

# DA Form 1 – Development application details

**Approved form (version 1.1 effective 22 JUNE 2018) made under section 282 of the Planning Act 2016.**

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the *Planning Act 2016*, the *Planning Regulation 2017*, or the *Development Assessment Rules (DA Rules)*.

## PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) <i>(individual or company full name)</i>	Justine Murray and Matt Wheldon
Contact name <i>(only applicable for companies)</i>	Justine Murray or Laurence "Dave" O'Toole (Engineer)
Postal address <i>(P.O. Box or street address)</i>	PO Box 909
Suburb	Port Douglas
State	Queensland
Postcode	4873
Country	Australia
Contact number	Matt Wheldon: 0408 679 408 or for technical matters L Dave O'Toole: 0400 252 715
Email address <i>(non-mandatory)</i>	<a href="mailto:juss@live.com.au">juss@live.com.au</a> (preferred method of contact)
Mobile number <i>(non-mandatory)</i>	Matt Wheldon: 0408 679 408
Fax number <i>(non-mandatory)</i>	N/A
Applicant's reference number(s) <i>(if applicable)</i>	N/A

2) Owner's consent
2.1) Is written consent of the owner required for this development application?
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application
<input checked="" type="checkbox"/> No – proceed to 3)

## PART 2 – LOCATION DETAILS

### 3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

**Note:** Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.

#### 3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**  
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon; all lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
			George Road	Forest Creek
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4873	86	RP735858	Douglas Shire Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

#### 3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

**Note:** Place each set of coordinates in a separate row. Only one set of coordinates is required for this part.

☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

☒ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
328930E	8203700N	<input type="checkbox"/> 54 <input checked="" type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input checked="" type="checkbox"/> Other: MGA2020	Douglas Shire Council

#### 3.3) Additional premises

- ☐ Additional premises are relevant to this development application and their details have been attached in a schedule to this application  
☒ Not required

#### 4) Identify any of the following that apply to the premises and provide any relevant details

☒ In or adjacent to a water body or watercourse or in or above an aquifer  
 Name of water body, watercourse or aquifer: Unnamed watercourse

☐ On strategic port land under the *Transport Infrastructure Act 1994*  
 Lot on plan description of strategic port land:   
 Name of port authority for the lot:

☐ In a tidal area  
 Name of local government for the tidal area (if applicable):   
 Name of port authority for tidal area (if applicable):

☐ On airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*  
 Name of airport:

<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>	
EMR site identification:	
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>	
CLR site identification:	

**5) Are there any existing easements over the premises?**

*Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).*

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☒ No

## PART 3 – DEVELOPMENT DETAILS

### Section 1 – Aspects of development

#### 6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use      ☐ Reconfiguring a lot      ☒ Operational work      ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit      ☐ Preliminary approval      ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment      ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Replacement of existing private footbridge with private vehicular bridge

e) Relevant plans

**Note:** *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- ☒ Relevant plans of the proposed development are attached to the development application

#### 6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use      ☐ Reconfiguring a lot      ☐ Operational work      ☒ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit      ☐ Preliminary approval      ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☒ Code assessment      ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Replacement of existing private footbridge with private vehicular bridge

e) Relevant plans

**Note:** *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- ☒ Relevant plans of the proposed development are attached to the development application

### 6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☒ Not required

## Section 2 – Further development details

### 7) Does the proposed development application involve any of the following?

Material change of use	<input type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input checked="" type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

### Division 1 – Material change of use

**Note:** This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

#### 8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m <sup>2</sup> ) (if applicable)

#### 8.2) Does the proposed use involve the use of existing buildings on the premises?

<input type="checkbox"/> Yes		
<input checked="" type="checkbox"/> No		

### Division 2 – Reconfiguring a lot

**Note:** This division is only required to be completed if any part of the development application involves reconfiguring a lot.

