



Town Planning and Project Services

29 July 2026

Chief Executive Officer
Douglas Shire Council
64-66 Front Street
MOSSMAN QLD 4873

Via email: enquiries@douglas.qld.gov.au

RE: MINOR CHANGE TO DEVELOPMENT APPLICATION FOR BUILDING WORK ASSESSABLE AGAINST THE PLANNING SCHEME OVER LAND AT 10-12 O'CALLAGHAN CLOSE, MIALLO (LOT 23 ON RP849655)

Background

Aspire Town Planning and Project Services has been engaged by Casey Jakobs and Ellie Cadwell, the Land Owners of 10-12 O'Callaghan Close, Miallo, more formally described as Lot 23 on RP849655.

Reference is made to the Development Application lodged with Douglas Shire Council on 20 July 2026, seeking a Development Permit for Building Work Assessable Against the Planning Scheme associated with alterations and additions to the existing Dwelling House on the land. The application is subject to assessment under the Douglas Shire Planning Scheme 2018 version 1.0.

Following lodgement of the application, it was identified that an existing domestic Shed constructed on the property in 2023 had not obtained the necessary planning approval for Building Work Assessable Against the Planning Scheme. It is understood that the Shed was granted Building Approval and subsequently issued with a Final Certificate; however, the separate requirement for assessment against the applicable provisions of the planning scheme was not addressed at that time.

The Applicants now seek to regularise the planning status of the Shed by incorporating it into the scope of the current Development Application. This will allow Council to assess the existing Shed concurrently with the proposed alterations and additions to the Dwelling House and ensure that all relevant Building Work on the site is appropriately authorised.

Proposed Change to the Development Application

In accordance with section 52 of the *Planning Act 2016*, this addendum constitutes written notice of a change to the Development Application prior to its determination by Council.

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ABN. 79 851 193 691

The proposed change seeks to amend the scope of the application to include the existing domestic Shed. Accordingly, the development description is proposed to be amended to:

Development Permit for Building Work Assessable Against the Planning Scheme associated with alterations and additions to an existing Dwelling House and an existing Domestic Outbuilding (Shed).

No physical alteration to the shed is proposed as part of this change. Rather, the change is administrative and assessment-related, enabling the existing structure to be assessed against the relevant planning scheme requirements.

Minor Change Assessment

Schedule 2 of the *Planning Act 2016* defines a Minor Change to a Development Application as a change that:

1. does not result in substantially different development; and
2. if the application, including the change, were made when the change is made, would not cause:
 - a. prohibited development to be included in the application;
 - b. referral to a referral agency where the original application had no referral agencies;
 - c. referral to an additional referral agency;
 - d. a referral agency to assess the application against, or have regard to, additional matters; or
 - e. public notification where public notification was not previously required.

The proposed change satisfies these requirements. The inclusion of the existing Shed does not involve prohibited development and does not generate any new or additional referral trigger. It also does not alter the level of assessment applicable to the application or introduce a requirement for public notification.

Section 52(3) of the *Planning Act 2016* provides that, where a change is a Minor Change, it does not affect the development assessment process. It is therefore submitted that the current assessment process may continue without restarting any completed part of the process.

Substantially Different Development

Schedule 1 of the Development Assessment Rules identifies matters that may indicate that a change would result in substantially different development. The proposed change has been considered against each of these matters as follows:

- a. New use: The change does not introduce a new use. The Shed is a domestic outbuilding ancillary to the existing Dwelling House and is used solely for domestic residential purposes.
- b. New parcel of land: The change does not result in the application applying to any additional parcel of land. All development remains wholly contained within Lot 23 on RP849655.
- c. Scale, bulk and appearance: The change does not dramatically alter the built form of the development in terms of scale, bulk or appearance. The Shed is an existing structure that has been present on the property since 2023. Its inclusion in the application therefore does not result in any physical change to the established appearance of the site. The Shed is also appropriately separated from the property boundaries and presents as a conventional domestic outbuilding consistent with the residential use of the land.
- d. Operation of the development: The change does not affect the ability of the development to operate as intended. The site will continue to be used as a Dwelling House, with the Shed performing an ancillary domestic storage and outbuilding function.

- e. Removal of an integral component: The change does not remove or modify any component integral to the operation of the proposed development. It simply expands the scope of the application to include an existing ancillary structure.
- f. Traffic and transport impacts: The change will not increase traffic generation or materially affect traffic movements, vehicle access, parking or the operation of the surrounding road network. The Shed does not generate any independent traffic demand.
- g. New or increased impacts: The change does not introduce any new material impacts or increase the severity of any known impacts. As the Shed is already constructed, its inclusion in the application will not create any additional physical impacts upon the site or surrounding properties. The Shed is appropriately separated from adjoining boundaries and is not expected to result in any unreasonable overlooking, overshadowing, visual dominance or loss of residential amenity.
- h. Social impact assessment: The proposed development is not development prescribed under the *Planning Regulation 2017* as requiring social impact assessment. This consideration is therefore not applicable.
- i. Incentives or offsets: The change does not remove or alter any incentive, offset or other component intended to balance a negative impact associated with the development.
- j. Infrastructure provision: The change will not increase demand upon water supply, sewerage, stormwater, transport or other infrastructure networks. The Shed is ancillary to the existing residential use and does not create any additional servicing requirements.

