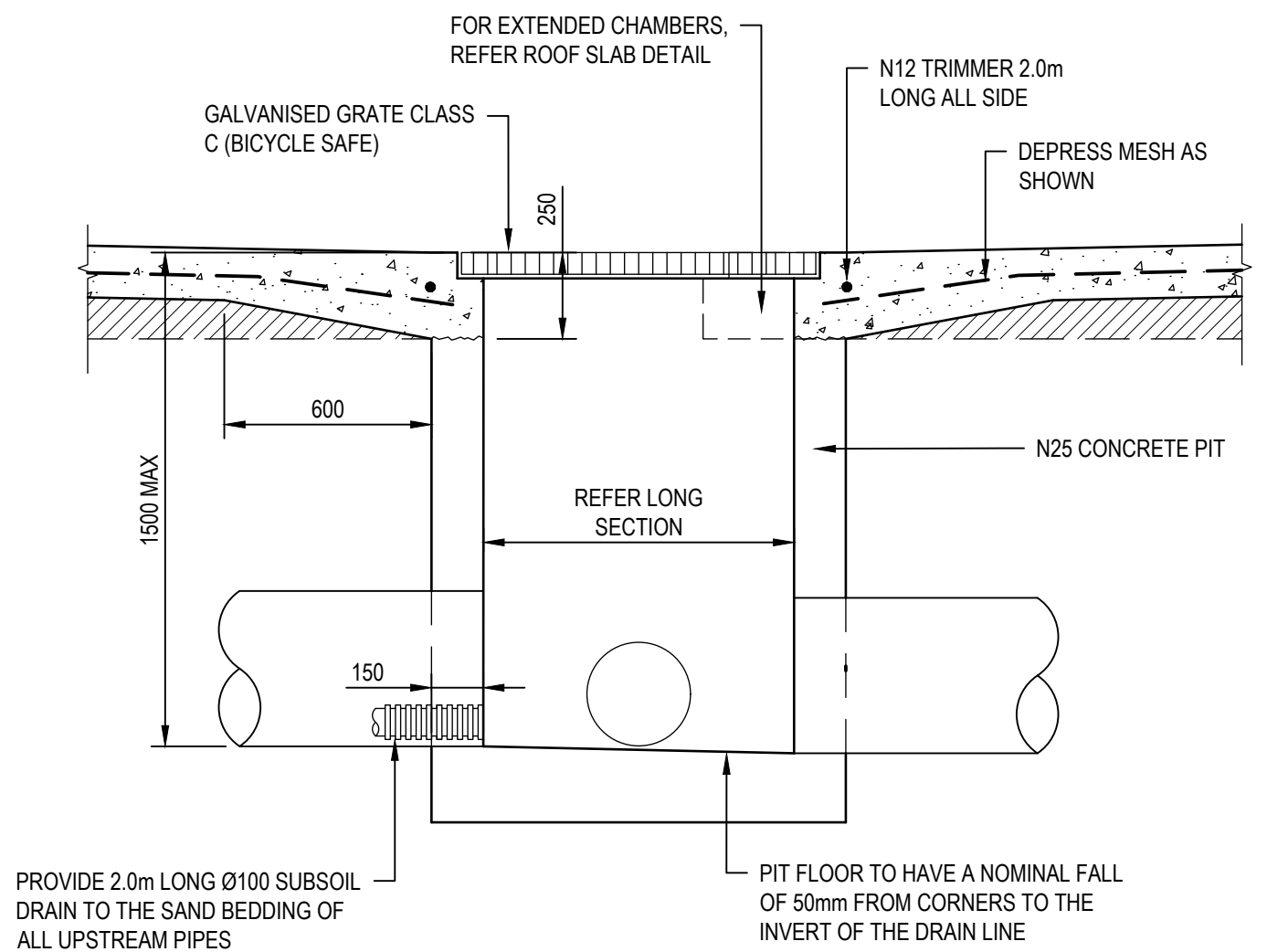
CONCRETE SWALE DRAIN
SCALE 1:10



BATTER CHUTE
SCALE 1:50



GRATED INLET PIT ROOF SLAB
SCALE 1:20

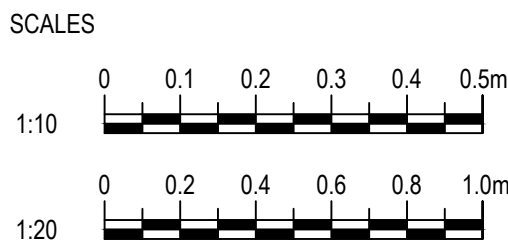


DRIVEWAY GRATED INLET PIT
SCALE 1:20

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B	ISSUED FOR APPROVAL	GB	GA	01/05/24
A	PRELIMINARY ISSUE	GB	GA	13/03/24
REV	DESCRIPTION	DRN	APP	DATE
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CLIENT