#### 9.1) What is the total number of existing lots making up the premises?

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#### 9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

<input type="checkbox"/> Subdivision (complete 10))	<input type="checkbox"/> Dividing land into parts by agreement (complete 11))
<input type="checkbox"/> Boundary realignment (complete 12))	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a construction road (complete 13))

### 10) Subdivision

#### 10.1) For this development, how many lots are being created and what is the intended use of those lots:

Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

#### 10.2) Will the subdivision be staged?

- ☐ Yes – provide additional details below
- ☐ No

How many stages will the works include?	
What stage(s) will this development application apply to?	

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?

Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment

12.1) What are the current and proposed areas for each lot comprising the premises?

Current lot		Proposed lot	
Lot on plan description	Area (m <sup>2</sup> )	Lot on plan description	Area (m <sup>2</sup> )

12.2) What is the reason for the boundary realignment?

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13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)

Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

### Division 3 – Operational work

**Note:** This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?

- |  |                                     |   |
|--|-------------------------------------|---|
| <input checked="" type="checkbox"/> Road work  | <input type="checkbox"/> Stormwater | <input type="checkbox"/> Water infrastructure           |
| <input type="checkbox"/> Drainage work   | <input type="checkbox"/> Earthworks | <input type="checkbox"/> Sewage infrastructure          |
| <input type="checkbox"/> Landscaping   | <input type="checkbox"/> Signage    | <input checked="" type="checkbox"/> Clearing vegetation |
| <input checked="" type="checkbox"/> Other – please specify: Construction of private vehicular bridge over Stream in Ravine |                                     |   |

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)

<input type="checkbox"/> Yes – specify number of new lots:	
<input checked="" type="checkbox"/> No	

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$ 46,000

## PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Douglas Shire Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ Local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

## PART 5 – REFERRAL DETAILS

### 17) Do any aspects of the proposed development require referral for any referral requirements?

**Note:** A development application will require referral if prescribed by the Planning Regulation 2017.

☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

#### Matters requiring referral to the **Chief Executive of the Planning Regulation 2017:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA have not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure – designated premises
- ☐ Infrastructure – state transport infrastructure
- ☐ Infrastructure – state transport corridors and future state transport corridors
- ☐ Infrastructure – state-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure – near a state-controlled road intersection
- ☐ On Brisbane core port land near a State transport corridor or future State transport corridor
- ☐ On Brisbane core port land – ERA
- ☐ On Brisbane core port land – tidal works or work in a coastal management district
- ☐ On Brisbane core port land – hazardous chemical facility
- ☐ On Brisbane core port land – taking or interfering with water
- ☐ On Brisbane core port land – referable dams
- ☐ On Brisbane core port land - fisheries
- ☐ Land within Port of Brisbane's port limits
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material (*from a watercourse or lake*)
- ☐ Water-related development – referable dams
- ☐ Water-related development – construction of new levees or modification of existing levees (*category 3 levees only*)
- ☐ Wetland protection area

#### Matters requiring referral to the **local government:**

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) (*only if the ERA have been devolved to local government*)
- ☐ Local heritage places

Matters requiring referral to the <b>chief executive of the distribution entity or transmission entity</b> : <input type="checkbox"/> Electricity infrastructure
Matters requiring referral to: <ul style="list-style-type: none"> <li>• The <b>Chief executive of the holder of the licence</b>, if not an individual</li> <li>• The <b>holder of the licence</b>, if the holder of the licence is an individual</li> </ul> <input type="checkbox"/> Oil and gas infrastructure
Matters requiring referral to the <b>Brisbane City Council</b> : <input type="checkbox"/> Brisbane core port land
Matters requiring referral to the <b>Minister under the <i>Transport Infrastructure Act 1994</i></b> : <input type="checkbox"/> Brisbane core port land (inconsistent with Brisbane port LUP for transport reasons) <input type="checkbox"/> Strategic port land
Matters requiring referral to the <b>relevant port operator</b> : <input type="checkbox"/> Land within Port of Brisbane's port limits (below high-water mark)
Matters requiring referral to the <b>Chief Executive of the relevant port authority</b> : <input type="checkbox"/> Land within limits of another port (below high-water mark)
Matters requiring referral to the <b>Gold Coast Waterways Authority</b> : <input type="checkbox"/> Tidal works, or work in a coastal management district in Gold Coast waters
Matters requiring referral to the <b>Queensland Fire and Emergency Service</b> : <input type="checkbox"/> Tidal works marina ( <i>more than six vessel berths</i> )

<b>18) Has any referral agency provided a referral response for this development application?</b>		
<input type="checkbox"/> Yes – referral response(s) received and listed below are attached to this development application <input checked="" type="checkbox"/> No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and the development application the subject of this form, or include details in a schedule to this development application ( <i>if applicable</i> ).		