Having regard to the individual circumstances of the development and the nature of the proposed change, the inclusion of the shed does not result in substantially different development.

Assessment Against the Planning Scheme

The existing Shed complies with the relevant assessment benchmarks of the Douglas Shire Planning Scheme 2018 version 1.0, including those relating to building setbacks, building height, scale and residential amenity.

The Shed is set back a minimum of approximately 8 metres from the eastern side boundary, as illustrated in Figure 1. This provides substantial physical separation from the adjoining property and ensures that the structure does not appear visually dominant when viewed from neighbouring land.

The Shed has a gutter height of approximately 5 metres and incorporates a roof pitch of 10 degrees, as illustrated in Figure 2. The low-pitched roof form limits the overall height and apparent bulk of the structure. Based on the submitted building dimensions, the Shed remains within the applicable maximum building height and presents as a domestic outbuilding of a scale compatible with the size and character of the property.

The location, height and design of the Shed ensure that it does not adversely affect the privacy, outlook, access to sunlight or general amenity of adjoining premises. Its siting also maintains sufficient separation from the property boundaries for access, maintenance and landscaping purposes.



Figure 1: Shed Minimum Setback (Source: QLDGlobe 2026)

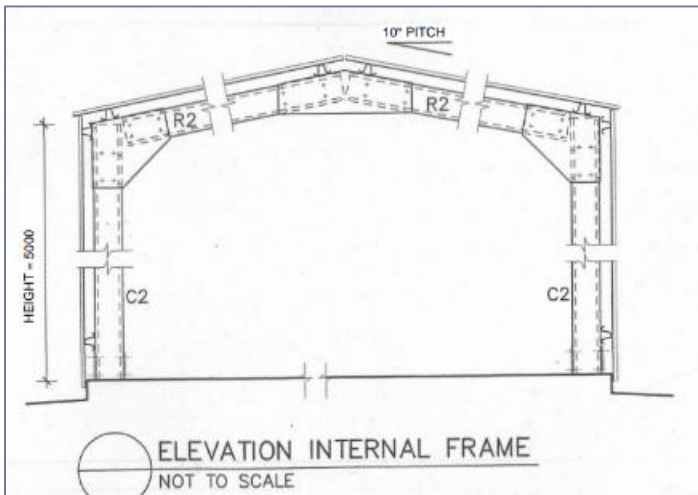


Figure 2: Shed Elevation (Extract from Approved Building Plans)

Conclusion

The proposed change is limited to incorporating an existing domestic Shed into the scope of the current Development Application so that the outstanding planning approval can be appropriately addressed.

The change:

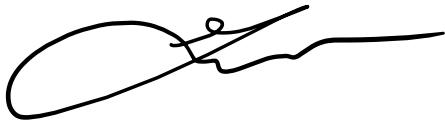
- does not introduce a new use or apply to additional land;
- does not dramatically alter the scale, bulk or appearance of the development;
- does not generate additional traffic, infrastructure demand or material amenity impacts;
- does not trigger referral to a new or additional referral agency;
- does not change the applicable level of assessment or require public notification; and

- does not result in substantially different development.

Accordingly, it is respectfully requested that Council accept the proposed change as a Minor Change under section 52 of the *Planning Act 2016* and continue its assessment of the Development Application with the existing domestic Shed included within its scope.

We appreciate your time in reviewing this application and trust the enclosed documentation provides sufficient information to support Council's assessment of the application. Should any further information or clarification be required, please contact the undersigned.