KIM CULLEN & NEIL BIDDLE

DESIGNED
G. BROWNING

DRAWN
G. BROWNING

CHECKED
G. APPLIN

PROJECT

CULLEN-BIDDLE RESIDENCE

12 MURPHY STREET (LOT 113 PTD2094)

TITLE

MISCELLANEOUS DETAILS

STATUS

FOR CONSTRUCTION

SCALE (AT FULL SIZE)
AS SHOWN

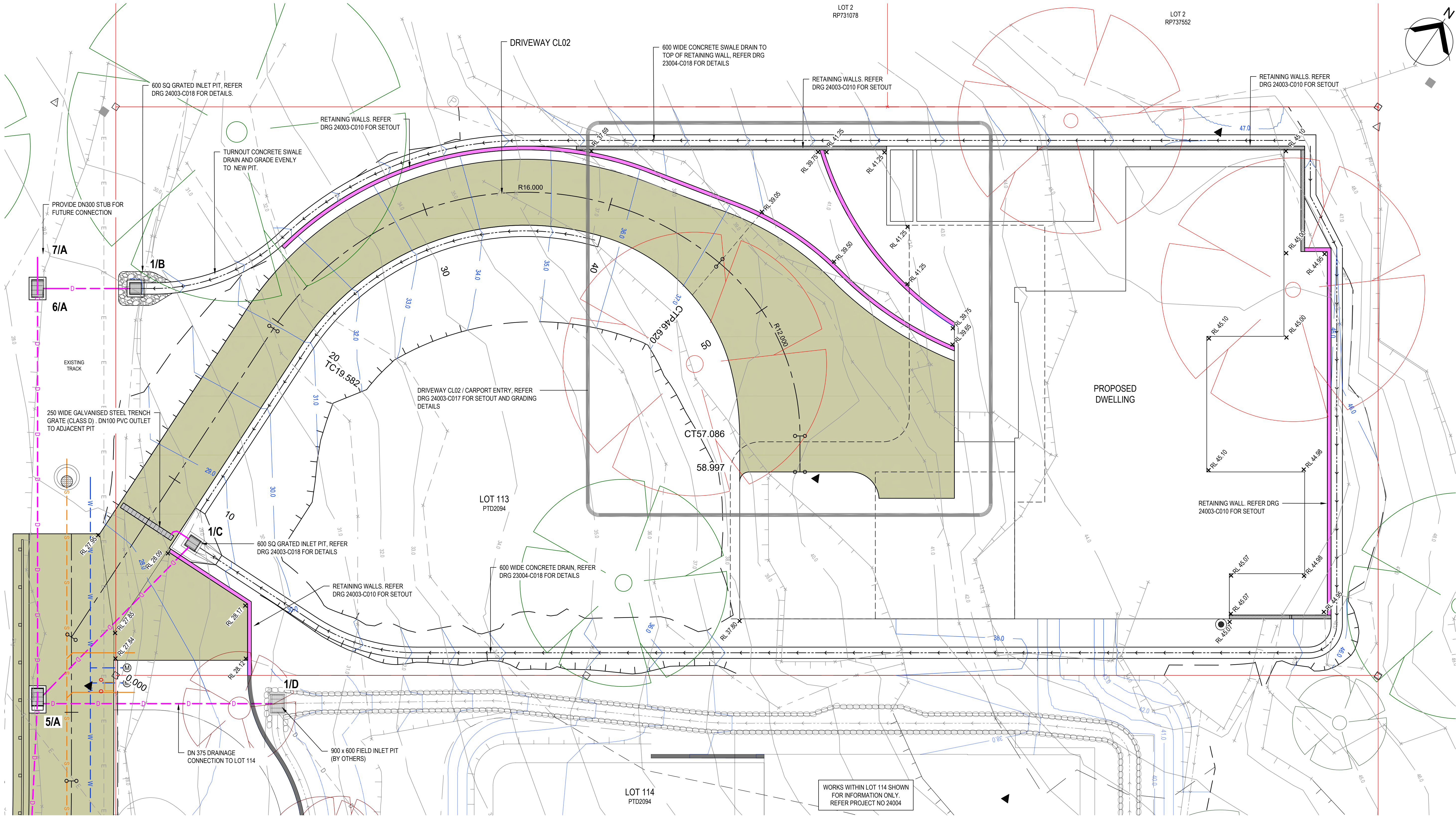
SIZE
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DRAWING NUMBER

24003-C018

REVISION

C



PLAN
SCALE 1:100

NOTES

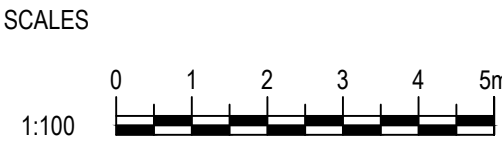
- REFER DRG 24003-C002 FOR STANDARD NOTES AND LEGENDS.
- REFER DRG 24003-C014 FOR DRIVEWAY LONGITUDINAL SECTION AND TYPE SECTION.
- REFER DRG 24003-C016 FOR DRIVEWAY CROSS SECTIONS.
- A 3D DIGITAL TERRAIN MODEL TO BE PROVIDED TO THE CONTRACTOR PRIOR TO CONSTRUCTION.