## PART 6 – INFORMATION REQUEST

<b>19) Information request under Part 3 of the DA Rules</b>
<input checked="" type="checkbox"/> I agree to receive an information request if determined necessary for this development application <input type="checkbox"/> I do not agree to accept an information request for this development application <b>Note:</b> By not agreeing to accept an information request I, the applicant, acknowledge: <ul style="list-style-type: none"> <li>• that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties</li> <li>• Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.</li> </ul> Further advice about information requests is contained in the <u>DA Forms Guide</u> .

## PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- ☒ Yes – provide details below or include details in a schedule to this development application  
☐ No

List of approval/development application references	Reference number	Date	Assessment manager
<input checked="" type="checkbox"/> Approval <input type="checkbox"/> Development application	MCUI 1139/2015 (792462)	18 October 2016	Douglas Shire Council
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- ☐ Yes – a copy of the receipted QLeave form is attached to this development application  
☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid  
☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached  
☒ No

23) Further legislative requirements

### Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below  
☒ No

**Note:** Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at [www.qld.gov.au](http://www.qld.gov.au). An ERA requires an environmental authority to operate. See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

### Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- ☐ Yes – Form 69: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application  
☒ No

**Note:** See [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information about hazardous chemical notifications.

### Clearing native vegetation



23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)

☒ No

**Note:** 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.

2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

### **Environmental offsets**

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter

☒ No

**Note:** The environmental offset section of the Queensland Government's website can be accessed at [www.qld.gov.au](http://www.qld.gov.au) for further information on environmental offsets.

### **Koala conservation**

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work within an assessable development area under Schedule 10, Part 10 of the Planning Regulation 2017?

☐ Yes

☒ No

**Note:** See guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

### **Water resources**

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000**?

☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development

☒ No

**Note:** Contact the Department of Natural Resources, Mines and Energy at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

### **Waterway barrier works**

23.7) Does this application involve **waterway barrier works**?

☐ Yes – the relevant template is completed and attached to this development application

☒ No

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

### **Marine activities**

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*

☒ No

**Note:** See guidance materials at [www.daf.qld.gov.au](http://www.daf.qld.gov.au) for further information.

### **Quarry materials from a watercourse or lake**

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the *Water Act 2000*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

**Note:** Contact the Department of Natural Resources, Mines and Energy at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) and [www.business.qld.gov.au](http://www.business.qld.gov.au) for further information.

### **Quarry materials from land under tidal waters**

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the *Coastal Protection and Management Act 1995*?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

**Note:** Contact the Department of Environment and Science at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

### **Referable dams**

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the Water Supply Act)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the Water Supply Act is attached to this development application
- ☒ No

**Note:** See guidance materials at [www.dnrme.qld.gov.au](http://www.dnrme.qld.gov.au) for further information.

### **Tidal work or development within a coastal management district**

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
  - ☐ A certificate of title
- ☒ No

**Note:** See guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for further information.

### **Queensland and local heritage places**

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- ☐ Yes – details of the heritage place are provided in the table below
- ☒ No

**Note:** See guidance materials at [www.des.qld.gov.au](http://www.des.qld.gov.au) for information requirements regarding development of Queensland heritage places.

Name of the heritage place:		Place ID:	
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### **Brothels**

23.14) Does this development application involve a **material change of use for a brothel**?

- ☐ Yes – this development application demonstrates how the proposal meets the code for a development application for a brothel under Schedule 3 of the *Prostitution Regulation 2014*
- ☒ No

### **Decision under section 62 of the Transport Infrastructure Act 1994**

23.15) Does this development application involve new or changed access to a state-controlled road?