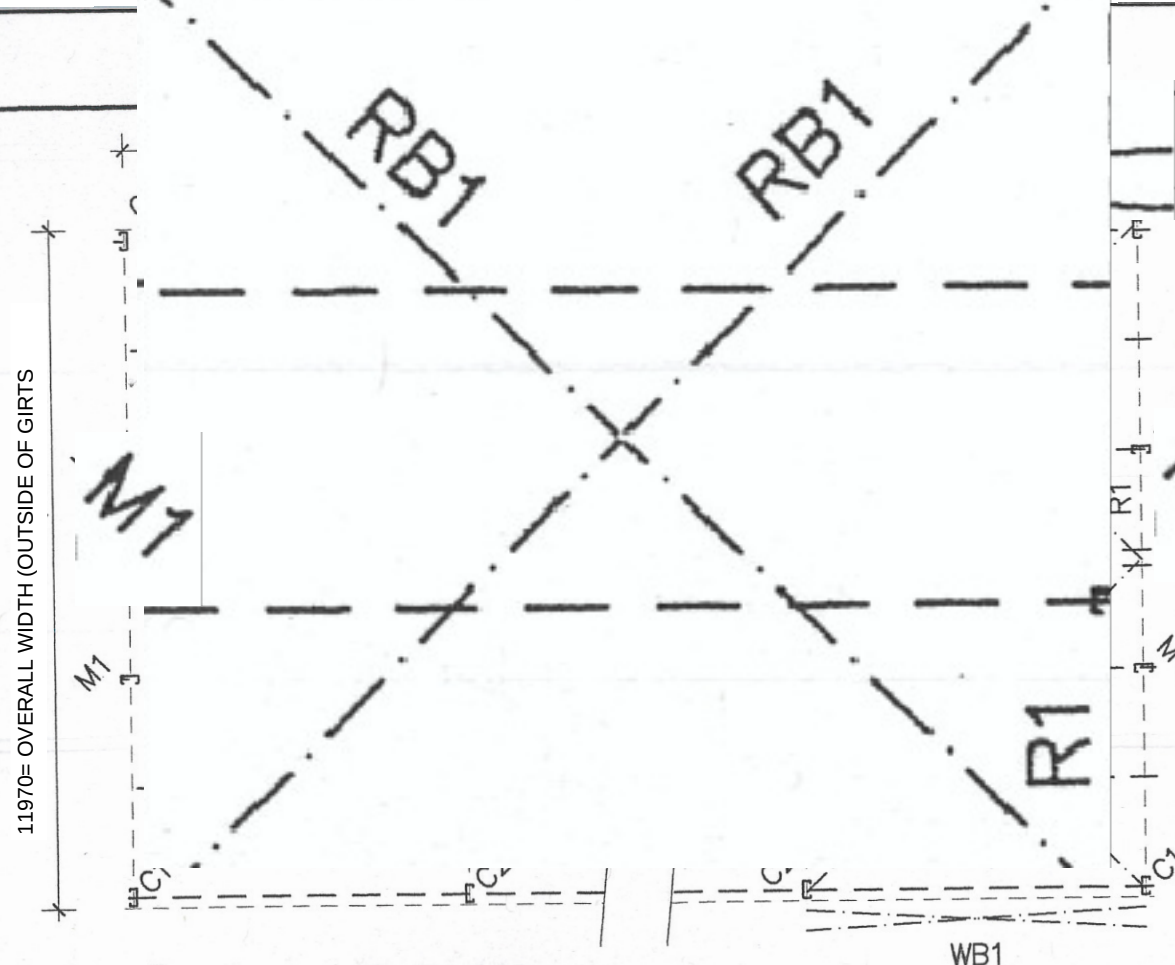
Regards,

A handwritten signature in black ink, consisting of a large, stylized loop followed by a horizontal line and a small flourish.

Daniel Favier
Senior Town Planner
ASPIRE Town Planning and Project Services

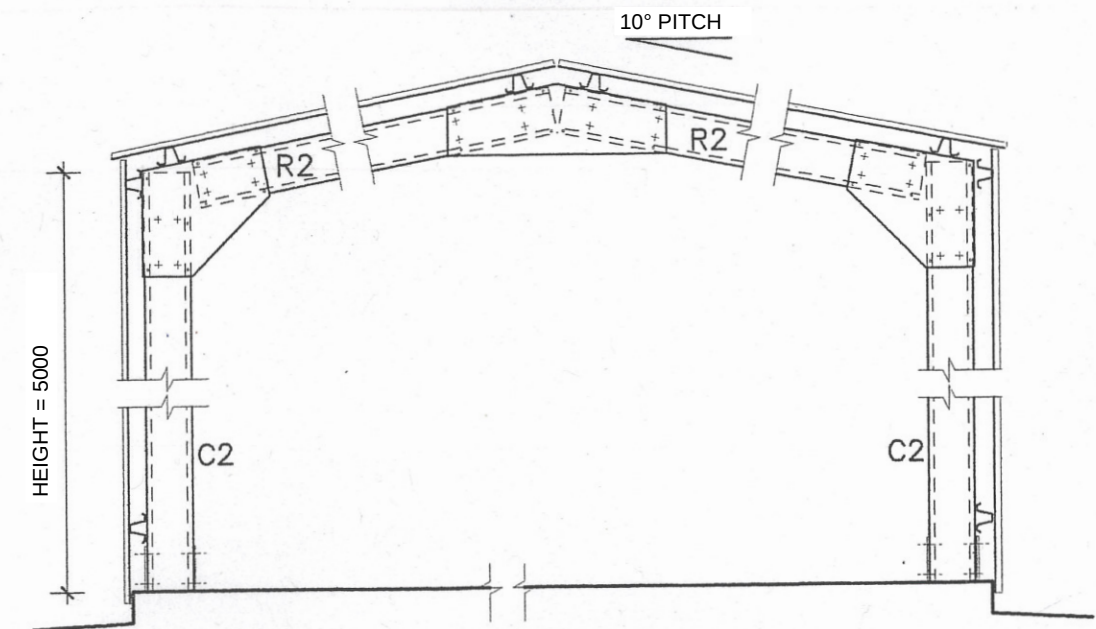
Attachment 1

Building Approval Plans



FRAMING PLAN
NOT TO SCALE.