C	CONSTRUCTION ISSUE	GB	GA	25/06/24
B	ISSUED FOR APPROVAL	GB	GA	01/05/24
A	PRELIMINARY ISSUE	GB	GA	13/03/24
REV	DESCRIPTION	DRN	APP	DATE
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DRAWN
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PROJECT
CULLEN-BIDDLE RESIDENCE
12 MURPHY STREET (LOT 113 PTD2094)

TITLE
GENERAL ARRANGEMENT PLAN
SHEET 2 OF 2

STATUS
FOR CONSTRUCTION

SCALE (AT FULL SIZE)
1:100

DRAWING NUMBER
24003-C005

REVISION
C

1. Pool Deck

The proposed deck adjacent to the pool aims to provide a safe trafficable area around the pool, enhance privacy by providing visual separation from adjoining properties, and contribute to mature gardens that are sympathetic to the natural environment of Flagstaff Hill. The goal of this property has always been to elegantly meld with the landscape. This proposed deck increases aesthetic appeal for the clients and neighbours alike by leaving a natural structure on show rather than a concrete wall.

A previously approved swale drain runs adjacent to the pool retaining wall (civil drawings C005 and C018 included in the drawing pack). This swale drain is 600mm wide and is within the two-metre vegetation buffer along the boundary. This swale drain reduces the plantable buffer to 1450mm. The proposed deck is small, light weight and will sit directly above the swale drain, thus maintaining the available 1450mm for visual screening. Additionally:

- The deck will enhance spatial separation by introducing depth and shadow to the boundary screening. A marked improvement over a rendered concrete wall. Available planting space is not lost and the final product is a more effective visual buffer.
- Mature plants will specifically be purchased for this area in line with the landscape plan. With a minimal establishment period visual separation will be immediate
- Using natural timbers is in keeping with the intent of the vegetation buffer. The deck will be light weight and unobtrusive, designed to disappear into its environment when viewed on either side. It will not be visually dominate over the surrounding planting and add to the natural character of the area over the existing pool retaining wall
- The deck is not out of character with the development immediately adjacent nor the wider community. It does not compromise the visual privacy for neighbouring land.

This deck creates a safer and more useable pool area for the dwelling at 12 Murphy St. whilst at first glance it may appear to encroach on the two-metre vegetation buffer, this was already done by the swale drain. The proposed deck enhances the aesthetic appeal of 12 Murphy St by breaking up a concrete wall and covering the concrete swale drain. With mature plants it will integrate well with the natural and built environment around it, and is consistent with PO2 of the Environmental Management Code and local community expectations.

2. Ancillary Shed

The proposed structure is modest, non-habitable, and intended for ancillary use only. It will be fitted out with an emergency power generator, provide a safe location for delivery and storage of LPG gas bottles and provide a dry space for electrical infrastructure (irrigation controllers, gate motor, Etc.). Alternative locations for this infrastructure are limited because of the sites sloping topography. Having safe road access to the shed has been a main driver in location selection. The points below demonstrate that PO2 of the Environmental Management Zone Code has been considered in the design and proposal of this building:

- Whilst the shed is using space designated for a car park there is still room to park a large 4x4 vehicle without impeding traffic on the shared driveway or 12 Murphy St Driveway. The carpark conditions of the DA are still being met.
- Finishes will be consistent with the approved dwelling at 12 Murphy Street
- Landscaping at the side and rear of the building will obscure the roof from view from 12 and 14 Murphy Street dwellings.
- The LPG generator produces 65dB at full load (normal conversation noise). Housing the generator in a block shed will contain all operation noise. No sound pollution will reach Murphy Street or surrounding dwellings.
- 14 Murphy Street has electrical infrastructure (green box and auxiliary switch board) on the boundary adjacent to the proposed shed. The landscape and infrastructure design of 14 Murphy Street has changed significantly since the DA approval of 12 Murphy Street. The currently approved retaining wall will not screen these changes from the viewpoint of 12 Murphy Street. The proposed shed will obscure this infrastructure for 12 Murphy Street and any future development on Lot 2 of RP731078.

This proposed ancillary shed increases the function of the new dwelling at 12 Murphy Street while remaining sympathetic to the natural character of the area. Every effort will be made to obscure concrete walls and structures with landscaping, potential noise pollution has been addressed, and the building will not be overbearing in its environment, it will compliment and enhance the retaining walls around it.