- ☐ Yes - this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)
- ☒ No

## PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist	
I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17 <i>Note: See the Planning Regulation 2017 for referral requirements</i>	<input checked="" type="checkbox"/> Yes
If building work is associated with the proposed development, Parts 4 to 6 of <i>DA Form 2 – Building work details</i> have been completed and attached to this development application	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable
Supporting information addressing any applicable assessment benchmarks is with development application <i>Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see <a href="#">DA Forms Guide: Planning Report Template</a>.</i>	<input checked="" type="checkbox"/> Yes
Relevant plans of the development are attached to this development application <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see <a href="#">DA Forms Guide: Relevant plans</a>.</i>	<input checked="" type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued ( <i>see 21</i> )	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable

25) Applicant declaration
<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct <input checked="" type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i> <i>Note: It is unlawful to intentionally provide false or misleading information.</i>
<p><b>Privacy</b> – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i>, <i>Planning Regulation 2017</i> and the <i>DA Rules</i> except where:</p> <ul style="list-style-type: none"> <li>such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the <i>Planning Regulation 2017</i>, and the access rules made under the <i>Planning Act 2016</i> and <i>Planning Regulation 2017</i>; or</li> <li>required by other legislation (including the <i>Right to Information Act 2009</i>); or</li> <li>otherwise required by law.</li> </ul> <p>This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i>.</p>

## PART 9 – FOR OFFICE USE ONLY

Date received:  Reference number(s):

Notification of engagement of alternative assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	

Relevant licence number(s) of chosen assessment manager	
---	--

#### QLeave notification and payment

*Note: For completion by assessment manager if applicable*

Description of the work	
QLeave project number	
Amount paid (\$)	
Date paid	
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

# AEMS Consulting Engineers.

Laurence David O'Toole MEng MIEAust CPEng NER RPEQ CEng MIStructE (UK & Aust)  
Chartered Professional Engineer. Our ref: JM 051/04.

ABN & GST Number: 65 616 183 538.

Date: 06/11/2020

**To: Environment & Planning | Douglas SC.** Via Email to enquiries@douglas.qld.gov.au

64-66 Front St, Mossman Q 4873 + PO Box 723, Mossman Q 4873

**Attention:** The **Town Planner**

**Re:** Replacement of old Pedestrian Bridge by **New Steel Vehicle Bridge Development**

on Lot 86, George Road, Forest Creek, Qld for Ms Justine L Murray.

For ref. only: See previous house development (your ref: MCUI 1139/2015 (792462) & BA 20194640).

Dear Sir,

Please see attached the DA Form 1, duly filled out for the above development, together with the following supporting documentation.

Drawing No. 051/01 Rev A. Bridge Isometric View, Drawing list & Location.
Drawing No. 051/02 Rev A Layout Plan, Long Section & Site Plan
Drawing No. 051/03 Rev A. Soil Erosion & Sediment Control
Drawing No. 051/04 Rev A. Bridge – General Arrangement
Drawing No. 051/05 Rev A. Bridge – Structural details – Sheet 1
Drawing No. 051/06 Rev A. Bridge – Structural details – Sheet 2
Drawing No. 051/07 Rev A. Concrete Footing Details
Drawing No. 051/08 Rev A. Concrete Deck Slab Details
Drawing No. 051/09 Rev A. Bridge Engineering Notes
Drawing No. 051/10 Rev. A Tree Removal – Riparian Works
Drawing No. 051/11 Rev. A Bridge Erection / Installation Notes and Timber Protection Rail Details
Form 15 – For this Vehicle Bridge Project
Appendix A – Loading Used for Bridge Structural Design (Part of Form 15)
Appendix B – 6 m3 Concrete Mixer Truck Loads. (Part of Form 15)
Appendix C – Bridge Signage Sample for Load limit (26T). (Part of Form 15)
Geotechnical Report by Dirt Professionals (Job 20717 dated 20 <sup>th</sup> Oct 2019)
IECA Erosion control Drawing No. CB-01 Flow Control Berms
IECA Erosion control Drawing No. CD-01 General
IECA Erosion control Drawing No. CD-02 Earth Lined
IECA Erosion control Drawing No. CD-03 Grass lined
IECA Erosion control Drawing No. CH-01 General Part 1
IECA Erosion control Drawing No. CH-02 General Part 2
IECA Erosion control Drawing No. CH-04 General Part 2
IECA Erosion control Drawing No. DB-01 Flow diversion banks
IECA Erosion control Drawing No. EXIT-03 Rock Pad for Building
IECA Erosion control Drawing No. SF-01- Sediment Fence 1
IECA Erosion control Drawing No. SF-02- Sediment Fence 2