FRONT WALL OPEN BAYS 1--5



ELEVATION INTERNAL FRAME
NOT TO SCALE

BS = BAY SPACING = 3.60 M
HT = HEIGHT = 5.00 M

MEMBER SCHEDULE *approvals*

C1	=	C25019
	=	C25019
	=	C25024 X2
	=	C25024 X2
	=	C20024
	=	50x1.2 GI STRAP
WB1	=	50x1.2 GI STRAP
PL1	=	METROLL 64x1.0
WG1	=	TOPSPAN BATTENS

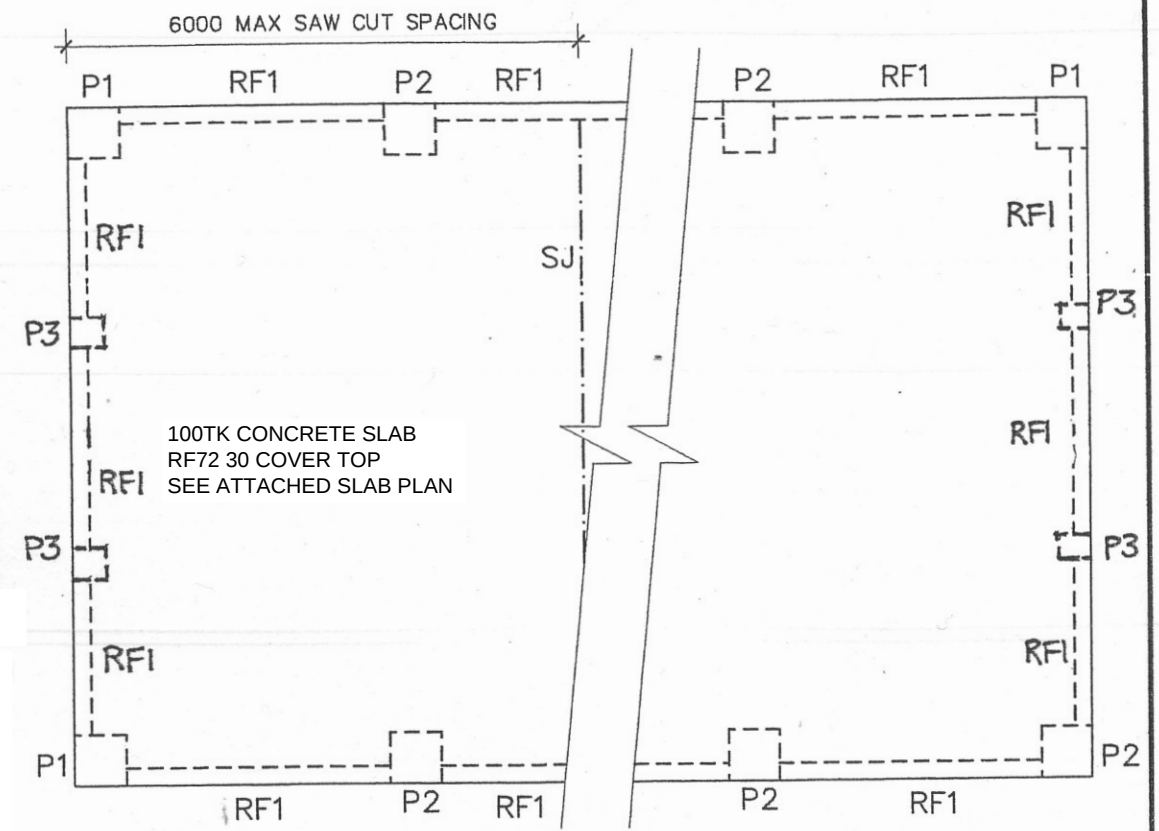
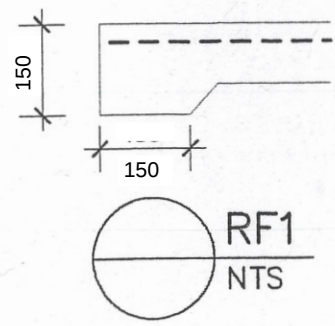
RB1 & WB1 = MIN 2x NO.14 TEK SCREWS
AT EACH END OF BRACING