Address: 19 Cambanora Place, City View, Mooroolbool, Cairns Qld 4870

Ph: 07 40544056. Mob: 0400 252 715. Email: [otoole.eng@bigpond.com](mailto:otoole.eng@bigpond.com)

# AEMS Consulting Engineers.

**Laurence David O'Toole** MEng MIEAust CPEng NER RPEQ CEng MIStructE (UK & Aust)  
Chartered Professional Engineer. Our ref: JM 051/04.

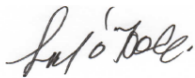
ABN & GST Number: **65 616 183 538**.

Date: 06/11/2020

TerraModus surveying Drawing No. 1517-01 Rev A
TerraModus surveying Drawing No. 1517 / IS282807
TerraModus surveying Drawing No. 1517 / IS282824

My Client awaits your advice on Fee amount for this application - which will be forthcoming when known. The application fee will be paid to DSC via electronic bank transfer.

Yours Faithfully,



LD O'Toole.  
Chartered Professional Engineer  
RPEQ 15272.



# Form 15—Compliance certificate for building design or specification

**NOTE:** This is to be used for the purposes of section 10 of the *Building Act 1975* and/or section 46 of the *Building Regulation 2006*.

**RESTRICTION:** A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the Queensland Development Code (QDC). A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.

## 1. Property description

This section need only be completed if details of street address and property description are applicable.

E.g. in the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.

The description must identify all land the subject of the application.

The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details.

**Street address** (include no., street, suburb/locality and postcode)

Lot 86 George Road

Forrest Creek, Queensland

**Postcode 4877**

**Lot and plan details** (attach list if necessary)

Lot 86 on RP735858, Queensland, 4877

**In which local government area is the land situated?**

**Douglas Shire Council**, 64-66 Front Street, Mossman  
QLD4873

## 2. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

**Certificate Form 15 – Ref: JM/04.** This **Form 15** relates to the structural design and documentation of a 3.2 m wide (clear) single lane, 14.4 m single span steel vehicle bridge that spans over a 5.0 m deep ravine that fronts the property.

The new Vehicle Bridge is an open top truss bridge, consisting of a two steel 1.60 m high bridge trusses @ 3.4 m C/C, with a reinforced concrete deck slab, supported on regular steel UB cross beams. The Bridge Truss beams are support on concrete pad footings – down to a rock foundation.

Laurence David O'Toole, Consulting Structural Engineer, was responsible for the structural design and documentation of all aspects of the above Vehicle Bridge, as described above.

Elements of the works are as shown of the updated drawings as listed in Item 4 below

## 3. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

Site Wind Speed – **69.3 m/s** ( $v=1000$ ), Region C – Cat 2.5 to AS 1170.2

Site Classification to AS2870 – **CLASS M**, with a minimum Allowable Bearing Capacity of **100 KPa** overlying a shallowed Weather Rock stratum (on which the RC Pad footings or bored piers will be founded) with an Allowable Bearing Capacity of approx. 1.5 MPa – See Geotechnical report by Dirt Professionals (as attached).

The Building Code of Australia (NCC 2019)

Australian Standards – AS1170 (Part 0, 1, 2 & 4), AS2870, AS3600, AS 4100, AS1428 & Bridge Code AS 5100 Series with loads from AS5100.2 modified (i.e. reduced) due to it being a Private Bridge – For clarity see attached Appendix A & B

#### 4. Reference documentation

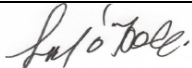
Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

Drawing No. 051/01 Rev A. Bridge Isometric View, Drawing list & Location.
Drawing No. 051/02 Rev A. Layout Plan, Long Section & Site Plan
Drawing No. 051/03 Rev A. Soil Erosion & Sediment Control
Drawing No. 051/04 Rev A. Bridge – General Arrangement
Drawing No. 051/05 Rev A. Bridge – Structural details – Sheet 1
Drawing No. 051/06 Rev A. Bridge – Structural details – Sheet 2
Drawing No. 051/07 Rev A. Concrete Footing Details
Drawing No. 051/08 Rev A. Concrete Deck Slab Details
Drawing No. 051/09 Rev A. Bridge Engineering Notes
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IECA Erosion control Drawing No. CH-04 General Part 2
IECA Erosion control Drawing No. DB-01 Flow diversion banks
IECA Erosion control Drawing No. EXIT-03 Rock Pad for Building
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TerraModus surveying Drawing No. 1517-01 Rev A
TerraModus surveying Drawing No. 1517 / IS282807
TerraModus surveying Drawing No. 1517 / IS282824

#### LOCAL GOVERNMENT USE ONLY

Date received	Reference Number/s



<b>5. Building certifier reference number</b>	<b>Building certifier reference number</b> <div></div>
<b>6. Competent person details</b> <p>A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect.</p> <p>If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.</p> <p>If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.</p>	<b>Name (in full)</b> <div>Laurence David O'Toole</div> <div> <b>Company name (if applicable)</b>  <div>AEMS</div> </div> <div> <b>Contact person</b>  <div>L. Dave O'Toole</div> </div> <div> <b>Phone no. (business hours)</b><div>07 454 4056</div> <b>Mobile no.</b><div>0400 252 715</div> <b>Fax no.</b><div></div> </div> <b>Email address</b> <div>Otoole.eng@bigpond.com</div> <b>Postal address</b> <div>19, Cambanora Place, Moorooobool</div> <div> <div>Cairns Qld</div> <div><b>Postcode 4870</b></div> </div> <b>Licence or registration number (if applicable)</b> <div>RPEQ 15272 (Structural)</div>
<b>7. Signature of competent person</b> <p>This certificate must be signed by the individual assessed by the building certifier as competent.</p>	<div> <b>Signature</b>  <div></div> </div> <div> <b>Date</b>  <div>06/ 10/2020</div> </div>

The *Building Act 1975* is administered by the Department of Housing and Public Works

## **Appendix A.**

### **Loading used for Vehicle Bridge Structural Design.**

Loading to Bridge Code AS5100.2 as modified below: -

Re: New Vehicle Bridge (Across Ravine) on Lot 86, George Road, Forest Creek, Qld.

This Vehicle Bridge is located on the private property with no access to public traffic. While this bridge has been designed in accordance the Australian Standard Bridge Code AS5100 series: The section on the required loading (i.e. AS 5100.2) has been modified (i.e. loads reduced) for the following reasons: -

- The AS5100.2 loads for public traffic (S1600 and M1600) loadings are considered too onerous for a private bridge.
- The cost to comply with AS5100.2 loads for public traffic (S1600 and M1600) loadings are considered too expensive and out of the financial reach of the property owner.

Therefore, and instead of AS5100.2 loads for public traffic (S1600 and M1600) loadings, actual vehicle loads likely to use the bridge where selected as follows: -

- 1) A common 6.0 m<sup>3</sup> Concrete mixer truck at 26 Tonnes (fully loaded + self-weight) – Needed for future House construction – See Appendix B attached.
- 2) A standard articulated or Frenner type Crane at 17 tonnes (Self-weight) - Needed for future House construction
- 3) A 15 tonne JCB excavator (Self weight) - Needed for future House construction
- 4) A common 12 tonne flatbed truck (fully loaded at 12 tonnes) - Needed for future House construction
- 5) A 2 tonne Family SUV. Normal use for property owner.