P1 & P2 = 900x900x900 DEEP
MASS CONCRETE FOOTING

P3 = 300x300x300 DEEP
MASS CONCRETE FOOTING

RF1 = 150x150 SLAB EDGE
THICKENING

SJ = 25mm DEEP SAW CUT WITHIN
24 HRS OF PLACEMENT OF
CONCRETE



FOOTING PLAN
NOT TO SCALE

SITE PLAN
NOT TO SCALE

BASED ON "M" OR "S" CLASS SITE ONLY

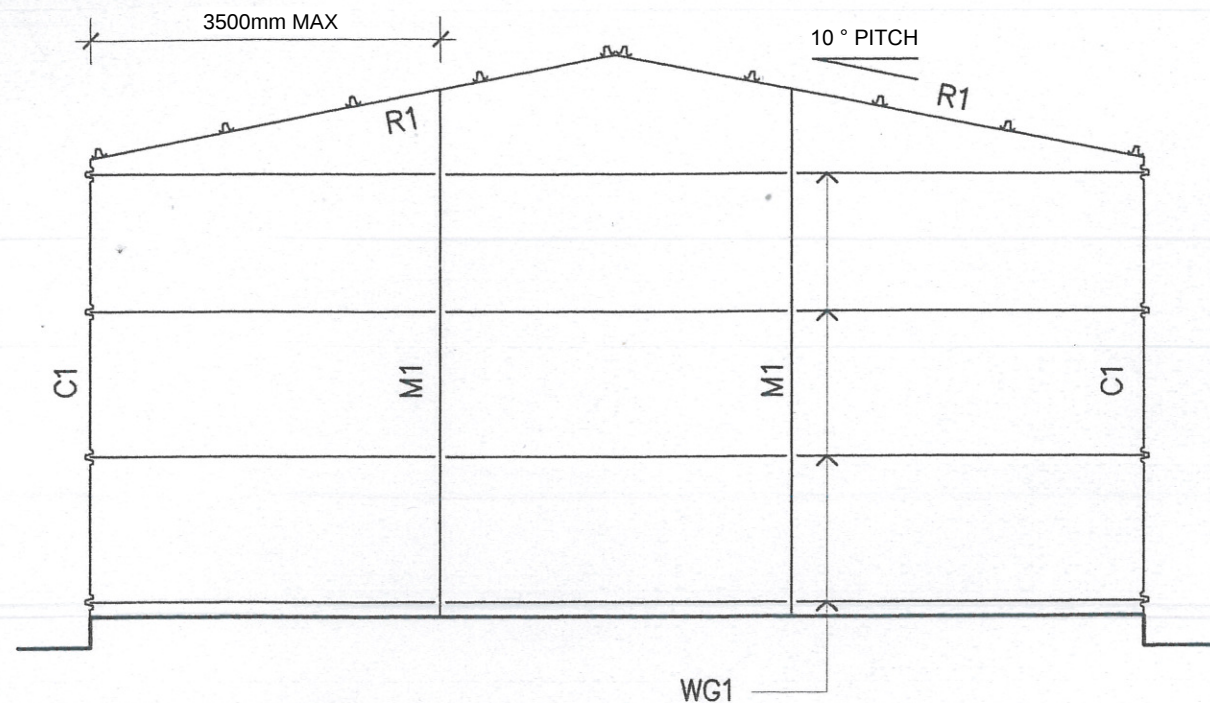
C.M.G. CONSULTING ENGINEERS PTY.LTD.
A.C.N. 011 065 375 STRUCTURAL AND CIVIL
208 Buchan Street CAIRNS, 4870. Phone: (07) 4031 2775
P.O. Box 5901 Cairns Mail Centre Fax: (07) 4051 9013

PROPOSED JNK SHED.
AT: 23 O'CALLAGAN CL, MIALLO 4873
FOR: CASEY JAKOBS

PLANS AND SECTION.

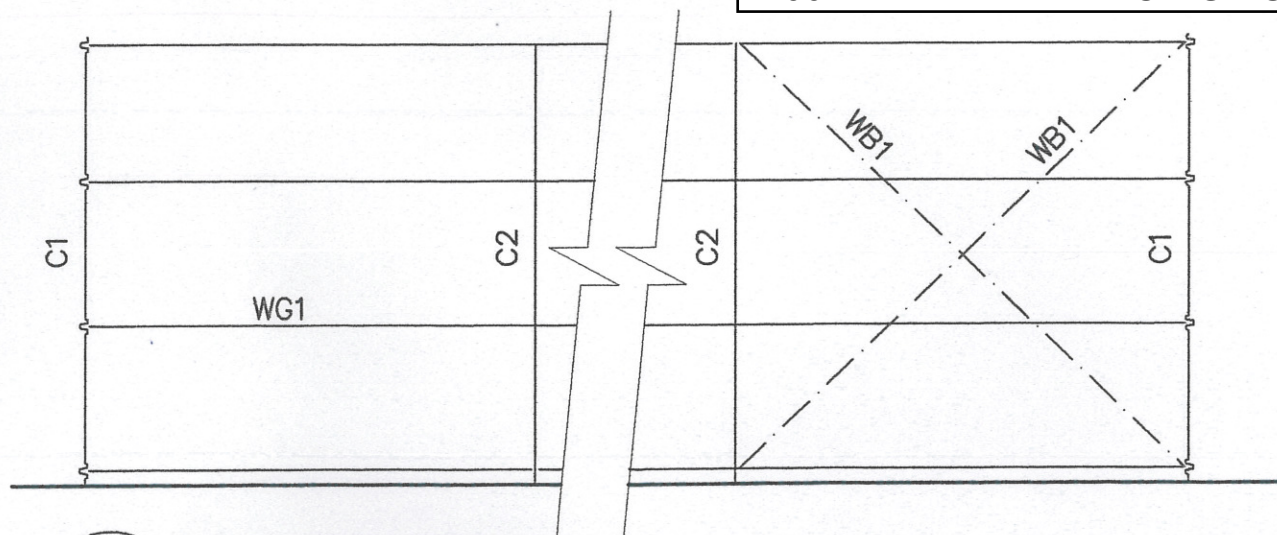
JOB REF: CNS2998

SCALE	HOR AS SHOWN	DRAWN	JD
		DESIGNED	CMG
DATE	1-2-23	CHECKED	CMG
APPROVED	<i>[Signature]</i>		
DWG NUMBER	45821-01	AMDT	A