As item 1 will more than cover items 2 to 5, the Bridge has been designed to take this loading with load distribution as shown in Appendix B attached. (I.e. one front axle of 7 tonnes plus two rear axles of 9.5 tonnes each).

In addition to the above axle loads a 6 kN/m live load is included. Plus, a maximum wheel load of 80kN (for deck design punching shear). All as per requirements of AS5100.2

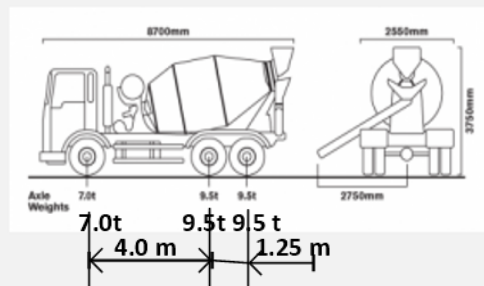
All other loading aspects from AS5100.2, such as limit state Load Factors, Dynamic load allowances, Pedestrian loading at 3.5 kPa as per Figure 7 of AS5100.2, collision & braking loading. Plus, load combinations have been utilised.

It is intended that the property owner will provide signage indicating the maximum self-weight loading allowed onto the bridge as 26 Tonnes (all-in) with a maximum axle of 9.5 Tonnes. The sign will be placed on the inward entrance to the bridge. See Appendix C as sample.

Finally, because the bridge is a private bridge, it has been designed for 50-year design life, subject to normal regular maintenance.

## Appendix B

### 6m<sup>3</sup> Truckmixer



Length = 8.7m

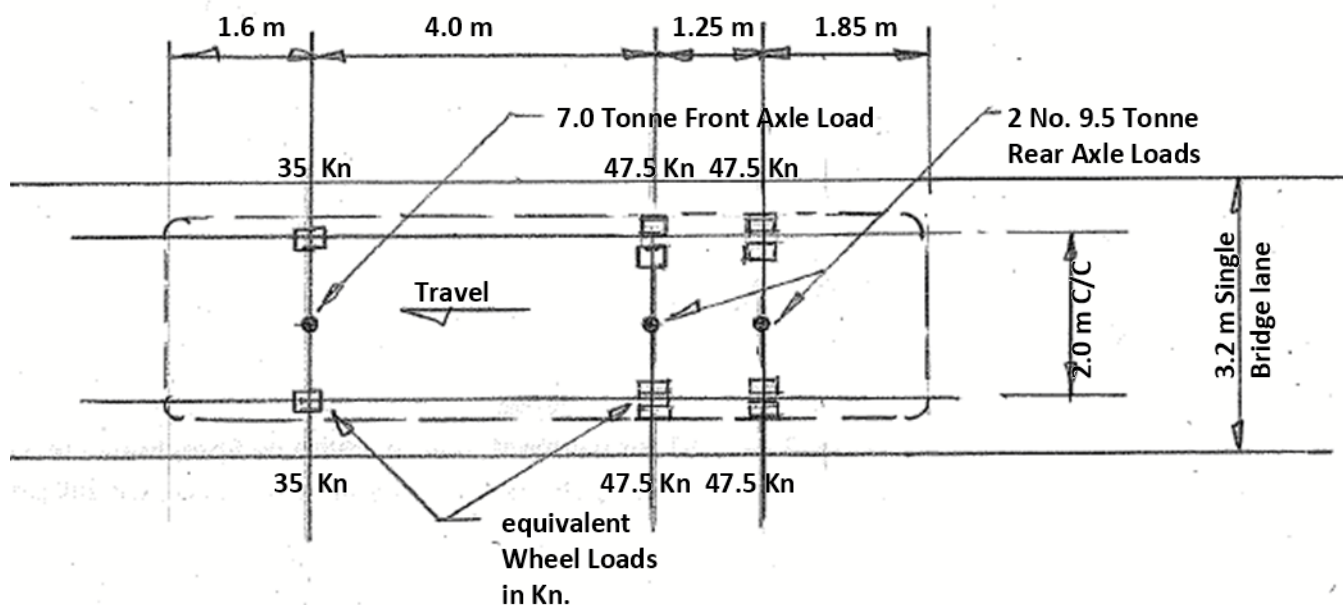
Height = 3.75m

Width = 2.55m

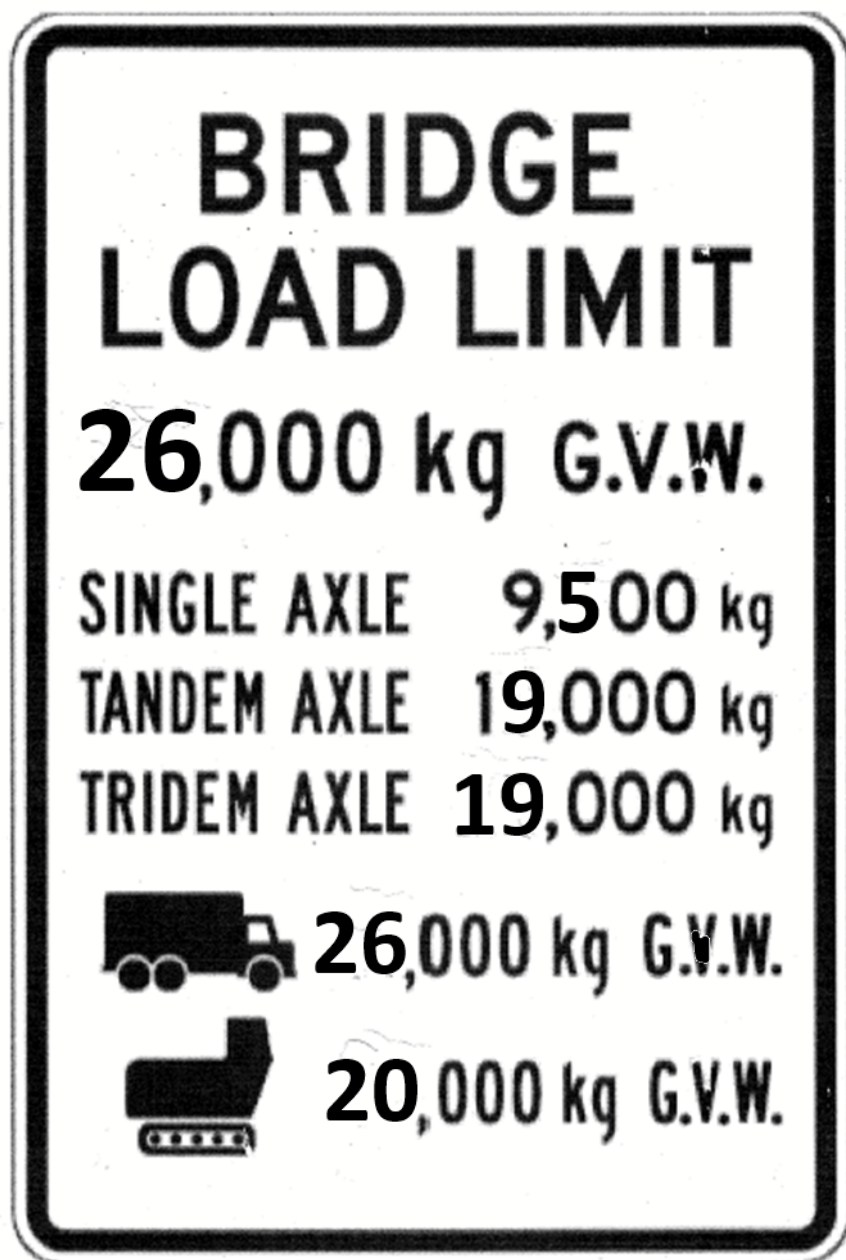
Chute = 2.75m

A fully loaded 6m<sup>3</sup> truck will weigh approximately 26 tonnes, depending on the type of concrete.

### Maximum Vehicle Bridge Loading



Plan of 6 m<sup>3</sup> Concrete Mixer Truck



Bridge Load Limit sign to be  
displayed at entry to Bridge  
(Size 800 Deep x 500 wide)

## Appendix C