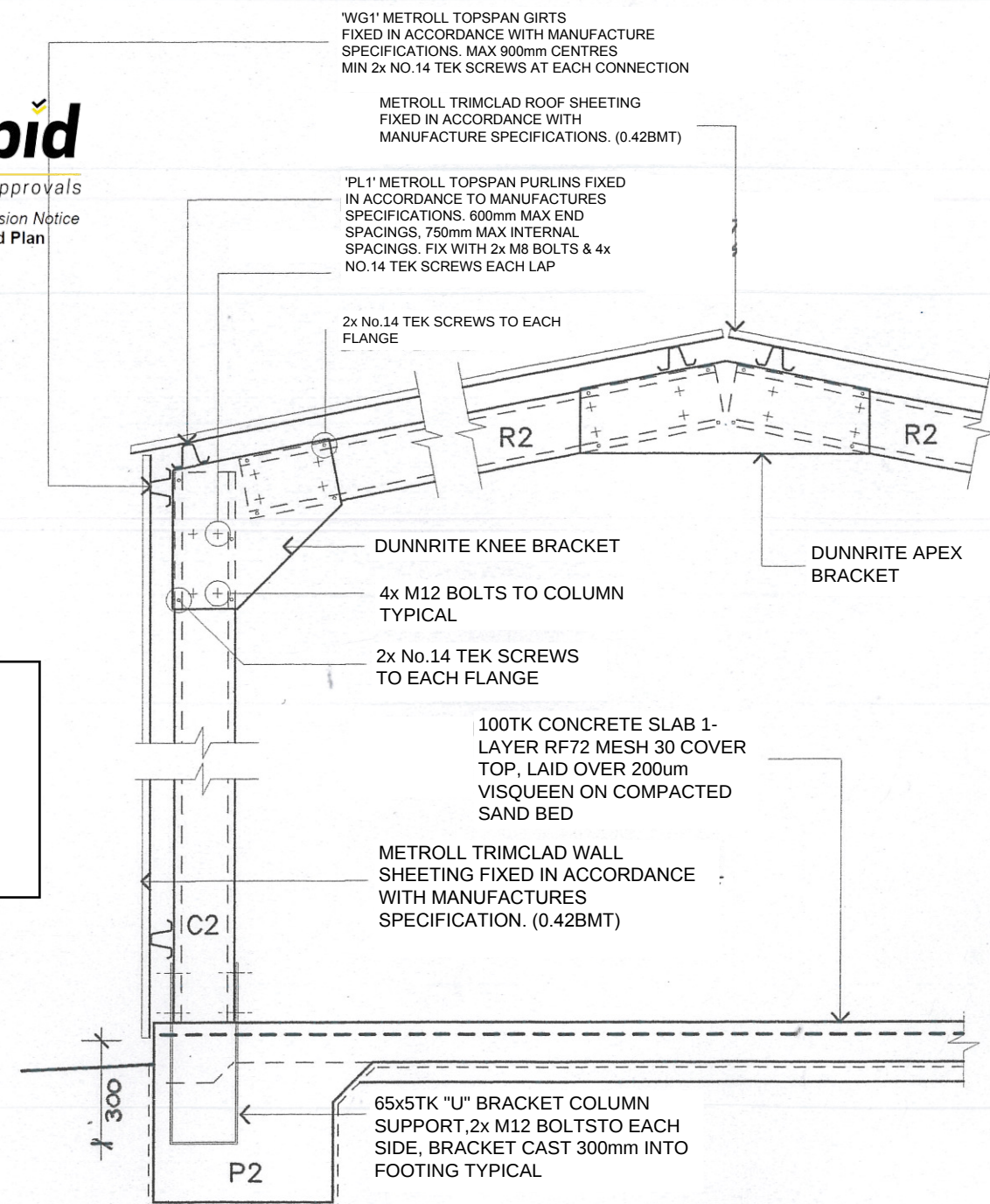
END ELEVATION
NOT TO SCALE

6 BAY SHED
5 BAYS 3.6M, 1 BAY 3.0M
BRACING IN BACK WALL, BAYS 1&6
BRACING FRONT WALL, BAY 6
ROOF BRACING IN BAYS 1&6
1400 TYPE KNEE BRACING TO MIDFRAMES



SIDE ELEVATION
NOT TO SCALE

Rapid
building approvals
Refer to Decision Notice
Approved Plan



SECTION
NOT TO SCALE

BASED ON "M" OR "S" CLASS SITE ONLY

C.M.G. CONSULTING ENGINEERS PTY.LTD.

A.C.N. 011 065 375 STRUCTURAL AND CIVIL

208 Buchan Street
CAIRNS, 4870.
Phone: (07) 4031 2775

P.O. Box 5901
Cairns Mail Centre
Fax: (07) 4051 9013

PROPOSED JNK SHED.

AT: 23 O'CALLAGAN CL, MIALLO 4873
FOR: CASEY JAKOBS

ELEVATIONS & SECTIONS.

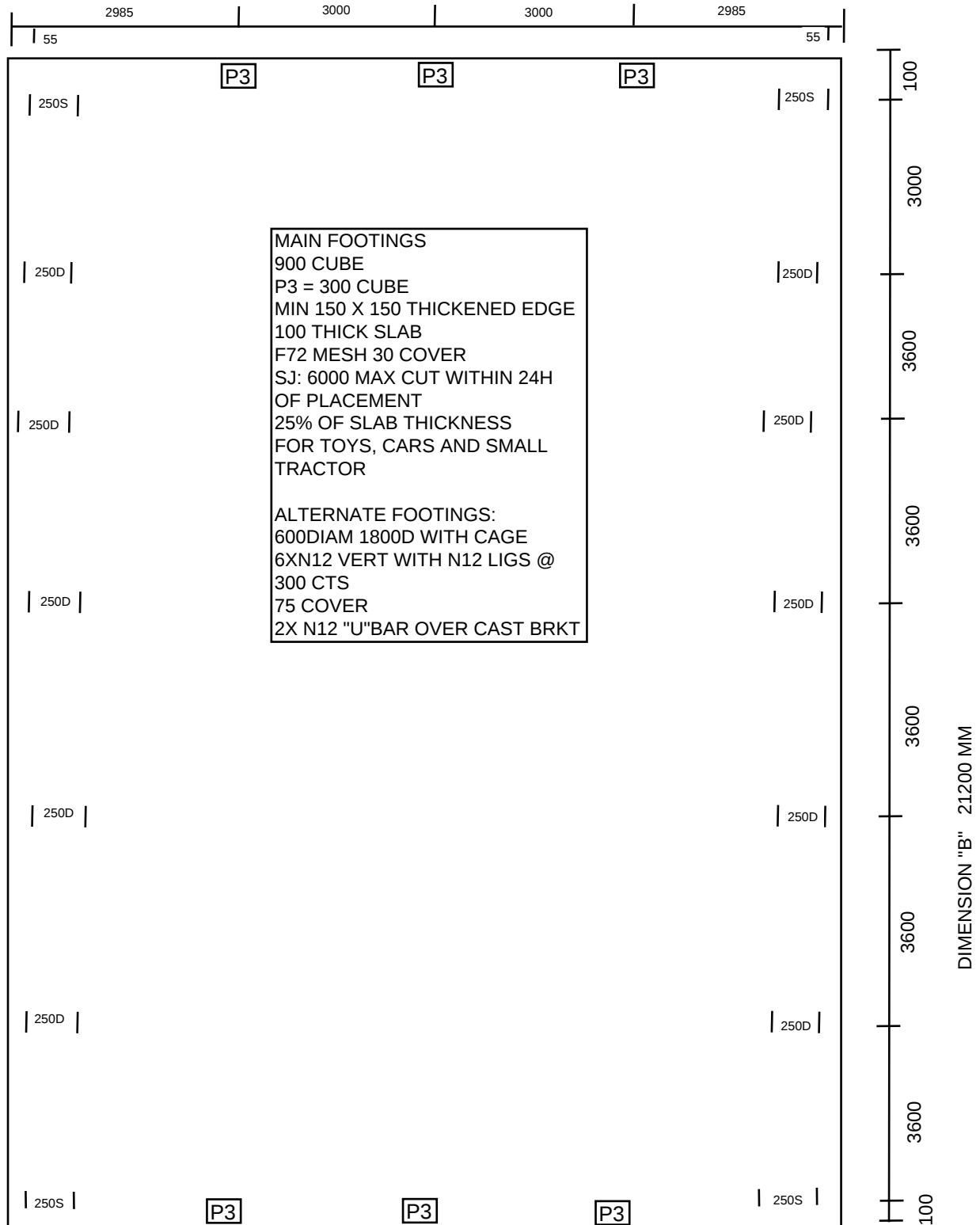
JOB REF: CNS2998

SCALE	HOR AS SHOWN	DRAWN	JD
		DESIGNED	CMG
DATE	1.2.23	CHECKED	CMG
APPROVED	<i>[Signature]</i>		
DWG NUMBER	45821-02	AMDT	A

SPAN				
CORRO	DIMENSION "A"	BAY SIZE	NO. OF BAYS	DIMENSION "B" LENGTH
12000	11970	3600	5	
		3000	1	21200
6 BAY SHED WITH 64 TOPHAT GIRT SLAB & BRACKET SET OUTS				
CLIENT: CASEY JAKOBS				
ADDRESS: 23 O'CALLAGAN CLOSE, MAILLO				
JOB REF: CNS2998				
CAST IN BRACKETS: 4 @ 250 SINGLES 10 @ 250 DOUBLES				

L. J. Panarcho
1.2.2018
45821-03

DIMENSION "A" = 11970



ALL BRACKETS TO FINISH 200MM ABOVE SURFACE OF SLAB

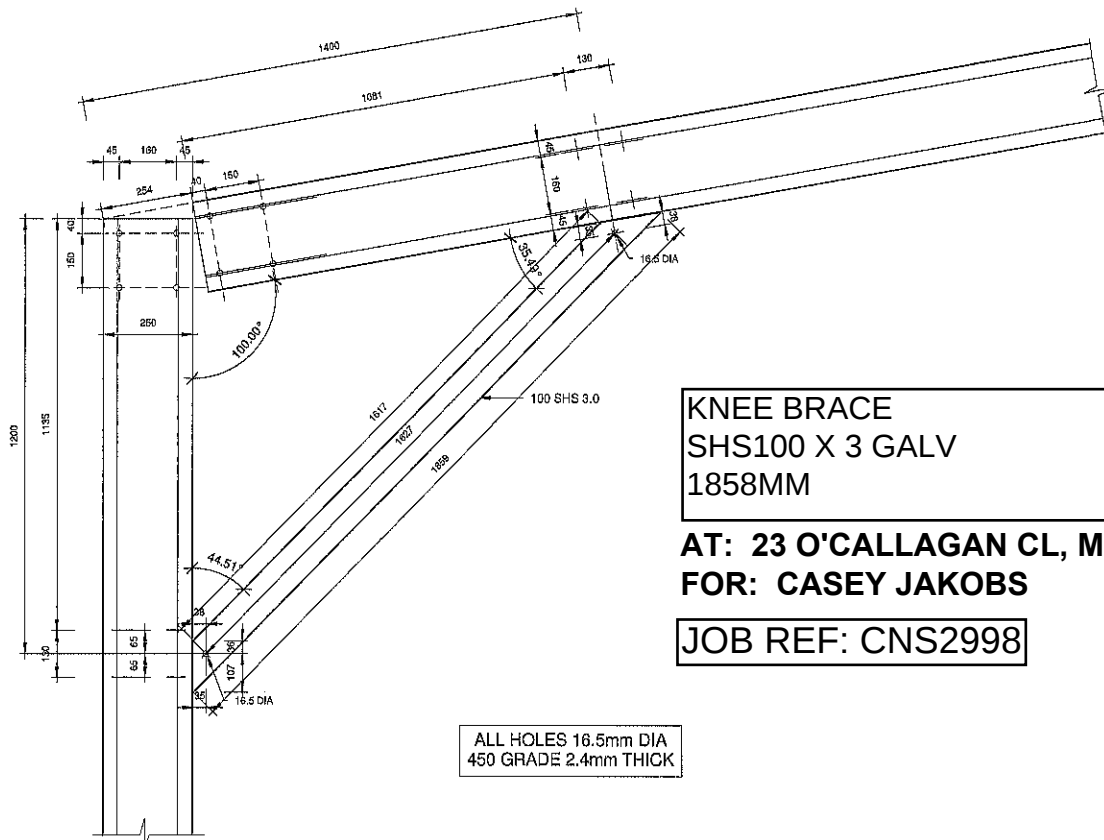
Rapid

building approvals

Refer to Decision Notice
Approved Plan

L. J. Hammonds
1.2.23

45821-04



KNEE BRACE
SHS100 X 3 GALV
1858MM

AT: 23 O'CALLAGAN CL, MIALLO 4873
FOR: CASEY JAKOBS

JOB REF: CNS2998

ALL HOLES 16.5mm DIA
450 GRADE 2.4mm THICK

SHAFT DETAIL FOR 1400

1 100 SHS
1:10

FRANCIS KERR DESIGN
ARCHITECTURAL DRAFTSMAN

NEW HOMES - ADDITIONS - ALTERATIONS
PHONE: 04 3009 1675 QBCO 1122471
e mail: frank.kerr@bigpond.com

DUNRITE

Date OCT 2021 WORKING DRAWINGS
Drawn by F KERR 1400mm KNEE BRACE

G

Scale 1:10

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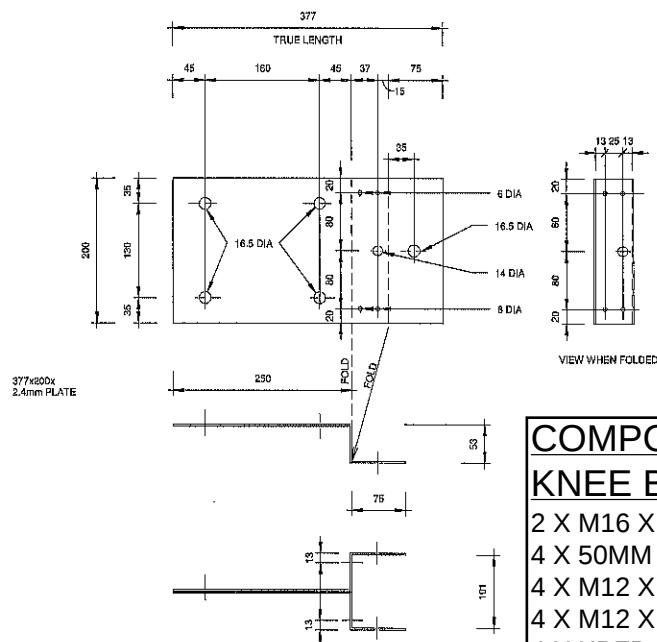
19/10/2021 12:05:20 PM

Rapid

building approvals

Refer to Decision Notice
Approved Plan

L. J. Hamarcho
1.2.23
45821-05



COMPONENT LIST PER KNEE BRACE ASSEMBLY

2 X M16 X 150 SHAFT BOLTS
4 X 50MM X 5MM BACKING PLATES
4 X M12 X 30 8.8 BOLTS
4 X M12 X 30 FP BOLTS
4 X KBFB SUIT 250
4 X TEK1425B

1 KNEE BRACE FIXING
PLATE
1:5

FRANCIS KERR DESIGN
ARCHITECTURAL DRAFTSMAN

NEW HOMES - ADDITIONS - ALTERATIONS
PHONE: 04 3009 1676 QBCO 1122471
e mail: f.kerr@bigpond.com

DUNRITE

Date OCT 2021

WORKING DRAWINGS

Drawn by F KERR

KNEE BRACE FIXING PLATE 250

Scale 1:5

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12/10/2021 12:35:00 PM